
Le Sueur County, MN

Thursday, October 9, 2014

Regular Session

Item General1

**Planning and Zoning Commission Public Hearing Notice, Agenda,
Packet, and Minutes**

Staff Contact: Kathy Brockway or Michelle Mettler

**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057
507-357-8538**

NOTICE OF PUBLIC HEARING

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD.

DATE: OCTOBER 9, 2014

TIME: 7:00 P.M.

PLACE: Le Sueur County Environmental Services, 515 South Maple Ave, Le Center, MN.

PURPOSE: To hear testimony from interested parties and consider Rezoning, Amendments and Conditional Use Permit Applications, as provided by the Zoning Ordinance of Le Sueur County, as described below.

Applications are available for review at the Environmental Services Building during normal business hours and on the website on or after **OCTOBER 1, 2014**.

ITEM #1: LE SUEUR COUNTY SOIL & WATER CONSERVATION DISTRICT, (APPLICANT); CRAIG & COLLEEN HANSON, ST PETER, MN (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating and filling of approximately 359 cubic yards of material within the bluff for the construction of a ravine stabilization project in a Conservancy "C" District. Property is located in Lots 28 & 46, Re-Plat Auditor's Subdivision, Section 22, Kasota Township.

APPLICANT OR REPRESENTATIVE MUST BE PRESENT IN ORDER FOR THE APPLICATION TO BE HEARD.

KATHY BROCKWAY, LE SUEUR COUNTY PLANNING & ZONING ADMINISTRATOR
MICHELLE R. METTLER, ASSISTANT PLANNING & ZONING ADMINISTRATOR

**LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
MEETING AGENDA**

ORGANIZATION: LE SUEUR COUNTY PLANNING/ZONING COMMISSION

MEETING DATE: October 9, 2014

MEETING PLACE: Le Sueur County Environmental Service

Beginning Time: 7:00 P.M. **Ending Time:** Approx. 7:30 P.M.

If you CANNOT be at the meeting, contact DENISE at 357-8538

AGENDA:

Meeting Called
to Order.

ITEM #1: LE SUEUR COUNTY SOIL & WATER CONSERVATION DISTRICT, (APPLICANT); CRAIG & COLLEEN HANSON, ST PETER, MN (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating and filling of approximately 359 cubic yards of material within the bluff for the construction of a ravine stabilization project in a Conservancy "C" District. Property is located in Lots 28 & 46, Re-Plat Auditor's Subdivision, Section 22, Kasota Township.

DISCUSSION;

MINUTES-WARRANTS

ADJOURN 7:30 PM

Planning & Zoning Commission Public Hearing Procedure: The Chairman calls the meeting to order, then calls the item to be heard and asks the Applicant or representative present to come to the podium to answer any questions or present any comments. The Chairman opens the meeting to the public. Each speaker comes to the podium and states their name for the record prior to making a statement or posing a question. **All questions or comments are to be directed to the board, NOT THE APPLICANT.** After the public comments the Planning Commission publicly discusses the information and reviews the findings before making a motion. All meetings are recorded.

STAFF REPORT

GENERAL INFORMATION

APPLICANT: SOIL WATER CONSERVATION DISTRICT (SWCD)

OWNER: CRAIG & COLLEEN HANSON

911 ADDRESS: 33401 STATE HIGHWAY 99, ST. PETER MN 56082

PROJECT DESCRIPTION: Request that the County grant a Conditional Use Permit to allow grading, excavating and filling of approximately 359 cubic yards of material within the bluff for the construction of a ravine stabilization project.

ZONING ORDINANCE SECTIONS: Sections 7 & 18

GOALS AND POLICIES:

Goal 2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource areas.

Policy: The County should continue its preservation of significant bluff areas and river valleys through its use of a Conservancy Zone.

SITE INFORMATION

LOCATION: Property is located in Lots 28 & 46, Re-Plat Auditor's Subdivision, Section 22, Kasota Township.

ZONING: Conservancy "C" District

GENERAL SITE DESCRIPTION: Bluff

ACCESS: N/A

EXISTING LAND USE WITHIN ¼ MILE:

North: Wooded/Highway 99/Scattered Residential/Bluff
East: Wooded/Bluff

South: Wooded/Bluff
West: Wooded/Bluff

BACKGROUND INFORMATION

See narrative.

TOWNSHIP BOARD NOTIFICATION

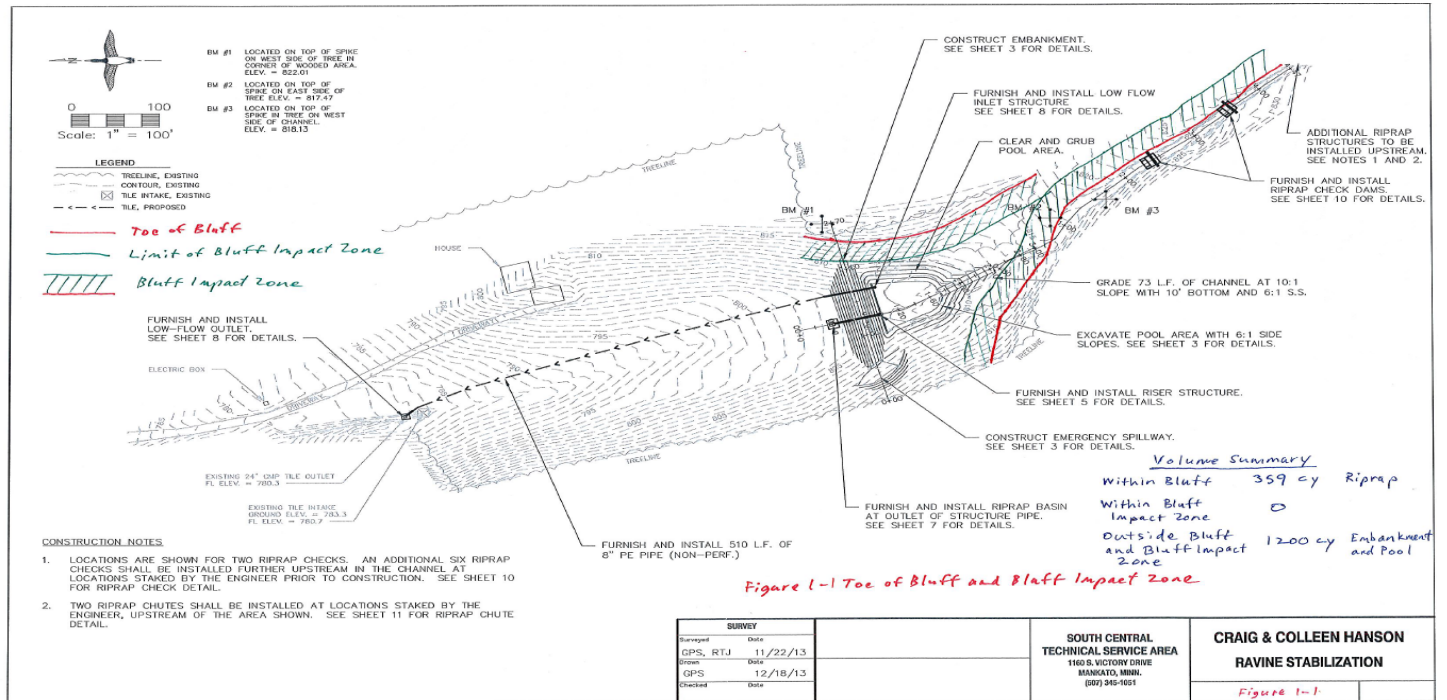
Applicant contacted Daren Barfknecht of the Kasota Township Board on August 19, 2014.

NATURAL RESOURCES INFORMATION

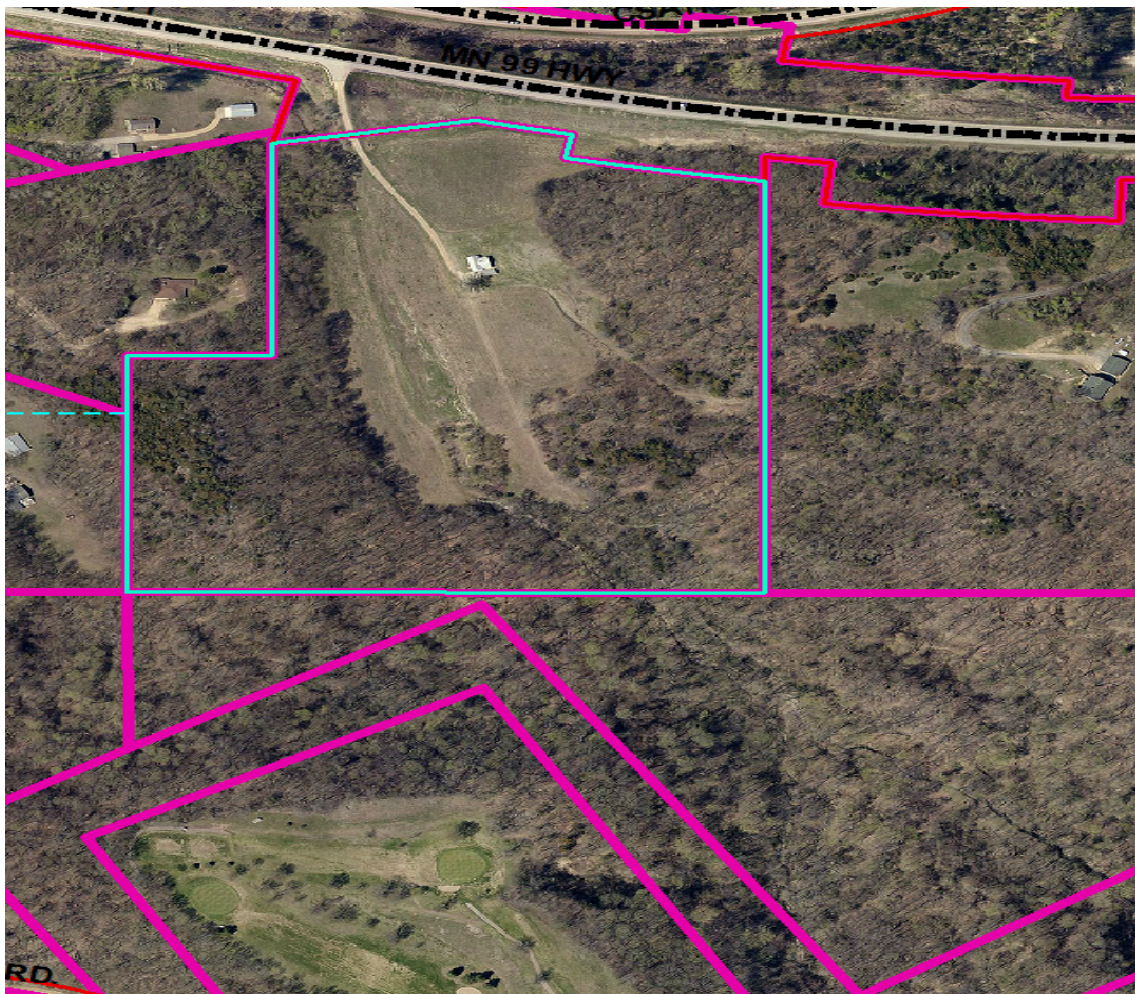
SHORELAND: The proposal is not located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

SITE PLAN



AERIAL PHOTO



ATTACHMENTS

Narrative, Ravine Stabilization Plans, Aerial Photos

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety and welfare.

PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

(Please circle one for each item: **Agree**, **Disagree**, **Not Applicable**.)

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.
A D NA
2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. **A D NA**
3. The adequate utilities, access roads, drainage and other facilities have been or are being provided. **A D NA**
4. The adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use. **A D NA**
5. The adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. **A D NA**

Recommend (circle one) approval / denial / table / of Conditional Use Permit.

CONDITIONAL USE PERMIT

LE SUEUR COUNTY PLANNING AND ZONING

88 SOUTH PARK AVENUE

LE CENTER MN 56057

Direct Dial (507) 357-8538 Fax (507) 357-8541

Mankato (507) 388-5302 St. Peter (507) 931-5751 Metro (952) 445-7543

APPLICATION DATE: 8/19/2014
60 DAY RULING DATE: 10/17/2014

PERMIT NUMBER 14203

FEE: \$46.00

****FEES ARE NON-REFUNDABLE****

APPLICANT: LE SUEUR CO SWCD

PROPERTY OWNER: GRAIG & COLLEEN HANS

ADDRESS: 181 W MN ST

ADDRESS: 525 W WABASHA ST

CITY: LE CENTER

CITY: ST PETER

STATE: MN

ZIP: 56057

STATE: MN

ZIP: 56082

PHONE: 507-357-4879

PHONE: 507-934-6345

PARCEL NO 05.425.0550 & 911: 33401 ST HWY 99, ST PETER

TOWNSHIP: KASOTA

SEC: 22

SUBDIV: NA

ZONE: C

TWP: 110

LOT: NA

FEMA PANEL #: 27079C0235D

RANGE: 26

BLOCK: NA

FLOOD ZONE: X OUTSIDE

QTR/QTR: W/SE &

ROAD: ST HWY 99

I (We), the undersigned, owner(s) and/or applicant(s) of the property described herein, do hereby respectfully petition your Honorable Bodies to grant a Conditional Use Permit, as hereinafter designated, and in support thereof, the following facts are presented:

1.) Reason for Requested Conditional Use Permit.

TO ALLOW GRADING & FILLING OF 1200 CUBIC YARDS IN A BLUFF IMPACT ZONE.

2.) Reason for Approval or Denial of Request as Listed in Findings.

3.) Special Conditions of Conditional Use Permit.

RECORDED LEGAL DESCRIPTION OF PROPERTY MUST BE SUBMITTED PRIOR TO ISSUANCE OF ZONING PERMITS. ADDITIONAL CONDITIONS AS STATED IN RECORD.


APPLICANT/PROPERTY OWNER

LE SUEUR COUNTY PLANNING AND ZONING AUTHORITY

9-17-14
DATE
9-17-14
DATE

PUBLIC HEARING DATE: 10/9/2014	ACTION: _____
<input checked="" type="checkbox"/> AS WRITTEN	<input checked="" type="checkbox"/> WITH CONDITIONS
COUNTY BOARD DATE: _____	ACTION: _____
<input checked="" type="checkbox"/> AS WRITTEN	<input checked="" type="checkbox"/> WITH CONDITIONS

_____ CHAIRMAN, LE SUEUR COUNTY PLANNING AND ZONING COMMISSION	_____ DATE
_____ CHAIRMAN, LE SUEUR COUNTY BOARD OF COMMISSIONERS	_____ DATE

Le Sueur County

Conditional Use Application-Grading, Excavating & Filling

Activities that involve topographic alterations in all districts shall conform to the standards in Section 18 of the Le Sueur County Zoning Ordinance. Activities within a shoreland district shall conform to the standards in Section 13 of the Le Sueur County Zoning Ordinance.

In addition any activities in any type wetland shall be evaluated in accordance with the Wetland Conservation Act (WCA) regulations, as administered by the Le Sueur County Soil & Water Conservation District (SWCD).

I. Applicant:

Name Michael Schultz Le Sueur SWCD
Mailing Address 181 W. Minnesota St.
City Le Centre State MN Zip 56057
Phone # 507-357-4879 Phone # _____

II. Landowner:

Name Craig & Colleen Hanson
Mailing Address 525 W. Wabasha Street
City Saint Peter State MN Zip 56082

Property Address 33401 State Highway 99
City Saint Peter State MN Zip 56082
Phone # 507-934-6345 Phone # _____

III. Parcel Information:

05.425.0650 23.16 ac
Parcel Number 05.425.0771 Parcel Acreage 18.74 ac
Attach Full Legal Description (NOT abbreviated description from tax statement)
Township Kasota 110N 26W Section 22
Subdivision _____ Lot 028/046 Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Kasota Township notified on 8/19/2014
(Township Name) (Date)

Board Member Daren Barfknecht regarding the proposed use. (Left message)
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**

*this is a project of the
Le Sueur County SWCD -*

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is doubled.
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request: Grading, Excavating or Filling.

☒ **Non-Shoreland**

- ☒ Within Bluff Impact Zone
☒ Within Bluff

Cubic yards of material movement: _____
Cubic yards of material movement: _____
Cubic yards of material movement: 359
TOTAL cubic yards of material movement: 359 cy *mem*

☐ **Shoreland- Outside Shore Impact Zone**

- ☐ Within Shore Impact Zone
☐ Within Bluff Impact Zone
☐ Within Bluff

Cubic yards of material movement: _____
Cubic yards of material movement: _____
Cubic yards of material movement: _____
Cubic yards of material movement: _____
TOTAL cubic yards of material movement: _____

☐ Assurance security shall be required for projects that are >1500 cubic yards.

VIII. Description of Request:

- a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.

1. ENVIRONMENTAL IMPACT: Conservation project to improve stability of ravine and remove sediment from runoff.
2. ADVERSE IMPACT ON SURROUNDING AREAS: No.
3. STORMWATER RUNOFF: Project intended to remove sediment from runoff.
4. DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL: No.
5. WETLAND IMPACT: No.
6. SLOPE STABILITY: Improve ravine slope stability.
7. CERTIFICATE OF INSURANCE: Contractor shall be insured.
8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:
(For example additional licensing and/or permitting) Yes.

IX. Site Plan: Shall include but not limited to the following:

- **Parcels < 5 AC =** 2-foot contours depicting existing and proposed topography.
 - **Parcels 5-20 AC =** 5-foot contours depicting existing and proposed topography.
 - **Parcels >20 AC =** 10-foot contours depicting existing and proposed topography.
 - Location of grading, excavating, and/or filling sites.
 - Location of areas for obtaining fill or disposing of excavated materials.
 - Tree inventory of all trees, indicating trees to be cut or removed.
(Caliper of 6 inches or greater measured 4.5 feet from ground level).
 - North point
 - Lake
 - Existing Structures
 - Septic system
 - Setbacks
 - River
 - Proposed Structures
 - Well
 - Property Lines
 - Wetland
 - Lot Dimensions
 - Access (size & location)
 - Road Right-Of-Way
 - Stream
 - Ponds
 - Easements
 - Landscape, screening and buffering
 - Drainage
- Site plan & As-Built must be completed by a surveyor or professional engineer.

2

X. Restoration Plan: Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD)*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Districts)*
 - Root zone of existing trees shall be preserved and protected during development.
 - Replace one tree for every tree that is removed.
 - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

XI. Attachments: Shall include but not limited to:

- ☒ a. **Description of Request**-See Part VIII for full details and requirements.
- ☒ b. **Site Plan**-See Part IX for full details and requirements. *see construction plans*
- ☒ c. **Full Legal Description**-Not abbreviated description from tax statement.
- ☒ d. **Access approval**-Attach approval in writing from proper road authority.
- ☒ e. **Township Notification**-See Part IV for details and requirements.
- ☒ f. **Septic System Compliance Inspection** - *Abandonment*
- ☒ g. **Erosion Control Plan**-Attach completed and signed plan including map. *see construction plan*
- ☒ h. **Restoration Plan**-See Part X for full details and requirements. *see construction plans.*
- ☒ i. **Approved Stormwater Pollution Prevention Plan** *less than 1 AC*
-Must meet NPDES requirements and prepared by a licensed professional engineer.

XII. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.


Applicant signature

8-20-14
Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.


Property Owner signature

8-19-14
Date

Forms completed by: Ryan Jones
Engineer for Le Sueur SWCD

Ryan Jones
8-19-2014

3

OFFICE USE ONLY

Request: GRADING, EXCAVATING & FILLING

<input type="checkbox"/> Non-Shoreland	Cubic yards of material movement: _____
<input type="checkbox"/> Within Bluff Impact Zone	Cubic yards of material movement: _____
<input type="checkbox"/> Within Bluff	Cubic yards of material movement: <u>359</u>

TOTAL cubic yards of material movement: 359

<input type="checkbox"/> Shoreland - Outside Shore Impact Zone	Cubic yards of material movement: _____
<input type="checkbox"/> Within Shore Impact Zone	Cubic yards of material movement: _____
<input type="checkbox"/> Within Bluff Impact Zone	Cubic yards of material movement: _____
<input type="checkbox"/> Within Bluff	Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

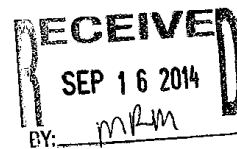
Pre-App Date <u>8-19-14</u>	Lake Classification <u>-</u>	Feedlot <u>500'</u> <u>1000'</u> <u>N</u>
Meeting Date <u>9-11-14</u>	Lake <u>-</u>	Wetland Type <u>1-2</u> <u>3-8</u> <u>(N)</u>
60 Day <u>10-17-14</u>	FEMA Panel # <u>27079C0</u> <u>235</u> <u>D</u>	Water courses <u>(Y)</u> <u>(N)</u>
Zoning District <u>ATC</u>	Flood Zone <u>X-outside</u>	Bluff <u>(Y)</u> <u>(N)</u>

<input checked="" type="checkbox"/> Request Description	<input checked="" type="checkbox"/> Access Approval	<input checked="" type="checkbox"/> Septic <u>Comp Insp / Design</u>
<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Erosion Control Plan	<input checked="" type="checkbox"/> Meeting <u>Reg / ATF / Spec</u>
<input type="checkbox"/> Full Legal	<input type="checkbox"/>	<input type="checkbox"/> Fee \$ _____
<input checked="" type="checkbox"/> Ordinance	<input type="checkbox"/> Other _____	<input type="checkbox"/> Penalty \$ _____

<input type="checkbox"/> Application Complete	<u>Michelle R. Smith</u> Planning & Zoning Department Signature	<u>9-17-14</u> Date	<u>14203</u> Permit #
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Craig Hanson Ravine Stabilization Project is to construct a multiphase project. A sediment catch basin will be excavated with an embankment installed within the field boundary. Secondly phase of the project will install 8 riprap check dams upstream to stabilize cutting in the ravine channel. The project will use existing trails and minimal clearing and grubbing will occur. A contractor will do the work, heavy equipment will be used for the installation of the sediment catch basin, while the check dams will be installed with a small backhoe to minimize additional impacts. The project has been identified MN DOT to reduce soil from the ravine that settles along MN DOT highway Right of Way. MN DOT completes annual maintenance on the sediment in the ROW and this project will minimize future maintenance and road delays.

Michael Schultz | District Technician



ADDITIONAL INFORMATION

CRAIG AND COLLEEN HANSON – RAVINE STABILIZATION PROJECT

AUGUST 18, 2014

VIII – DESCRIPTION OF REQUEST

The proposed project on the Craig and Colleen Hanson property in Kasota Township is intended to stabilize an eroding ravine. The project involves the following:

- Installation of eight riprap checks within the eroded ravine channel. These riprap checks are designed to remove sediment from stormwater, and reduce the slope of the channel and thus the velocity of the runoff.
- Installation of two riprap chutes within the eroded ravine channel. The riprap chutes are designed to control erosion in two locations where there is significant grade change in the channel. Using riprap to control the grade change helps to keep the channel from eating back farther up into the ravine.
- Construction of a sediment basin at the end of the ravine channel. The basin will provide additional treatment of stormwater discharging from the ravine channel. The basin is equipped with a low-flow outlet (8-inch pipe) as well as a 30-inch diameter metal intake structure. Outlets from the basin are protected with riprap.
- Total disturbance is estimated at less than one acre.

Construction operations are summarized below:

- Access will be via the existing driveway off of T.H. 99.
- Construction equipment will likely include an excavator or mini-excavator, tandem dump trucks, compactor, front-end loader, and a dozer.
- Locations for riprap checks will be determined in the field by the engineer and the contractor, with input from the owner, based on ease of access for equipment.
- A minor amount of clearing will be required to access some of the riprap check locations. Removal of dead trees will be necessary.
- Scrub trees and shrubs will be removed from the site of the proposed sediment basin pool prior to construction.
- Topsoil will be salvaged and replaced on top of the proposed sediment basin embankment.
- It anticipated that clay fill material for the sediment basin will need to be brought from off-site.
- Disturbed areas will be seeded and mulched after construction is complete.

X – RESTORATION

The plans call for 6-inches of topsoil on the embankment and disturbed areas.

The plans include seeding and mulching of disturbed areas.

LE SUEUR COUNTY ENVIRONMENTAL SERVICES
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057-1620
(507) 357-2251
FAX (507) 357-8541

Erosion and Sediment Control Plan

Goal: To control erosion and prevent sediment and other pollutants from entering the lakes, streams, wetlands, and storm drain systems during construction.

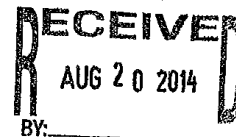
Property Owner: Craig and Colleen Hansen PID: 05-425-0550
Mailing Address: 525 West Wabasha Street Saint Peter
Property Address: 33401 State Hwy 99 Saint Peter
Phone: (507) 934-6345 Mobile/Cell: ()

Responsible party for Implementation/Inspection: contractor to be determined.
Address: _____
Phone: () Mobile/Cell: ()

Erosion & Sediment Control Measures

Construction inspection by Le Sueur SWCD and South Central TSA.

1. Maintain existing vegetation whenever possible and minimize the area of disturbance. Retain and protect trees to enhance future landscaping efforts and to reduce raindrop impact. (Vegetation is the best and most cost-effective erosion control practice).
2. Install all erosion and sediment control practices prior to any soil disturbing activities, when applicable.
3. Phase construction activities to minimize the areas disturbed at one time. This will also allow completed areas to be stabilized and re-vegetated before disturbing adjacent sites.
4. Maintain and protect all natural waterways. Retain at least a 20-foot wide strip of natural vegetation along all waterways to filter out sediment and other pollutants.
5. Minimize the use of impermeable surfaces such as roofs, driveways, parking lots and roads. The Environmental Resources staff must approve all storm water runoff plans.
6. Use rock rip-rap at both the outlet and inlet ends of culverts to prevent scour erosion.
7. Limit construction equipment to designated areas to control soil compaction.
8. Install silt fence on the down-slope perimeter of all disturbed areas according to the attached installation instructions. Sensitive areas such as wetlands, drainage swales and shoreland areas should also be protected with silt fence.
9. Install straw bale checks or rock check dams in areas of concentrated flow.
10. Cover any stockpiled topsoil with plastic or other impervious covering. Use stockpiled topsoil as earthen berms to serve as temporary sediment basins.



11. Mulch all disturbed areas at the rate of one 50-pound bale of straw per 500 square feet. On slopes 4:1 or steeper use the following erosion control blankets that have been pinned to the slope according to the manufacturer's instructions:

2:1 slopes or steeper	Straw/Coconut Blanket or High Velocity Wood Blanket
3:1 slopes or steeper	Wood or Straw Blanket with net on both sides
4:1 slopes or steeper	Wood or Straw Mulch blanket with net on one side
Flat areas	Straw Mulch w/disc anchoring

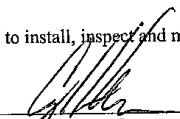
12. Seed all disturbed areas within seven days of final grading and temporary seed/mulch all areas that will be left inactive for more than seven days. Do not seed later than September 1st. Areas that need to be seeded after this date should be dormant seeded in late October or early November. See the attached instruction sheet for recommended mixtures and rates. The use of native plant materials, including trees and shrubs, is encouraged. Native species will provide good vegetative cover that is adapted to our soils and climate.
13. Apply fertilizer according to soil test recommendations.
14. Install water bars on access roads to prevent concentrated water from flowing down the road and eroding gravel.
15. Attach a site map showing the location of all erosion control practices, property lines, roads, lakes, watercourses, wetlands, on-site systems and building locations.

Note: To reduce mud transported onto paved roads, a rock construction entrance may be required. This will require a six-inch layer of 1-2 inch diameter washed rock a minimum of 50 feet in length.

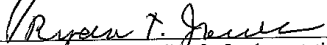
Inspection and Maintenance

16. Inspect the construction site every 7 days and within 24 hours after every rain event to ensure the practices are working properly (i.e. silt fences, water bars).
17. Clean out the silt fences when they are 1/3 full of sediment or replace with functional silt fences within 24 hours.
18. Clean out sediment basins on a regular basis to maintain capacity.

I agree to install, inspect and maintain the above practices to accomplish the goal of preventing erosion.



(Property Owner)

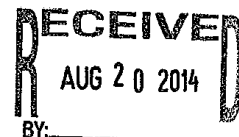


(Person Responsible for Implementation)

8-19-14
(Date)

8-19-14
(Date)

If you have any questions, please contact Environmental Services, at 507-357-8538.



CONSTRUCTION NOTES:

THE OWNER IS RESPONSIBLE FOR OBTAINING LAND RIGHTS AND LOCAL, STATE, AND FEDERAL PERMITS OR OTHER PERMISSION NECESSARY TO PERFORM AND MAINTAIN THE PRACTICE.

BEFORE START OF CONSTRUCTION, THE OWNER OF ANY UTILITIES INVOLVED MUST BE NOTIFIED. THE EXCAVATOR IS RESPONSIBLE FOR GIVING NOTICE BY CALLING "GOPHER STATE ONE-CALL" AT (800) 252-1166 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO LOCATE ANY PRIVATE UTILITIES THAT MAY BE IN THE VICINITY OF THE PROJECT. THE SOUTH CENTRAL TECHNICAL SERVICE AREA MAKES NO REPRESENTATION OF THE EXISTENCE OR NON-EXISTENCE OF UTILITIES. THE ABSENCE OF UTILITIES ON DRAWINGS DOES NOT ASSURE THAT THERE ARE NO UTILITIES ON SITE.

A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, CONTRACTOR(S), SWCD REPRESENTATIVE, AND SOUTH CENTRAL TSA ENGINEER OR TECHNICIAN SHALL BE HELD ONE WEEK PRIOR TO START OF CONSTRUCTION. ANY WORK DONE BEFORE CONFERENCE WILL JEOPARDIZE PROJECT APPROVAL AND FUNDING.

MINNESOTA SPECIFICATIONS FOR CONSERVATION PRACTICES APPLY FOR ALL MATERIALS AND CONSTRUCTION WORK. THESE SPECIFICATIONS ARE PART OF THIS PLAN.

CHANGES IN THE DRAWINGS OR SPECIFICATIONS MUST BE AUTHORIZED BY THE OWNER AND THE RESPONSIBLE ENGINEER.

RESTORATION NOTES:

TOP-DRESS THE PROPOSED EMBANKMENT WITH A MINIMUM OF 6 INCHES OF TOPSOIL.

AREAS TO BE SEEDED SHALL BE FERTILIZED WITH 80 LBS/ACRE EACH OF NITROGEN (N), PHOSPHORUS (P2O5) AND POTASH (K2O). FERTILIZER SHALL BE SPREAD AND INCORPORATED PRIOR TO SEEDING.

THE EMBANKMENT AND VEGETATED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED WITH THE SEED MIX LISTED BELOW, APPLIED AT A TOTAL RATE OF 23 LBS/ACRE. A NURSE CROP OF OATS (SPRING PLANTINGS) OR WINTER WHEAT (SUMMER/FALL PLANTINGS) SHALL ALSO BE SEEDED AT A RATE OF 1 BUSHEL/ACRE.

SEEDING MIXTURE	LBS/ACRE	SEEDS/FT ² @ 1 LB./ACRE
SMOOTH BROME	20	3.1
PERENNIAL RYEGRASS	3	6.3
NURSE CROP	SEE NOTE ABOVE	

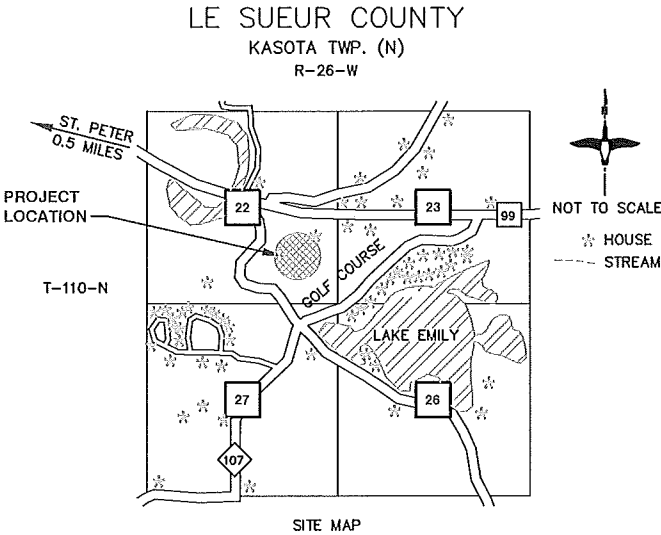
ALL DISTURBED AREAS SHALL BE PROTECTED WITH STRAW MULCH APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, DISK-ANCHORED.

SEE THE SPECIFICATIONS FOR ADDITIONAL SEEDING INFORMATION.

ESTIMATED QUANTITIES					
ITEM	ITEM DESCRIPTION	QUAN.	UNIT	CONST. SPEC.	MATERIAL SPEC.
1	MOBILIZATION	1	L.S.		
2	CLEARING AND GRUBBING (see construction drawing sheet 2 for details.)	4	HRS	MN-02	
3	SALVAGING & SPREADING TOPSOIL, Includes: (approx. 240 c.y. for embankment)	1	L.S.	MN-26	
4	CLAY BORROW, Includes: (class 'C' compaction specification)	600	C.Y. (CV)	MN-21 MN-23	
5	EXCAVATION - GRADING SPILLWAY	1	EACH	MN-21	
6	FURNISH & INSTALL 30" DIA. CMP RISER STRUCTURE. (see sheet 5 for details)	1	EACH	MN-51	MN-551
7	FURNISH & INSTALL ANTI-VORTEX BAFFLE. (see sheet 5 for details)	1	EACH	MN-51	MN-551
8	FURNISH & INSTALL 21" DIA. CORRUGATED METAL PIPE Includes: (21" dia. connecting bands) (see sheet 4 for details)	50	L.F.	MN-51	MN-551
9	FURNISH & INSTALL ANTI-SEEP DIAPHRAGM. (see sheet 6 for details)	1	EACH	MN-51	MN-551
10	INSTALL RIPRAP BASIN (see sheet 7 for details)	1	L.S.	SEE SHEET 7	SEE SHEET 7
11	FURNISH & INSTALL LOW FLOW INLET, Includes: (riser structure and dual-wall pipe) (see sheet 8 for details)	1	L.S.	SEE SHEET 8	SEE SHEET 8
12	FURNISH & INSTALL FENCE TRASH SKIMMER. (see sheet 9 for details)	1	L.S.	SEE SHEET 9	SEE SHEET 9
13	FURNISH & INSTALL 8" PE NON-PERF. PIPE (see sheet 2 for details)	510	L.F.	MN-44	MN-548
14	FURNISH & INSTALL LOW FLOW PIPE OUTLET, Includes: (corrugated metal pipe, concrete collar, install geotextile, install riprap) (see sheet 2 for details)	1	L.S.	SEE SHEET 8	SEE SHEET 8
15	EXCAVATION - BASIN AREA (see sheet 2 for details)	600	C.Y.	MN-21	
16	FURNISH RIPRAP (MNDOT CLASS I)	20	TONS	MN-61	MN-523
17	FURNISH RIPRAP (MNDOT CLASS III)	483	TONS	MN-61	MN-523
18	FURNISH AND INSTALL GEOTEXTILE FABRIC (NONWOVEN-CLASS I) (see sheets 10 and 11 for details)	769	S.Y.	MN-95	MN-592
19	INSTALL RIPRAP CHUTE (see sheet 11 for details)	2	EACH	MN-61	MN-523
20	INSTALL RIPRAP CHECK DAM (see sheet 10 for details)	8	EACH	MN-61	MN-523
21	FERTILIZE AND SEED	1.0	ACRE	MN-06	
22	MULCH	1.0	ACRE	MN-06	

NOTE: (CV) = COMPACTED VOLUME

CRAIG & COLLEEN HANSON
RAVINE STABILIZATION
KASOTA TOWNSHIP (N)
LE SUEUR COUNTY



SHEET INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	PLAN VIEW
3	EMBANKMENT PROFILE
4	CMP PIPE PROFILE
5	PREFABRICATED CMP RISER
6	ANTI-SEEP DIAPHRAGM DETAILS
7	RIPRAP BASIN DETAILS
8	LOW FLOW INLET/OUTLET DETAILS
9	FENCE TRASH SKIMMER DETAILS
10	RIPRAP CHECK DAM DETAILS
11	RIPRAP CHUTE DETAILS

ENGINEERING JOB CLASS IV
WATERSHED AREA = 88.1 AC.

CONSTRUCTION CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT A FINAL INSPECTION OF THIS PROJECT HAS BEEN PERFORMED AND THAT THE WORK COMPLETED IS IN ACCORDANCE WITH THE PLAN AND SPECIFICATIONS. ANY CHANGES TO THE PLANS AND SPECIFICATIONS ARE SO NOTED.

SIGNATURE:

DATE:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: RYAN T. JONES

SIGNATURE: *Ryan T. Jones*
DATE: 7/31/14 LICENSE # 44622

SURVEY

Surveyed	Date
GPS, RTJ	11/22/13
Drawn	Date
GPS	12/18/13
Checked	Date

DESIGN

Designed	Date
RTJ	2/14
Drawn	Date
GPS	2/20/14
Checked	Date
RTJ	6/13/14

SOUTH CENTRAL
TECHNICAL SERVICE AREA
1160 S. VICTORY DRIVE
MANKATO, MINN.
(507) 345-1051

CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

COVER SHEET

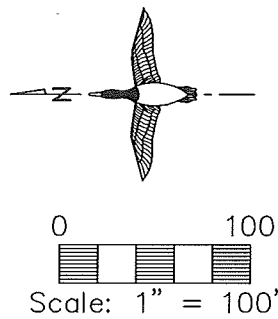
Sec. 22 T. 110 N. R. 26 W.

County: LESUEUR

Township: KASOTA NORTH

Near: ST. PETER

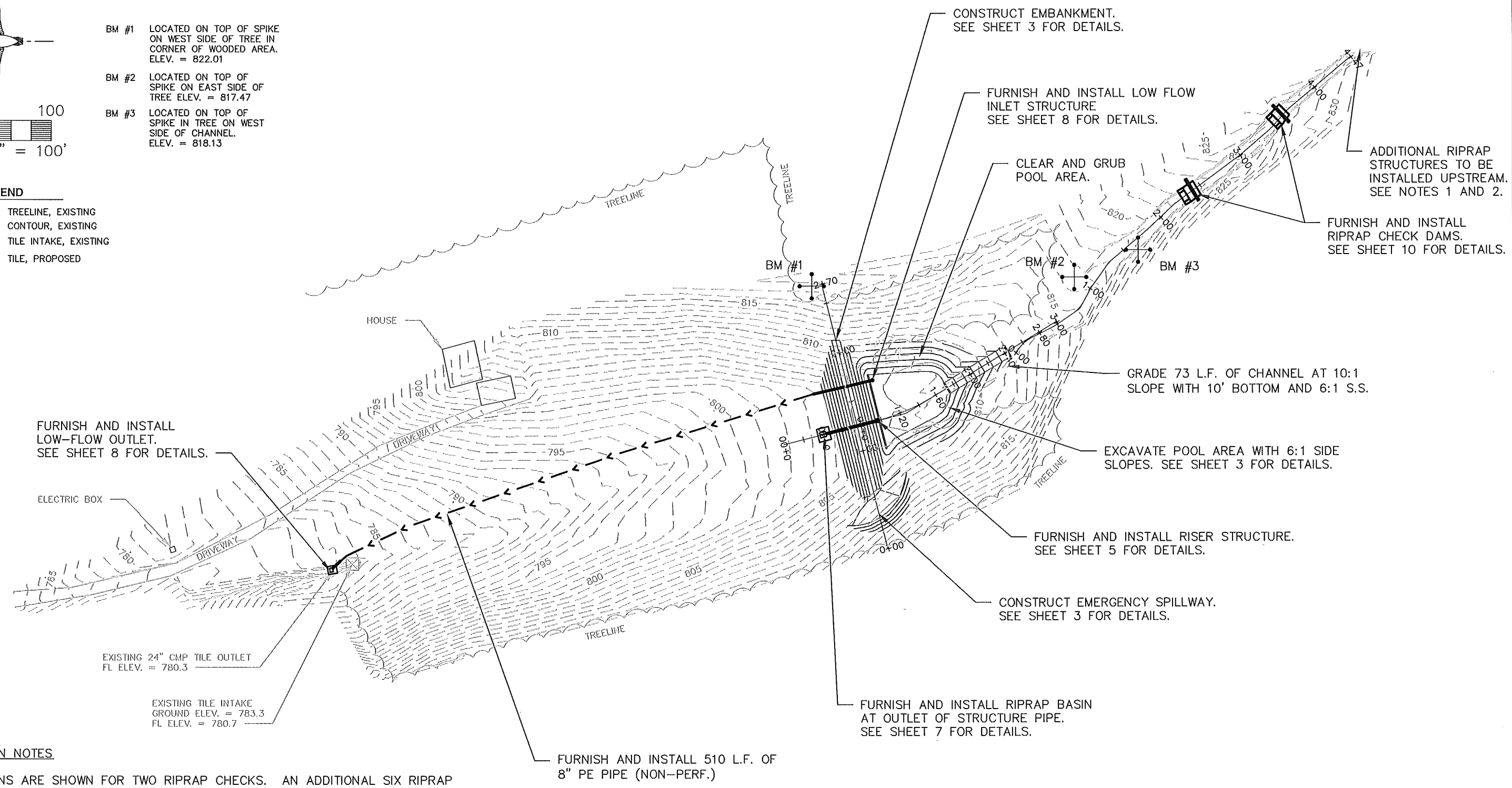
SHEET 1 of 11



- BM #1 LOCATED ON TOP OF SPIKE ON WEST SIDE OF TREE IN CORNER OF WOODED AREA. ELEV. = 822.01
- BM #2 LOCATED ON TOP OF SPIKE ON EAST SIDE OF TREE ELEV. = 817.47
- BM #3 LOCATED ON TOP OF SPIKE IN TREE ON WEST SIDE OF CHANNEL. ELEV. = 818.13

LEGEND

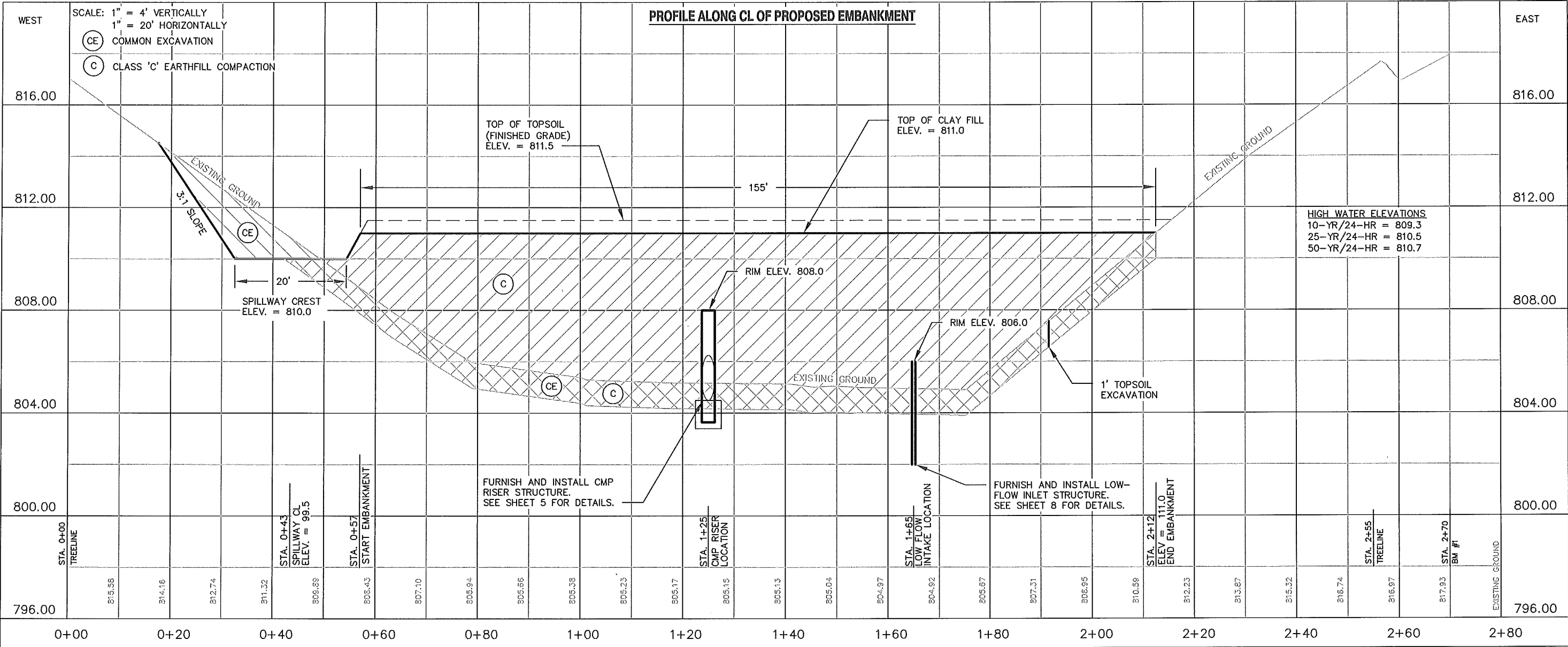
- TREELINE, EXISTING
- CONTOUR, EXISTING
- ⊠ TILE INTAKE, EXISTING
- - - - - TILE, PROPOSED



CONSTRUCTION NOTES

1. LOCATIONS ARE SHOWN FOR TWO RIPRAP CHECKS. AN ADDITIONAL SIX RIPRAP CHECKS SHALL BE INSTALLED FURTHER UPSTREAM IN THE CHANNEL AT LOCATIONS STAKED BY THE ENGINEER PRIOR TO CONSTRUCTION. SEE SHEET 10 FOR RIPRAP CHECK DETAIL.
2. TWO RIPRAP CHUTES SHALL BE INSTALLED AT LOCATIONS STAKED BY THE ENGINEER, UPSTREAM OF THE AREA SHOWN. SEE SHEET 11 FOR RIPRAP CHUTE DETAIL.

SURVEY		I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	SOUTH CENTRAL TECHNICAL SERVICE AREA 1160 S. VICTORY DRIVE MANKATO, MINN. (507) 345-1051	CRAIG & COLLEEN HANSON RAVINE STABILIZATION	
Surveyed	Date				
GPS, RTJ	11/22/13				
Drawn	Date				
GPS	12/18/13	PRINT NAME: RYAN T. JONES		PLAN VIEW SHEET	
Checked	Date				
		SIGNATURE: <i>Ryan T. Jones</i>			
		DATE: 7/31/14 LICENSE # 44622		SHEET 2 of 11	



CONSTRUCTION NOTES:

(CE) COMMON EXCAVATION

(C) CLASS 'C' EARTHFILL COMPACTION FOR DIVERSION
THE MAXIMUM THICKNESS OF A LAYER OF FILL BEFORE COMPACTION SHALL BE:
- 9 INCHES IF COMPACTED WITH 3 PASSES OF A 200 psi TAMPING ROLLER,
OR
- 6 INCHES IF COMPACTED WITH A RUBBER TIRE HAULING AND SPREADING EQUIPMENT "LOADED"

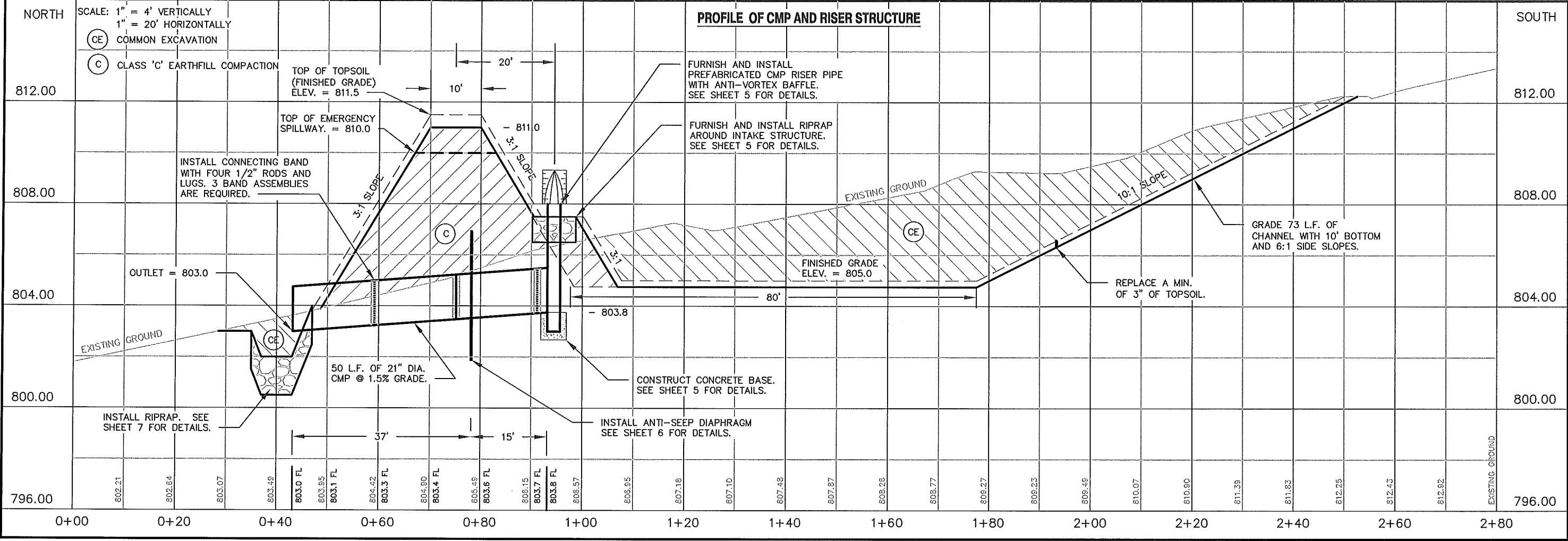
EVERY POINT ON THE SURFACE IS TRAVERSED BY AT LEAST ONE TREAD TRACK.

ALL EQUIPMENT SHALL TRAVEL IN A DIRECTION PARALLEL TO THE MAIN AXIS OF THE EARTHFILL.

CLAY BORROW MATERIAL

IT IS ANTICIPATED THAT THE SOIL MATERIALS ON-SITE ARE NOT SUITABLE FOR CONSTRUCTING THE EMBANKMENT. IN THIS CASE, SUITABLE CLAY BORROW SHALL BE HAULED IN FROM OFF-SITE. CLAY MATERIAL SHALL BE APPROVED BY THE ENGINEER.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. PRINT NAME: RYAN T. JONES SIGNATURE: <i>Ryan T. Jones</i> DATE: 7/31/14 LICENSE # 44622	SOUTH CENTRAL TECHNICAL SERVICE AREA 1160 S. VICTORY DRIVE MANKATO, MINN. (507) 345-1051	CRAIG & COLLEEN HANSON	
		RAVINE STABILIZATION	
		EMBANKMENT PROFILE	SHEET 3 of 11



CONSTRUCTION NOTES:

- EARTHFILL PLACED WITHIN 2 FT OF THE PIPE STRUCTURE SHALL BE PLACED IN 4 INCH LAYERS, AND EACH LAYER COMPACTED BY A MANUALLY DIRECTED POWER TAMPER.
- CORRUGATED METAL PIPE SECTIONS SHALL BE JOINED TOGETHER USING ROD & LOG STYLE CONNECTING BANDS, WITH KNIFE GRADE ASPHALT SEALER PLACED BETWEEN THE CONNECTING BAND AND THE PIPE.

HORIZONTAL CORR. METAL PIPE ITEMS				
SIZE	UNIT	ITEM DESCRIPTION	UNIT	QTY.
21"	DIA.	HELICAL CORR. GALV. METAL PIPE W/ GASKETED LOCK SEAM (16 GAGE)	LN. FT.	50
		21" DIA. GALV. METAL ROD & LUG CONNECTING BAND (16 GAGE)	EACH	3
		RODS (FOR 21" DIA. PIPE)	EACH	12
		LUGS (FOR 21" DIA. PIPE)	EACH	12
		NUTS (FOR 21" DIA. PIPE)	EACH	24
		KNIFE GRADE ASPHALT SEALER	GAL	3

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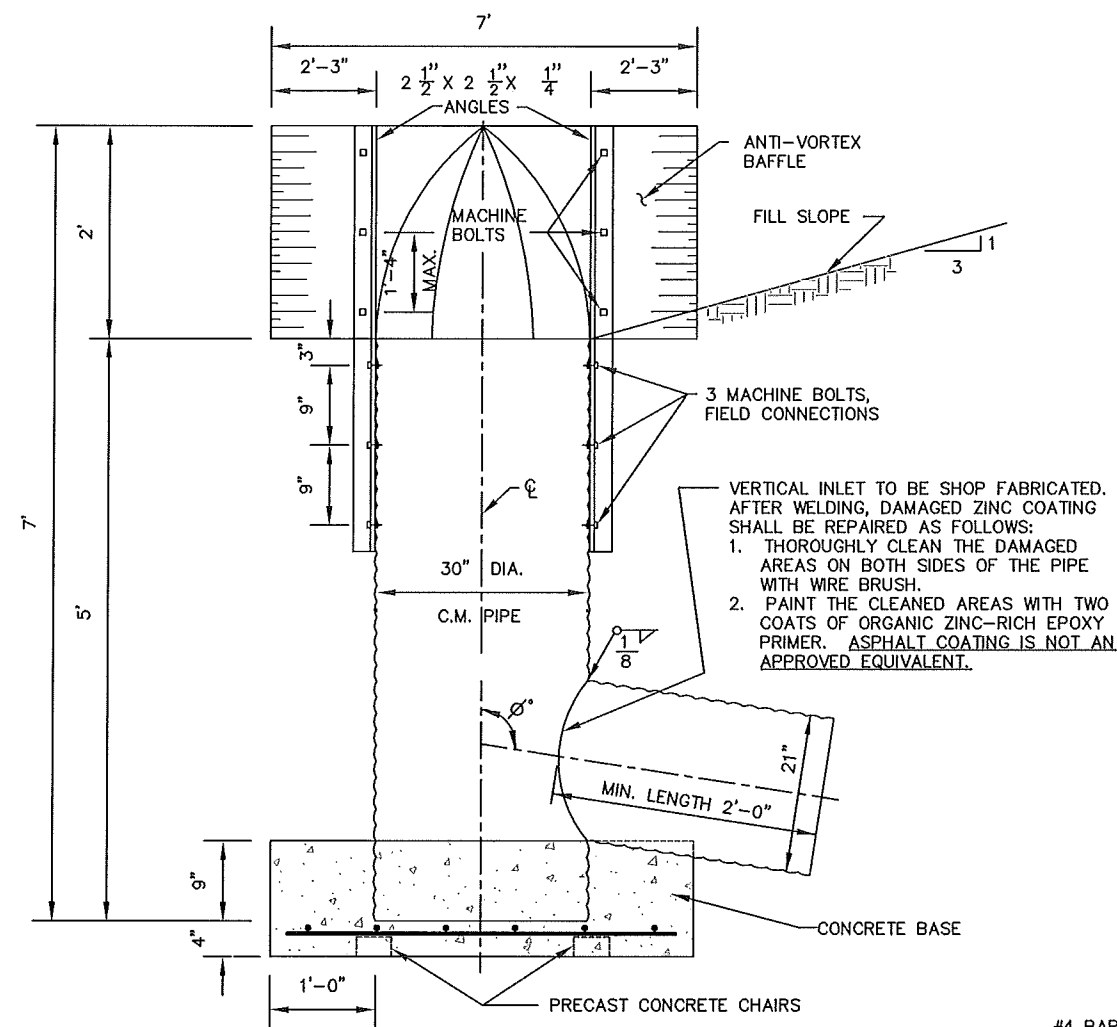
DATE: 7/31/14 LICENSE # 44622

**SOUTH CENTRAL
TECHNICAL SERVICE AREA**
1160 S. VICTORY DRIVE
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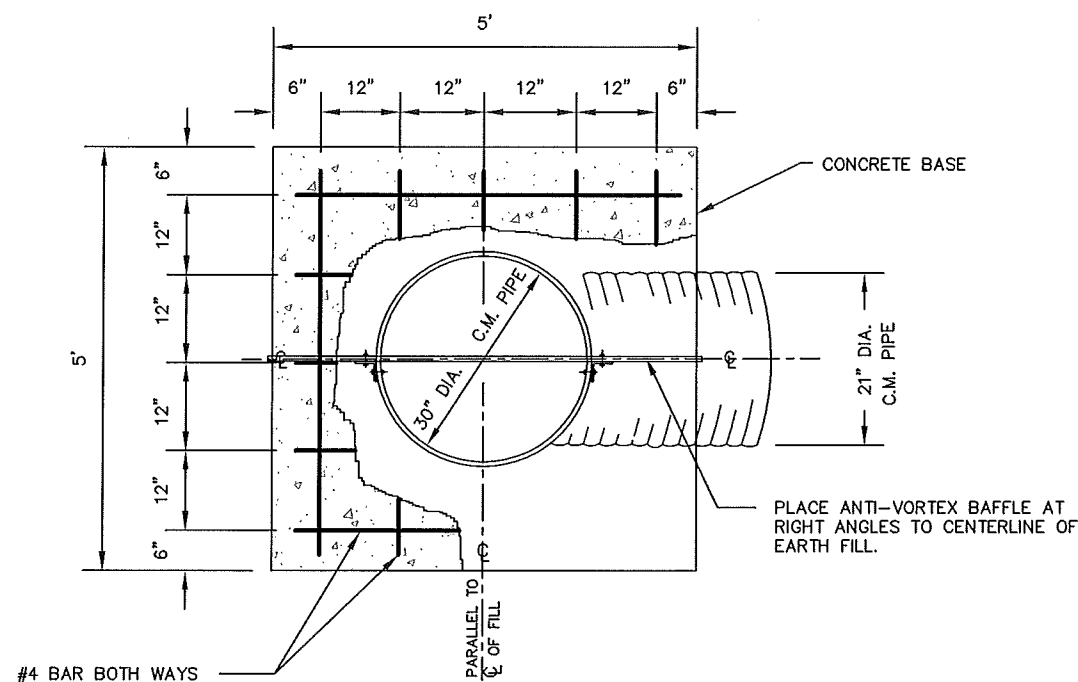
CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

CMP PIPE PROFILE

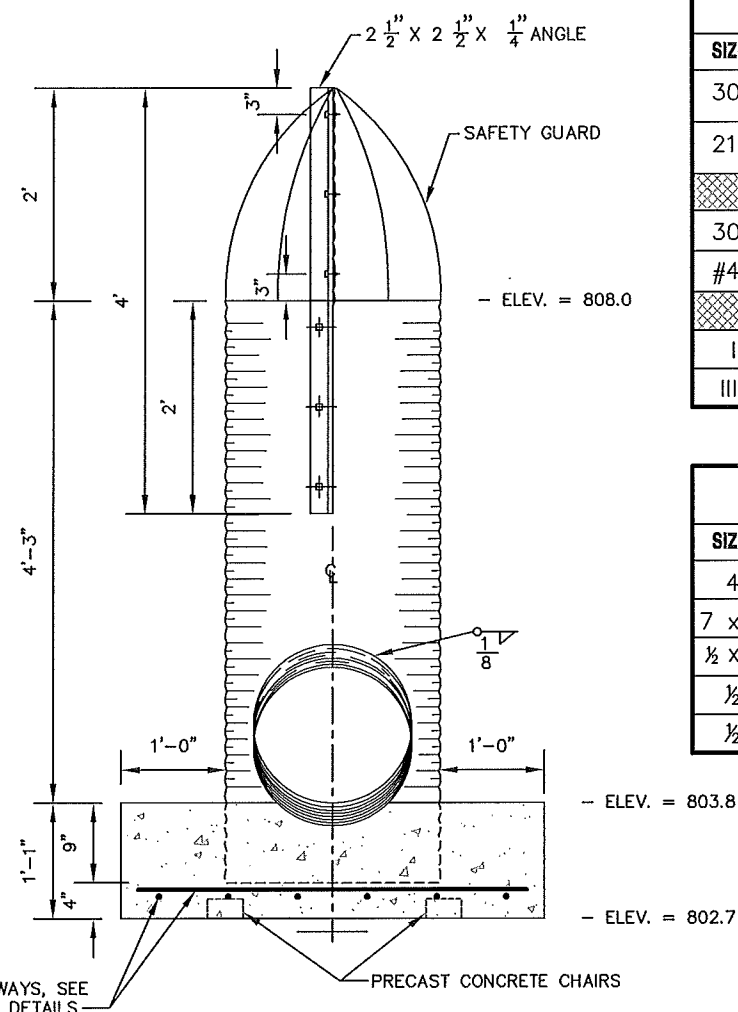
SHEET 4 of 11



CMP RISER PROFILE VIEW
NOT TO SCALE



CMP RISER PLAN VIEW
NOT TO SCALE



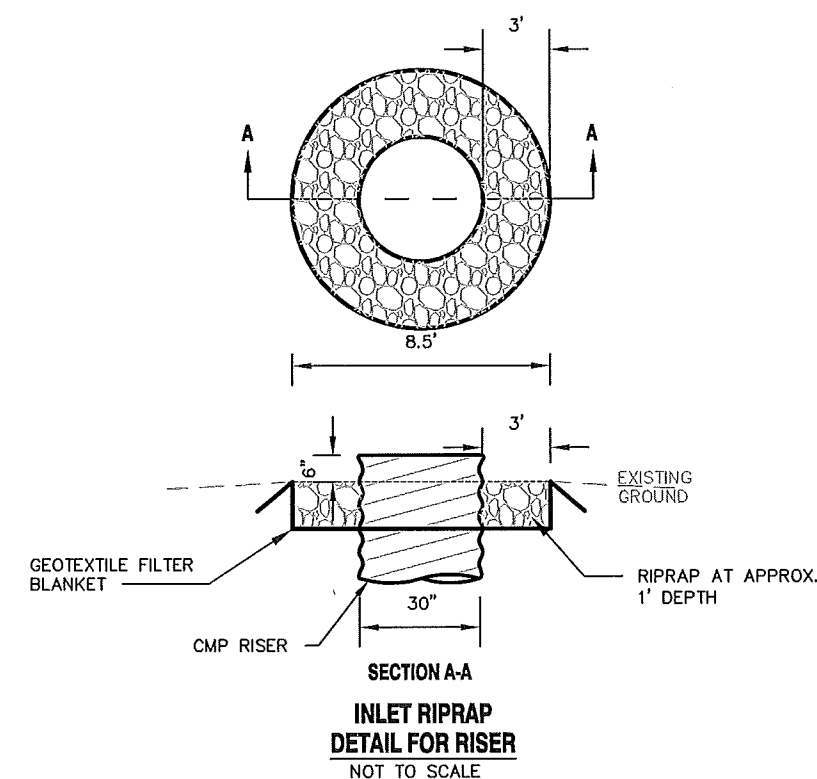
CMP RISER SIDE VIEW
NOT TO SCALE

CONSTRUCTION NOTES:

1. CORRUGATED METAL PIPE SHALL BE ANNULAR CORRUGATIONS WITH CLOSE RIVETED CAULKED SEAM CONSTRUCTION.
2. ALL HOLES FOR BOLTS SHALL BE 9/16" DIA.
3. PRECAST CONCRETE CHAIRS SHALL BE USED TO SUPPORT THE REINFORCING STEEL BARS. PRECAST CONCRETE CHAIRS SHALL BE MANUFACTURED OF 3000 PSI CONCRETE AND SHALL BE TIE WIRES SECURELY ANCHORED IN THE CHAIR OF A V-SHAPED GROOVE AT LEAST 3/4 INCH IN DEPTH MOLDED INTO THE UPPER SURFACE TO RECEIVE THE STEEL BAR AT THE POINT OF SUPPORT. PRECAST CONCRETE CHAIRS SHALL BE MOIST AT THE TIME CONCRETE IS PLACED.
4. LENGTH OF REINFORCING STEEL BARS IS 4'-6".
5. RIPRAP SHALL MEET THE REQUIREMENTS OF MNDOT SPEC. 3601.

CMP RISER ITEMS					
SIZE	UNIT	ITEM DESCRIPTION	QTY.	UNIT	
30"	DIA.	ANNULAR CMP-CLOSED RIVETED CAULK SEAM GALV. METAL PIPE	5	LN. FT.	.064 (16 GAGE)
21"	DIA.	ANNULAR CMP-CLOSED RIVETED CAULK SEAM GALV. METAL STUB	2	LN. FT.	.064 (16 GAGE)
		Ø° DEGREES-ANGLE	90.9	DEGREES	
30"	DIA.	SAFETY GUARD - 3/4" ROD GALV.	1	EACH	
#4		REINFORCING STEEL BARS, (45 L.F.)	30	LBS	
		VOLUME OF CONCRETE	1.1	C.Y.	
I	TYPE	NON-WOVEN GEOTEXTILE	16	SQ.YDS.	
III	CLASS	RIPRAP (2 C.Y.)	2.8	TONS	

CMP ANTI-VORTEX PLATE ITEMS					
SIZE	UNIT	ITEM DESCRIPTION	QTY.	UNIT	
4	L.F.	2 1/2" X 2 1/2" X 1/4" ANGLES, GALV.	2	EACH	
7 x 2	FT.	CORRUGATED METAL SHEETS, GALV.	1	EACH	.064 (16 GAGE)
1/2 x 1 1/4	INCH	STEEL CADMIUM PLATED MACHINE BOLTS	12	EACH	
1/2	INCH	STEEL SPLIT LOCK WASHERS	12	EACH	
1/2	INCH	STEEL CADMIUM PLATED NUTS	12	EACH	



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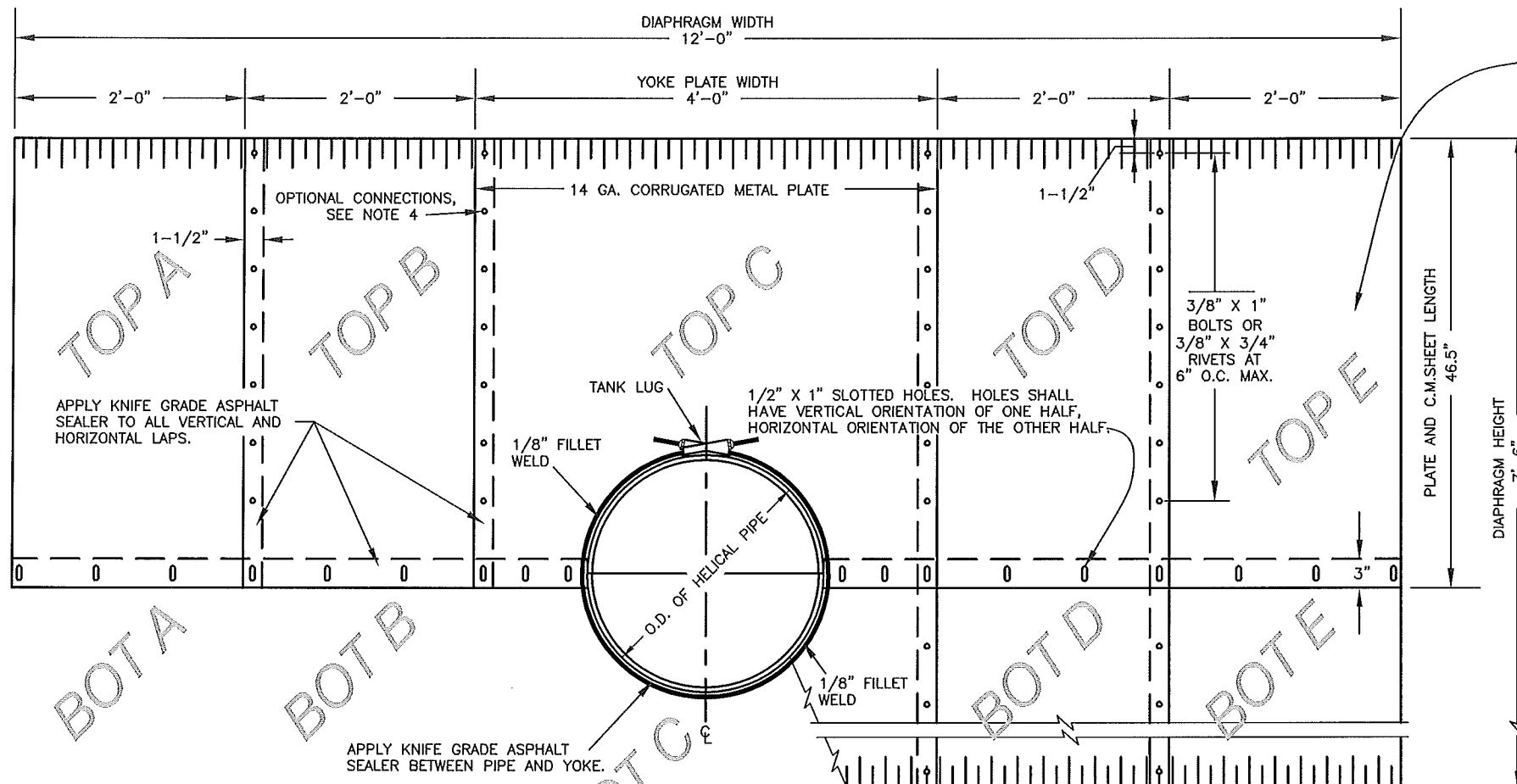
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**SOUTH CENTRAL
TECHNICAL SERVICE AREA**
1160 S. VICTORY DRIVE
MANKATO, MINN.
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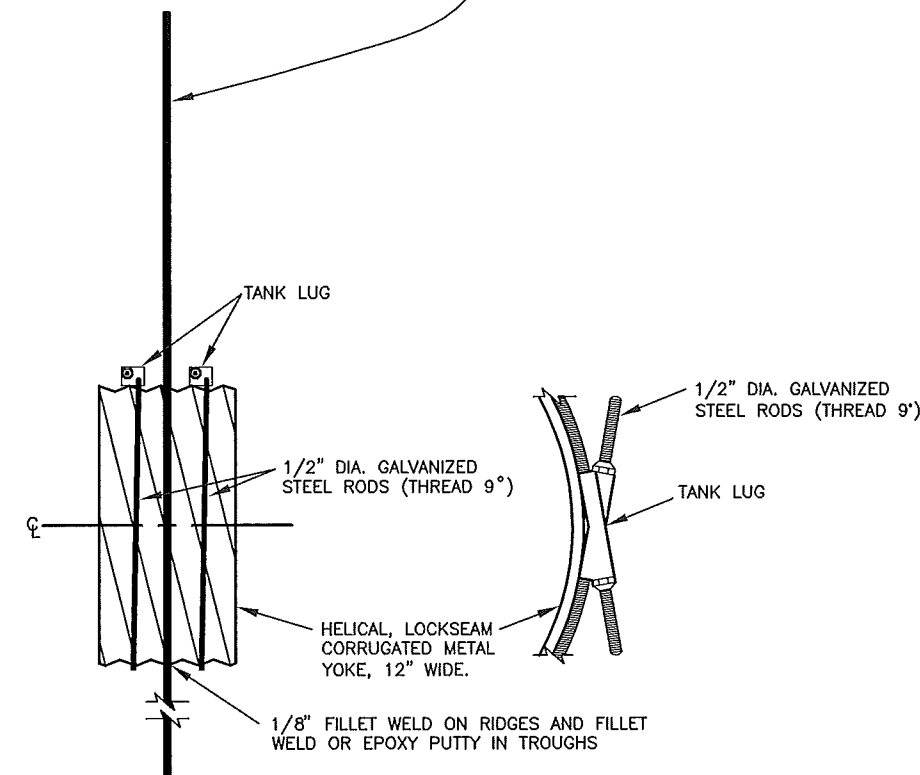
CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

PREFABRICATED CMP RISER

SHEET 5 of 11



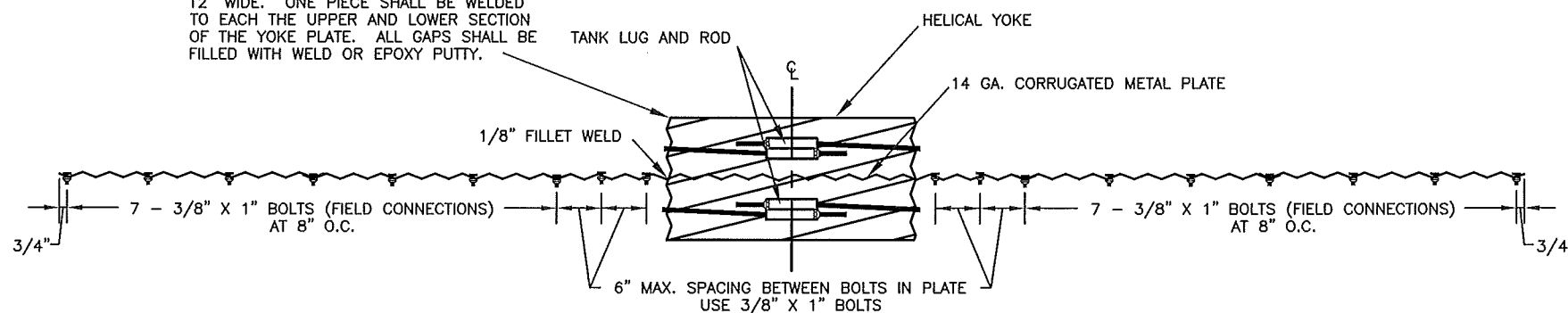
FRONT VIEW
NOT TO SCALE



SIDE VIEW
NOT TO SCALE

DETAIL OF TANK LUG
NOT TO SCALE

YOKE SHALL BE FABRICATED FROM 2 PIECES OF HELICAL LOCKSEAM CORRUGATED PIPE, 12" WIDE. ONE PIECE SHALL BE WELDED TO EACH THE UPPER AND LOWER SECTION OF THE YOKE PLATE. ALL GAPS SHALL BE FILLED WITH WELD OR EPOXY PUTTY.



PLAN VIEW
NOT TO SCALE

TABLE OF DIMENSIONS FOR ONE DIAPHRAGM

PIPE DIAMETER (IN.)		21
DIAPHRAGM SIZE	HEIGHT (FT.-IN.)	7'-6"
	WIDTH (FT.-IN.)	12'
YOKE PLATE	NO. REQUIRED	2
	LENGTH (IN.)	46.5"
	WIDTH (IN.)	48"
CORRUGATED METAL SHEETS	NO. REQUIRED	8
	LENGTH (IN.)	46.5"
	GAGE	16

BILL OF MATERIALS

ITEM DESCRIPTION	UNIT	QTY.
12' X 7'-6" ANTI-SEEP DIAPHRAGM FOR HELICAL CORR. METAL PIPE	EACH	1
RODS	EACH	2
LUGS	EACH	2
NUTS	EACH	4
KNIFE GRADE ASPHALT SEALER	GAL	1

CONSTRUCTION NOTES:

- SEE PROFILE VIEW FOR:
A: LOCATIONS
- ALL NUTS, BOLTS, RIVETS, AND WASHERS SHALL BE GALVANIZED, CADMIUM PLATED, OR STAINLESS STEEL.
- YOKE WELDS AND THE ASSEMBLY OF CORRUGATED SHEETS (WHEN REQUIRED) SHALL BE SHOP FABRICATED.
- CONNECTION OF CORRUGATED SHEETS WITH YOKE PLATE MAY BE EITHER SHOP FABRICATED USING 3/8" X 3/4" RIVETS ON 6" CENTERS OR FIELD BOLTED USING 3/8" X 1" BOLTS ON 6" CENTERS.
- AFTER WELDING, DAMAGED ZINC COATING SHALL BE REPAIRED AS FOLLOWS:
A: THOROUGHLY CLEAN THE DAMAGED AREAS ON BOTH SIDES OF THE DAMAGED METAL WITH A WIRE BRUSH.
B: PAINT THE CLEANED AREAS WITH TWO COATS OF ZINC OXIDE-ZINC DUST PAINT.
- LABEL EACH METAL PLATE FOR PROPER FIELD ASSEMBLY.
- APPLY KNIFE GRADE ASPHALT SEALER BETWEEN PIPE AND YOKE AND BETWEEN PLATES.

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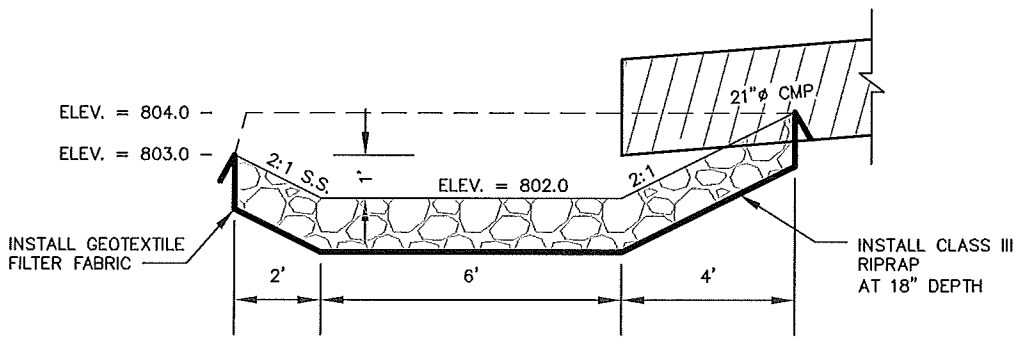
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**SOUTH CENTRAL
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1160 S. VICTORY DRIVE
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CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

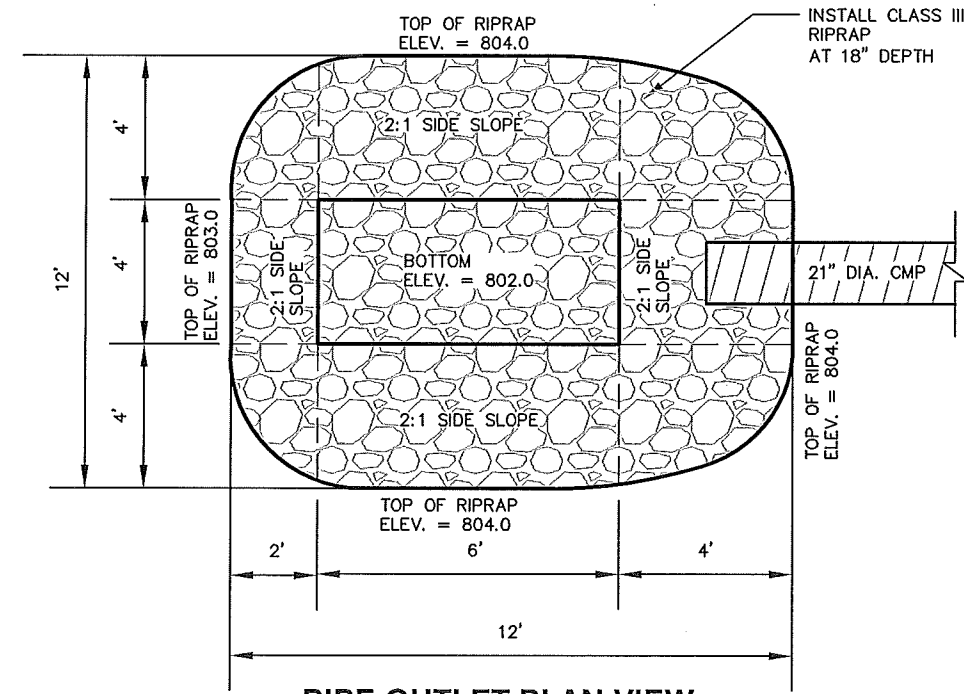
ANTI-SEEP DIAPHRAGM DETAILS SHEET 6 of 11

21" DIA. CMP OUTLET



PIPE OUTLET SIDE VIEW

NOT TO SCALE



PIPE OUTLET PLAN VIEW

NOT TO SCALE

RIPRAP QUANTITIES			
CLASS	ITEM DESCRIPTION	UNIT	QTY.
III	RIPRAP (8 c.y.)	TONS	11
I	NON-WOVEN GEOTEXTILE, (8 oz.)	SQ.YDS.	25

RIPRAP GRADATION TABLE		
RIPRAP DIAMETER (INCHES)	APPROX. % OF TOTAL SIZE SMALLER THAN GIVEN SIZE	
	CLASS II	CLASS III
18		100
12	100	75
9	75	50
6	50	
3		10
2	10	

CONSTRUCTION NOTES:

MATERIALS:

1. GEOTEXTILE FABRIC SHALL BE NON-WOVEN, TYPE I MEETING THE REQUIREMENTS OF MINNESOTA NRCS MATERIAL SPECIFICATION 592.
2. RIPRAP SHALL BE CLASS III PER THE REQUIREMENTS OF MNDOT STANDARD SPECIFICATION 3601.
3. RIPRAP SHALL BE FREE FROM DIRT, CLAY, SAND, ROCK FINES AND OTHER MATERIAL NOT MEETING THE REQUIRED GRADATION LIMITS.

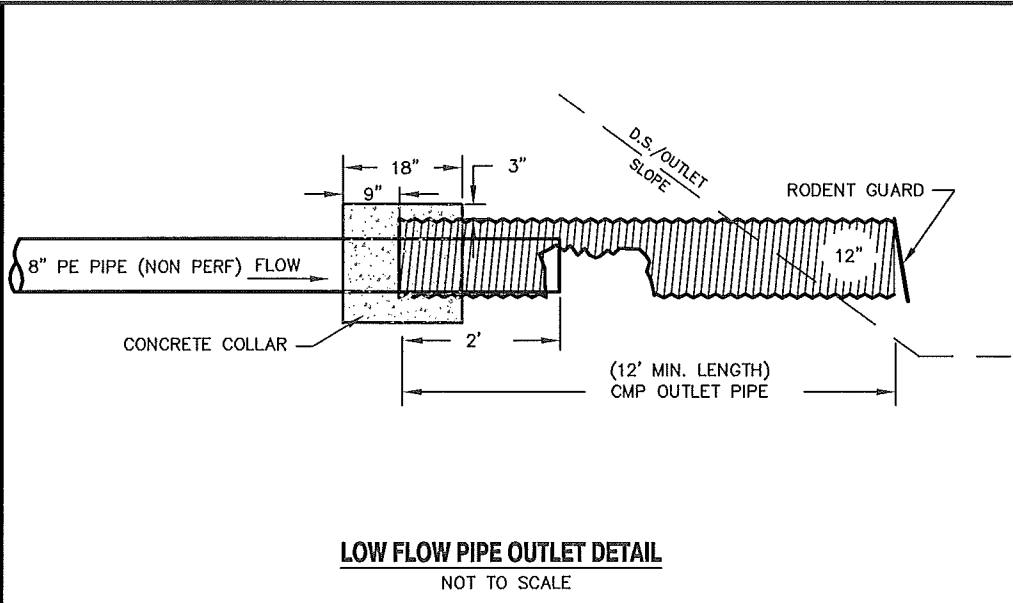
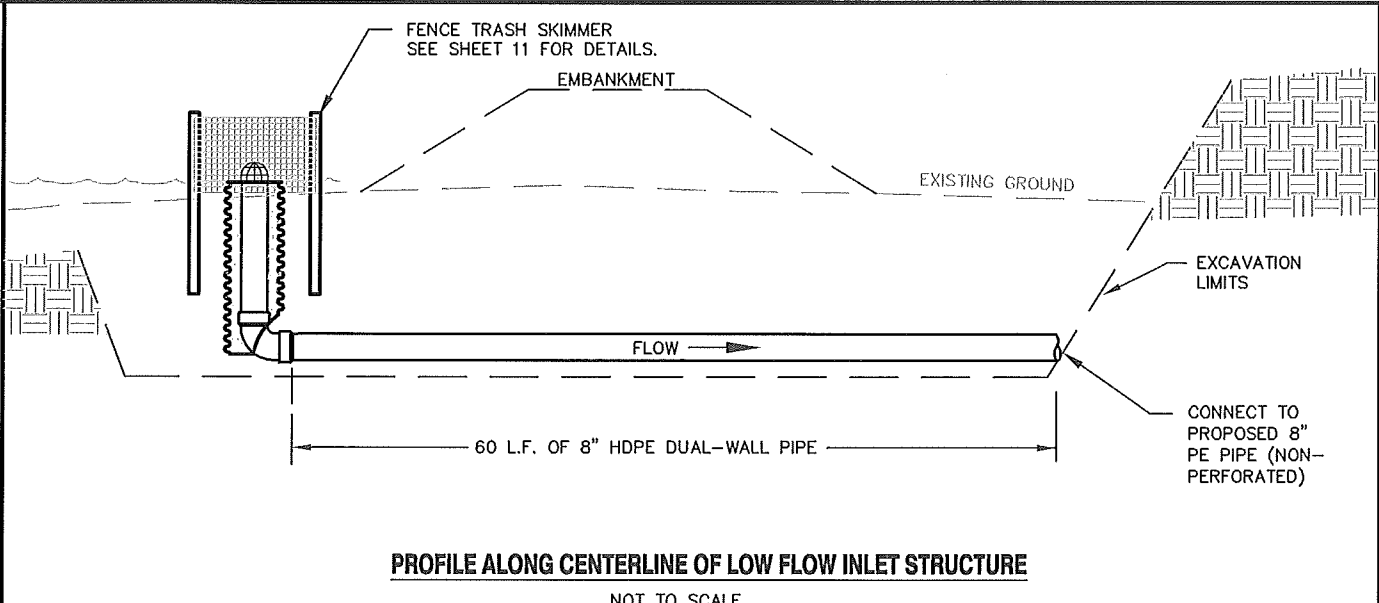
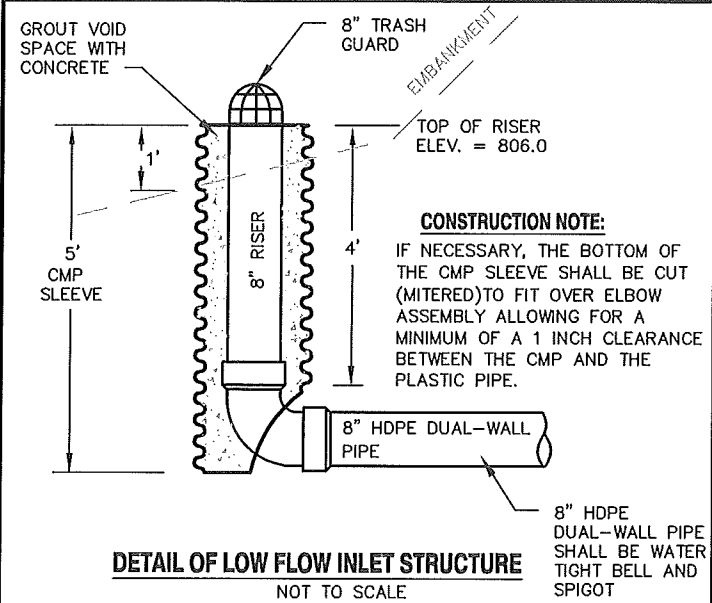
FOUNDATION PREPARATION AND GEOTEXTILE INSTALLATION:

1. THE SURFACE ON WHICH THE GEOTEXTILE IS TO BE PLACED SHALL BE GRADED TO THE NEAT LINES AND GRADES AS SHOWN ON THE DRAWINGS. IT SHALL BE REASONABLY SMOOTH AND FREE OF LOOSE ROCK AND CLODS, HOLES, DEPRESSIONS, PROJECTIONS, MUDDY CONDITIONS, AND STANDING OR FLOWING WATER.
2. *** GEOTEXTILE FABRIC SHALL NOT BE PLACED UNTIL THE FOUNDATION PREPARATION IS COMPLETED AND THE SUBGRADE SURFACE HAS BEEN INSPECTED AND APPROVED. ***
3. THE GEOTEXTILE FABRIC SHALL BE LOOSELY LAID, WITHOUT STRETCHING, TO CONFORM TO UNDERLYING SURFACE IRREGULARITIES. THE GEOTEXTILE FABRIC MAY BE FOLDED AND OVERLAPPED TO ALLOW PROPER PLACEMENT.
4. SECTIONS OF GEOTEXTILE SHALL BE JOINED BY OVERLAPPING A MINIMUM OF 18 INCHES. SECURING PINS MAY BE USED BUT ARE NOT REQUIRED.

RIPRAP INSTALLATION:

1. RIPRAP SHALL NOT BE PUSHED ONTO OR ROLLED OVER THE GEOTEXTILE FABRIC.
2. RIPRAP SHALL NOT BE DROPPED MORE THAN 3 FEET ONTO THE GEOTEXTILE FABRIC.
3. RIPRAP SHALL BE PLACED IN A MANNER THAT ENSURES THE MATERIAL IS REASONABLY HOMOGENEOUS, WITH THE LARGER ROCKS UNIFORMLY DISTRIBUTED AND FIRMLY IN CONTACT WITH EACH OTHER, AND THE SMALLER ROCKS AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER ROCKS. SOME HAND PLACEMENT MAY BE REQUIRED TO PROVIDE A NEAT AND UNIFORM SURFACE.
4. HAND PLACEMENT OF RIPRAP MAY BE NECESSARY IN CERTAIN AREAS TO AVOID DAMAGE TO PROPOSED OR EXISTING PIPES.

<p>I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</p> <p>PRINT NAME: RYAN T. JONES</p> <p>SIGNATURE: <i>Ryan T. Jones</i></p> <p>DATE: 7/31/14 LICENSE # 44622</p>	<p>SOUTH CENTRAL TECHNICAL SERVICE AREA</p> <p>1160 S. VICTORY DRIVE MANKATO, MINN. (507) 345-1051</p>	<p>CRAIG & COLLEEN HANSON</p> <p>RAVINE STABILIZATION</p>	
		<p>RIPRAP BASIN DETAILS</p>	
		<p>SHEET 7 of 11</p>	



CONSTRUCTION SPECIFICATIONS (LOW FLOW INLET)

DESCRIPTION

The work shall include all labor, materials, and equipment required to assemble the pipe sections, excavate and prepare the bed for the pipe, and place and compact the backfill to the lines and grades shown on the drawings.

MATERIALS (GENERAL)

All materials must be handled and stored in a careful and workmanlike manner. All pipes and fittings must be of the length, size and type specified. All materials with physical imperfections or that are damaged, lost, broken or deemed unsuitable due to the Contractor's method of installation, handling, or negligence must be replaced at the Contractor's expense.

MATERIALS ("DUAL-WALL" HDPE PIPE)

Unless otherwise specified, the High Density Polyethylene Pipe (HDPE) shall have a smooth interior and annular exterior corrugations. Manning's "n" value for the pipe shall not exceed 0.012.

For pipe sizes 6- to 10-inch, the pipe shall meet the requirements of AASHTO M252 Type S. Pipe and fitting material shall be high-density polyethylene meeting the requirements of ASTM D3350 minimum Cell Classification 324420C. Fabricated fittings shall be welded on the interior and exterior at all junctions. Welds shall be done as recommended by the manufacturer. When required, coupling bands of the appropriate size and type for each section of pipe for sizes 10 inch and smaller. Gasketed couplers shall be provided for each pipe junction and fitting and must meet the requirements of ASTM F477. The gaskets shall be those recommended by the manufacturer for use with the coupler, fittings, and pipe to provide watertightness to the joint.

MATERIALS - SINGLE-WALL POLYETHYLENE (PE) PIPE

Corrugated polyethylene (PE) pipe and fittings, as appropriate for the type and size specified, shall meet the requirements of ASTM-F-667 for 8-24 inch diameter pipe and fittings. Joints shall be minimized to the extent practical. When required and unless otherwise shown on the drawing, coupling bands of the appropriate size and type are to be provided at each pipe joint. The hardware for fastening the coupling bands to the connecting pipes shall be fabricated to permit sufficient tightening to provide the required joint tensile strength and, if required, water-tightness, without failure of the fastening.

MATERIALS (CORRUGATED METAL PIPE)

All corrugated steel pipe (CMP) shall be metallic zinc-coated unless otherwise specified. The pipe shall conform to the requirements of ASTM-A-760, A 762, A-885, for the specified type, class, and fabrication of pipe and coating.

MATERIALS (TRASH RACK)

Unless otherwise specified, trash racks shall be of the "beehive type" with bar spacings at the base of the trash rack no smaller than 2.0" and with a bar diameter of no less than 1/4". Trash racks to be constructed of steel and finished in accordance with the manufacturers specifications.

HANDLING THE PIPE

The Contractor shall furnish all equipment necessary to transport and place the pipe without damaging it. When handling and placing pipe materials, measures shall be taken to prevent impact blows, abrasion damage, and gouging or cutting (by equipment or other site materials). All special handling requirements of the manufacturer shall be strictly observed. Special care shall be taken to avoid impact when the pipe must be handled at temperatures of 40° F or less. To avoid exposure to ultraviolet radiation, the pipe shall be covered with an opaque material when stored outdoors for a period of fifteen days or longer.

INSTALLATION AND ASSEMBLY OF PIPE

The trench or excavation for the placement of the conduit shall be constructed to the elevations and grades shown or as staked. Trench shields, shoring and bracing, or other methods necessary to safeguard the workers and the work shall be furnished, placed, and subsequently removed by the Contractor.

Unless otherwise specified, no filter or envelope is required. The bottom of the trench shall be shaped to form a semicircular groove in its center. The conduit shall be firmly and uniformly bedded throughout its entire length to the specified elevation and grade. The minimum trench width at the top of the conduit should be adequate to permit installation and provide bedding conditions suitable to support the load on the conduit.

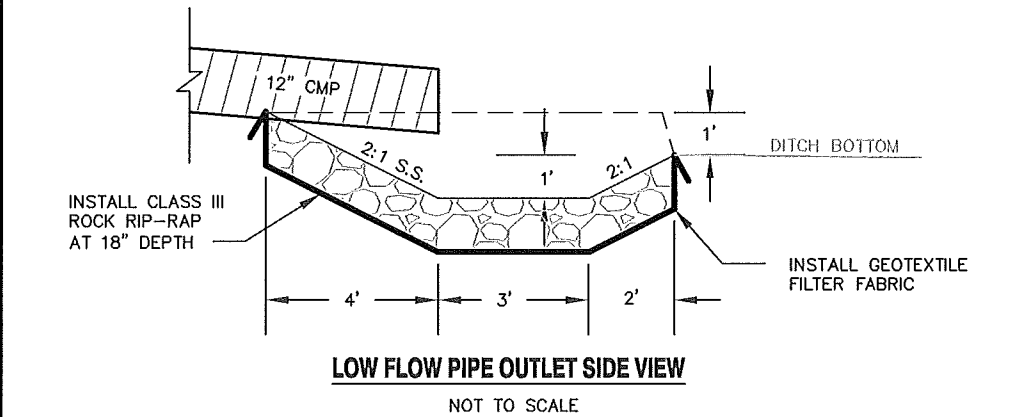
Unless otherwise specified, the pipe shall be assembled and installed in accordance with the manufacturer's recommendations. The pipe shall be laid to the elevations and grades shown on the drawings or as staked.

Unless otherwise specified, excavation and subsequent installation of conduit sections shall begin at the outlet end and progress upstream. Bell and spigot pipe, shall be installed with the bell end upstream. Bell-holes shall be made in the bedding under bells to prevent the pipe from being supported by the fittings. All field cut pipe ends shall have all burrs removed prior to assembling the joints. All pipelines shall be free of foreign material and joints shall be made in accordance with the recommendation of the pipe manufacturer.

BACKFILLING

The initial backfill shall be manually compacted around the pipe and to a depth of 2 feet over the pipe to provide adequate lateral support to the pipe. The initial backfill material shall be selected friable soil free from rocks or stones larger than 1 inch in diameter and earth clods greater than 2 inches in diameter. The moisture content of the backfill material shall be maintained within the limits required to: a) allow the soil to form a ball that does not readily separate when kneaded in the hand; b) prevent adherence of the fill material to the equipment treads or tracks; c) prevent rutting by equipment, and; d) ensure that blending of the soil results in a reasonably homogenous mass. Compaction shall be by hand tamping or manually directed power tampers. The initial backfill shall be placed in layers no thicker than 4 inches and compacted to a density greater than or equal to that of the surrounding undisturbed soil. Special care shall be taken to obtain compaction under the lower half of the pipe. The pipe shall be loaded sufficiently during backfilling around the sides to prevent it from being lifted from the bedding or subgrade.

Final backfill material shall be free of large rocks, frozen soil, and other debris larger than 4 inches in diameter. The material shall be placed and spread in approximately uniform layers with a maximum thickness of 9 inches in such a manner that there will be no unfilled spaces in the backfill and the backfill will be level with the natural ground or the design grade. Rolling equipment shall not be used to compact the final backfill until at least a 2-foot depth of cover has been placed over the pipe. The use of compaction equipment or methods that produce horizontal or vertical earth pressures which may cause excessive displacements or which may damage the installed pipe will nor be permitted. Place backfill to the lines and grades shown on the plans or as staked.

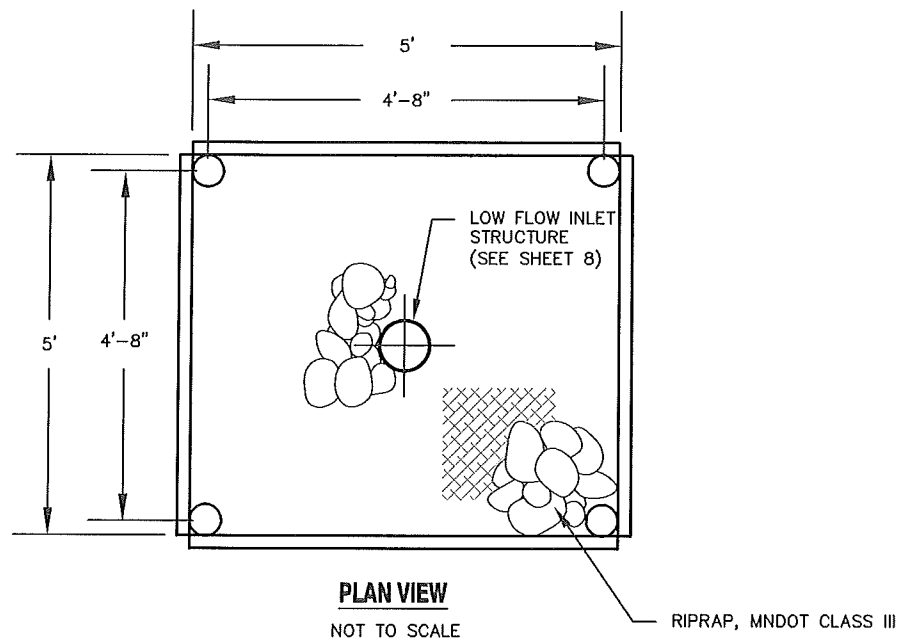


SIZE	UNIT	LOW FLOW INLET ITEM DESCRIPTION	UNIT	QTY.
8"	DIA. INCHES	HEIGHT OF RISER PIPE	LIN. FT.	4
8	DIA. INCHES	HDPE DUAL-WALL PIPE LENGTH (water tight bell and spigot)	LIN. FT.	60
8	DIA. INCHES	90 DEG. ELBOW (water tight)	EACH	1
8	DIA. INCHES	BEEHIVE TYPE TRASH GUARD	EACH	1
15	DIA. INCHES	CMP RISER SLEEVE LENGTH (5 ft. min., Annular CMP - 16 ga.)	LIN. FT.	5
		GROUTED RISER STRUCTURE (4.5 cu.ft.)	EACH	1
LOW FLOW PIPE OUTLET ITEM DESCRIPTION				
12	DIA. INCHES	CMP OUTLET PIPE (16 ga. Annular or Helical)	LIN. FT.	12
		CONCRETE COLLAR AT OUTLET JOINT (2.5 cu.ft. each)	EACH	1
		HINGED TYPE RODENT GUARD FOR CMP OUTLET PIPE	EACH	1
III	CLASS	RIPRAP AT OUTLET PIPE (4 c.y.)	TONS	5.6
I	CLASS	NON-WOVEN GEOTEXTILE (8 OZ.)	S.Y.	13

**SOUTH CENTRAL
TECHNICAL SERVICE AREA**
1160 S. VICTORY DRIVE
MANKATO, MINN.
(507) 345-1051

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	CRAIG & COLLEEN HANSON RAVINE STABILIZATION	
	PRINT NAME: RYAN T. JONES	
SIGNATURE: <i>Ryan T. Jones</i>		
DATE: 7/31/14		LICENSE # 44622
LOW FLOW INLET & OUTLET		SHEET 8 of 11

FENCE TRASH SKIMMER



CONSTRUCTION SPECIFICATIONS (FENCE TRASH SKIMMER):

DESCRIPTION

THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO ASSEMBLE THE FENCE TRASH SKIMMER AS SPECIFIED.

MATERIALS (GENERAL)

ALL MATERIALS TO BE PROVIDED BY THE CONTRACTOR AND ARE SUBJECT TO APPROVAL BY THE PROJECT TECHNICIAN UPON DELIVERY TO THE SITE.

ALL WOOD CONSTRUCTION MATERIALS SHALL BE PRESSURE TREATED LUMBER.

ALL FENCE MATERIALS AND FASTENERS SHALL BE CORROSION RESISTANT.

MATERIALS (RIPRAP & GEOTEXTILE)

RIPRAP SHALL BE DURABLE FIELD STONE (ROUND) OR QUARRY STONE (ANGULAR CRUSHED BEDROCK), IN ACCORDANCE WITH MN/DOT SPECIFICATION 3601.

RIPRAP SHALL BE PLACED WITHIN THE FENCED AREA TO A MINIMUM DEPTH OF 12 INCHES.

GEOTEXTILE FABRIC SHALL BE PLACED BENEATH THE STRUCTURE AND SHALL BE SECURED BY EMBEDDING A MINIMUM OF ONE FOOT INTO THE SURROUNDING SOIL. GEOTEXTILE FABRIC SHALL BE NON-WOVEN, TYPE I PER THE REQUIREMENTS OF MINNESOTA NRCS SPECIFICATION 592. HANDLING AND INSTALLATION SHALL FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER.

INSTALLATION AND ASSEMBLY

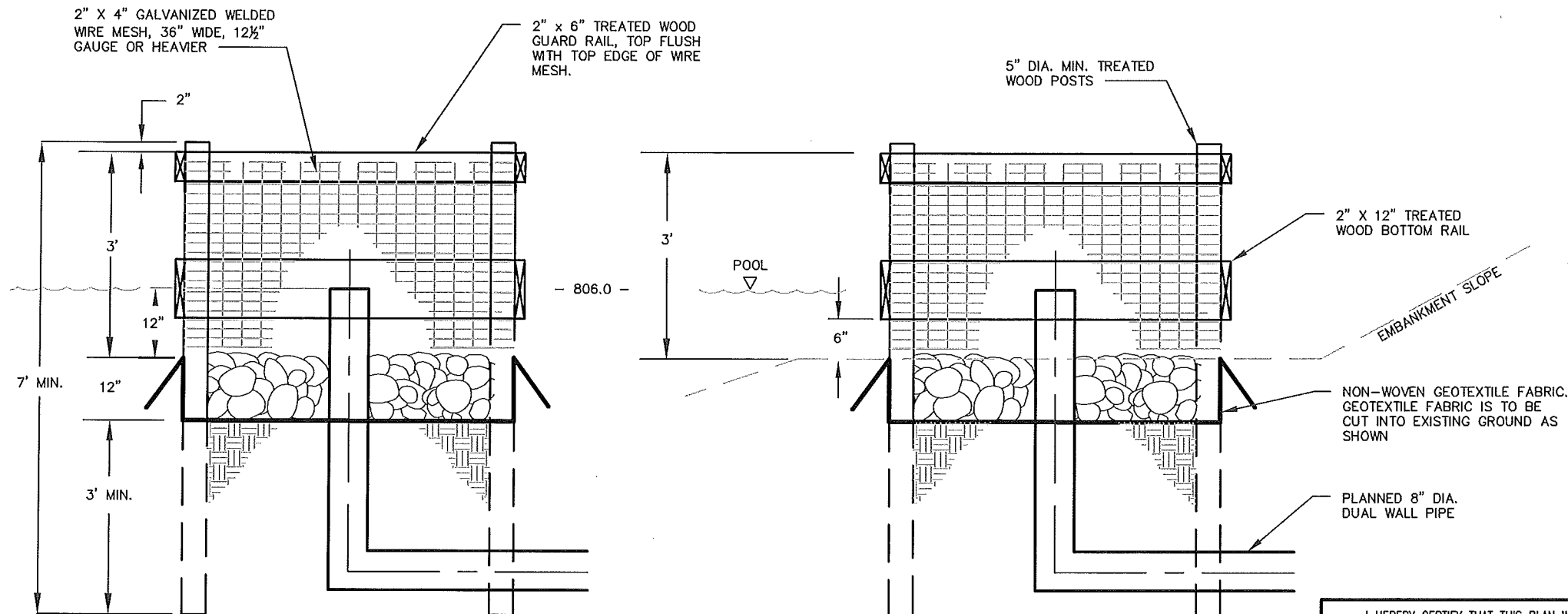
THE LOW FLOW PIPE INLET SHALL BE CENTERED WITHIN THE STRUCTURE.

CORNER POSTS SHALL BE BURIED A MINIMUM DEPTH OF 3 FEET BELOW THE GROUND SURFACE. POST HOLES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN COMPATIBLE MATERIAL.

THE WIRE FENCE SHALL BE FASTENED A MINIMUM OF SIX TIMES PER POST WITH GALVANIZED U-SHAPED STAPLES AND SHALL BE EVENLY PLACED IN A VERTICAL DIRECTION AROUND THE OUTSIDE OF THE POSTS UNLESS OTHERWISE DIRECTED BY THE PROJECT TECHNICIAN.

EACH GUARD RAIL SHALL BE ATTACHED TO EACH POST AND SHALL BE CUT FLUSH TO THE ADJACENT GUARD RAIL TO PROVIDE ADEQUATE RAILING SURFACE.

THE WIRE MESH SHALL EXTEND AND BE FLUSH WITH SURFACE OF FINISHED GRADE.



BILL OF MATERIALS

ITEM DESCRIPTION	QTY. EACH	UNIT
7' TREATED WOOD CORNER POSTS (Minimum 5" Diameter)	4	EACH
2" x 6" TREATED WOOD RAILS	20	LIN. FT.
2" x 12" TREATED BOTTOM RAILS/SKIMMER	20	LIN. FT.
2" x 4" WELDED MESH WIRE, 36" WIDE, 12 Ga. minimum	24	LIN. FT.
GEOTEXTILE, NON-WOVEN TYPE 1	9	SQ. YDS.
RIPRAP, CLASS III	1	CUBIC YDS.
16D GALVANIZED OR CADMIUM COATED NAILS	1	LUMP SUM
STAPLES, 9 Ga., GALVANIZED U-SHAPED	1	LUMP SUM

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: RYAN T. JONES

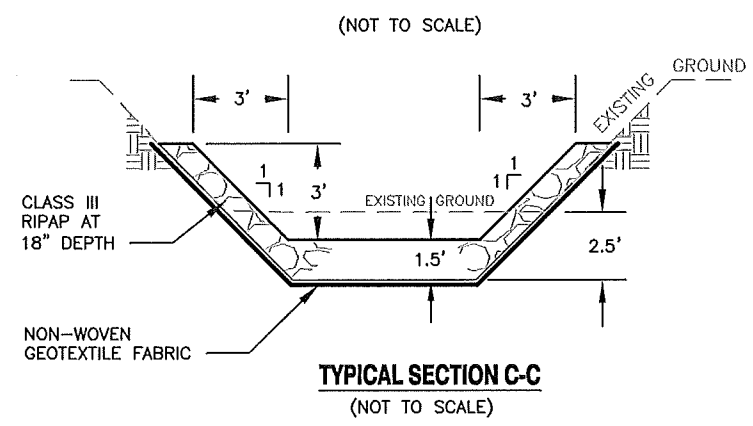
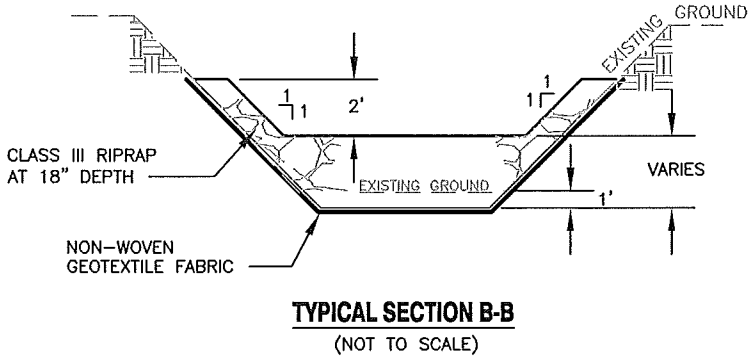
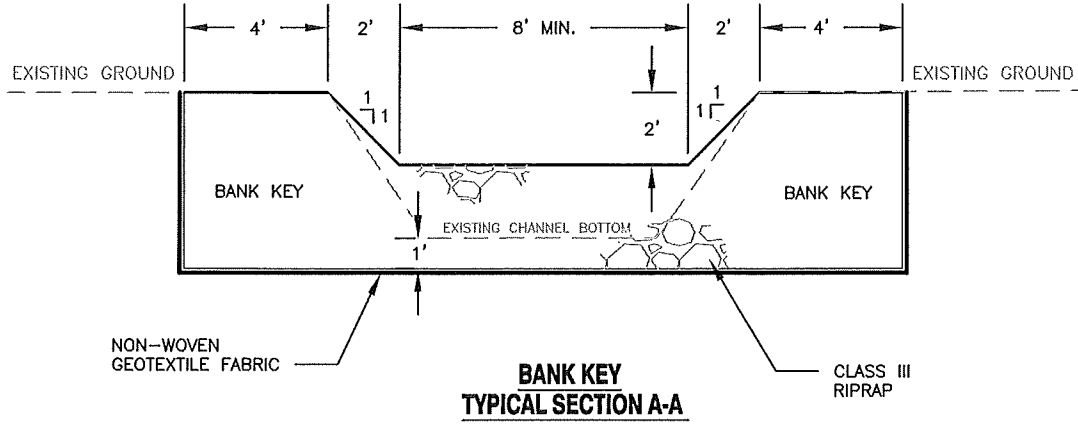
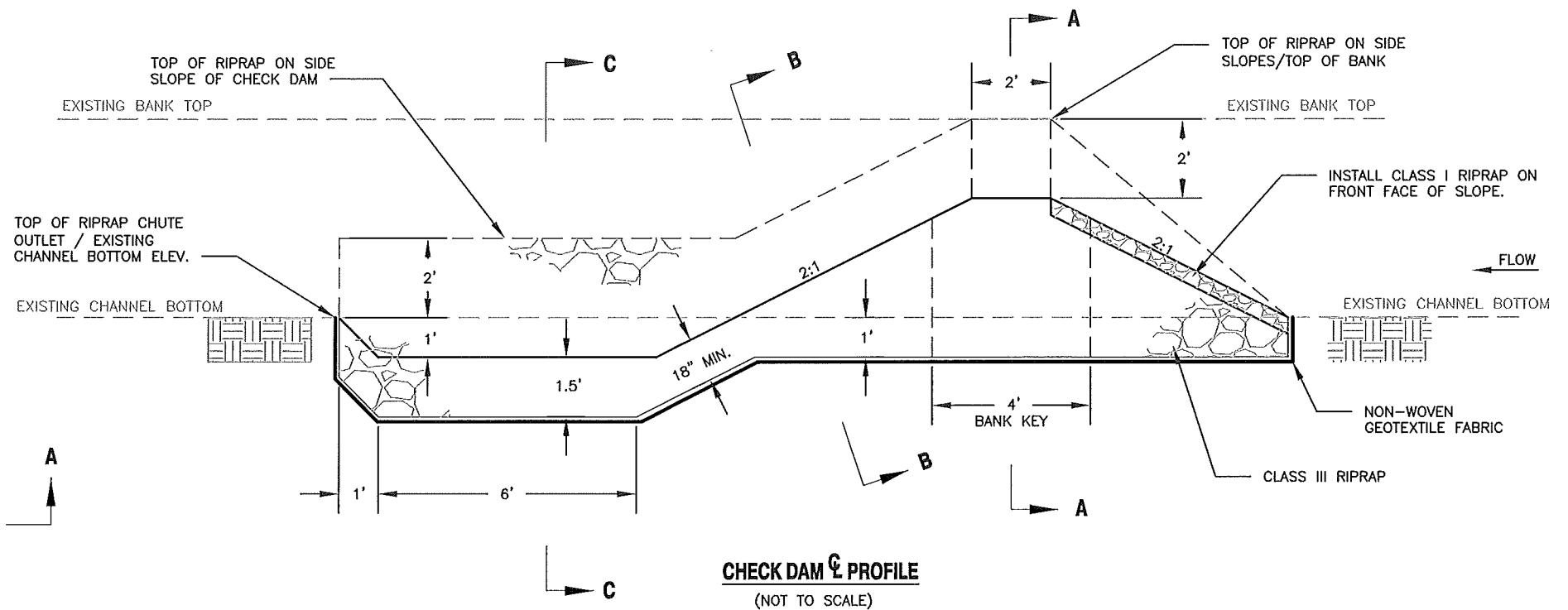
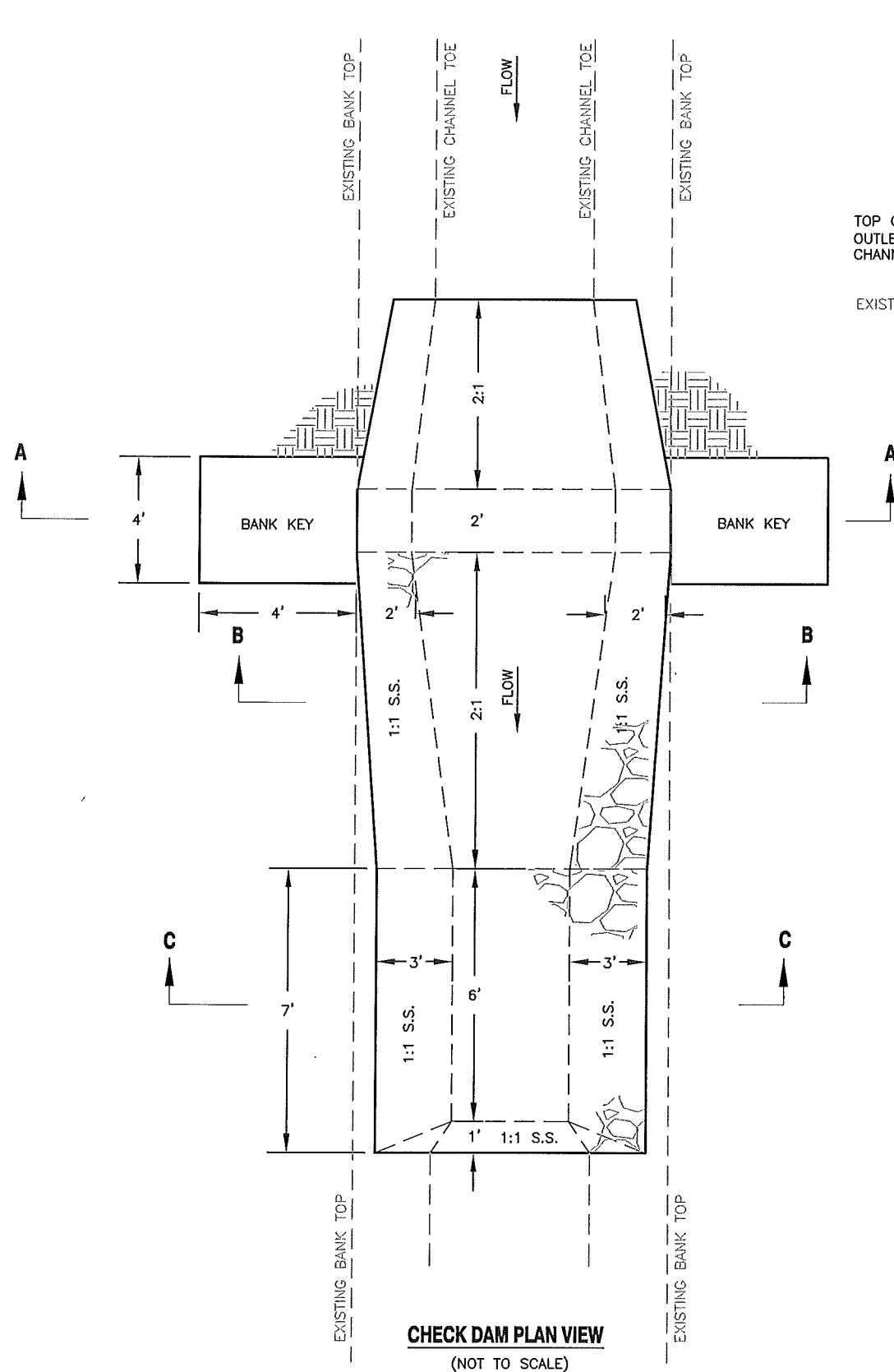
SIGNATURE: *Ryan T. Jones*

DATE: 7/31/14 LICENSE # 44622

**SOUTH CENTRAL
TECHNICAL SERVICE AREA**
1160 S. VICTORY DRIVE
MANKATO, MINN.
(507) 345-1051

CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

FENCE TRASH SKIMMER DETAILS SHEET 9 of 11



- CONSTRUCTION NOTES:**
1. A TOTAL OF 8 RIPRAP CHECKS SHALL BE INSTALLED. LOCATIONS WILL BE STAKED BY THE ENGINEER PRIOR TO CONSTRUCTION.
 2. RIPRAP CHECK LOCATIONS MAY BE ADJUSTED AS NECESSARY IN ORDER TO MINIMIZE DISTURBANCE TO TREES OR OTHERWISE IMPROVE ACCESS FOR CONSTRUCTION EQUIPMENT. COORDINATE WITH THE ENGINEER OR TECHNICIAN.
 3. RIPRAP SHALL MEET THE REQUIREMENTS OF MNDOT SPECIFICATION 3601.
 4. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MN NRCS SPEC. 592.
 5. RIPRAP QUANTITIES ARE ESTIMATED. MORE OR LESS TONNAGE MAY BE REQUIRED. COORDINATE WITH THE ENGINEER AS TO DELIVERY OF MATERIAL TO THE SITE.
 6. LINES AND GRADES SHOWN MAY NEED TO BE ALTERED/WARPED IN SOME LOCATIONS TO CONFORM TO THE CHANNEL.

BILL OF MATERIALS					
SIZE	UNIT	ITEM DESCRIPTION	UNIT	QTY. EACH	QTY. = 8 TOTAL
I	CLASS	FURNISH & INSTALL NON-WOVEN GEOTEXTILE FABRIC	SQ. YDS.	70	560
III	CLASS	FURNISH & INSTALL RIPRAP (35 C.Y.)	TONS	49	392
I	CLASS	FURNISH & INSTALL RIPRAP (1.8 C.Y.)	TONS	2.5	20

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: RYAN T. JONES

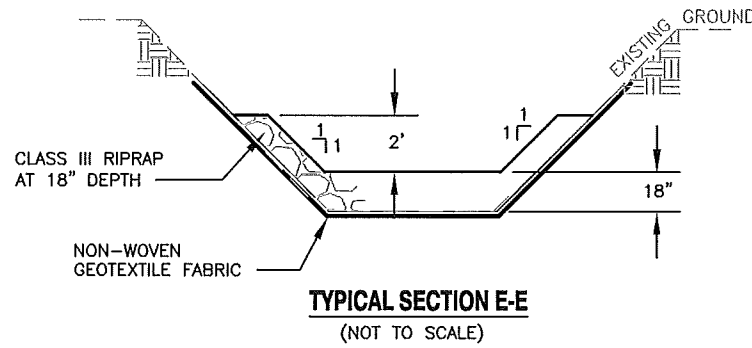
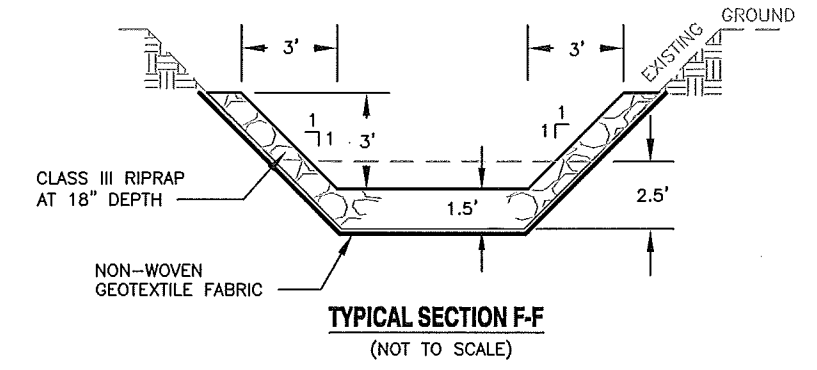
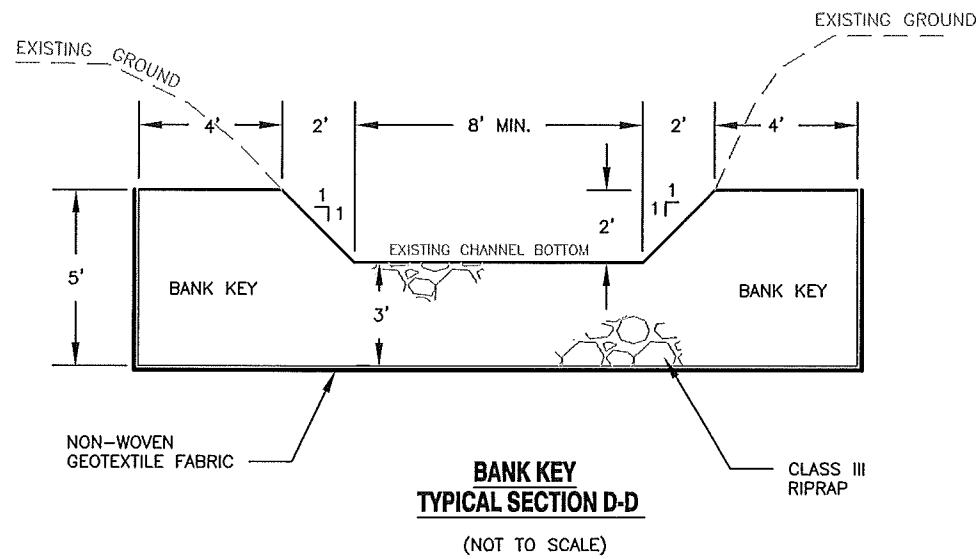
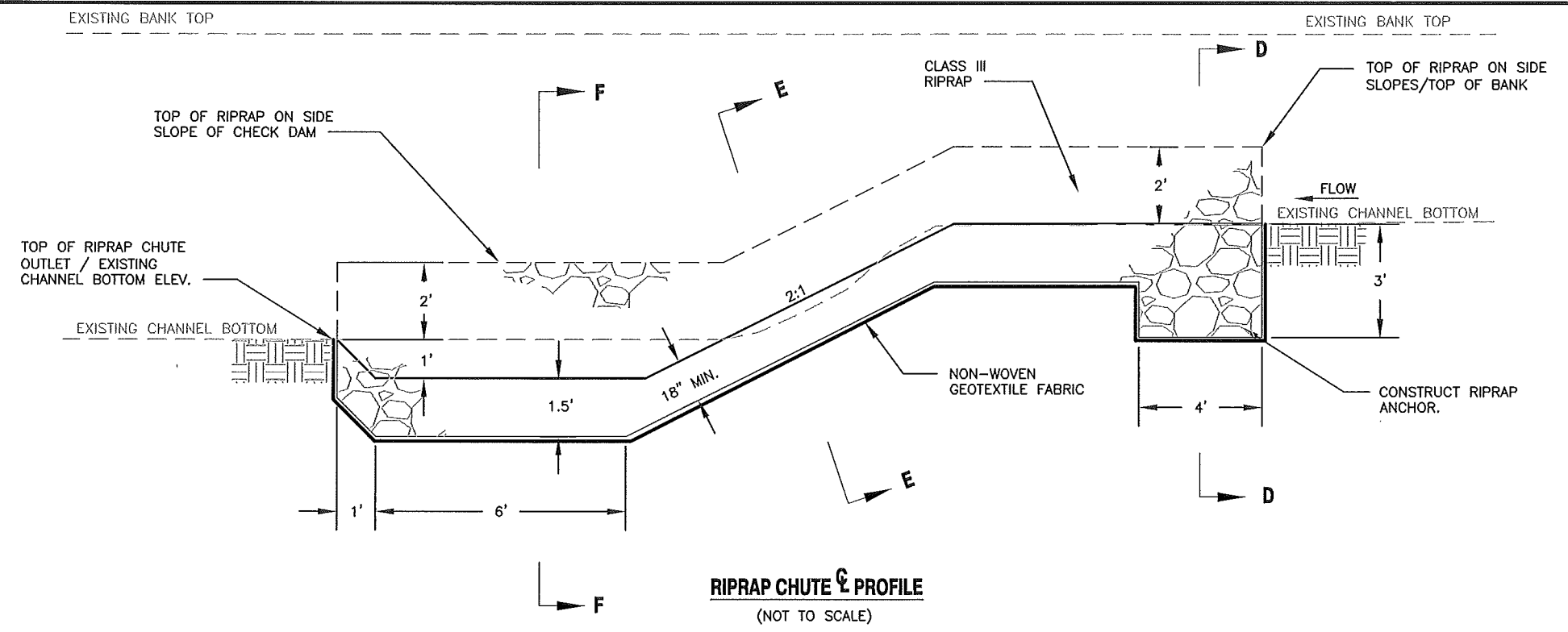
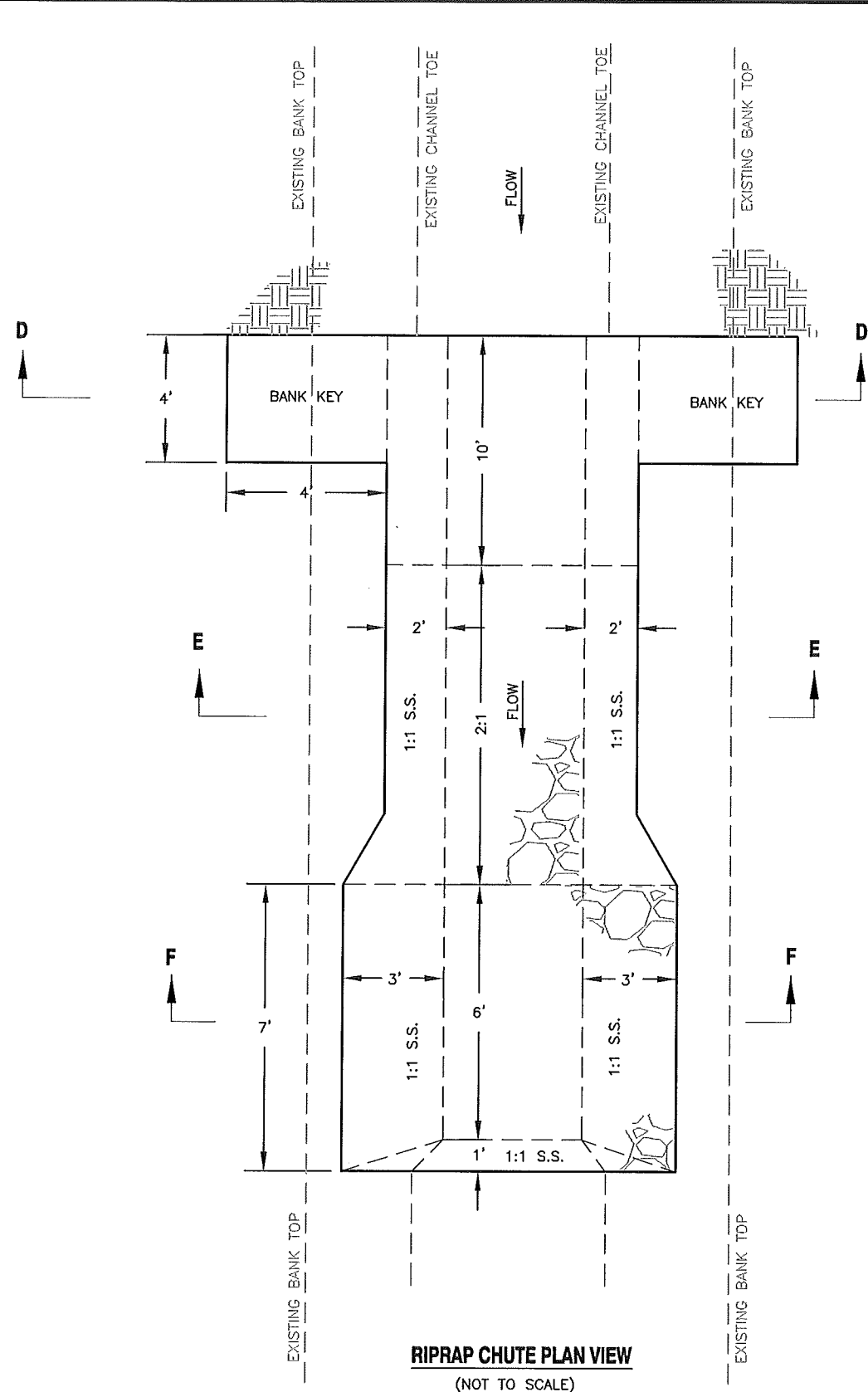
SIGNATURE: *Ryan T. Jones*

DATE: 7/31/14 LICENSE # 44622

**SOUTH CENTRAL
TECHNICAL SERVICE AREA**
1160 S. VICTORY DRIVE
MANKATO, MINN.
(507) 345-1051

CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

RIPRAP CHECK DAM DETAILS SHEET 10 of 11



- CONSTRUCTION NOTES:**
1. A TOTAL OF 2 RIPRAP CHUTES SHALL BE INSTALLED. LOCATIONS WILL BE STAKED BY THE ENGINEER PRIOR TO CONSTRUCTION.
 2. RIPRAP SHALL MEET THE REQUIREMENTS OF MNDOT SPECIFICATION 3601.
 3. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MN NRCS SPEC. 592.
 4. RIPRAP QUANTITIES ARE ESTIMATED. MORE OR LESS TONNAGE MAY BE REQUIRED. COORDINATE WITH THE ENGINEER AS TO DELIVERY OF MATERIAL TO THE SITE.
 5. LINES AND GRADES SHOWN MAY NEED TO BE ALTERED/WARPED IN SOME LOCATIONS TO CONFORM TO THE CHANNEL.

BILL OF MATERIALS					
SIZE	UNIT	ITEM DESCRIPTION	UNIT	QTY. EACH	QTY. = 2 TOTAL
I	CLASS	FURNISH & INSTALL NON-WOVEN GEOTEXTILE FABRIC	SQ. YDS.	70	140
III	CLASS	FURNISH & INSTALL RIPRAP (25 C.Y.)	TONS	35	70

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: RYAN T. JONES

SIGNATURE: *Ryan T. Jones*

DATE: 7/31/14 LICENSE # 44622

SOUTH CENTRAL TECHNICAL SERVICE AREA
1160 S. VICTORY DRIVE
MANKATO, MINN.
(507) 345-1051

CRAIG & COLLEEN HANSON
RAVINE STABILIZATION

RIPRAP CHUTE DETAILS SHEET 11 of 11

LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057
September 11, 2014

MEMBERS PRESENT: Jeanne Doheny, Don Rynda, Shirley Katzenmeyer, Steve Olson, Doug Krenik, Al Gehrke, Betty Bruzek, Pam Tietz

MEMBERS ABSENT: Don Reak, Chuck Retka

OTHERS PRESENT: Kathy Brockway, Commissioners Connolly, Wetzel, Rohlfing

The meeting was called to order at 7:00 PM by Chairperson, Jeanne Doheny.

ITEM #1: OMG MIDWEST DBA SMC, MANKATO MN (APPLICANT\OWNER): Requests that the County grant a Conditional Use Permit to allow mineral extraction of 89 acres in Agriculture "A", Conservancy "C" & Special Protection "SP" District, on Shanaska Creek. Property is located in Sections 28 & 33, Kasota Township. *Application was tabled at the September 14, 2012 due to mandatory EAW.*

Kathy Brockway presented power point presentation. Terry Overn, representative for SMC and Nick McCabe, Engineering Consultant, I & S Engineering were present for the application.

TOWNSHIP: Joe Kienlen, Kasota Township Board Member, township has a good working relationship with SMC, no problems with the proposal. **DNR:** N/A **LETTERS:** none

PUBLIC COMMENT: Debra Bauernfiend, questioned whether work would be done on State Hwy 22, safety concerns, left turns can be dangerous. Terry Overn responded that there is a turn lane off 22 to County Road 102.

Discussion was held regarding: Utilizing the existing accesses, mining below water table, would require permitting from the MPCA and DNR, no plans at this time, bond set by the county board, life expectancy of the pit, depends on the demand, hours of operation, environmental review.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity. Agreed*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. Agreed*
3. *Adequate utilities, access roads, drainage and other facilities are being provided Agreed*
4. *Adequate measures will be taken to provide sufficient off-street parking and loading space to serve the proposed use. Agreed*
5. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. Agreed*

Motion was made by Doug Krenik to approve the application as written with the condition that the hours of operation follow the zoning ordinance, and should the need arise to deviate from the hours, the applicant must notify the Department. Seconded by Betty Bruzek. Motion approved. Motion carried.

ITEM #2: GENESIS COOPERATIVE, LE SUEUR, MN, (APPLICANT\OWNER): Requests that the County rezone of 21.19 acres from an Agriculture "A" District to a General Industry "I" District. Property is located in the NE 1/4, Section 31, Lexington Township.

Don Rynda, removed himself from the discussion due to a conflict of interest with the application.

Kathy Brockway presented power point presentation. Chris Baker, Tim Griep and Bill Rynda were present for application.

TOWNSHIP: No comments
LETTERS: None

CITY OF LE CENTER: No Comments

DNR: N/A

PUBLIC COMMENT: none

Discussion was held regarding: business has been established at this site since the early 70's, Conditional Use Permit granted in 1978 that included bulk storage; rezoning the property brings the property into compliance.

Findings by majority roll call vote:

1. *The proposal reflects and is consistent with the goals and policies of the Le Sueur County Land Use Plan. Agreed*
2. *The proposal is compatible with the overall character of existing development in the immediate vicinity of the affected property. Consideration shall be made if there are similar land uses nearby or if the proposed use would be isolated. Agreed*
3. *The proposal will not have an adverse effect on the value of adjacent properties. Agreed*
4. *The proposal will not be injurious to the use and enjoyment of other property in the immediate vicinity for the uses already permitted. Agreed*
5. *The proposal will not impede the normal and orderly development of surrounding vacant property for predominant uses in the area. Agreed*
6. *The density of the proposal is not greater than the density of the surrounding neighborhood or density indicated by the applicable Zoning District. Agreed*
7. *Adequate utilities, access roads, drainage, and other necessary infrastructure are being provided. Agreed*
8. *Soil conditions are adequate to accommodate the proposal. Not applicable*
9. *The proposal will not create a potential pollution hazard. Not applicable*
10. *The proposal will not degrade the water quality of the County. Agreed*
11. *The proposal will not have a negative impact upon natural resource areas such as bluffs, wetlands, water bodies, agricultural land, woodlands, and aggregate resource deposits. Agreed*
12. *The proposal will not negatively affect the protection of the public health, safety, and general welfare. Agreed*

Motion was made by Al Gehrke to approve the application as presented. Seconded by Shirley Katzenmeyer. Motion approved. Motion carried.

ITEM #3: ALLIANCE PIPELINE, EDEN PRAIRIE, MN, (APPLICANT); WAYNE TIMM, KASOTA, MN & UNIMIN MINNESOTA CORPORATION, LE SUEUR, MN (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating and filling of approximately 3400 cubic yards of material movement for a bank stabilization project in a Special Protection "SP" District on the Minnesota River, and also in a Mineral Resources "MR" Overlay District & Floodway "FW" Overlay District. Property is located in Sections 7, 12 & 18, Kasota Township.

Kathy Brockway presented power point presentation. Randy Phillips, Alliance Pipeline and Beth Wentzel, Inter-fluve were present for application.

TOWNSHIP: Joe Kienlen, Kasota Township Board, township has no issues with the proposal
DNR: Working with the applicants on the project, permitting from the DNR is required. LETTERS: Lauren Klement, LSC Resource Specialist (see file)

PUBLIC COMMENT: none

Discussion was held regarding: construction timeframe, 1 month or less to complete the project, once all permits are in order, safety issues, halt erosion of the bank towards the 36" natural gas line, addressed Lauren Klement's concerns regarding native plantings, working with the Army Corp of Engineers, most of the work is going to be below the Original High Water level, therefore is not the County's jurisdiction, 1000 cubic yards of material outside shore impact zone, 2400 cubic yards of material within the shore impact zone, riprap placement, necessity of the project to protect the community and to protect infrastructure.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.* Agreed
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.* Agreed
3. *Adequate utilities, access roads, drainage and other facilities are being provided.* Agreed
4. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.* Agreed

Motion was made by Shirley Katzenmeyer to approve the application as written. Seconded by Don Rynda Motion approved. Motion carried.

ITEM #4: PAUL ARDISON, ST PETER, MN, (APPLICANT\OWNER): Requests that the County grant a Conditional Use Permit to allow grading, excavating and filling in a Recreational Residential "RR" District, on a Recreational Development "RD" lake, Lake Emily. Property is located at Lot 1, Selly Bay Estates, Section 26, Kasota Township.

Kathy Brockway presented power point presentation. Paul Ardison, landowner and Jim Thomas contractor were present for application.

TOWNSHIP: Joe Kienlen, Kasota Township Board member, not part of the townships jurisdiction, however, the Ardison's did go over the proposal with the township prior to meeting. DNR: No comments LETTERS: Lauren Klement, LSC Resource Specialist (see file), Jim and Amy Card, neighbors and Dianne Selly, neighbor, in favor of the proposal (see file).

PUBLIC COMMENT: none

Discussion was held regarding: access to lake would be safer and easier, unique piece of property, retaining wall will be screened by natural vegetation, no removal of vegetation that is existing, disturbance to the shoreline was due to natural causes, 2006 tornado, type of vegetation to be planted, path grass way, no other options for placement of stairways, all work to be done within the shore impact zone.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.* Agreed
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.* Agreed
3. *Adequate utilities, access roads, drainage and other facilities are being provided.* Agreed
4. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.* Agreed

Motion was made by Steve Olson to approve the application with the condition that a vegetation plan be developed and approved by Lauren Klement, Le Sueur County Resource Specialist. Seconded by Pam Tietz. Motion approved. Motion carried.

ITEM #5: ERIC & DIANA LOMEN, ST PAUL, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant grading, excavating and filling of approximately 693 cubic yards of material for the construction of a detached garage in a Recreational Residential "RR" District, on a Recreational Development "RD" lake, Lake Tetonka. Property is located in Government Lot 2, Section 28, Waterville Township.

Kathy Brockway presented power point presentation. Eric Lomen was present for application.

TOWNSHIP: no comments

DNR: no comments

LETTERS: no comments

PUBLIC COMMENT: none

Discussion was held regarding: addressed Lauren Klement's concerns, will be incorporating rain gardens and installation of gutters on his structure, placement of garage will help with the current erosion problem on the site, due to the relocation of the road, the new structure will help screen the headlights into his home, size of garage, bathroom facilities proposed in garage, lengthy discussion on placement of structure.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity. Agreed **
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area. Agreed*
3. *Adequate utilities, access roads, drainage and other facilities are being provided. Agreed**
4. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result. Agreed*

**(possible drainage issues for the neighbors)*

Motion was made by Al Gehrke to approve the application with the condition that a plan to direct water to an area be developed and approved with Lauren Klement, Le Sueur County Resource Specialist. Seconded by Steve Olson. Motion approved. Motion carried.

Motion was made by Doug Krenik to approve the minutes from the August 14, 2014 meeting by Seconded by Steve Olson. Motion approved. Motion carried.

Motion to adjourn meeting by Al Gehrke. Seconded by Betty Bruzek. Motion approved. Motion carried.

Meeting Adjourned.

Respectfully submitted,
Shirley Katzenmeyer
By Kathy Brockway

*Tape of meeting is on file in the
Le Sueur County Environmental Services Office*