



**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION  
88 SOUTH PARK AVE.  
LE CENTER, MINNESOTA 56057  
507-357-8538**

**NOTICE OF PUBLIC HEARING**

**TO WHOM IT MAY CONCERN:**

**NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD.**

**DATE: MAY 14, 2015**

**TIME: 7:00 PM**

**PLACE: LE SUEUR COUNTY ENVIRONMENTAL SERVICES BUILDING, 515 SOUTH MAPLE  
AVE LE CENTER MN**

**PURPOSE:** To hear testimony from interested parties and consider Rezoning and Conditional Use Permit Applications and other questions pertaining to and as provided by the Zoning Ordinance of Le Sueur County as described below. ***Information regarding the applications is available for review at the Environmental Services Building during normal business hours.***

- ITEM #1 Planning & Zoning Commission Notice of Public Hearing**
- ITEM #2 Planning and Zoning Commission Agenda**
- ITEM #3 Weick Storage Facility Packet**
- ITEM #4 Weick, Grading, Filling and Excavating Packet**
- ITEM #5 Draft Minutes**

**APPLICANT OR REPRESENTATIVE MUST BE PRESENT IN ORDER FOR THE APPLICATION TO BE HEARD.**

KATHY BROCKWAY, LE SUEUR COUNTY PLANNING & ZONING ADMINISTRATOR  
MICHELLE R. METTLER, ASSISTANT PLANNING & ZONING ADMINISTRATOR



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# **Le Sueur County, MN**

**Thursday, May 14, 2015**

**Regular session**

## **Item 1**

### **Planning & Zoning Commission Notice of Public Hearing**

Staff Contact: Kathy Brockway or Michelle Mettler

**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION  
88 SOUTH PARK AVE.  
LE CENTER, MINNESOTA 56057  
507-357-8538**

**NOTICE OF PUBLIC HEARING**

**TO WHOM IT MAY CONCERN:**

**NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD.**

**DATE:** MAY 14, 2015

**TIME:** 7:00 P.M.

**PLACE:** Le Sueur County Environmental Services, 515 South Maple Ave, Le Center, MN.

**PURPOSE:** To hear testimony from interested parties and consider Rezoning, Amendments and Conditional Use Permit Applications, as provided by the Zoning Ordinance of Le Sueur County, as described below.

Applications are available for review at the Environmental Services Building during normal business hours and on the website on or after **MAY 5, 2015**.

**ITEM #1: SHAWN WEICK, CLEVELAND, MN, (APPLICANT/OWNER):** Requests that the County grant a Conditional Use Permit to allow the applicant to establish and operate a self-service storage facility (boat and recreational equipment storage) in an Agriculture "A" District. Property is located in Government Lot 5, Section 1, Cleveland Township.

**ITEM #2: SHAWN WEICK, CLEVELAND, MN (APPLICANT/OWNER):** Requests that the County grant a Conditional Use Permit to allow grading, excavating and filling of approximately 4099 cubic yards of material for grading and stormwater ponds in an in an Agriculture "A" District. Property is located in Government Lot 5, Section 1, Cleveland Township.

**APPLICANT OR REPRESENTATIVE MUST BE PRESENT IN ORDER FOR THE APPLICATION TO BE HEARD.**

KATHY BROCKWAY, LE SUEUR COUNTY PLANNING & ZONING ADMINISTRATOR  
MICHELLE R. METTLER, ASSISTANT PLANNING & ZONING ADMINISTRATOR





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# **Le Sueur County, MN**

**Thursday, May 14, 2015**

**Regular session**

## **Item 1**

### **Planning and Zoning Commission Agenda**

**Staff Contact: Kathy Brockway or Michelle Mettler**

**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION  
MEETING AGENDA**

**ORGANIZATION:** LE SUEUR COUNTY PLANNING/ZONING COMMISSION

**MEETING DATE:** Thursday, May 14, 2015

**MEETING PLACE:** Le Sueur County Environmental Service

**Beginning Time:** 7:00 P.M.      **Ending Time:** Approx. 8:30 P.M.

**If you CANNOT be at the meeting, contact DENISE at 357-8538**

**AGENDA:**

Meeting Called  
to Order.

**ITEM #1: SHAWN WEICK, CLEVELAND, MN, (APPLICANT/OWNER):** Conditional Use Permit in order to establish and operate a self-service storage facility (boat and recreational equipment storage) in an Agriculture "A" District. Property is located in Government Lot 5, Section 1, Cleveland Township.

**ITEM #2: SHAWN WEICK, CLEVELAND, MN (APPLICANT/OWNER):** Conditional Use Permit to allow grading, excavating and filling of approximately 4099 cubic yards of material for grading and stormwater ponds in an Agriculture "A" District. Property is located in Government Lot 5, Section 1, Cleveland Township.

**MINUTES-WARRANTS**

**ADJOURN      8:30 P.M.**

**Planning & Zoning Commission Public Hearing Procedure:** The Chairman calls the meeting to order, then calls the item to be heard and asks the Applicant or representative present to come to the podium to answer any questions or present any comments. The Chairman opens the meeting to the public. Each speaker comes to the podium and states their name for the record prior to making a statement or posing a question. **All questions or comments are to be directed to the board, NOT THE APPLICANT.** After the public comments the Planning Commission publicly discusses the information and reviews the findings before making a motion. All meetings are recorded.



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# Le Sueur County, MN

Thursday, May 14, 2015

Regular session

## Item 1

### Weick Storage Facility Packet

Staff Contact: Kathy Brockway or Michelle Mettler

# STAFF REPORT

## GENERAL INFORMATION

**APPLICANT:** SHAWN WEICK  
**OWNER:** ORION DEVELOPMENT

**911 ADDRESS:** NEW Island Road, Cleveland MN 56017

**PROJECT DESCRIPTION:** Establish and operate a self-service storage facility (boat and recreational equipment storage) in an Agriculture "A" District. Property is located in Government Lot 5, Section 1, Cleveland Township.

**AG DISTRICT PURPOSE:** The Agriculture (A) District is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils. Rezoning should only be considered on the zone's borders in order to maintain the Zoning integrity of the District. Dwellings that are allowed should be on the edges of the open farmland where possible or utilize existing abandoned farm sites. The total number of Dwellings shall not exceed sixteen (16) per section of land with the exception of Transfer of Development Right and lots of record. Transfer of development rights may be utilized to exceed the permitted housing density of one dwelling per quarter-quarter section (40 acres), provided that the density does not exceed four dwellings per quarter-quarter section in the receiving quarter-quarter section. Lots of Record, shall be exempt from density standards.

**ZONING ORDINANCE SECTIONS:** Section 8, Subdivision 3.X, Section 19

**Definition: SELF-SERVICE STORAGE FACILITY** - A commercial structure or group of structures that contain varying sizes of individual compartmentalized and controlled access stalls or lockers for the storage of customers' items.

**GOALS AND POLICIES:**

## SITE INFORMATION

**LOCATION:** 5.23 acre parcel from a 34.74 acre parcel, Section 1, Cleveland Township

**ZONING:** Agriculture "A" District

**GENERAL SITE DESCRIPTION:** Ag land

**ACCESS:** County Road/Township Road approved by Road Authorities (see attached documentation)

**EXISTING LAND USE WITHIN ¼ MILE:**

North: Ag	South: Ag/ Residential/Lakeshore
East: Ag/Residential	West: Ag/Residential

## BACKGROUND INFORMATION

See narrative

## TOWNSHIP BOARD NOTIFICATION

The applicant contacted John Kluntz, Cleveland Township Board member on April 12, 2015.

## NATURAL RESOURCES INFORMATION

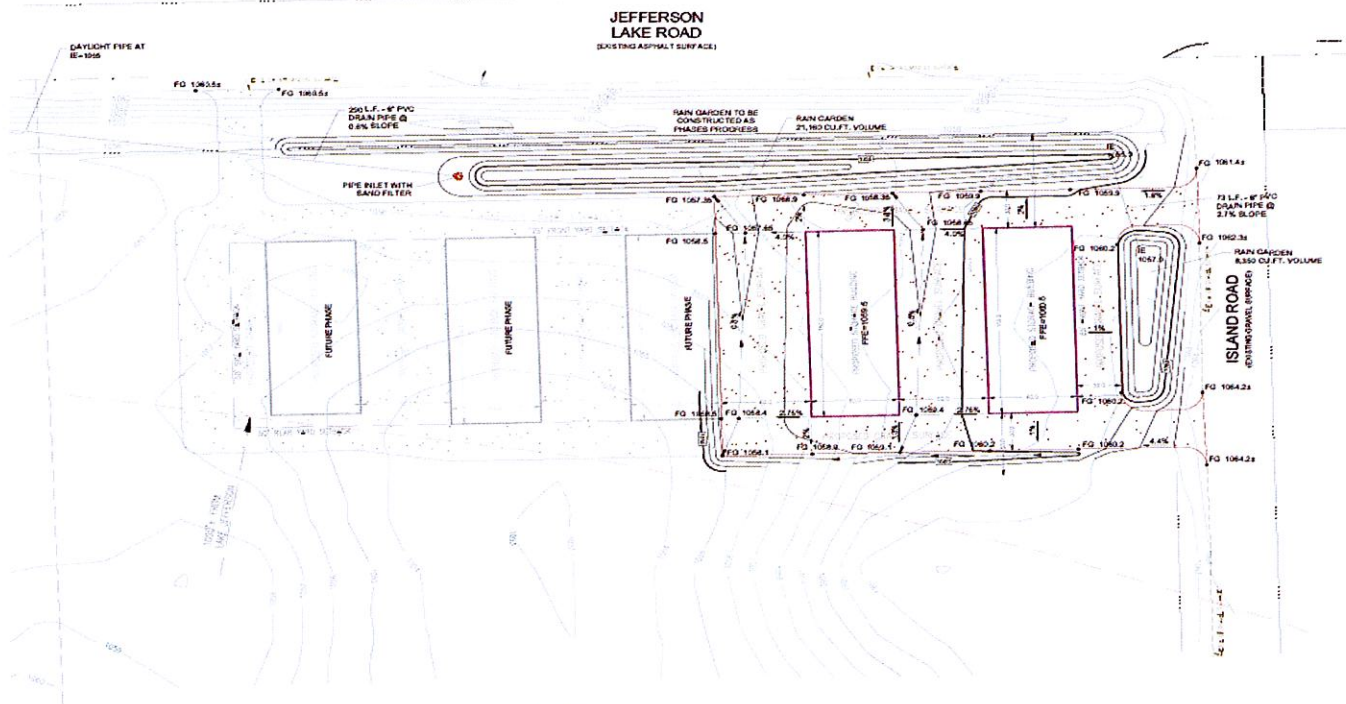
**SHORELAND:** The proposal is not located within the Shoreland District.

**WETLANDS:** According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

## ATTACHMENTS

Site Plan, Narrative, access approvals

## SITE PLAN



## LAND USE APPLICATION PERFORMANCE STANDARDS

- Name of Applicant Shawn Weick, Cleveland MN (applicant)
- Landowner: Orion Development Inc. Madison Lake MN (owner)
- Legal Description- Attached
- Proposed Days and Hours of Operation: 365 days, 24/7
- Security Plans: All buildings will have locked doors. There will be interior/exterior motion lights.
- Lighting: Comply with County Ordinance.
- Parking and Loading Areas: 60' wide gravel driveways to accommodate large vehicles and trailers.
- Signage: Comply with County Ordinance.
- Road Access: Approved by Road Authorities
- Fire Prevention: 4 fire extinguishers per building

## PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety and welfare.

## PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

*(Please circle one for each item: Agree, Disagree, Not Applicable.)*

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity. A D NA
2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. A D NA
3. The adequate utilities, access roads, drainage and other facilities have been or are being provided. A D NA
4. The adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use. A D NA
5. The adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. A D NA

*Recommend (circle one) approval / denial / table / of Conditional Use Permit.*



# Le Sueur County

## Conditional Use Application

### I. Applicant:

Name Shawn Weick  
Mailing Address 46324 Cape Horn Road  
City Cleveland State MN Zip 56017  
Phone # 612-214-8479 Phone # \_\_\_\_\_

### II. Landowner:

Name Orion Development Inc.  
Mailing Address 4608 Eastwood Ct  
City Madison Lake State MN Zip 56063  
Property Address new  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_ Phone # \_\_\_\_\_

### III. Parcel Information:

Parcel Number Part of parcel 01.101.1200 <sup>(split from)</sup> Parcel Acreage 5.23 acres of the 34.74 acres  
Attach Full Legal Description (**NOT** abbreviated description from tax statement)  
Township 109 Section 1  
Subdivision \_\_\_\_\_ Lot 5 Block \_\_\_\_\_

### IV. Township Notification: Township must be notified of proposed use prior to application.

Cleveland Township notified on 2/13/15 4/12/15  
(Township Name) (Date)  
Board Member ~~Steve Rohlfing~~ John Kluntz regarding the proposed use.  
(Name)

### V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**

### VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**  
Filing Fee \$ 46

#### Additional Fees:

Special Meeting \$ 2,000  
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

**VII. Type of Request:**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Self Service Storage | <input type="checkbox"/> Value Added Agriculture            |
| <input type="checkbox"/> School/Church/Cemetery          | <input type="checkbox"/> Antique Sales/Service/Repair       |
| <input type="checkbox"/> Retail Nursery/Greenhouse       | <input type="checkbox"/> Substation/Transmission Lines etc. |
| <input type="checkbox"/> School/Church/Cemetery          | <input type="checkbox"/> Other _____                        |

**VIII. Description of Request:**

- a. A full description of request with detailed information must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.
1. PROPOSED DAYS AND HOURS OF OPERATION: 365 days a year 24 hours a day
  2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS:  
44 persons on a weekly basis during the boating season. Almost no one during the winter.
  3. LIST OF PUBLIC HEALTH PLANS:
    - i. Water Supply: None
    - ii. Toilet facilities: None
    - iii. Solid Waste Collection: None
  4. FIRE PREVENTION: 4 fire extinguishers per building
  5. SECURITY PLANS: All buildings will have locking doors. There will be interior and exterior motion lighting
  6. RETAIL SALES: None
  7. FOOD OR ALCOHOL SERVED OR FOR SALE: None
  8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.)  
None
  9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC:  
None
  10. EXTERIOR LIGHTING: All outdoor lighting will be installed in conformance with the provisions of the subdivision 8 and state electrical code
  11. PARKING AND LOADING: 60' wide gravel driveways (with grass buffers) to accommodate large vehicles and trailers
  12. SIGNAGE: A sign displaying the business name that is 10'x3'
  13. ROAD ACCESS: (Approved by the road authority) Access to Jefferson Lake Road and Island Road
  14. CERTIFICATE OF INSURANCE: Will be provided
  15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:  
(For example additional licensing and/or permitting) State of MN business for a limited liability company

**IX. Site Plan:** Shall include but not limited to the following:

- |                     |           |                       |                            |
|---------------------|-----------|-----------------------|----------------------------|
| • North point       | • Lake    | • Existing Structures | • Septic system            |
| • Setbacks          | • River   | • Proposed Structures | • Well                     |
| • Property Lines    | • Wetland | • Lot Dimensions      | • Access (size & location) |
| • Road Right-Of-Way | • Stream  | • Ponds               | • Easements                |
- Parking (Size & location-if applicable to application)
  - Landscape, screening and buffering (if applicable to application)
  - Location of significant trees to be removed (if applicable to application)



**X. Attachments: shall include but not limited to:**

- a. Description of Request-See Part VIII for full details and requirements.
- b. Site Plan-See Part IX for full details and requirements.
- c. Full legal description-Not abbreviated description from tax statement.
- d. Access approval-Attach approval in writing from proper road authority.
- e. Township Notification-See Part IV for details and requirements.
- f. Septic System Compliance Inspection
- g. Erosion control plan-Attach completed and signed plan including map.
- h. Floor plans and/or blue prints

**XI. Procedure:**

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

**XII. Signatures:**

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

*[Signature]* 4/13/15  
Applicant signature Date

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

ORION DEVELOPMENT INC.  
BY: *[Signature]* 4/13/15  
Property Owner signature Date

**OFFICE USE ONLY**

Request: Boat storage facility

Pre-App Date <u>4-13-15</u>	Lake Classification <u>-</u>	Feedlot	500'	1000'	<u>N</u>
Meeting Date <u>5-14-15</u>	Lake <u>-</u>	Wetland Type	1-2	3-8	<u>N</u>
60 Day <u>6-16-15</u>	FEMA Panel # 27079C0 <u>270</u>	Water courses			<u>N</u>
Zoning District <u>A</u>	Flood Zone <u>X-outside</u>	Bluff			<u>N</u>

- |   |   |   |  |
|---|---|---|--|
| <input checked="" type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval <u>two/cr</u> | <input type="checkbox"/> Septic             | <input checked="" type="checkbox"/> Comp Insp / Design |
| <input checked="" type="checkbox"/> Site Plan           | <input checked="" type="checkbox"/> Erosion Control Plan          | <input checked="" type="checkbox"/> Meeting | <input checked="" type="checkbox"/> Reg / ATF / Spec   |
| <input checked="" type="checkbox"/> Full Legal          | <input checked="" type="checkbox"/> Blue Prints                   | <input checked="" type="checkbox"/> Fee     | \$ <u>790-</u>   |
| <input checked="" type="checkbox"/> Ordinance           | <input type="checkbox"/> Other _____                              | <input type="checkbox"/> Penalty            | \$ _____   |

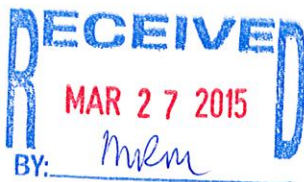
Application Complete *[Signature]* 4-13-15 15048  
Planning & Zoning Department Signature Date Permit #

## Proposed Legal Description

That part of Government Lot 5 in Section 1, Township 109 North Range 25 West, LeSueur County, Minnesota, described as:

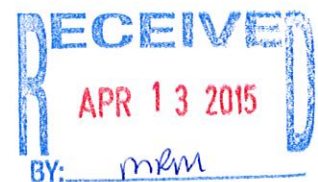
Commencing at the North Quarter corner of said Section 1; thence South 90 degrees 00 minutes 00 seconds West, (assumed bearing), along the north line of said Government Lot 5, a distance of 566.11 feet to the northwesterly corner of Island Road according the plat of Kluntz's Lakewood Knoll Second Addition, on file and of record with the LeSueur County Recorder; thence South 00 degrees 07 minutes 00 seconds West, along the westerly line of said Island Road, 335.00 feet; thence South 90 degrees 00 minutes 00 seconds West, along a line parallel with the north line of said Government Lot 5, a distance of 680.00 feet; thence North 00 degrees 07 minutes 00 seconds East, along a line parallel with the westerly line of said Island Road, 335.00 feet to the point of intersection with the north line of said Government Lot 5; thence North 90 degrees 00 minutes 00 seconds East, along said north line, 680.00 feet to the point of beginning.

Said parcel contains 5.23 acres, subject to an easement for County State Aid Highway No. 18 (Jefferson Lake Road), along the northerly boundary. ALSO subject to any other easements of record.



**The BoatHouse, LLC at Jefferson Lakes**  
**Request for Conditional Use Permit to accommodate**  
**cold storage (indoor)- boat storage**

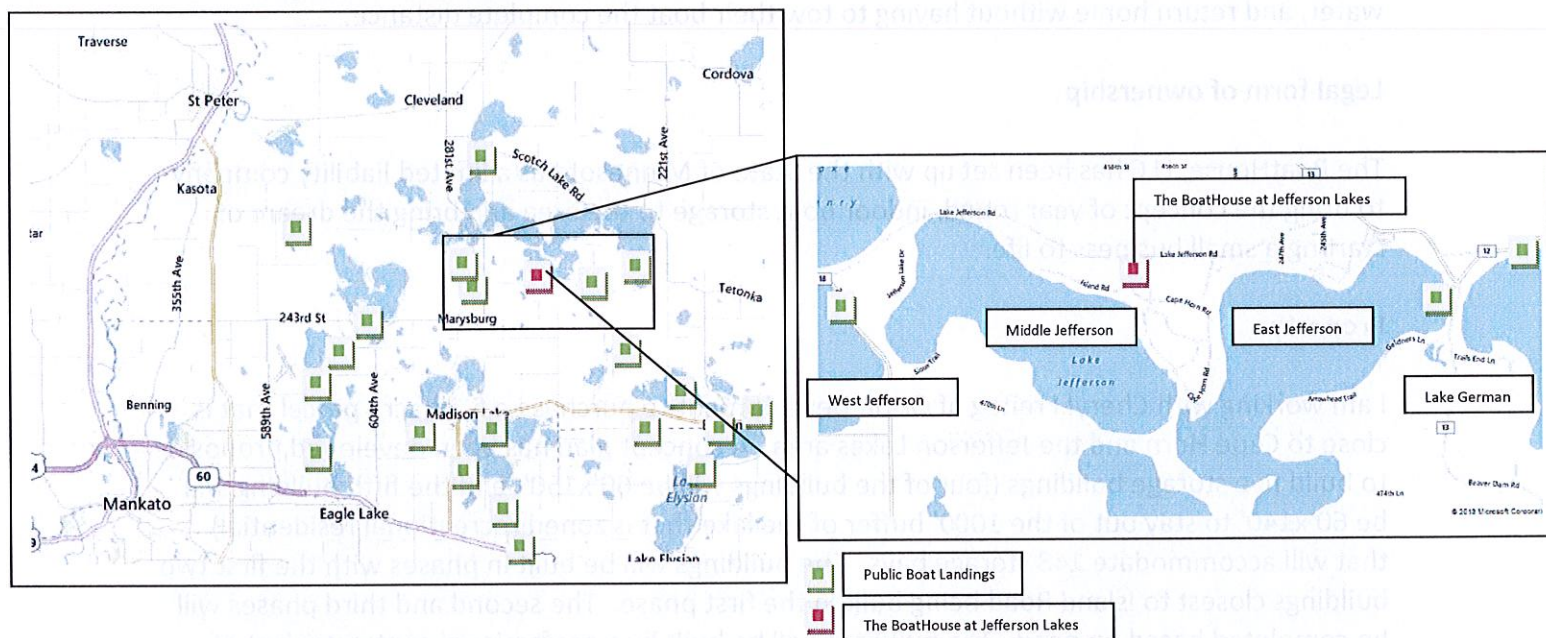
**Shawn Weick**  
46324 Cape Horn Road  
Cleveland, MN 56017  
612.214.8479  
shawn@weicks.com





## General Company Description

Cape Horn is situated between two lakes (East Lake Jefferson, 700 acres and Middle Jefferson Lake, 705 acres) of the Lake Jefferson chain of lakes in south central Minnesota just south of Cleveland, MN. Within a 5 mile radius of the area are numerous other lakes, including West Jefferson Lake, German Lake, and Lake Washington. There are many residents on Cape Horn and the surrounding area that own boats, and with owning a boat comes with the need for storage. Storage of the boat is needed not only during the off season but during the boating season as well.



The BoatHouse, LLC at Jefferson Lakes will provide a year round boat storage option for residents on Cape Horn and the surrounding area. Residents will be able to store their boats or other recreational equipment inside, close to where they use the equipment. Currently the residents go many miles in many different directions to find storage for their recreational equipment. At a time when space in their garages is at a premium they are looking for options.

Why year round storage rather than just off season storage? I feel there is a need for storage year round. During the boating season when their boat is on a lift in the water, it will provide storage for their trailer (for residents of The Landing at Jefferson Lakes it is against the covenants to store recreational vehicles, sporting equipment, toys, trailers, boats, snowmobiles and wheeled and tracked vehicles in site from the street, adjacent lots, or Jefferson Lake). Therefore, The BoatHouse will give people somewhere to keep their boat trailer or other recreational vehicles while keeping them in compliance with covenants. During the off season, residents who currently go many miles in many different directions to find winter storage will now have a convenient location to store their boat during the winter. They will also have access to their boat to do any maintenance or upkeep, unlike most off season storage facilities, the customer drops their boat off and it is stored away in a warehouse where they do not have access to it until a specific date in the spring.

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 APR 13 2015  
 BY: *me*

I am also interested in the concept that will cater to residents of surrounding communities such as Mankato and St. Peter. These residents may be interested in owning a boat (pontoon or large boat) but do not want the hassle of having to park/store it at their residence during the season as well as in the off season. Also, year round storage would alleviate the hassle of having to trailer their boats long distances (approximately 45 miles round trip) to use it. The BoatHouse would offer boat owners convenience, as they will be able to travel to the lakes area, hook up their boat when they get here, drive the few miles to a public landing (public landing to 3 great lakes are within 3 miles), return their boat to storage after a day on the water, and return home without having to tow their boat the complete distance.

### **Legal form of ownership**

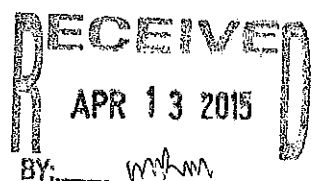
The BoatHouse, LLC has been set up with the State of Minnesota as a limited liability company to bring the concept of year round, indoor boat storage to the area and bring the dream of starting a small business to life.

### **Property**

I am working with Cheryl Freitag of Orion Development to purchase a 5.23 acre parcel that is close to Cape Horn and the Jefferson Lakes area. A concept plan has been developed proposing to build five storage buildings (four of the buildings will be 60'x150', and the fifth building will be 60'x140' to stay out of the 1000' buffer of the lake that is zoned recreational residential) that will accommodate 148 storage bays. The buildings will be built in phases with the first two buildings closest to Island Road being built in the first phase. The second and third phases will be completed based on need. The buildings will be built by a professional contractor out of steel material in a color that blends with the natural setting. They will be built to the international building code standard. All buildings will have reinforced poured concrete floors. Gravel will be used as the surface for the driveways and driveway entrances. Numerous deciduous trees (3-4 inch diameter) and coniferous trees (4-5 ft. tall) trees will be planted on the property. Grass buffers will be used around the perimeter of the gravel driveways on the areas that border the right of ways. The building perimeter areas will be landscaped using landscape edging, rock and/or mulch. Ornamental bushes will be planted in certain location in the landscape and other perennials such as daylilies and hostas shall be integrated into the landscaping. I have work with county staff making many changes to the landscape plan to accommodate buffer areas of vegetation and rain gardens to limit runoff. It is a storage facility so therefore there is no need for water or sewer.


### **Products and Services**

- *Storage*
  - a. *Boat Storage: year round and indoors*
  - b. *Recreational Equipment Storage: year round and indoors*



As a member of the Cleveland Township Board and a member of the Cleveland Township Road Authority I have met with Shawn Weick of The BoatHouse LLC and discussed the boat storage project at Jefferson Lake Road (County Road 18) and Island Road. We have discussed the proposed entrances to the property from Island Road and give approval for the project.

Name: John Kluntz

Signature: 

Date: 4-13-15

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APR 13 2015  
BY: mkh



LE SUEUR COUNTY HIGHWAY DEPARTMENT

Application For Access Driveway or Entrance Permit

C.S.A.H./Co. Hwy. No. 18

Name of Twp. Cleveland

SKETCH PROPERTY, PRESENT AND PROPOSED DRIVEWAY AND RELATION TO COUNTY HIGHWAY.

Name of Applicant: Shawn Weick Telephone No.: (612) 214 - 8479

Address: 46324 Cape Horn Rd, Cleveland, MN 56017

Name of Property Owner: Orion Development Inc. Telephone No.: (612) 599 - 8161

Address: 4608 Eastwood Ct, Madison Lake, MN 56063

Location: Co Hwy. No.: 18 in Le Sueur Co. 2 Miles N-S (E)-W of County 15  
(circle one) (Specify Road, or Intersection)

Legal Description of Property Part of government Lot 5, Sec. 1-T109N-R25W

Purpose of Driveway: Farm Residence \_\_\_\_\_ Field \_\_\_\_\_ Business X

Is a Building to be Constructed: Yes X No \_\_\_\_\_ What kind Boat Storage

Possible replacement cost of this pipe will be the responsibility of the owner: Yes/No  
(Circle One)

Will the Building be Temporary: \_\_\_\_\_ Permanent X

Distance from center of highway to front of building is 215 feet.

Is land higher? Higher, Not sure lower? \_\_\_\_\_ or level? \_\_\_\_\_ with highway.  
(show feet & inches) (show feet & inches)

Number of present driveways to property 0 Date Proposed driveway will be needed June 2015

Give exact location to Proposed Driveway to Property: (Give lath to mark center of Proposed Driveway)

Place a Green fiberglass rod @ the location. Close to the "No passing zone" sign ≈ 600ft west of Island Road

I, We, the undersigned, herewith make application for permission to construct the access driveway at the above location, said driveway to be constructed to conform with the standards of the Minnesota Highway Department and to any special provisions included in the permit. It is agreed that all work will be done to the satisfaction of the Le Sueur County Highway Department. It is further agreed that no work in connection with this application will be started until the application is approved and the permit issued.

Access drives onto any public roads shall require a review by the Road Authority. The Road Authority shall determine the appropriate location, size, and design of such access drives and may limit the number of access drives in the interest of public safety.

RECEIVED  
MAR 24 2015  
BY: lmem

Access drives which traverse wooded, steep, or open field areas shall be constructed and maintained to a minimum ten (10) foot width base material depth sufficient to support access by emergency vehicles and have an unobstructed width of not less than fourteen (14) feet and an unobstructed vertical clearance of not less than thirteen (13) feet, six (6) inches. Access drives outside the road rights of ways shall not exceed twelve percent (12%) grade unless approved by the local fire chief.

Access drives shall have a twenty (20) foot long flat grade directly adjacent to the road that drive accesses.

All lots or parcels with dwellings shall have direct adequate physical access for emergency vehicles along the frontage of the lot or parcel from either an existing or dedicated public roadway.

All roads serving more than one (1) lot or parcel with dwellings shall be built to township road specifications or at least sixty six (66) feet wide with a minimum driving surface width of twenty-four (24) feet.

Access drives in excess of one hundred fifty (150) feet shall provide a minimum turn-around of forty (40) feet in width by forty (40) feet in length.

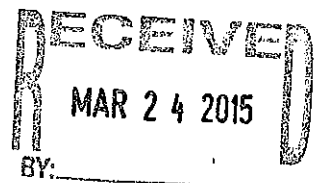
**BE IT RESOLVED:** That the County Highway Engineer is hereby authorized and instructed to control farm and field entrances on all County State Aide Highways, including roads scheduled for new construction, under the following regulations.

- A: One field and one farm entrance shall be allowed per owner or approved additional access at no cost to owner.
- B: A permit shall be required on all additional entrance requests.
- C: All new culverts and aprons on additional entrance requests shall be furnished by the private owner, and constructed according to the Engineer's specifications.
- D: All new culvert materials and aprons shall become the property of the County Highway Department and entrances shall be maintained by same.
- E: There shall be no distinction for entrances with or without culvert.
- F: The relocation of existing entrances shall be accomplished at the private owner's expense and according to the Engineer's specifications, except where the County is proved negligent.

**BE IT RESOLVED:** That the design standards for County Roads be the same as those currently listed in State Aid Rules for County State Aid Highways.

2/4/15  
Date

Shawn Weid  
Signature of Applicant





**Office Use Do Not Write On This Page.**

**\*NOT VALID UNLESS SIGNED AND NUMBERED\***

Access Driveway or Entrance Permit: 2015003  
Permit No.

Permission is hereby granted for the construction of the driveway as described in the above application, said driveway to be constructed in accordance with the Minnesota Highway Departments Driveway Standard Plate Nos. 9000B and 9001A and subject to the requirements on the next page and the following special provisions:

\* Final location of entrance must be coordinated with Le Sueur County Engineering staff at time of construction to avoid conflict with signing of NO PASSING zone.  
It is expressly understood that this permit is conditioned upon replacement or restoration of the County Highway to its original or to satisfactory condition.

2/11/15  
Date

David Ouzg  
Asst. Le Sueur County Highway Engineer

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MAR 24 2015  
BY: MEM

2

Minnesota Business Name  
**The BoatHouse L. L. C.**

Business Type  
**Limited Liability Company (Domestic)**

File Number  
**788498200029**

Status  
**Active / In Good Standing**

Registered Office Address  
**46324 Cape Horn Rd  
Cleveland MN 56017  
USA**

MN Statute  
**322B**

Filing Date  
**10/15/2014**

Renewal Due Date:  
**12/31/2015**

Registered Agent(s)  
**(Optional) None provided**

Filing History

Filing History

10/15/2014

Original Filing - Limited Liability Company (Domestic)

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MAR 24 2015  
BY: *mem*



## The BoatHouse, LLC at Jefferson Lakes - Lease Agreement

This AGREEMENT, made and entered into this (#) day of (Month), (Year), by and between The BoatHouse, LLC., of Cleveland, Minnesota, owner of The BoatHouse, LLC at Jefferson Lakes, hereinafter referred to as LESSOR and (Customer Name), hereinafter referred to as LESSEE.

WHEREAS, LESSOR is the owner of the buildings located in the County of Le Sueur, state of Minnesota, for the purpose of storing boats, items and equipment incidental to boats and boating, and such other items of personal property, equipment and vehicles as LESSOR and LESSEE shall mutually agree; and WHEREAS, LESSEE desires to lease 1 portion(s) of said building for a period of one year increments commencing this 1 day of May 2015, for the purpose of storing (List of Items).

NOW THEREFORE, in consideration of the sum of \$XXX.XX (lease fee) and \$50.00 (refundable key security deposit), LESSOR hereby leases the LESSEE 1 storage spot(s). FURTHER, LESSEE agrees to maintain any of and all insurance said LESSEE may desire as to any items LESSEE shall store in said building and LESSOR shall be held HARMLESS for any and all losses by LESSEE, or anyone in LESSEE's behalf may suffer that is not as a direct result of negligence of LESSOR or his duly authorized agents. It being understood and agreed by the between parties hereto that LESSOR shall not maintain nor be required to maintain any insurance upon items for property of LESSEE and LESSEE shall remain wholly responsible for any and all insurance said LESSEE may desire or losses said LESSEE may incur. LESSOR will provide insurance on the buildings and property. FURTHER, LESSEE agrees to pay replacement costs for any and all damage done to building(s) and property as a result of LESSEE negligence during the lease period.

IN AGREEMENT, LESSEE MAY NOT sub-lease, or let anyone have a key to LESSOR's building(s) without permission of the LESSOR. If LESSEE desires not to lease from LESSOR, LESSEE will advise LESSOR to that affect 30 days prior to end of annual lease, and LESSEE will clean building space(s) and return key(s) to receive key deposit back. SPACES are rented YEARLY and annual payments are NOT REFUNDABLE should LESSEE desire not to lease prior to the lease termination date. LESSEE is responsible for general care of LESSEE storage space; it is to be kept clean and swept once/quarter. NO GARBAGE, OIL, CANS, FOOD or ANYTHING THAT ATTRACTS RODENTS or other ANIMALS is to be left in the storage area or on the property. NO OVERNIGHT CAMPING in buildings or on land.

BOAT MAKE	
SIZE - FT	
TRAILER - FT	
BLDG #	
SPACE #	

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MAR 24 2015

BY: mmem

Shawn E. Weick (Electronic signature)

Shawn E. Weick, Owner

LESSEE Signature

Address

City, State Zip Code

Cell Phone #

Home Phone #

Email Address(es)



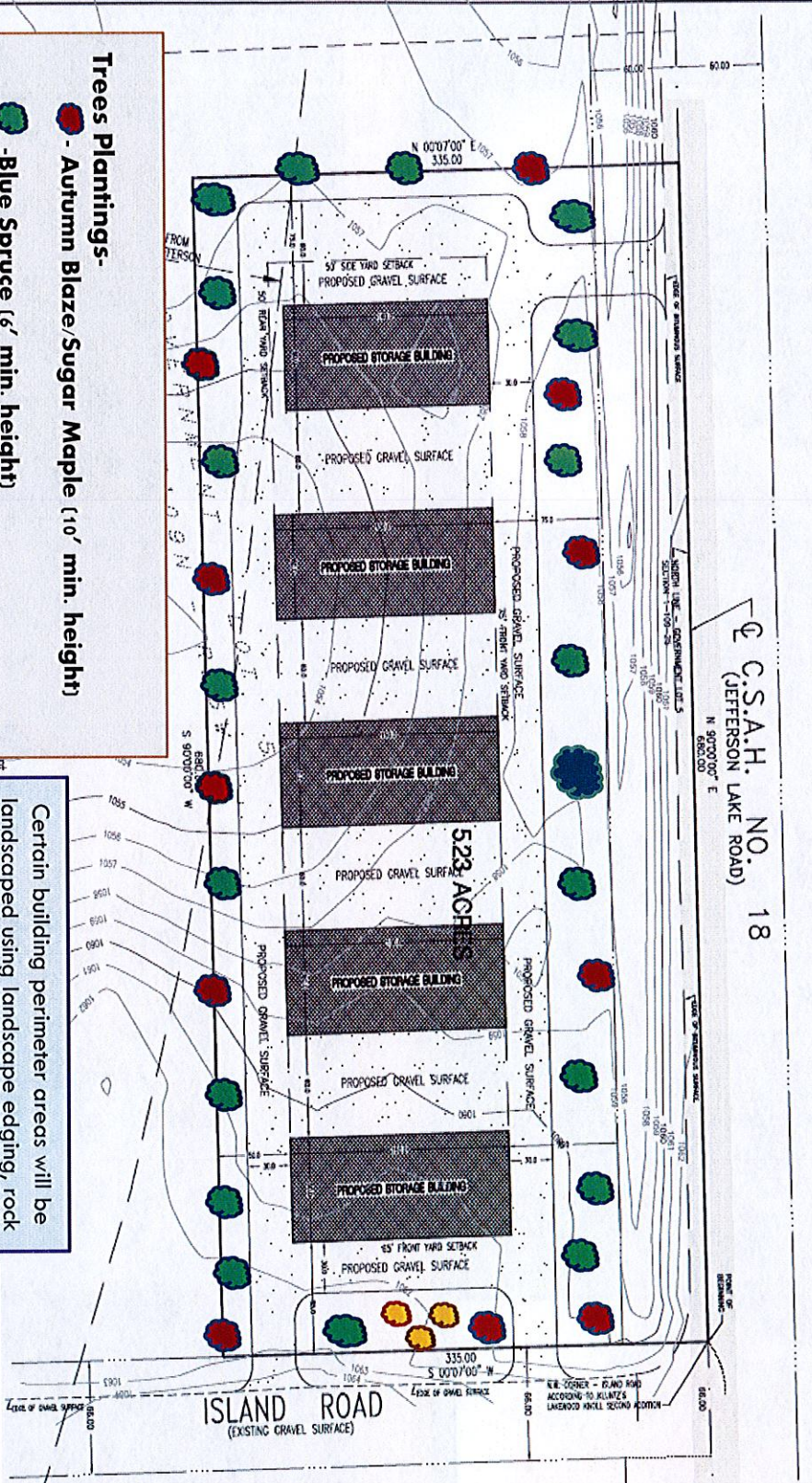








# The Boathouse

@ Jefferson Lakes  
Landscape Plan

C.S.A.H. NO. 18  
(JEFFERSON LAKE ROAD)  
N 90°00'00" E  
600.00'

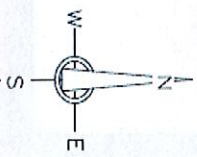


- Trees Plantings-**
-  - Autumn Blaze/Sugar Maple (10' min. height)
  -  - Blue Spruce (6' min. height)
  -  - Austrian Pine (15' min. height)
  -  - Flowering Pear (6' min. height)

Certain building perimeter areas will be landscaped using landscape edging, rock and/or mulch. Ornamental bushes will be planted in certain locations in the landscape and other perennials such as daylilies and hostas shall be integrated into the landscaping.

along the northerly boundary. ALSO subject to any other easements of record.

**RECEIVED**  
APR 13 2015  
BY: *mm*



**The Boathouse @ Jefferson Lakes**  
CONCEPT PLAN  
LE SUEUR COUNTY, MINNESOTA

1111 ST. ANTHONY'S COURT  
MINNETONKA, MN 55345  
PHONE: 952-341-1003

DATE: MAR. 2015  
SCALE: 1"=50'

FOR: WICKI, SHAWN  
FILE: FILE 14887

PART OF GOVERNMENT LOT 5,  
SEC. 1-T109N-R25W

I hereby certify that this survey, plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota.

Signature: WARREN P. SMITH  
Print Name: \_\_\_\_\_  
License No. 142701

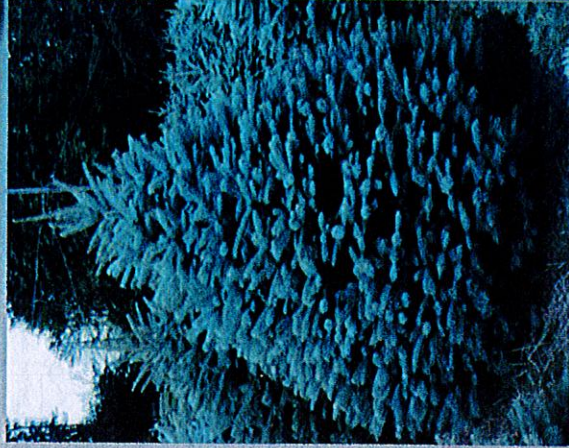




Cleveland Flowering Pear



Autumn Blaze Maple



Colorado Blue Spruce



Austrian Pine



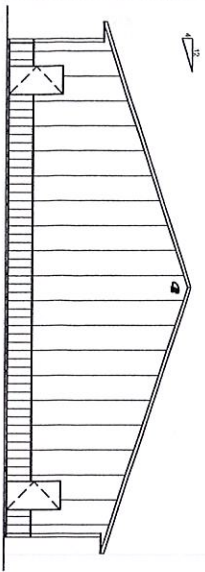
Sugar Maple

RECEIVED  
APR 13 2015  
By: [signature]

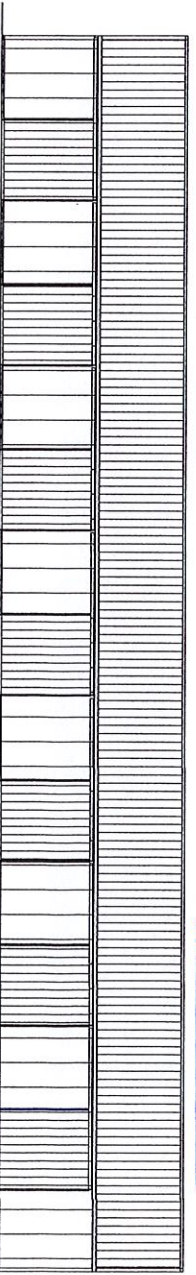


60' X 150' X 12'

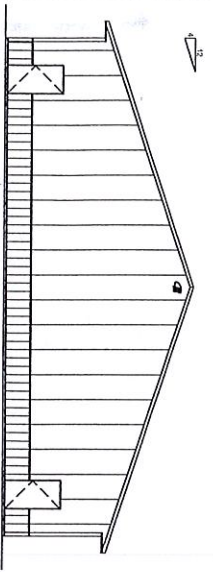
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APR 13 2015  
BY: *mlm*



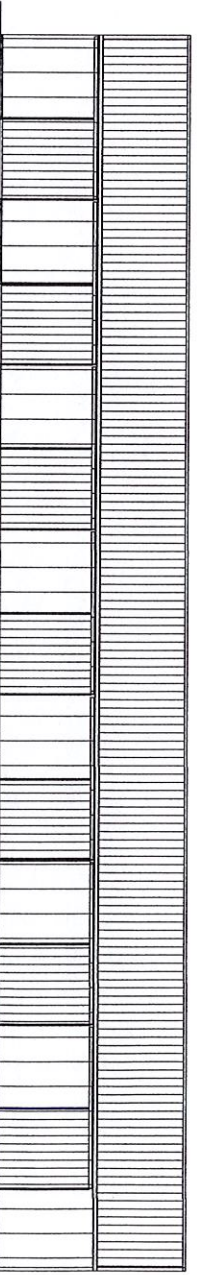
ENDWALL 1



SIDEWALL 1



ENDWALL 2

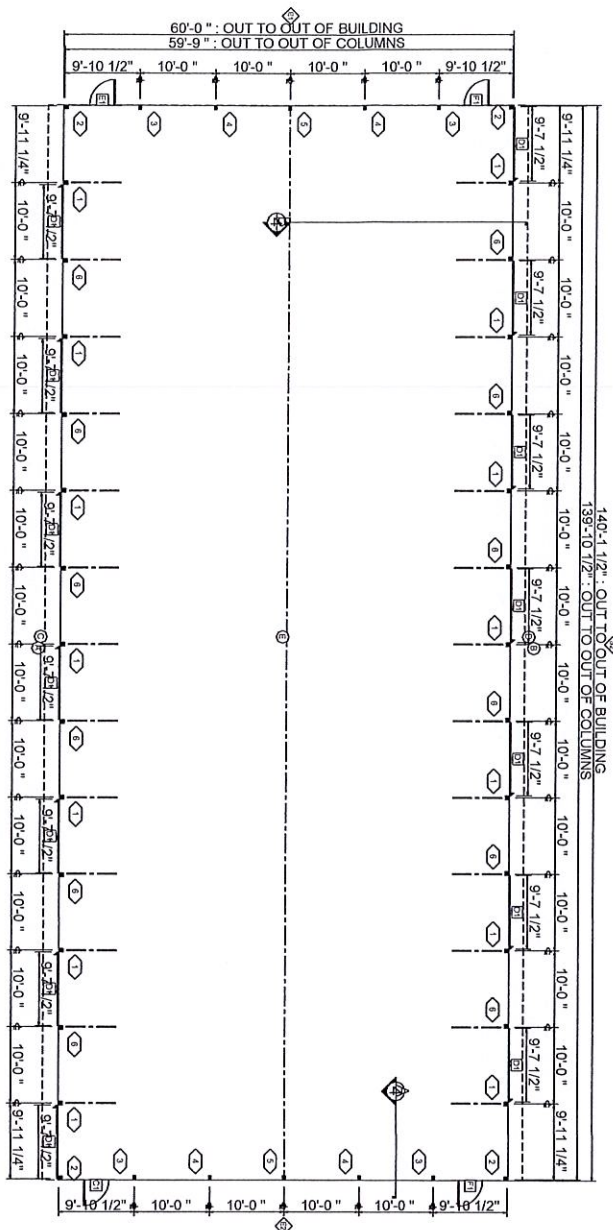


SIDEWALL 2

*1 extra 10' bay on one end wall*

<b>LESTER BUILDINGS</b>	DEALER INFO.	CUSTOMER INFO.	BUILDING DESCRIPTION	Customer Approval	PROJ: 070A-12236-02-00 PROPOSAL DRAWINGS ONLY Not intended for Construction Purposes The information presented in this drawing is based on a preliminary design using the input provided. The final design is subject to Lester Engineering review. * Not To Scale *
Lani Driscoll 889 Kingsway Drive Le Sueur, MN 56058	Shawn Weick Jefferson Lake Rd Cleveland, MN 56017	60'-0" X 150'-1" X 12'-0" Uni-Flex™ Embedded QP031915	DATE: 4/10/2015		

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 APR 13 2015  
 BY: MVM



OPENING SCHEDULE

ID	MODEL	COLOR	NOMINAL	ROUGH	FRAME	FINISH
E1	W/LK DOOR 5100 SOLID	36880	40x81	KC432, KC430, KC471, KC470		
C1	W/LK DOOR 5100 SOLID	36880	40x81	KC432, KC430, KC471, KC470		
D1	1/2" HIGH METAL GLAZ SLIDING	NA	120x144	118, 9x133		
F1	W/LK DOOR 5100 SOLID	36880	40x81	KC432, KC430, KC471, KC470		

COLUMN SCHEDULE

ID	PART	SHAPE	LENGTH	BASE	FOOTING	TYPE	YDS/BGS	DET	ANCHOR	TYPE	BRS/BLTS	DET
1	691230	F86866	20'-0"	-61	10' X 32'	POURED	0.1724	EF203	BLOCK		0	EF211
2	692218	F86866	18'-0"	-52	8' X 18'	POURED	0.0436	EF203	BLOCK		0	EF211
3	692222	F86866	22'-0"	-52	8' X 18'	POURED	0.0436	EF203	BLOCK		0	EF211
4	692226	F86866	26'-0"	-52	8' X 18'	POURED	0.0436	EF203	BLOCK		0	EF211
5	692228	F86866	28'-0"	-52	8' X 18'	POURED	0.0436	EF203	BLOCK		0	EF211
6	C003	F569666	20'-0"	-61	10' X 32'	POURED	0.1724	EF203	BLOCK		0	EF211

*1 extra 10' bay on  
 one end wall*

DEALER INFO.

CUSTOMER INFO.

BUILDING DESCRIPTION

Customer Approval



Lani Driscoll  
 889 Kingsway Drive  
 Le Sueur, MN 56058

Shawn Weick  
 Jefferson Lake Rd  
 Cleveland, MN 56017

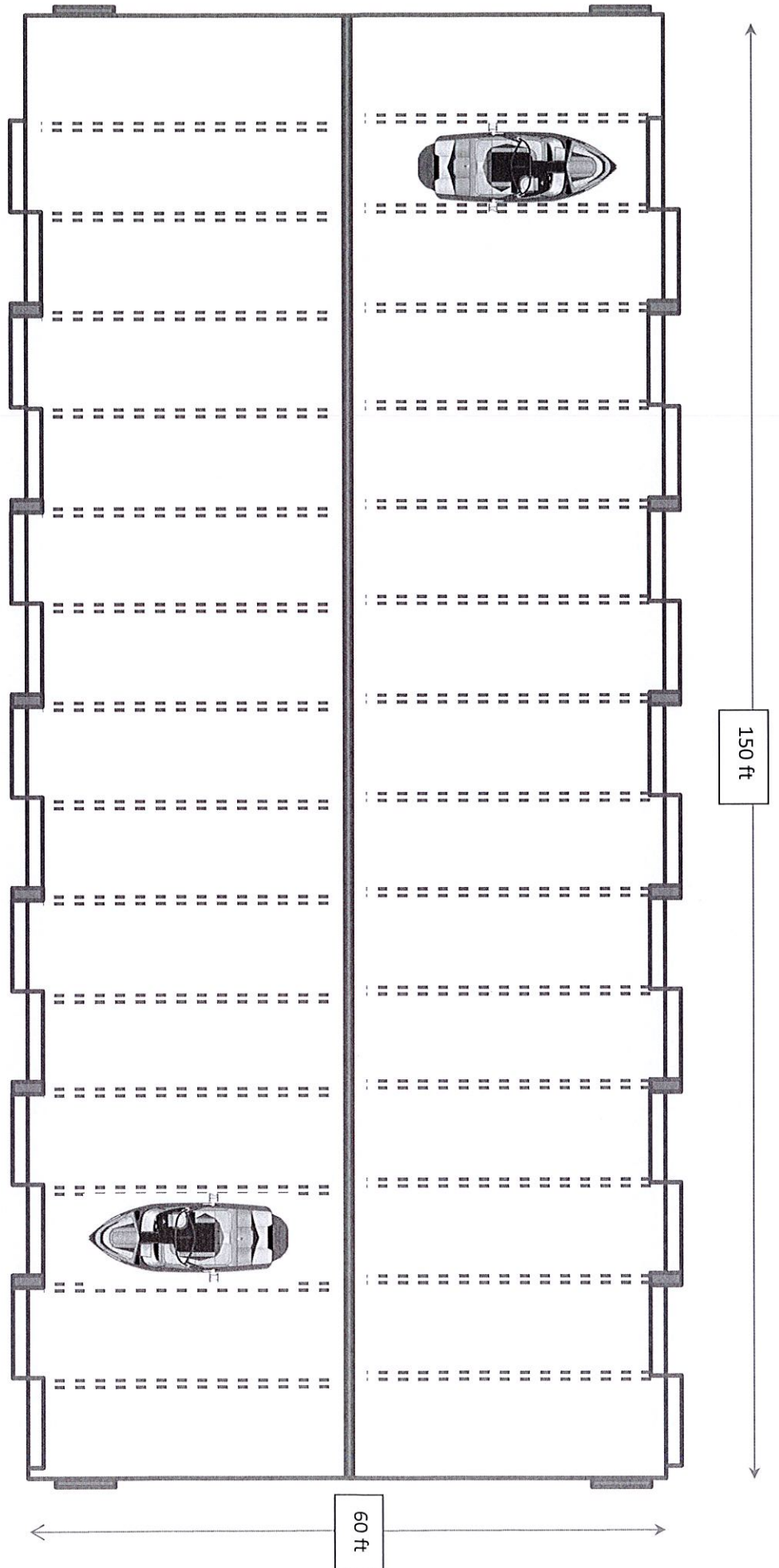
60'-0" X 140'-1 1/2" - 0"  
 Uni-Frame Embedded  
 QP031915

DATE: 4/10/2015

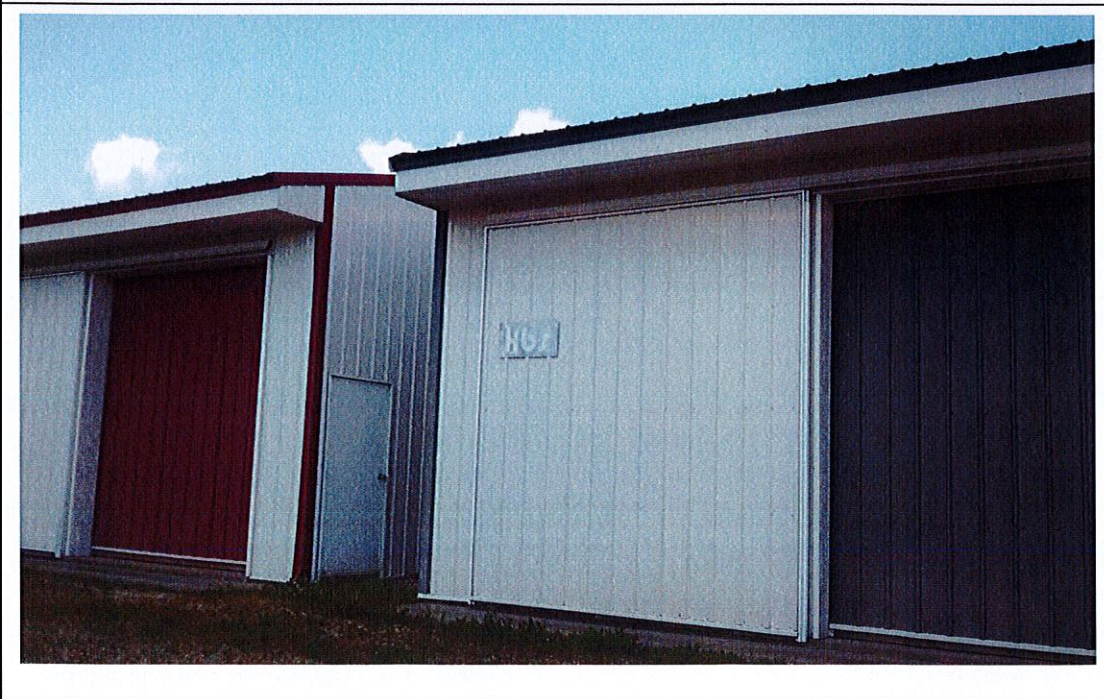
PROJ: 070A-12236-01-00  
 PROPOSAL DRAWINGS ONLY  
 Not Intended for Construction Purposes  
 The information presented in this drawing is based on a preliminary design using the input provided. The final design is subject to Letter Engineering review.  
 \* Not To Scale \*



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APR 13 2015  
BY: mlm



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# **Le Sueur County, MN**

**Thursday, May 14, 2015**

**Regular session**

## **Item 2**

### **Weick, Grading, Filling and Excavating Packet**

Staff Contact: Kathy Brockway or Michelle Mettler



# STAFF REPORT

## GENERAL INFORMATION

**APPLICANT:** SHAWN WEICK  
**OWNER:** ORION DEVELOPMENT

**911 ADDRESS:** NEW Island Road, Cleveland MN 56017

**PROJECT DESCRIPTION:** to allow grading, excavating and filling of approximately 4099 cubic yards of material for grading and stormwater ponds in an in an Agriculture "A" District.

**AG DISTRICT PURPOSE:** The Agriculture (A) District is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils. Rezoning should only be considered on the zone's borders in order to maintain the Zoning integrity of the District. Dwellings that are allowed should be on the edges of the open farmland where possible or utilize existing abandoned farm sites. The total number of Dwellings shall not exceed sixteen (16) per section of land with the exception of Transfer of Development Right and lots of record. Transfer of development rights may be utilized to exceed the permitted housing density of one dwelling per quarter-quarter section (40 acres), provided that the density does not exceed four dwellings per quarter-quarter section in the receiving quarter-quarter section. Lots of Record, shall be exempt from density standards.

**ZONING ORDINANCE SECTIONS:** Section 8, Subdivision3. EE, Section 18

## SITE INFORMATION

**LOCATION:** 5.23 acre parcel from a 34.74 acre parcel, Section 1, Cleveland Township

**ZONING:** Agriculture "A" District

**GENERAL SITE DESCRIPTION:** Ag land

**ACCESS:** County Road/Township Road approved by Road Authorities (see attached documentation)

**EXISTING LAND USE WITHIN ¼ MILE:**

North: Ag	South: Ag/ Residential/Lakeshore
East: Ag/Residential	West: Ag/Residential

## BACKGROUND INFORMATION

See Plans

## TOWNSHIP BOARD NOTIFICATION

The applicant contacted John Kluntz, Cleveland Township Board member on April 12, 2015.

## NATURAL RESOURCES INFORMATION

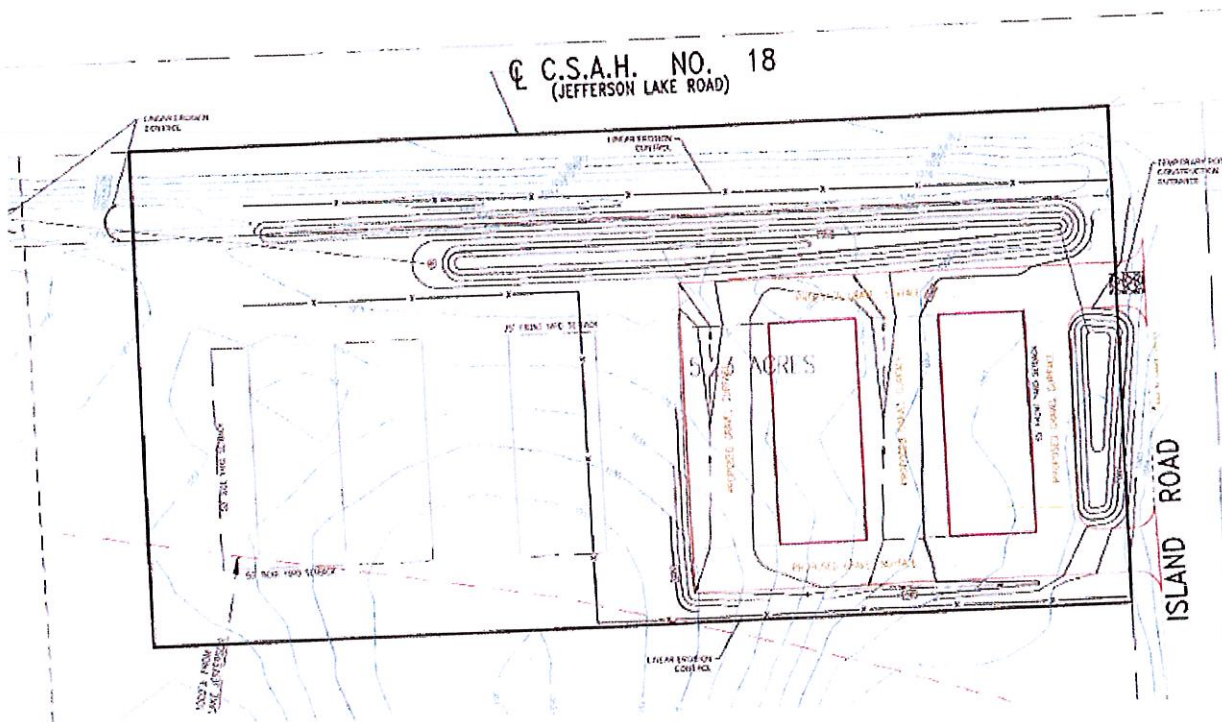
**SHORELAND:** The proposal is not located within the Shoreland District.

**WETLANDS:** According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

## ATTACHMENTS

Site Plan, Narrative, access approvals

## SITE PLAN



## LAND USE APPLICATION PERFORMANCE STANDARDS

- Name of Applicant: Shawn Weick, Cleveland MN (applicant)
- Landowner: Orion Development Inc. Madison Lake MN (owner)
- Legal Description- Attached
- Environmental Impact- will be minimized by implementation of the landscape plan
- Adverse Impact on surrounding area-no impacts to surrounding agricultural land.
- Stormwater runoff- proposed permanent stormwater runoff management will include infiltration/filtration structures.
- Does any part of the project extend below the Ordinary High Water Level- no
- Wetland Impact – none
- Slope Stability –All exposed soils shall be seeded at the earliest possible time to stabilize the soils on a slope.
- Certificate of Insurance- Keeley Landscape and Excavation
- Meets all applicable state and federal regulations- yes, a National Pollutant Discharge Elimination System (NPDES) permit has been filed with the Minnesota Pollution Control Agency (MPCA).

## PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety and welfare.

## PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

*(Please circle one for each item: Agree, Disagree, Not Applicable.)*

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity. A D NA
2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. A D NA
3. The adequate utilities, access roads, drainage and other facilities have been or are being provided. A D NA
4. The adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use. A D NA
5. The adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. A D NA

*Recommend (circle one) approval / denial / table / of Conditional Use Permit.*



# Le Sueur County

## Conditional Use Application-Grading, Excavating & Filling

Activities that involve topographic alterations in all districts shall conform to the standards in Section 18 of the Le Sueur County Zoning Ordinance. Activities within a shoreland district shall conform to the standards in Section 13 of the Le Sueur County Zoning Ordinance.

In addition any activities in any type wetland shall be evaluated in accordance with the Wetland Conservation Act (WCA) regulations, as administered by the Le Sueur County Soil & Water Conservation District (SWCD).

### I. Applicant:

Name Shawn Weick  
Mailing Address 46324 Cape Horn Road  
City Cleveland State MN Zip 56017  
Phone # 612-214-8479 Phone # \_\_\_\_\_

### II. Landowner:

Name Orion Development Inc.  
Mailing Address 4608 Eastwood Ct  
City Madison Lake State MN Zip 56063  
  
Property Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_ Phone # \_\_\_\_\_

### III. Parcel Information:

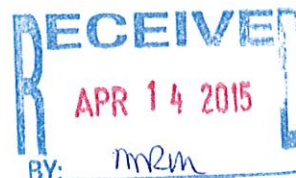
Parcel Number 01.101.1210 split from 01.101.1200 Parcel Acreage 5.23 acres of the 34.74  
Attach Full Legal Description (**NOT** abbreviated description from tax statement) \_\_\_\_\_  
Township 109 Section 1  
Subdivision \_\_\_\_\_ Lot 5 Block \_\_\_\_\_

### IV. Township Notification: Township must be notified of proposed use prior to application.

Cleveland Township notified on 4/12/15  
(Township Name) (Date)  
Board Member John Kluntz regarding the proposed use.  
(Name)

### V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**



1



**VI. Fees: Must be paid at the time of application.**

Conditional Use Permit \$ 750 After-The-Fact fee is doubled.  
 Filing Fee \$ 46

**Additional Fees:**

Special Meeting \$ 2,000  
 After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

**VII. Type of Request: Grading, Excavating or Filling.**

**Non-Shoreland** Cubic yards of material movement: \_\_\_\_\_  
 Within Bluff Impact Zone Cubic yards of material movement: \_\_\_\_\_  
 Within Bluff Cubic yards of material movement: \_\_\_\_\_  
**TOTAL cubic yards of material movement:** \_\_\_\_\_

**Shoreland- Outside Shore Impact Zone** Cubic yards of material movement: \_\_\_\_\_  
 Within Shore Impact Zone Cubic yards of material movement: \_\_\_\_\_  
 Within Bluff Impact Zone Cubic yards of material movement: \_\_\_\_\_  
 Within Bluff Cubic yards of material movement: \_\_\_\_\_  
**TOTAL cubic yards of material movement:** \_\_\_\_\_

Assurance security shall be required for projects that are >1500 cubic yards.

**VIII. Description of Request:**

- a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.
  1. ENVIRONMENTAL IMPACT: Any environmental impact will be minimized by implementation of the landscape plan
  2. ADVERSE IMPACT ON SURROUNDING AREAS: There will be no adverse impact to the surrounding agricultural land use
  3. STORMWATER RUNOFF: Permanent stormwater runoff management will include infiltration/filtration structures
  4. DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL: No, project area is not in the shoreline district
  5. WETLAND IMPACT: There are no wetlands present in the project area
  6. SLOPE STABILITY: All exposed soils shall be seeded at the earliest possible time to stabilize soils on a slope
  7. CERTIFICATE OF INSURANCE: A certificate of insurance from Keeley Landscape and Excavation
  8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:  
 (For example additional licensing and/or permitting) a National Pollutant Discharge Elimination System permit has been filed with the Minnesota Pollution Control Agency

**IX. Site Plan:** Shall include but not limited to the following:

- Parcels < 5 AC = 2-foot contours depicting existing and proposed topography.
- Parcels 5-20 AC = 5-foot contours depicting existing and proposed topography.
- Parcels >20 AC = 10-foot contours depicting existing and proposed topography.
- Location of grading, excavating, and/or filling sites.
- Location of areas for obtaining fill or disposing of excavated materials.
- Tree inventory of all trees, indicating trees to be cut or removed.  
 (Caliper of 6 inches or greater measured 4.5 feet from ground level).

- |                                      |           |                       |                            |
|--------------------------------------|-----------|-----------------------|----------------------------|
| • North point                        | • Lake    | • Existing Structures | • Septic system            |
| • Setbacks                           | • River   | • Proposed Structures | • Well                     |
| • Property Lines                     | • Wetland | • Lot Dimensions      | • Access (size & location) |
| • Road Right-Of-Way                  | • Stream  | • Ponds               | • Easements                |
| • Landscape, screening and buffering |           |                       | • Drainage                 |

• Site plan & As-Built must be completed by a surveyor or professional engineer.

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 APR 14 2015  
 BY: MEM

**X. Restoration Plan:** Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD)*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Districts)*
  - Root zone of existing trees shall be preserved and protected during development.
  - Replace one tree for every tree that is removed.
  - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

**XI. Attachments:** Shall include but not limited to:

- a. Description of Request-See Part VIII for full details and requirements.
- b. Site Plan-See Part IX for full details and requirements.
- c. Full Legal Description-Not abbreviated description from tax statement.
- d. Access approval-Attach approval in writing from proper road authority. Refer to the Boat Storage CUP
- e. Township Notification-See Part IV for details and requirements.
- f. Septic System Compliance Inspection
- g. Erosion Control Plan-Attach completed and signed plan including map.
- h. Restoration Plan-See Part X for full details and requirements. Refer to the Boat Storage CUP
- i. Approved Stormwater Pollution Prevention Plan
  - Must meet NPDES requirements and prepared by a licensed professional engineer.

**XII. Procedure:**

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

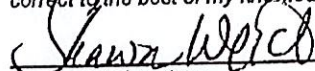
Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

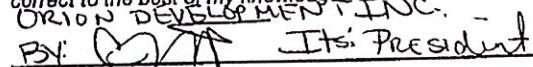
**XIII. Signatures:**

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

  
Applicant signature

4/13/15  
Date

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

ORION DEVELOPMENT, INC.  
BY:  Its President  
Property Owner signature

4/13/15  
Date





OFFICE USE ONLY

Request: GRADING, EXCAVATING & FILLING

- Non-Shoreland
  - Within Bluff Impact Zone
  - Within Bluff

Cubic yards of material movement: 4099  
 Cubic yards of material movement: \_\_\_\_\_  
 Cubic yards of material movement: \_\_\_\_\_

TOTAL cubic yards of material movement: 4099

- Shoreland - Outside Shore Impact Zone
  - Within Shore Impact Zone
  - Within Bluff Impact Zone
  - Within Bluff

Cubic yards of material movement: \_\_\_\_\_  
 Cubic yards of material movement: \_\_\_\_\_  
 Cubic yards of material movement: \_\_\_\_\_  
 Cubic yards of material movement: \_\_\_\_\_

TOTAL cubic yards of material movement: \_\_\_\_\_

Pre-App Date 4-14-15  
 Meeting Date 5-14-15  
 60 Day 6-13-15  
 Zoning District A

Lake Classification \_\_\_\_\_  
 Lake \_\_\_\_\_  
 FEMA Panel # 27079C0 270 D  
 Flood Zone X-outside

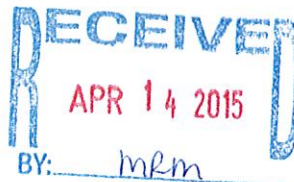
Feedlot 500' 1000' N  
 Wetland Type 1-2 3-8 N  
 Water courses Y N  
 Bluff Y N

- Request Description
- Site Plan
- Full Legal \$2,65
- Ordinance

- Access Approval -Recd CO + TRUP
- Erosion Control Plan
- 
- Other \_\_\_\_\_

- Septic ~~Comp Insp / Design~~
- Meeting Reg / ATF / Spec
- Fee \$ 7910
- Penalty \$ \_\_\_\_\_

Application Complete Michelle R Mettler 4-16-15 15049  
 Planning & Zoning Department Signature Date Permit #



Excavating topsoil – Top soil stripping	3755 cu. yd.
Excavating Clay	2174 cu. yd.
Total excavating	5929 cu. yd.
Fill (embankment) - Clay	2499 cu. yd.
Top soil placement – 12" over grass area	1600 cy. yd.
Total Filling	4099 cu. yd.

This project will end up with needing to haul in 325 cu. yd. of clay to get the project to the elevations drawn, and we will have 2155 cu. yd. of topsoil that will have to be hauled off, sold or stockpiled.

Dennis Odens

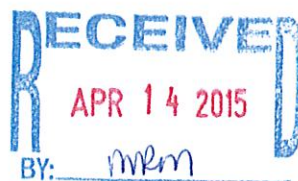
RECEIVED  
APR 16 2015  
BY: mfu

## SWPPP Legal Description

That part of Government Lot 5 in Section 1, Township 109 North Range 25 West, LeSueur County, Minnesota, described as:

Commencing at the North Quarter corner of said Section 1; thence South 90 degrees 00 minutes 00 seconds West, (assumed bearing), along the north line of said Government Lot 5, a distance of 566.11 feet to the northwesterly corner of Island Road according the plat of Kluntz's Lakewood Knoll Second Addition, on file and of record with the LeSueur County Recorder; thence South 00 degrees 07 minutes 00 seconds West, along the westerly line of said Island Road, 335.00 feet; thence South 90 degrees 00 minutes 00 seconds West, along a line parallel with the north line of said Government Lot 5, a distance of 305.00 feet; thence North 00 degrees 07 minutes 00 seconds East, along a line parallel with the westerly line of said Island Road, 230.00 feet; thence South 90 degrees 00 minutes 00 seconds West, along a line parallel with the north line of said Government Lot 5, a distance of 300.00 feet; thence North 00 degrees 07 minutes 00 seconds East, along a line parallel with the westerly line of said Island Road, 90.00 feet to the point of intersection with the north line of said Government Lot 5; thence North 90 degrees 00 minutes 00 seconds East, along said north line, 605.00 feet to the point of beginning.

Said parcel contains 2.65 acres, subject to an easement for County State Aid Highway No. 18 (Jefferson Lake Road), along the northerly boundary. ALSO subject to any other easements of record.







Minnesota Pollution Control Agency

520 Lafayette Road North
St. Paul, MN 55155-4194

Application for General Stormwater Permit for Construction Activity

(NPDES/SDS Permit: MN R100001)

Construction Stormwater Permit Program

Doc Type: Permit Application

Instructions on Page 4

To obtain a Submittal Number, please contact the Construction Stormwater Program staff at 651-757-2119 or 800-657-3804 or by e-mail at csw.pca@state.mn.us. Note: this form will be returned to sender without a Submittal Number granted by the Minnesota Pollution Control Agency (MPCA).

Submittal No.: \_\_\_\_\_

Please read: All permits must be applied for online unless granted a Submittal Number from the MPCA. Sites that disturb 50 acres or more and have a discharge point within one mile of, and flows to, a Special or Impaired Water listed in Appendix A of the Construction Stormwater General Permit must apply using this form with the MPCA-granted Submittal Number, 30 days before the anticipated start date.

This form is for new permit applications only. Use the Notice of Termination/Permit Modification form to transfer permit coverage for a project or a portion of a project to a new owner/contractor. Forms are available at the MPCA's Construction Stormwater website: http://www.pca.state.mn.us/water/stormwater/stormwater-c.html.

Please refer to the application instructions and the National Pollutant Discharge Elimination System (NPDES)/State Disposal System (SDS) General Stormwater Permit for Construction Activity (MN R100001) as you complete this form. Brackets '[' ]' refer to specific parts of the permit.

Submit form and check to: Fiscal Services - 6th floor Minnesota Pollution Control Agency 520 Lafayette Road North St. Paul, MN 55155-4194

Questions: Call the Construction Stormwater Program at 651-757-2119 or toll-free at 800-657-3804.

Application Checklist (check to determine if ready to apply)

1. Stormwater Pollution Prevention Plan (SWPPP):

- a. Has a SWPPP been developed for this project and incorporated into the project's plans and specifications as required in the General Stormwater Permit [Part III.A]? [X] Yes [ ] No
b. If an environmental review was required for this project or any part of a common plan of development or sale that includes this project, has this review been completed and all Stormwater related mitigation measures contained in it incorporated into the SWPPP [Part III.A.6]? [ ] Yes [ ] No [X] N/A

2. Discharges to special or impaired waters:

- a. If any portion of the project has a discharge point within one mile (aerial radius measurement) of a special water or a water that is impaired for sediment or a sediment related parameter [Appendix A, Part B.10], does the SWPPP contain the additional requirements found in Appendix A, Part A-C? If the project does not have a discharge point within one mile of a special water or a water that is impaired for sediment or a sediment related parameter of the permit indicate 'NA'. [X] Yes [ ] No [ ] N/A

Stop if you responded 'No' to any question above. A SWPPP must be developed prior to submitting a permit application. Complete the above requirements and check 'Yes' before submitting this application. Continue if you responded 'Yes' or 'N/A' to all questions above.

3. Additional application review:

- a. Will the project disturb 50 acres or more and is there a discharge point within one mile of an impaired or special water whose discharge may reach an impaired or special water listed in Appendix A of the permit? [Part II.B.1.b] If yes, this application and the SWPPP must be submitted a minimum of 30 days before construction starts. [ ] Yes [X] No
b. If 'Yes,' is the SWPPP (including a map of the project) included with this application or has it been submitted to the MPCA? [ ] Yes [ ] No

4. Application fee:

- a. Is the required \$400 Application Fee (payable to the MPCA) enclosed? [X] Yes



# Construction Activity Information

## 5. Project name:

The Boathouse at Jefferson Lakes - Phase 1

## 6. Project location:

- a. Briefly describe where the construction activity occurs (For example: "Intersection of 45th St. and Irving Ave.") Include address if available:

5 acre agricultural development near the intersection of Lake Jefferson Road and Island Road.

- b. List all of the cities where the project will occur:

Le Sueur County

- c. List all of the counties where the project will occur:

Cleveland Township

- d. List all of the townships where the project will occur:

Mankato

- e. Project zip code: 56017

- f. Latitude and longitude of approximate centroid of project:

Latitude: 44.2824 ° N (decimal) Preferred Longitude: 93.7809 W (decimal) Preferred

\_\_ ° \_\_ ' \_\_ " N (degrees, minutes, seconds) \_\_ ° \_\_ ' \_\_ " W (degrees, minutes, seconds)

- g. Method used to collect latitude and longitude:

GPS  USGS topographic map – map scale: \_\_\_\_\_  Other: Google Earth

## 7. Project size:

Number of acres to be disturbed to the nearest tenth acre: 2.7

## 8. Project type:

- Residential  Residential/Road construction  
 Commercial/Industrial  Commercial/Road construction  
 Road construction  Commercial/Residential/Road construction  
 Other: \_\_\_\_\_

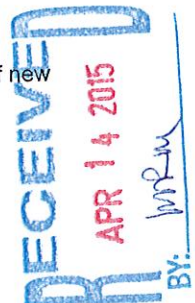
## 9. Cumulative impervious surface:

- a. Existing area of impervious surface in acres: 0
- b. Post-construction area of impervious surface in acres (If additional new impervious surface created by the project is less than one acre, skip to Question 11): 1.4

## 10. Permanent stormwater management:

Check the type (check all that apply) of permanent stormwater management that will be used if one or more acres of new impervious surface area is created by this project [Part III.D].

- Infiltration  
 Stormwater harvest and reuse  
 Filtration  
 Wet sedimentation basin  
 Regional ponding  
 Other (e.g., payment in lieu of onsite treatment, green roofs or other technologies)





**11. Receiving waters:**

Identify surface waters within one mile of project boundary that will receive stormwater from the site or discharge from permanent stormwater management system. Include waters shown on USGS 7.5 minute quad or equivalent, and all Special Waters and Impaired waters identified in Appendix A of the permit (To find Special or Impaired Waters, use the [Special and Impaired Waters Search tool](http://www.pca.state.mn.us/water/stormwater/stormwater-c.html) at <http://www.pca.state.mn.us/water/stormwater/stormwater-c.html>). The Impaired Waters\* list, also known as the Section 303(d) list can be found at <http://www.pca.state.mn.us/water/tmdl/index.html>. Attach additional paper if necessary.

\* Impaired waters for the purpose of this permit are those identified as impaired for the following pollutant(s) or stressor(s): phosphorus, turbidity, dissolved oxygen, or biotic impairment.

Name of water body	Type of water body (Ditch, pond, wetland, stream, river, calcareous fen)	Special Water? (See Stormwater Permit, Appendix A)	Impaired Water? (See Stormwater Permit, Appendix A)
Newly Constructed Rain Garden	rain garden	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Existing County Road Ditch	Ditch	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Natural Waterway	drainage way	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lake Jefferson	Natural Lake	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

**12. Dates of construction:**

Note: For the purposes of this permit, the construction start date is defined as the day land disturbing activity is expected to commence.

a. Start date (mm/dd/yyyy): 5/1/2015      b. Estimated completing date (mm/dd/yyyy): September 2015

**13. Applicant type:**

Select the title below that best describes you as the person completing this application for this Permit.

- Owner of project or site (company)
- Operator/General contractor
- 3rd party agent of behalf of permittee

**Both parties must sign**

*This form will not be accepted if the owner and contractor contact information sections are not completed and signed. Note: If the owner is also the contractor, or a contractor has not yet been selected, the owner must also fill out the contractor information section and sign again.*

**Certification**

**Owner**

Name of firm or organization: The BoatHouse LLC

Mailing address: 46324 Cape Horn RD

City: Cleveland      State: MN      Zip code: 56017

Contact name: Shawn Weick      Title: Owner

Contact phone: (612) 214-8479      E-mail: shawn@weicks.com

Alternate contact: \_\_\_\_\_ Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Operator/General Contractor**

Name of firm or organization: \_\_\_\_\_

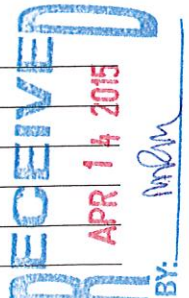
Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip code: \_\_\_\_\_

Contact name: \_\_\_\_\_ Title: \_\_\_\_\_

Contact phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Alternate contact: \_\_\_\_\_ Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_









Impaired waters are bodies of water that do not meet the water quality standards set up for their designated use as determined by the State. Projects discharging to impaired waters also have additional requirements. The additional requirements apply only to those portions of a project that drain to a discharge point on the project that is within 1 mile of and flows to the impaired water. The specific requirements can be found in Appendix A of the permit. Impaired waters for the purpose of this permit are limited to those identified as impaired pursuant to section 303(d) of the Clean Water Act where the pollutant(s) or stressor(s) are phosphorus (nutrient eutrophication biological indicators), turbidity, dissolved oxygen, or biotic impairment (fish bioassessment, aquatic plant bioassessment and aquatic macroinvertebrate bioassessment). Use the interactive [Special and Impaired Waters Search Tool](#) (found on the MPCA Stormwater Program for Construction Activity webpage at <http://www.pca.state.mn.us/wfhya5b>) to determine if your project is required to follow the additional requirements. On the application, indicate if the SWPPP for the project incorporates the additional requirements, if applicable. Consult the MPCA's Minnesota Impaired Waters and TMDLs webpage at <http://www.pca.state.mn.us/xggx950> for additional information including a list of impaired waters.

3. Additional Application Review

- a. If the project disturbs **50 acres or more** and has a discharge point (including sheet flow) that is within one mile of and flows to an impaired or special water listed in Appendix A, the application and SWPPP need to be submitted to the MPCA a minimum of **30 days** prior to the start of construction.
- b. Include the SWPPP with the application or submit it to the MPCA electronically. SWPPPs may be submitted electronically to: [csw.pca@state.mn.us](mailto:csw.pca@state.mn.us) or you may request other electronic means of submittal.

- 4. The application requires a \$400 application **fee**. Indicate that the application fee has been enclosed by answering "**Yes.**" Please make checks payable to: **Minnesota Pollution Control Agency** and submit the check with the completed application to: Fiscal Services- 6<sup>th</sup> Floor, Minnesota Pollution Control Agency, 520 Lafayette Road North, St. Paul, MN 55155-4194. Applications received without the required fee will be returned to the sender.

**Construction Activity Information**

- 5. List the construction project's **name**. Be specific. Examples: "Driveway at 123 Main St, Hudson," "Highway 169 bridge replacement (#79605) at the Rum River."
- 6. Project Location
  - a. Provide an **address** (if available) and **brief description** of the construction activity's location (*for example, "North West Corner of the Intersection of 45<sup>th</sup> Street and Irving Avenue, Minneapolis, MN"*). Use any type of description that accurately portrays the project location.
  - b-e. Provide the names of all cities, counties, zip codes, and townships the construction activity takes place in (*for example, a roadway may cross county, city, or township boundaries*).
  - f. Give the latitude and longitude of the centroid of the site. If the centroid of the site is not within the site, give the latitude and longitude of a point within the site that is closest to the centroid of the site. Give these values in degrees and decimal of degrees (preferred) alternatively in degrees, minutes and seconds. To obtain the decimals of a degree, divide the minutes by 60 and the seconds by 360 and add this to the degrees.
  - g. State how the information was gathered, if by GPS, by using a USGS topographic map (give the scale), or an online tool, such as the Toxics Release Inventory Facility Siting Tool found on the EPA's website at <http://www2.epa.gov/toxics-release-inventory-tri-program>. To use this tool, type either the zip code or the city/township and the state. Zoom in to obtain the latitude and longitude.
- 7. List, in acres, the **amount** of area that will be **disturbed** for this project. This is not the size of the property; do not include areas of the project that will not be disturbed.
- 8. Indicate the type of construction activity by **checking the appropriate box**. Check "Residential and Road Construction" if the road is part of a common plan of development and is developed in association with residential development. If you check "Other", describe the project.
- 9. Indicate to the nearest quarter acre, the existing and resulting **areas of impervious surfaces**. Impervious surface means a constructed hard surface that either prevents or retards the entry of water into the soil and causes water to run off the surface in greater quantities and at an increased rate of flow than prior to development. **Examples** include rooftops, sidewalks, patios, driveways, parking lots, storage areas, and concrete, asphalt, or gravel roads. (a.) "Existing" area means the area of impervious surface that is present prior to the start of this construction project. (b.) "Post construction" means the entire area of impervious surface after construction is completed. Subtract (a.) from (b.) to determine the area of new impervious surface.
- 10. For projects creating one or more acres of cumulative new impervious surfaces, **check the appropriate box** to indicate which type(s) of **permanent stormwater management practices** will be used. The "Other" box is limited to those situations (such as proximity to bedrock) that are described in Part III.D of the permit. See the permit for a further description. If the "Other" box is checked, describe which situation outlined in Part III. D fits the project and what other permanent treatment (such as grassed swales, smaller ponds and/or grit chambers) will be used on the project.





11. **Briefly** describe which **water body(s)** will receive stormwater runoff from the construction site or from the discharge from permanent Stormwater management systems by **completing the table**. To determine which water body(s) will receive stormwater runoff discharges, make a brief survey of the project's surrounding area. Include the waters identified on a USGS 7.5-minute quad or equivalent map. See Appendix A [Special Waters List](#) of this permit to determine if a water body is a special water found on the MPCA Stormwater Program for Construction Activity website at <http://www.pca.state.mn.us/wfhya5b>. Impaired waters for the purpose of this permit are those identified as impaired for the following pollutant(s) or stressor(s) phosphorus (nutrient eutrophication biological indicators), turbidity, dissolved oxygen, or biotic impairment (fish bioassessment, aquatic plant bioassessment and aquatic macroinvertebrate bioassessment). The easiest way to find special or impaired waters in addition to all waterbodies is to use the interactive map tool, [Special and Impaired Waters Search tool](#) (found on the MPCA Stormwater Program for Construction Activity webpage at <http://www.pca.state.mn.us/wfhya5b>).
12. List the **start** and estimated **completion dates** of the construction project.
13. Select the title that best describes the person completing this application for this Permit.

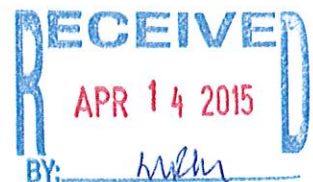
### Responsible Parties

14. **Owner Information:** Provide the information requested of the owner of the company, organization, or other entity for which this construction project is being done. The **Owner** means the person or party possessing the title of the land on which the construction activities will occur; or if the construction activity is for a lease, easement, or mineral rights license holder, the party or individual identified as the lease, easement or mineral rights license holder; or the contracting government agency responsible for the construction activity. **The owner is the party responsible for the compliance with all terms and conditions of the permit.** The **alternate contact** should be the owner's representative in charge of the project that the MPCA can, if needed, contact regarding the SWPPP or the conditions of the construction site.

After completing this application, certify it with a **signature and date** from an individual authorized to sign the application. This application form must be signed by either a principal executive officer, vice president, representative agent responsible for overall operations, general partner, or a proprietor. If the activity is being conducted by a unit of government (state, county, municipality, or township), this application must be signed by a principal executive officer or ranking elected official (**for example**, city or county engineer, administrator, or manager; director of public works; mayor, etc.) For additional information, see Minnesota Rules 7001.0060.

15. **Contractor (Operator) Information:** Provide the information requested of the contractor. The **Contractor** means the party who signs the construction contract with the owner to construct the project described in the final plans and specifications. Where the construction project involves more than one contractor, the general contractor will be the party responsible for managing the project on behalf of the owner. In some cases the owner may be the general contractor. In these cases, the owner may contract an individual as the operator who would be the co-permittee. **The operator (usually the general contractor) is jointly responsible with the owner for compliance with Part II.B., Part II.C., and Part IV of the permit.**

After this application has been completed by the owner, the contractor must certify it with a **signature and date** from an individual authorized to sign the form. The application must be signed by either a principal executive officer, vice president, representative agent responsible for overall operations, general partner, or a proprietor. If the general contractor is a unit of government (state, county, municipality, or township), this application must be signed by a principal executive officer, ranking elected official, administrator, manager, coordinator, or engineer. (For additional information, see Minnesota Rules 7001.0060.) The **alternate contact** should be the contractor's representative in charge of the project that the MPCA can, if needed, contact regarding the SWPPP or the conditions of the construction site.







# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
4/14/2015

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Ross Nesbit Agencies, Inc. 30502 Henderson Station Road P.O. Box 165 Le Sueur MN 56058	CONTACT NAME: <b>Nicolle Kiemele</b>	FAX (A/C. No.): (507) 665-6532	
	PHONE (A/C. No. Ext): (507) 665-6364	E-MAIL ADDRESS: <b>nkiemele@nesbitagencies.com</b>	
INSURED KEELEY FARM DRAINAGE, INC PO BOX 511 ST PETER MN 56082	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A: <b>West Bend</b>		<b>15350</b>
	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		

COVERAGES CERTIFICATE NUMBER: **CL1451435224** REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC			CPN0675157	5/1/2014	5/1/2015	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 200,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS			CPN0675157	5/1/2014	5/1/2015	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Uninsured motorist combined \$ 500,000
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB OCCUR <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$ <input type="checkbox"/>			CUN0717486	5/1/2014	5/1/2015	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	WCN0675158	5/1/2014	5/1/2015	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

**RECEIVED**  
 APR 14 2015  
 BY: *mfm*

<b>CERTIFICATE HOLDER</b>  Le Sueur County 88 Park Ave. S. Le Center, MN 56057	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  <i>[Signature]</i> Gregory Murphy/NK

ACORD 25 (2010/05)  
INS025 (201005) 01© 1988-2010 ACORD CORPORATION. All rights reserved.  
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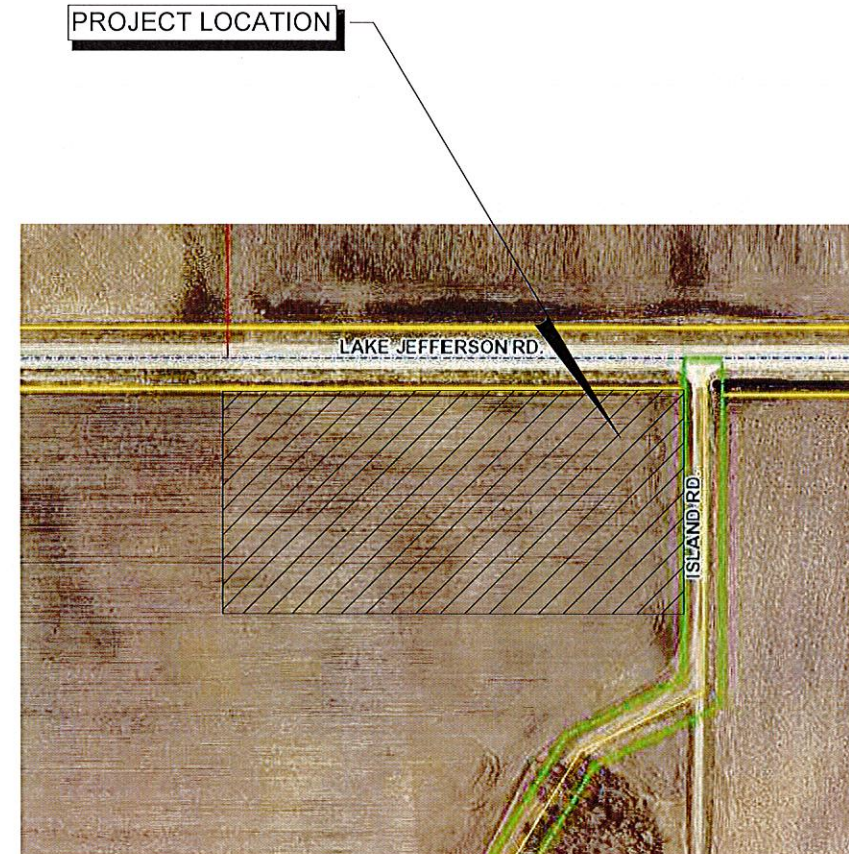
# CONSTRUCTION PLANS FOR THE BOATHOUSE AT JEFFERSON LAKES PHASE I

## INDEX OF SHEETS

SHT. NO.	DESCRIPTION
1.	TITLE AND INDEX OF SHEETS
2.	GENERAL NOTES AND DETAILS
3.	EXISTING SITE LAYOUT
4.	PROPOSED SITE LAYOUT
5.	STANDARD PLATES
6.	STORM WATER POLLUTION PREVENTION PLAN NOTES



North  
PROJECT VICINITY MAP



North  
PROJECT LOCATION MAP  
NOT TO SCALE

## CLEVELAND, MINNESOTA APRIL, 2015

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P.O. BOX 3406  
MANKATO, MN. 56002-3406  
PHONE: 507-345-1003

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DENNIS ODENS, P.E.  
*Dennis Odens*  
DATE: 4-14-15 LIC. NO. 40756

PROJECT TITLE:  
**THE BOATHOUSE AT JEFFERSON LAKES PHASE I**

PROJECT LOCATION:  
CLEVELAND, MINNESOTA

REV.	DATE	DESCRIPTION

DRAWN BY: MBA  
DESIGNED BY: MBA  
CHECKED BY: DGO  
JOB NO: 22109.00.00  
DATE: APRIL, 2015

SCALE REDUCTION BAR

SHEET TITLE:  
**TITLE AND INDEX OF SHEETS**

SHEET NO.:  
**1**

**SITE WORK AND LANDSCAPING SPECIFICATION:**

**1.0 GENERAL:**

**1.1 SCOPE OF THE WORK:**

A. SITE WORK INCLUDING CLEARING, DEMOLITION, EXCAVATION, GRAVEL PAVING AND STORM DRAINS.

**1.2 SPECIFICATIONS WHICH APPLY:**

- A. STATE BUILDING CODE.
- B. GENERAL CONDITIONS, GENERAL REQUIREMENTS, MNDOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION", CURRENT EDITION, THE COUNTY OF LE SUEUR SPECIFICATIONS AND THESE SPECIFICATIONS.

**2.0 SITE WORK:**

**2.1 GENERAL:**

A. THE SCOPE OF THE WORK WILL INCLUDE CLEARING, DEMOLITION, EXCAVATION AND GRADING; CONSTRUCTION OF STORM DRAIN SYSTEM AND INSTALLATION OF GRAVEL PAVEMENT.

**2.2 CLEARING AND GRUBBING:**

A. SHRUBS AND EXCESS VEGETATIVE MATERIAL SHALL BE REMOVED, INCLUDING STUMPS, AND HAULED FROM THE SITE.

**2.3 GRADING:**

A. WORK SHALL INCLUDE - STRIPPING AND REMOVAL OF TOPSOIL AND UNSUITABLE SOILS, INSTALLATION OF ENGINEERED FILL, AND RE-GRADING OF SITE TO INDICATED GRADES.

B. TOPSOIL AND UNSUITABLE SOILS IN THE BUILDING AND PARKING AREA SHALL BE EXCAVATED. THE SUBGRADE SHALL BE EXAMINED BY A SOILS ENGINEER PRIOR TO PLACEMENT OF FILL. THE EXCAVATION SHALL BE MAINTAINED FREE OF WATER AT ALL TIMES.

C. THE BUILDING AREA SHALL BE FILLED TO THE BOTTOM OF THE FLOOR SLAB USING MNDOT 3149.2B SELECT GRANULAR BORROW. FILL SHALL BE PLACED AND COMPACTED BY THE METHOD OF ORDINARY COMPACTION, IN ACCORDANCE WITH MNDOT 2105.3 F2.

D. SALVAGED MATERIAL SHALL BE USED TO FILL GRASSED AREAS, AS REQUIRED, LEAVING ROOM FOR 1'-0" MINIMUM OF TOPSOIL IN THE LANDSCAPED AREAS. UNSUITABLE MATERIALS SUCH AS ROCK, BOULDERS, TREE ROOTS, ETC. SHALL BE REMOVED FROM THE BACK-FILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE HAULED FROM THE SITE.

E. IF THE EXISTING SITE DOES NOT CONTAIN ENOUGH TOPSOIL MATERIAL FOR THE FINISHED SITE, SUITABLE TOPSOIL FROM AN OFF-SITE SOURCE SHALL BE HAULED IN AND PLACED IN ACCORDANCE WITH MNDOT STANDARDS.

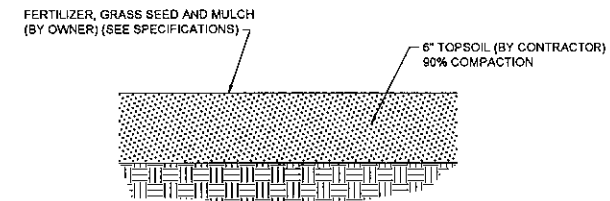
**2.6 STORM DRAINS:**

A. WORK SHALL INCLUDE CONSTRUCTION OF RAIN GARDEN AND PIPE AS SHOWN ON PLANS.

**B. MATERIALS:**

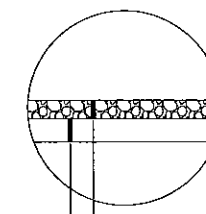
1. PIPE SHALL MEET THE COUNTY OF LE SUEUR REQUIREMENTS. PIPE ON PRIVATE PROPERTY CAN BE DUAL-WALL HDPE OR PVC.
2. SUBSURFACE DRAIN PIPES SHALL BE MNDOT 3278 CORRUGATED POLYETHYLENE OF 3245 THERMOPLASTIC PERFORATED DRAIN PIPE WITH MNDOT TYPE 1 GEO-TEXTILE FILTER WRAP.
3. STORM DRAINS SHALL BE CONSTRUCTED ACCORDING TO THE PLANS AND SHALL COMPLY WITH THE COUNTY OF LE SUEUR REQUIREMENTS.

C. SUBSURFACE DRAINS SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH MNDOT 2505. CARE SHALL BE TAKEN TO AVOID DAMAGE TO DRAINS DURING OTHER CONSTRUCTION. DAMAGED DRAINS SHALL BE REPLACED PRIOR TO PLACEMENT OF CONCRETE SURFACING.



**GRASS SURFACE RESTORATION**

SCALE: NONE



**GRAVEL SURFACING**

SCALE: NONE

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 MANKATO, MN. 56002-3408  
 PHONE: 507-345-1003

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DENNIS ODENS, P.E.

*Dennis Odens*

DATE: 4-14-15 LIC. NO. 40756

PROJECT TITLE:

**THE BOATHOUSE  
 AT  
 JEFFERSON LAKES  
 PHASE I**

PROJECT LOCATION:  
 CLEVELAND,  
 MINNESOTA

REV.	DATE	DESCRIPTION

DRAWN BY: MBA  
 DESIGNED BY: MBA  
 CHECKED BY: DGO  
 JOB NO.: 21009.00.00  
 DATE: APRIL, 2015

SCALE REDUCTION BAR

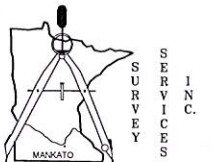
SHEET TITLE:

**GENERAL  
 NOTES  
 AND  
 DETAILS**

SHEET NO.:  
**2**



CONSULTANTS:



531 SOUTH FRONT STREET  
P.O. BOX 3406  
MANKATO, MN. 56002-3406  
PHONE: 507-345-1003

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AT  
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PROJECT LOCATION:

CLEVELAND,  
MINNESOTA

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION

DRAWN BY: MBA

DESIGNED BY: MBA

CHECKED BY: DGO

JOB NO: 22109.00.00

DATE: APRIL, 2015

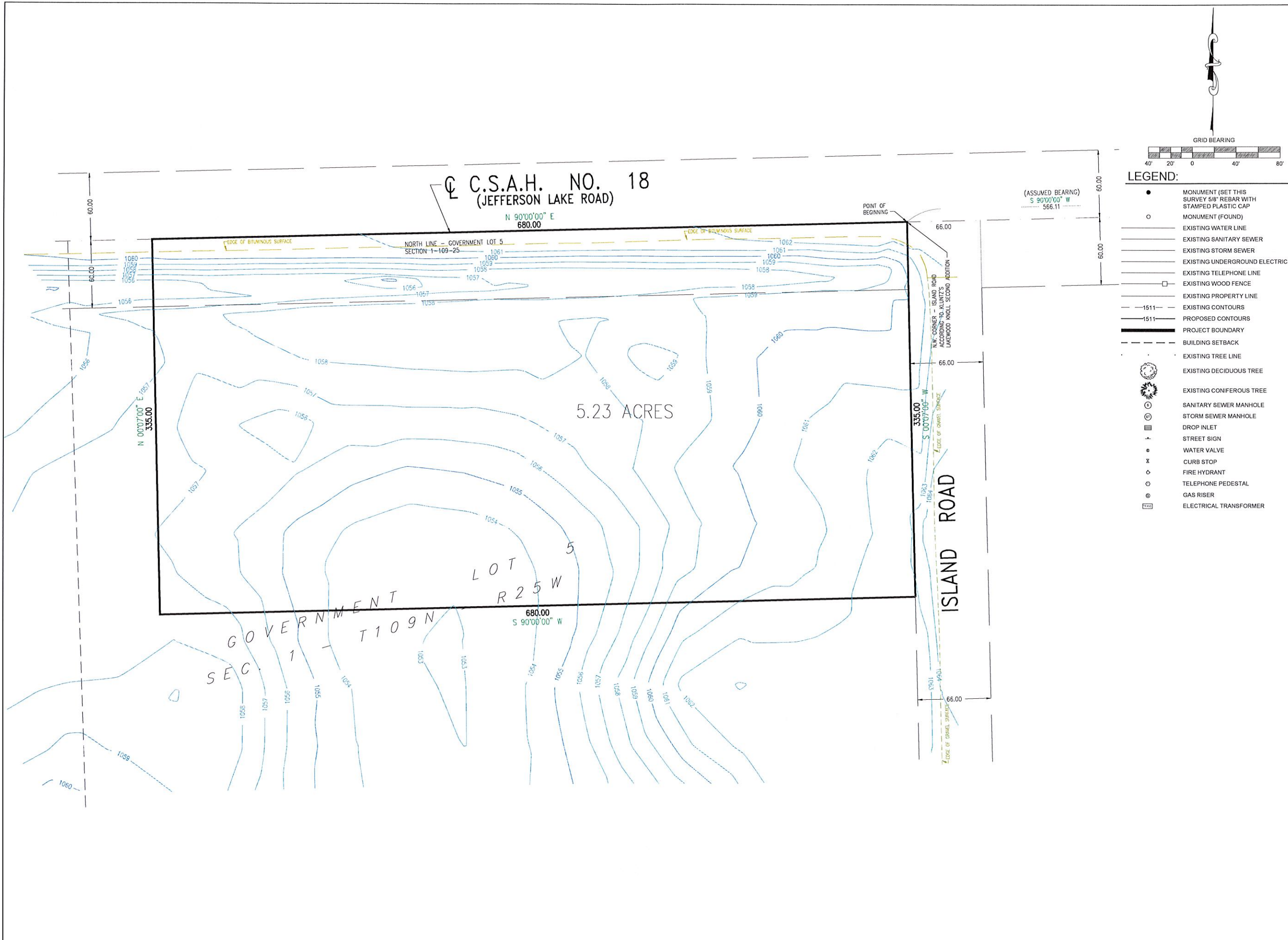
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SHEET TITLE:

EXISTING  
SITE  
LAYOUT

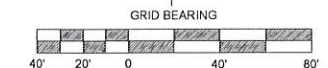
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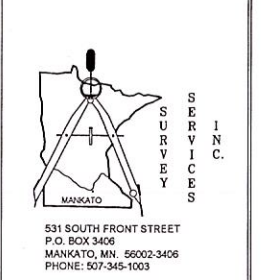
LEGEND:

- MONUMENT (SET THIS SURVEY 5/8" REBAR WITH STAMPED PLASTIC CAP)
- MONUMENT (FOUND)
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE LINE
- EXISTING WOOD FENCE
- EXISTING PROPERTY LINE
- - - EXISTING CONTOURS
- - - PROPOSED CONTOURS
- PROJECT BOUNDARY
- - - BUILDING SETBACK
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- DROP INLET
- STREET SIGN
- WATER VALVE
- CURB STOP
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- GAS RISER
- ELECTRICAL TRANSFORMER



(ASSUMED BEARING)  
S 90°00'00" W  
566.11





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*Dennis Odens*  
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PROJECT TITLE:

THE BOATHOUSE  
AT  
JEFFERSON LAKES  
PHASE I

PROJECT LOCATION:  
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MINNESOTA

REV.	DATE	DESCRIPTION

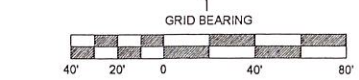
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SCALE REDUCTION BAR

SHEET TITLE:

PROPOSED  
SITE  
LAYOUT

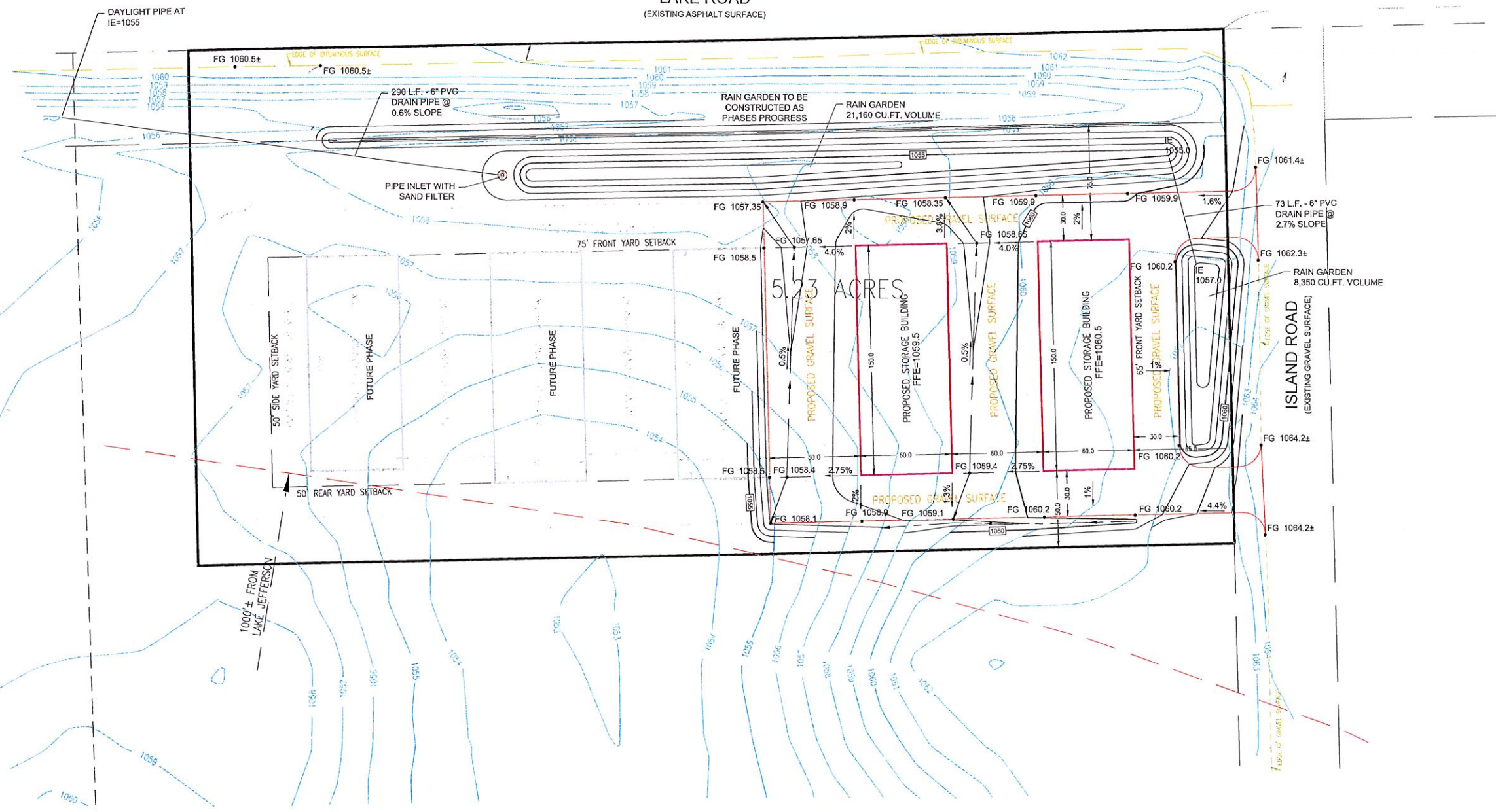
SHEET NO.:  
4



LEGEND:

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- MONUMENT (FOUND)
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE LINE
- EXISTING WOOD FENCE
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- EXISTING CONIFEROUS TREE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- DROP INLET
- ▲ STREET SIGN
- WATER VALVE
- CURB STOP
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- GAS RISER
- ELECTRICAL TRANSFORMER
- TC TOP OF CURB
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- FFG FINISH FLOOR ELEVATION - GARAGE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FL FLOW LINE ELEVATION

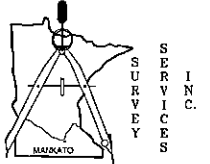
JEFFERSON  
LAKE ROAD  
(EXISTING ASPHALT SURFACE)



Cut/Fill Summary

Name	Cut Factor	Fill Factor	Disturbed Area	Cut	Fill	Net
Phase I volume	1.00	1.15	101458 Sq. Ft.	2174 Cu. Yd.	2499 Cu. Yd.	325 Cu. Yd.<Fill>
Phase I topsoil	1.00	1.10		3755 Cu. Yd.	1600 Cu. Yd.	2155 Cu. Yd.<Cut>





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*Dennis Odens*  
DATE: 4-14-15 LIC. NO. 40796

PROJECT TITLE:

THE BOATHOUSE  
AT  
JEFFERSON LAKES  
PHASE I

PROJECT LOCATION:  
CLEVELAND,  
MINNESOTA

REV.	DATE	DESCRIPTION

DRAWN BY: MBA  
DESIGNED BY: MBA  
CHECKED BY: DGO  
JOB NO.: 22109.00.00  
DATE: APRIL, 2015

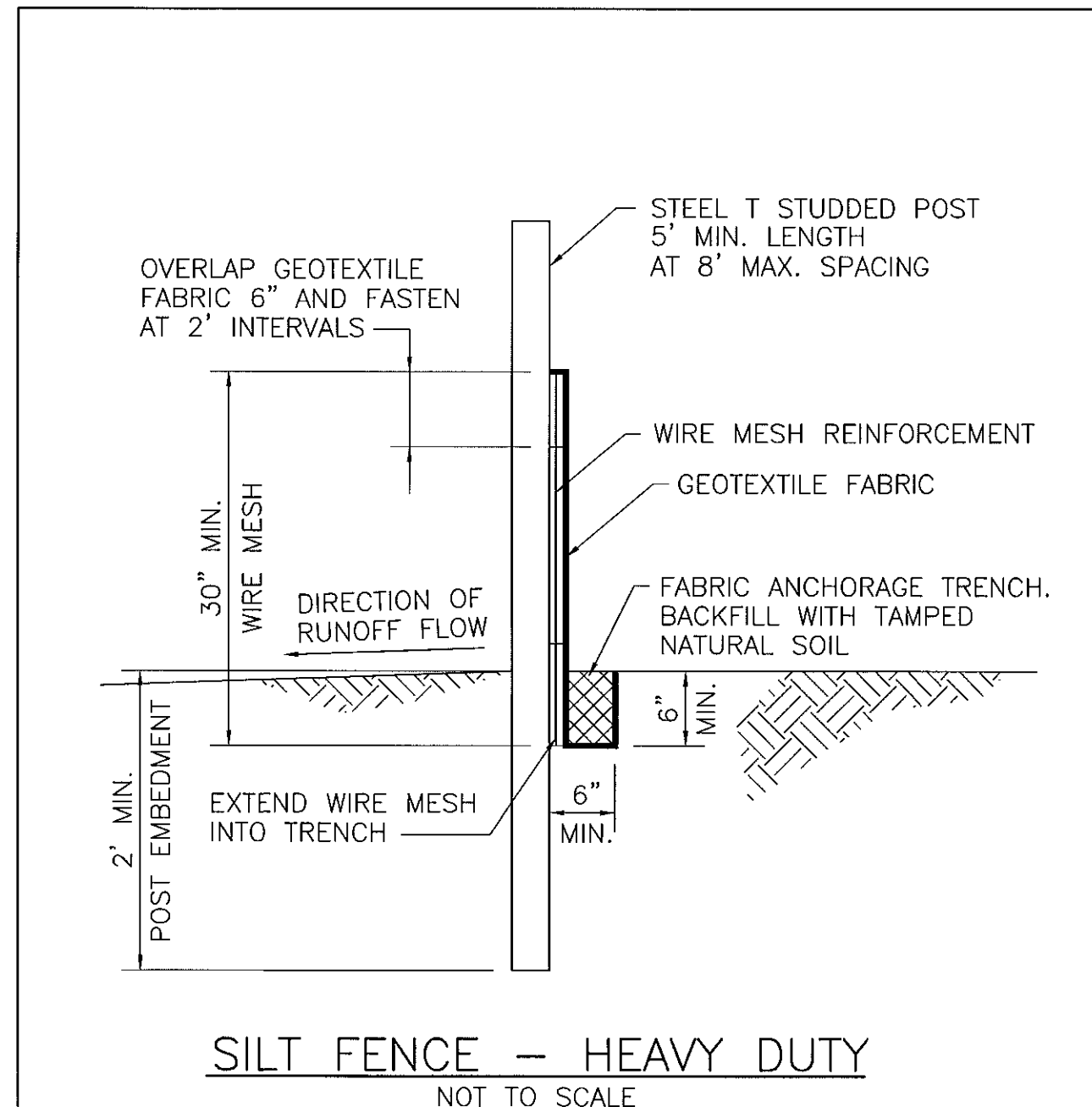
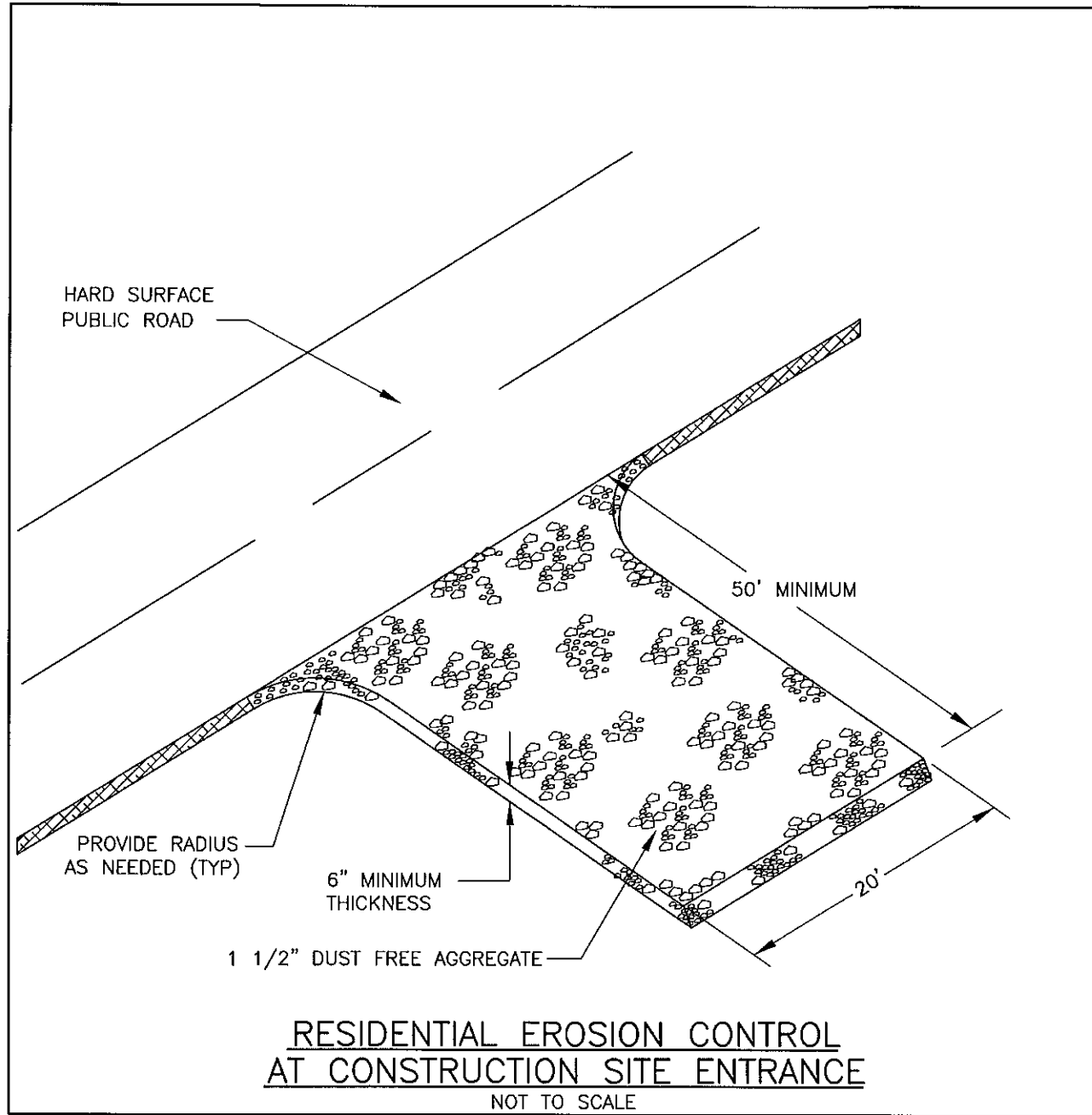


SHEET TITLE:

STANDARD  
PLATES

SHEET NO.:

5





**STORM WATER POLLUTION PREVENTION PLAN NOTES:**

**GENERAL PROJECT INFORMATION:**  
CONSTRUCTION OF TWO BOAT STORAGE BUILDINGS AND GRAVEL PARKING LOT WITH ACCESS DRIVEWAYS  
TOTAL PHASE I SITE AREA IS APPROXIMATELY 2.65 ACRES ON A 5.23 ACRE PARCEL.

**PROJECT NARRATIVE:**  
CONTRACTOR SHALL FURNISH AND INSTALL LINEAR EROSION CONTROL AND CONSTRUCTION ENTRANCES TO REDUCE EROSION AND SILT FROM LEAVING THE CONSTRUCTION ZONE. THE EROSION CONTROL SHALL BE INSTALLED PRIOR TO THE START OF ANY EXCAVATION.

**RESPONSIBLE PARTIES:**  
CONTRACTOR AND OWNER ARE REQUIRED TO APPLY FOR AND RECEIVE A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER CONSTRUCTION PERMIT FROM THE MPCA AT LEAST 7 DAYS PRIOR TO BEGINNING WORK.

CONTRACTOR AND OWNER SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPP.

COMPANY: \_\_\_\_\_ CONTACT PERSON: \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ CONTACT PERSON: \_\_\_\_\_ PHONE: \_\_\_\_\_

**PROJECT AREAS:**  
TOTAL PHASE I PROJECT SIZE (DISTURBED AREA) = 2.65 ACRES  
TOTAL FULL BUILD-OUT PROJECT SIZE (DISTURBED AREA) = 4.4 ACRES  
MINIMUM AREA REQUIRING MPCA PERMIT = 1.00 ACRES

EXISTING AREA OF IMPERVIOUS SURFACE = 0.00 ACRES  
POST PHASE I CONSTRUCTION AREA OF IMPERVIOUS SURFACE = 1.4 ACRES  
POST FULL BUILD-OUT CONSTRUCTION AREA OF IMPERVIOUS SURFACE = 2.8 ACRES

TOTAL NEW IMPERVIOUS SURFACE AREA CREATED = 1.4 ACRES  
MINIMUM AREA OF NEW IMPERVIOUS SURFACE CREATED REQUIRING PERMANENT STORM WATER MANAGEMENT = 1.0 ACRES

**STORM WATER MANAGEMENT:**  
TYPES OF PERMANENT STORM WATER MANAGEMENT THAT WILL BE USED IF MORE THAN ONE ACRE OF NEW IMPERVIOUS SURFACE IS CREATED ARE CHECKED BELOW:  
 WET SEDIMENTATION BASIN  INFILTRATION / FILTRATION  INLET SUMP  
 REGIONAL POND  ALTERNATIVE METHODS

DEAD STORAGE REQUIRED: N/A  
DEAD STORAGE PROVIDED: N/A  
ELEVATION OF MAINTAINED WATER: N/A

WATER QUALITY VOLUME: N/A  
ELEVATION OF WATER QUALITY VOLUME STORAGE: N/A  
SURFACE AREA AT WATER QUALITY VOLUME STORAGE: N/A  
ALLOWABLE DISCHARGE FOR WATER QUALITY VOLUME: N/A  
DESIGNED DISCHARGE FOR WATER QUALITY VOLUME: N/A

**RECEIVING WATERS:**

WATER FROM THE SITE WILL BE CONVEYED TO AN EXISTING ROADSIDE DITCH ALONG JEFFERSON LAKE ROAD AND SOUTH THROUGH AN EXISTING FIELD, INTO AN EXISTING CULVERT AND THEN TO LAKE JEFFERSON.

**OTHER PROJECT INFORMATION:**  
ACCORDING TO THE LE SUEUR COUNTY SOIL SURVEY, THE SOIL TYPES FOUND ON THIS SITE ARE MODERATELY ERODIBLE. WETLANDS ARE NOT KNOWN TO EXIST ON SITE. ALL APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT ANY WETLAND INTEGRITY. THIS PROJECT HAS NOT BEEN REVIEWED BY AN EAW OR EIS.

**CONSTRUCTION ACTIVITY NOTES:**

**EROSION PREVENTION:**  
CONSTRUCTION OF PERIMETER EROSION AND SEDIMENT CONTROL AND INLET PROTECTION SHALL BE COMPLETED BEFORE OTHER CONSTRUCTION ACTIVITY OCCURS.

USE PHASED CONSTRUCTION WHEREVER PRACTICAL AND ESTABLISH TURF AS SOON AS POSSIBLE TO MINIMIZE SEDIMENT TRANSPORT.

TURF ESTABLISHMENT OR TEMPORARY SEEDING OF ALL EXPOSED SOIL NOT BEING ACTIVELY WORKED SHOULD BE PRACTICED FOLLOWING THE STORM WATER POLLUTION PREVENTION PERMIT.

ALL EXPOSED SOILS SHALL BE SEEDED OR SODDED AT THE EARLIEST POSSIBLE TIME TO PREVENT/REDUCE EROSION.

A SEED SHALL BE MNDOT MIXTURE 60B AND SHALL BE PLACED IN ACCORDANCE WITH MNDOT 2575. SEED SHALL MEET MNDOT SPECIFICATION 3876 AND BE APPLIED AT A RATE OF 100 LB/ACRE. MULCH SHALL BE MNDOT 3882 TYPE 3 MULCH. MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE. MULCH SHALL BE DISC ANCHORED. FERTILIZER SHALL BE APPLIED TO SEEDED AREAS INCIDENTAL TO SEEDING. FERTILIZER SHALL BE A 10-10-20 (%N-P-K) APPLIED AT A RATE OF 400 LB/ACRE.

ADDITIONAL EROSION PREVENTION MEASURES MAY BE FOUND IN THE PERMIT AND MPCA'S BEST MANAGEMENT PRACTICES.

**COLD WEATHER PROTECTION:**  
DISTURBED GROUND MUST BE STABILIZED DURING COLD WEATHER WHEN FINAL STABILIZATION AND GROWTH WILL NOT TAKE PLACE UNTIL THE NEXT GROWING SEASON. STRAW IS THE MULCH MOST COMMONLY USED IN CONJUNCTION WITH SEEDING. THE STRAW SHOULD GENERALLY COME FROM WHEAT OR OATS ('SMALL GRAINS'), BUT OTHER SOURCES MAY BE SPECIFIED.

MULCH MAY BE SPREAD BY HAND OR WITH A MULCH BLOWER. STRAW MAY BE LOST TO WIND AND MUST BE CHEMICALLY OR MECHANICALLY ANCHORED TO THE SOIL IMMEDIATELY AFTER IT IS SPREAD. THE FOLLOWING METHODS OF ANCHORING MULCH MAY BE USED:

A MULCH-ANCHORING TOOL IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL. A MULCH-ANCHORING TOOL PROVIDES MAXIMUM EROSION CONTROL WITH STRAW. A REGULAR FARM DISC, WEIGHTED AND SET NEARLY STRAIGHT, MAY BE USED INSTEAD, BUT IT WILL NOT DO A JOB COMPARABLE TO THE MULCH-ANCHORING TOOL. THE DISK SHOULD NOT BE SHARP ENOUGH TO CUT THROUGH THE STRAW. THESE METHODS ARE LIMITED TO SLOPES NO STEEPER THAN 3:1, WHERE EQUIPMENT CAN OPERATE SAFELY. OPERATE MACHINERY ON THE CONTOUR.

A TACKIFIER IS A CHEMICAL BINDER THAT SECURES MULCH TO SOIL. APPLICATION OF TACKIFIER SHOULD BE HEAVIEST AT THE EDGES OF AREAS AND AT CRESTS OF RIDGES AND BANKS, TO RESIST WIND. THE TACKIFIER SHOULD BE APPLIED UNIFORMLY TO THE REST OF THE AREA. A TACKIFIER MAY BE APPLIED AFTER THE MULCH HAS BEEN SPREAD OR IT MAY BE SPRAYED INTO THE MULCH AS THE MULCH IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND A TACKIFIER TOGETHER IS THE MOST EFFECTIVE METHOD. LIQUID BINDERS INCLUDE LATEX, GLUAR GUM, PROTEINS AND AN ARRAY OF COMMERCIALLY AVAILABLE SYNTHETIC BINDERS. ENVIRONMENTALLY INCOMPATIBLE PRODUCTS, SUCH AS TOXIC MATERIALS, SHOULD NOT BE USED. ASPHALT-BASED PRODUCTS ARE NOT ALLOWED IN SOME STATES.

NETTING IS OFTEN USED TO KEEP STRAW MULCH IN PLACE UNTIL VEGETATION BECOMES ESTABLISHED.

SYNTHETIC NET IS MOST COMMONLY USED, BUT JUTE NETS ARE USEFUL IN CHANNEL AND CRITICAL-AREA STABILIZATION. NETS SHOULD BE BIODEGRADABLE, AND DEGRADE WITHIN SIX MONTHS. NETS ARE NOT DESIGNED TO PROVIDE MOISTURE-CONSERVATION BENEFITS OR EROSION PROTECTION. THEREFORE, THEY ARE USED IN CONJUNCTION WITH ORGANIC MULCHES, SUCH AS STRAW.

IN CRITICAL AREAS, NETTING SHOULD ALWAYS BE INSTALLED OVER THE MULCH. HYDRAULIC MULCHES, SUCH AS WOOD FIBER, MAY BE SPRAYED ON TOP OF AN INSTALLED NET. INSTALL NETTING AND MATTING IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**SEDIMENT CONTROL PRACTICES:**  
CONSTRUCTION OF PERIMETER SEDIMENT AND EROSION CONTROL MEASURES AND INLET PROTECTION SHALL BE COMPLETE PRIOR TO LAND DISTURBING ACTIVITIES OCCUR.

**SILT FENCE:** SILT FENCE SHALL CONSIST OF A TEMPORARY WETMATERIAL BARRIER FABRIC ATTACHED TO AND SUPPORTED BY WOVEN WIRE AND WOOD OR STEEL POSTS AND ENTRENCHED INTO THE GROUND. THE SILT FENCE SHALL CONFORM TO MNDOT SECTION 3886.

A ROCK CONSTRUCTION ENTRANCE OR OTHER APPROVED ALTERNATIVE SHALL BE CONSTRUCTED AT THE ENTRY POINT TO THE PROJECT SITE. ROCK CONSTRUCTION ENTRANCE MUST BE 50'X25' (MIN.) OF 2" - 4" CRUSHED ROCK, 8" DEEP.

**DEWATERING AND BASIN DRAINING:**  
DEWATER SEDIMENT-LADEN WATER TO SEDIMENTATION BASINS IF POSSIBLE, OR USE OTHER BMP'S TO PREVENT EROSION WHEN DISCHARGING TO SURFACE WATERS. USE APPROPRIATE ENERGY DISSIPATION MEASURES ON ALL DISCHARGES.

DEWATERING PRACTICES CANNOT CAUSE NUISANCE CONDITIONS, EROSION OR IN RECEIVING CHANNELS OR INUNDATION OF WETLANDS RESULTING IN ADVERSE IMPACTS.

**CONCRETE WASHOUT CONTAINMENT:**  
PROVIDE CONCRETE WASHOUT CONTAINER. THE WASHOUT AREA SHALL BE INSPECTED DAILY TO ENSURE THAT ALL CONCRETE WASHING IS PROPERLY DISPOSED ON IN DESIGNATED CONTAINMENT AREA. THE WASHOUT CONTAINMENT SHALL BE CLEARED WHEN 75% FULL AND HARDENED CONCRETE SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF SITE (DUMPSTER APPROVED RUBBLE SITE OR LANDFILL). WATER FROM THE WASHOUT SHALL BE REMOVED BY VACUUM TRUCK OR OTHERWISE HAULED FROM THE CONSTRUCTION SITE AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE MPCA.

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DENNIS ODENS, P.E.  
*Dennis Odens*

DATE 4-14-15 LIC. NO. 40756

PROJECT TITLE:  
**THE BOATHOUSE AT JEFFERSON LAKES PHASE I**

PROJECT LOCATION:  
CLEVELAND, MINNESOTA

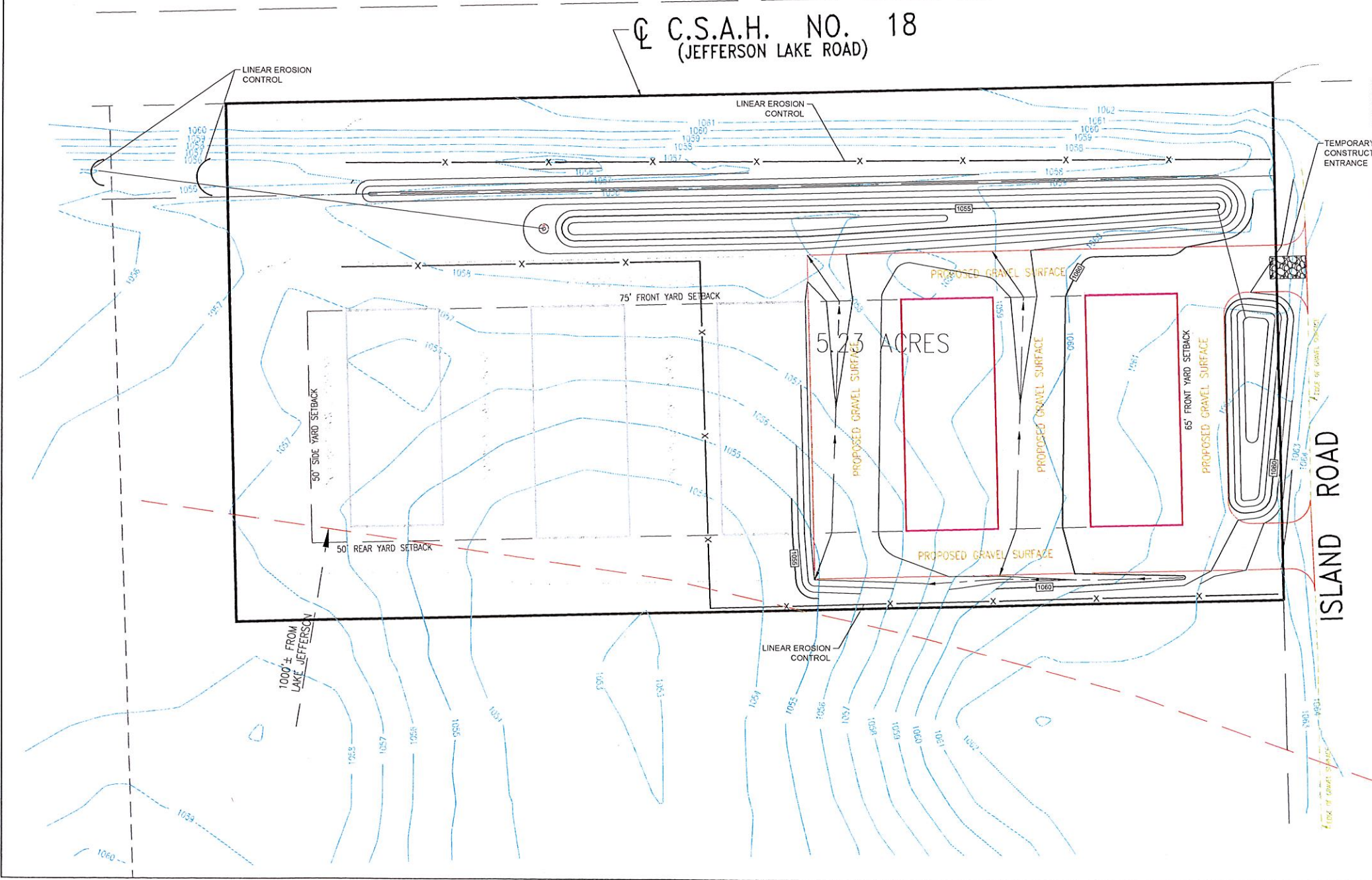
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CHECKED BY: DGO  
JOB NO.: 22109.00.00  
DATE: APRIL, 2015

0 1/2" = 1'  
SCALE REDUCTION BAR

SHEET TITLE:  
**STORM WATER POLLUTION PREVENTION PLAN NOTES**

SHEET NO.:  
6







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# Le Sueur County, MN

Thursday, May 14, 2015

Regular session

## Item 1

### Draft Minutes

Staff Contact: Kathy Brockway or Michelle Mettler

**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION**  
**88 SOUTH PARK AVE.**  
**LE CENTER, MINNESOTA 56057**  
**April 9, 2015**

**MEMBERS PRESENT:** Don Reak, Jeanne Doheny, Don Rynda, Shirley Katzenmeyer, Steve Olson, Doug Krenik, Al Gehrke, Betty Bruzek, Pam Tietz

**MEMBERS ABSENT:** Chuck Retka

**OTHERS PRESENT:** Kathy Brockway, Commissioners

The meeting was called to order at 7:00 PM by Chairperson, Jeanne Doheny.

**ITEM #1: BEAVER DAM RESORT, CLEVELAND, MN, (APPLICANT); CHARLES FENGER & BRIAN TIMM, SANBORN, MN (OWNERS):** Request that the County grant a Conditional Use Permit to allow the applicant to operate a Tavern and an Off-Sale Liquor Store at an existing campground in a Recreational Commercial "RC" District on a Recreational Development "RD" lake, German Lake. Property is located in Government Lot 1, Section 5, Elysian Township.

Kathy Brockway presented power point presentation. Chuck Fenger and Brian Timm were present for application.

TOWNSHIP: Notified the township per the application process. DNR: No Comments  
LETTERS: none.

PUBLIC COMMENT: Tom Christianson, landowner in the area, supports the application, will be a great asset to area. Ed Bisek, former landowner, bar/store has been part of the campground for over 65 years, supports the application.

Discussion was held regarding: 3/2 products to be sold, no patio area, several picnic tables, adequate parking, quiet hours for the campground, normal hours per licensing requirements.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.* **Agreed**
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.* **Agreed**
3. *Adequate utilities, access roads, drainage and other facilities are being provided.* **Agreed**
4. *Adequate measures will be taken to provide sufficient off-street parking and loading space to serve the proposed use.* **Agreed**
5. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.* **Agreed**

Motion was made by Don Reak to approve the application as written. Seconded by Don Rynda. Motion approved. Motion carried.

**ITEM #2: GENESIS GROWING SOLUTIONS, CLEVELAND, MN, (APPLICANT); GENESIS GROWING SOLUTIONS, CLEVELAND, MN, (OWNER):** Request that the County grant a Conditional Use Permit to allow grading, excavating, and filling of 34,200 cubic yards of material for the construction of a containment berm, stormwater grading, & a filtration basin in an Industrial "I" District. Property is located in the W 1/2, Section 31, Lexington Township.



Kathy Brockway presented power point presentation Joe Spinler and Chris Baker were present for application.

**TOWNSHIP:** George Whipps, Lexington Township Board, township has no objections to the proposal.

**CITY OF LE CENTER:** Chris Collins, City Clerk/Administrator, City has no objections to the proposal.

**DNR:** N/A **LETTERS:** none

**PUBLIC COMMENT:** no comments

Discussion was held regarding: Improvement to the site by adding the stormwater ponds, drainage, Dept. of Ag requirements, gravel hauled in, all other material will be moved within the site, well and septic on site, 2 approved accesses from the State, business has be in operation at this location since the 70's.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity. Agreed*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. Agreed*
3. *Adequate utilities, access roads, drainage and other facilities are being provided. Agreed*
4. *Adequate measures will be taken to provide sufficient off-street parking and loading space to serve the proposed use. Agreed*
5. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. Agreed*

Motion was made by Doug Krenik to approve the application as written. Seconded by Al Gehrke. Motion approved. Motion carried.

Motion was made by Al Gehrke to approve the minutes from the March 12, 2014 meeting by Seconded by Steve Olson. Motion approved. Motion carried.

Motion to adjourn meeting by Don Reak. Seconded by Shirley Katzenmeyer. Motion approved. Motion carried.

Meeting Adjourned.

Respectfully submitted,  
Shirley Katzenmeyer  
Kathy Brockway

*Tape of meeting is on file in the  
Le Sueur County Environmental Services Office*