



LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057
507-357-8538

NOTICE OF PUBLIC HEARING

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD.

DATE: MAY 10, 2018

TIME: 7:00 PM

PLACE: ENVIRONMENTAL SERVICES BUILDING, 515 SOUTH MAPLE AVE, LE CENTER, MN

PURPOSE: To hear testimony from interested parties and consider Rezoning and Conditional Use Permit Applications and other questions pertaining to and as provided by the Zoning Ordinance of Le Sueur County as described below. *Information regarding the applications is available for review at the Environmental Services Building during normal business hours.*

- ITEM #1** Planning Commission Notice of Public Hearing
- ITEM #2** Planning Commission Agenda
- ITEM #3** Camas Inc-Yellow Real Estate LLC Packet
- ITEM #4** Chris Kubes/Kubes Realty-D&D Meyer Farms Inc Packet
- ITEM #5** Stangler Packet
- ITEM #6** Akemann-Waterville Foods & Ice Packet
- ITEM #7** Fuller Packet
- ITEM #8** Denn Packet
- ITEM #9** Approved May 10, 2018 Meeting Minutes

APPLICANT OR REPRESENTATIVE MUST BE PRESENT IN ORDER FOR THE APPLICATION TO BE HEARD.

KATHY BROCKWAY, LE SUEUR COUNTY PLANNING & ZONING ADMINISTRATOR
MICHELLE R. METTLER, ASSISTANT PLANNING & ZONING ADMINISTRATOR



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 1

Planning Commission Notice of Public Hearing

Staff Contact: Joshua Mankowski or Michelle R. Mettler

LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057
507-357-8538
www.co.le-sueur.mn.us

NOTICE OF PUBLIC HEARING

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN THAT A PUBLIC HEARING WILL BE HELD.

DATE: MAY 10, 2018

TIME: 7:00 P.M.

PLACE: Le Sueur County Environmental Services, 515 South Maple Ave, Le Center, MN.

PURPOSE: To hear testimony from interested parties and consider Rezoning, Amendments and Conditional Use Permit Applications, as provided by the Zoning Ordinance of Le Sueur County, as described below.

Applications are available for review at the Environmental Services Building during normal business hours and on the website on or after **APRIL 30, 2018**.

ITEM #1: CAMAS INC, LE CENTER, MN, (APPLICANT); YELLOW REAL ESTATE LLC, LE CENTER, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a value-added agriculture use business of developing, processing and selling farm animal nutritional supplements in an Agriculture "A" District. Property is located in the NW 1/4 and the SW 1/4, Section 1, Cleveland Township.

ITEM #2: CHRIS KUBES-KUBES REALTY, NEW PRAGUE, MN, (APPLICANT); D & D MEYER FARMS INC, NEW PRAGUE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SW 1/4 to the SW 1/4 SW 1/4 in an Agriculture "A" District. Property is located in the SW 1/4, Section 5, Lanesburgh Township.

ITEM #3: RICHARD STANGLER, KILKENNY, MN, (APPLICANT\OWNER): Requests that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SE 1/4 to the SE 1/4 SE 1/4 in an Agriculture "A" District. Property is located in the SE 1/4, Section 27, Kilkenny Township.

ITEM #4: BERNARD AKEMANN-WATERVILLE FOODS & ICE, WATERVILLE, MN, (APPLICANT); ABRA LLC, WATERVILLE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating, and filling of approximately 1,957 cubic yards of material movement a Business "B" District. Property is located in the SE 1/4 SW1/4, Section 26, Waterville Township.

ITEM #5: KENNETH & LINDA FULLER, KASOTA, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to move in a temporary dwelling for the elderly in an Agriculture "A" District. Property is located in the West Half of NE 1/4, Section 16, Kasota Township.

ITEM #6: TRICIA DENN, NEW PRAGUE, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a Special Event for wedding/receptions venue in an Agriculture "A" District. Property is located in the NE 1/4, Section 23, Lanesburgh Township.

APPLICANT OR REPRESENTATIVE MUST BE PRESENT IN ORDER FOR THE APPLICATION TO BE HEARD.

JOSHUA MANKOWSKI, LE SUEUR COUNTY PLANNING & ZONING ADMINISTRATOR
MICHELLE R. METTLER, ASSISTANT PLANNING & ZONING ADMINISTRATOR



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 1

Planning Commission Agenda

Staff Contact: Joshua Mankowski or Michelle R. Mettler

LE SUEUR COUNTY PLANNING AND ZONING COMMISSION AGENDA

MEETING DATE: May 10, 2017
PLACE: Le Sueur County Environmental Services Building
515 South Maple Ave, Le Center, MN
TIME: 7:00 P.M.

***Planning Commission Members if you CANNOT be at the meeting contact Mindy at 357-8538.*

1. Call to Order
2. Agenda: Additions/Corrections/Approval
3. Meeting Minutes: April 12, 2018 Additions/Corrections/Approval
4. Applications

ITEM #1: CAMAS INC, LE CENTER, MN, (APPLICANT); YELLOW REAL ESTATE LLC, LE CENTER, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a value-added agriculture use business of developing, processing and selling farm animal nutritional supplements in an Agriculture "A" District. Property is located in the NW 1/4 and the SW 1/4, Section 1, Cleveland Township.

ITEM #2: CHRIS KUBES-KUBES REALTY, NEW PRAGUE, MN, (APPLICANT); D & D MEYER FARMS INC, NEW PRAGUE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SW 1/4 to the SW 1/4 SW 1/4 in an Agriculture "A" District. Property is located in the SW 1/4, Section 5, Lanesburgh Township.

ITEM #3: RICHARD STANGLER, KILKENNY, MN, (APPLICANT\OWNER): Requests that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SE 1/4 to the SE 1/4 SE 1/4 in an Agriculture "A" District. Property is located in the SE 1/4, Section 27, Kilkenny Township.

ITEM #4: BERNARD AKEMANN-WATERVILLE FOODS & ICE, WATERVILLE, MN, (APPLICANT); ABRA LLC, WATERVILLE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating, and filling of approximately 1,957 cubic yards of material movement a Business "B" District. Property is located in the SE 1/4 SW1/4, Section 26, Waterville Township.

ITEM #5: KENNETH & LINDA FULLER, KASOTA, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to move in a temporary dwelling for the elderly in an Agriculture "A" District. Property is located in the West Half of NE 1/4, Section 16, Kasota Township.

ITEM #6: TRICIA DENN, NEW PRAGUE, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a Special Event for wedding/receptions venue in an Agriculture "A" District. Property is located in the NE 1/4, Section 23, Lanesburgh Township.

5. Discussion Items
6. Warrants/Claims
7. Adjourn

Planning & Zoning Commission Public Hearing Procedure: The Chairman calls the meeting to order, then calls the item to be heard and asks the Applicant or representative present to come to the podium to answer any questions or present any comments. The Chairman opens the meeting to the public. Each speaker comes to the podium and states their name for the record prior to making a statement or posing a question. **All questions or comments are to be directed to the board, NOT THE APPLICANT.** After the public comments the Planning Commission publicly discusses the information and reviews the findings before making a motion. All meetings are recorded.



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 1

Camas Inc-Yellow Real Estate LLC Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT:	Camas Inc
OWNER:	Yellow Real Estate LLC
911 ADDRESS:	40463 261 st Ave, Le Center, MN
PROJECT DESCRIPTION:	To allow the applicant to establish and operate a value-added agriculture use business of developing, processing and selling farm animal nutritional supplements
PARCEL NUMBER:	18025
CUP NUMBER:	01.001.0400

SITE INFORMATION

LOCATION:	NW 1/4 & SW 1/4, Section 1, Cleveland Township
ZONING DISTRICT:	Agriculture
ZONING DISTRICT PURPOSE:	The Agriculture (A) District is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.
GENERAL SITE DESCRIPTION:	4.77-acre parcel, existing building, rural
ACCESS:	Existing off State Highway 99 and County Road 112
EXISTING LAND USE WITHIN 1/4 MILE:	
North: Farmland	South: Farmland, state highway
East: Farmland, state highway	West: Dwelling, farmland, county road

BACKGROUND INFORMATION

The property is a triangular-shaped 4.77-acre parcel in an Ag district, between two roads, with existing buildings located on the site, existing access to County Road, existing access to State Highway. Originally the site was McCabe Tiling, a permitted use in the Ag district. In 2005 a Conditional Use Permit (CUP) was approved for Agri-Polymerix to operate a production facility to include warehouse and office space. A large addition was constructed to the existing building and a new septic system was installed. In 2008 a CUP was approved for Fantini North America LLC to operate an Ag Machinery sales and service to include a paint shop and office space. Both CUP's have since expired for lack of use. Current proposal is for a Value-Added Ag use, a Conditional Use in the Ag district. Camas intends to use existing structures, with some interior modifications, and existing septic system. A new Industrial By-Product (IBP) tank will be stalled for processing waste.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Pat McCabe from Cleveland Township was contacted on February 28, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND:	The proposal is not located within the Shoreland District.
WETLANDS:	According to the National Wetlands Inventory, no wetlands are located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, IBP tank information, site plan for proposed IBP tank, parking site plan, existing structure plans, access approvals, Department of Ag Commercial Feed Licenses, Le Sueur County Solid Waste Officer Letter,

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture, Subdiv. 3.E. Section 19, Land Use Performance Standards, Section 21, Conditional Use Permits.

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 makes reference to conserve and protect agricultural resources and uses.

GOAL #1: Le Sueur County contains some of the most productive agricultural soils in Minnesota and should adopt and enforce land use goals and policies that conserve and protect agricultural resources and uses.

Objective 1: The County will protect the best of its agricultural land as a resource for long term agricultural use.

Action 1: The County will continue using an Agricultural District with the ultimate aim being to preserve large contiguous agricultural land tracts for agricultural use.

LAND PERFORMANCE STANDARDS-SECTION 19

ACCESS:

- Existing access off State Highway 99, see MN DOT driveway permit.
- Existing access of County Road 112, see County Engineer email.
- Minimum driving surface 14 feet in width.
- Inslope no greater than 4:1.
- Unobstructed vertical and horizontal clearance.
- Minimum flat grade of at least 20 feet at access point to road.
- The number and width of access drives shall be located to minimize traffic congestion and hazards.

PARKING:

- Parking minimum size requirements: 8 ½ feet in wide, 20 feet in depth, 300 square feet in area.
- Manufacturing or processing plant: Three (3) parking spaces plus one (1) per employee on the major shift. 10 employees.
- Thirteen (13) total required number of parking spaces for proposed use.
- Handicap parking requirements shall be in accordance with the Americans with Disabilities Act.
- Each parking space shall be adequately served by access drives.
- Onsite parking areas of sufficient size required to provide parking for patrons, customers, suppliers, visitors and employees shall be provided.
- No parking space shall be located within ten (10) feet of a road Right-Of-Way (ROW).

LOADING:

- Each loading space shall contain a minimum area of 500 square feet.
- All loading spaces shall provide adequate space for maneuvering of the vehicles.
- Loading area shall not be used for any storage.
- Loading spaces shall have proper access form a road ROW.

LANDSCAPING & SCREEENING:

- Exterior storage shall be screened.
- Screened may consist of fencing and/or landscaping.

SIGNAGE:

- New sign is proposed, see attached sign face.
- Sign will need to be relocated to meet the 10-foot setback from the road ROW.

OUTDOOR LIGHTING:

- Exterior lighting of off-street parking areas, sign, or structures shall be arranged to deflect light away from all road ROWs.
- Source of light shall be shielded or controlled in some manner so as to not illuminate adjacent property.

NUISANCE CONTROL:

Waste Disposal:

- **Refuse** shall be disposed of in compliance with all county, state and Federal waste disposal requirements.
- **Sewage** from structure connected to existing septic system. Compliance Inspection of the system required by June 1, 2018.
- **Solid Waste** is proposed to be removed via onsite dumpster as provided by LJP Enterprises. This will include the disposal of the eggshells.
- **Industrial by-product (IBP)** generated from proposed use will be contained in a separate 10,000-gallon tank, to be installed.
- An SDS permit issued by MPCA, will be require. See Amy Beatty, Solid Waste Officer, letter for conditions.
- All waste material shall be kept in an enclosed structure or properly contained in a closed container designed for such purposes.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
 - a. Traffic.
 - b. The site is adequate for water supply and on-site sewage treatment.
 - c. Comply with all County, State and Federal requirements.
 - d. Department of Ag Commercial Feed License. Minnesota, Iowa, South Dakota. See enclosed.

- e. Installation of an IBP tank for processing waste. SDS permit required. See Amy Beatty letter.
- f. Solid Waste removal. See Amy Beatty letter.

PLANNING AND ZONING COMMISSION CONDITIONS
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The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Compliance Inspection required by June 1, 2018.
10. See Conditions as listed in Le Sueur County Solid Waste Officer, Amy Beatty, letter.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18025

Applicant: CAMAS INC

Land Owner: YELLOW REAL ESTATE LLC C/O FANTINI

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO ESTABLISH AND OPERATE A VALLUE-ADDED AGRICULTURE USE BUSINESS OF DEVELOPING, PROCESSING AND SELLING FARM ANIMAL NUTRITIONAL SUPPLEMENTS.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____



ENVIRONMENTAL SERVICES

Mailing Address: 88 South Park Avenue, Le Center, MN 56057
Physical Address: 515 South Maple Avenue, Le Center, MN 56057
Direct Dial: 507-357-8538 Fax: 507-357-8541
Email: environmentalservices@co.le-sueur.mn.us
County Website: www.co.le-sueur.mn.us

DATE: Monday, April 30, 2018
TO: Le Sueur County Planning and Zoning Commission Members
FROM: Amy Beatty, Le Sueur County Environmental Programs Specialist
RE: Camas, Inc. (Applicant) and Yellow Real Estate LLC (Owner) Conditional Use Permit Application

Dear Planning and Zoning Commission Members:

This letter is regarding Camas, Inc. Conditional Use Permit (CUP) application to establish and operate a value-added agriculture use business on property located in Section 1 of Cleveland Township.

Because Camas, Inc. will be generating an industrial by-product (IBP) from the processing of its farm animal nutritional supplements, a State Disposal System (SDS) Permit, issued by the Minnesota Pollution Control Agency (MPCA) is required for its storage and land application. An SDS Permit for the an IBP is required when

- Land application of more than 50,000 gallons or 10 dry tons of IBP per year and/or
- IBP storage at a volume that could create environmental concerns.

As of April 30, 2018, Camas, Inc. has not applied to the MPCA for coverage under an SDS permit for its IBP.

If Camas, Inc. application is approved, I recommend the following conditions:

1. Camas, Inc. shall apply to the MPCA for coverage under an SDS Permit for its IBP storage and land application.
2. Le Sueur County Environmental Services Department shall receive copies of all SDS Permit Coverage Letters for the life of the business's operation in Le Sueur County.
3. Le Sueur County Environmental Services Department shall receive copies of all annual reports submitted to the MPCA for the life of the business's operation in Le Sueur County.
4. Camas, Inc. shall abide by its SDS Permit pertaining to the construction, installation, operation, and maintenance of its IBP storage area.
 - a. Le Sueur County Environmental Services Department shall receive all storage area construction information submitted to the MPCA (for example, the engineered drawing(s) of the storage tank, notification of when the storage tank is installed and the name of contractor, and final as-built of the storage tank's installation).
5. Camas, Inc. shall abide by its SDS permit regarding the land application of its IBP as to where it can be applied, when it can be applied, who can apply it, notification of the application to the county and township(s) where it is applied, and sampling and analysis of the IBP.

6. Camas, Inc. shall notify Le Sueur County Environmental Services Department of any non-compliance issues pertaining to any permits and/or licenses issued for the operation and manufacturing of its farm animal nutritional supplements.
7. If the disposal of the egg shells changes from what is proposed in the application (placed in a dumpster and managed at a solid waste facility), Camas, Inc. shall contact the Le Sueur County Environmental Services Department.

If you have any questions or comments regarding this letter, please contact me at 507-357-8203.

Sincerely,

A handwritten signature in cursive script that reads "Amy Beatty". The signature is written in black ink and is positioned above the typed name.

Amy Beatty

Le Sueur County Environmental Programs Specialist
507-357-8203

Le Sueur County

Conditional Use Application

I. Applicant:

Name CAMAS, Inc.
Mailing Address P.O. Box 10
City Le Center State MN Zip 56057
Phone # 507-357-4929 Phone # _____

II. Landowner:

Name Yellow Real Estate, LLC
Mailing Address _____
City _____ State _____ Zip _____
Property Address 40463 261st Ave
City Le Center State MN Zip 56057
Phone # _____ Phone # _____

III. Parcel Information:

Parcel Number 01.001.0400 Parcel Acreage 4.77
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township 110 N Section 1
Subdivision N/A Lot N/A Block N/A

IV. Township Notification: Township must be notified of proposed use prior to application.

Cleveland Township notified on 2/28/18
(Township Name) (Date)
Board Member Pat McCabe regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.
- Applications will not be accepted by mail.**



VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request:

- | | |
|--|---|
| <input type="checkbox"/> Self Service Storage | <input checked="" type="checkbox"/> Value Added Agriculture |
| <input type="checkbox"/> School/Church/Cemetery | <input type="checkbox"/> Antique Sales/Service/Repair |
| <input type="checkbox"/> Retail Nursery/Greenhouse | <input type="checkbox"/> Substation/Transmission Lines etc. |
| <input type="checkbox"/> School/Church/Cemetery | <input type="checkbox"/> Other _____ |

VIII. Description of Request:

- a. A full description of request with detailed information must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: Monday - Friday 5 a.m. - 5 p.m.
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: currently 10 employees per day, more may be added in future; see #7 of Full Description for traffic
3. LIST OF PUBLIC HEALTH PLANS:
 - i. Water Supply: Well
 - ii. Toilet facilities: Septic: 3 restrooms
 - iii. Solid Waste Collection: LSP
4. FIRE PREVENTION: Sprinkler Sys. Installed. V. King Services inspects
5. SECURITY PLANS: Existing: North American Security
6. RETAIL SALES: N/A
7. FOOD OR ALCOHOL SERVED OR FOR SALE: N/A
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.) N/A
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC: N/A
10. EXTERIOR LIGHTING: Existing: see #9 of Full Description
11. PARKING AND LOADING: Existing Loading; 13 parking spaces; see #7 of Full Description
12. SIGNAGE: Existing sign will be removed and new installed; see #9 of Full Description
13. ROAD ACCESS: (Approved by the road authority) See #7 of Full Description re: MnDOT and County Approval
14. CERTIFICATE OF INSURANCE: Brown & Brown, attached
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) FDA Facility Feed License (MN, IA, SD) see #6 of Full Description

IX. Site Plan: Shall include but not limited to the following:

- | | | | |
|---------------------|-----------|-----------------------|----------------------------|
| • North point | • Lake | • Existing Structures | • Septic system |
| • Setbacks | • River | • Proposed Structures | • Well |
| • Property Lines | • Wetland | • Lot Dimensions | • Access (size & location) |
| • Road Right-Of-Way | • Stream | • Ponds | • Easements |
- Parking (Size & location-if applicable to application)
 - Landscape, screening and buffering (if applicable to application)
 - Location of significant trees to be removed (if applicable to application)



X. Attachments: shall include but not limited to:

- a. Description of Request-See Part VIII for full details and requirements.
- b. Site Plan-See Part IX for full details and requirements.
- c. Full legal description-Not abbreviated description from tax statement.
- d. Access approval-Attach approval in writing from proper road authority.
- e. Township Notification-See Part IV for details and requirements.
- f. Septic System Compliance Inspection
- g. Erosion control plan-Attach completed and signed plan including map.
- h. Floor plans and/or blue prints

XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

[Signature] _____ Date _____
Applicant signature

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

[Signature] _____ Date _____
Property Owner signature

OFFICE USE ONLY

Request: _____

Pre-App Date <u>4-10-18</u>	Lake Classification <u>✓</u>	Feedlot	500' 1000' <u>N</u>
Meeting Date <u>5-10-18</u>	Lake	Wetland Type	1-2 3-8 <u>N</u>
60 Day <u>6-5-18</u>	FEMA Panel # 27079C0 <u>210</u>	Water courses	Y <u>N</u>
Zoning District <u>A</u>	Flood Zone <u>K-outside</u>	Bluff	Y <u>N</u>

<input checked="" type="checkbox"/> Request Description	<input checked="" type="checkbox"/> Access Approval	<input checked="" type="checkbox"/> Septic	Comp Insp / Design
<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Erosion Control Plan	<input checked="" type="checkbox"/> Meeting	Reg L ATF / Spec
<input checked="" type="checkbox"/> Full Legal	<input checked="" type="checkbox"/> Blue Prints	<input checked="" type="checkbox"/> Fee	\$ <u>4740</u>
<input checked="" type="checkbox"/> Ordinance	<input type="checkbox"/> Other _____	<input type="checkbox"/> Penalty	\$ _____

Application Complete Michelle R. Muffa 4-10-18 180
Planning & Zoning Department Signature Date Permit #

- Will need CI on SSTS by 6-1-17.
(Thru)



LE SUEUR COUNTY CONDITIONAL USE APPLICATION
Camas, Inc., applicant, Yellow Real Estate, LLC, current landowner
Concerning 40463 261st Ave., Le Center; Parcel ID# 01.001.0400



Part VIII. a. of application (full description of request)

1. Yellow Real Estate LLC is the current owner of this property. SRS Properties LLLP has entered into a purchase agreement for the property contingent on receiving this Conditional Use Permit. If the CUP is approved and the property purchased, SRS will lease the property to Camas, Inc., which will use the property as described below.

2. SRS Properties LLLP would lease the property to Camas Inc, which would use it for its business of developing, processing and selling its farm animal nutritional supplements (as described in more detail below). The nutritional supplements are based on dried (i.e. powdered) chicken egg, and the conditionally permitted use that applies is “value added agriculture” (sec. 8, subd. 3. E. of the zoning code).

3. Most recently, the property was operated as an agri-machinery sales and service business under Conditional Use Permit #28108 issued to Fantini North America LLC. That business ceased operation on the property and the property has been vacant since about Spring 2017. Previously, the property was operated as a pilot product facility and warehouse and office under Conditional Use Permit #25022 issued to Agri-Polymerix, LLC. We do not proposed to make use of either of those Conditional Use Permits.

4. Camas Inc has operated in the area since 2000. Begining then and to the present, its management and sales office and research facility for the development of new products has been and is located at 260 W Derrynane Street in Le Center. Currently, its production facility is located at 304 N. 2nd Street, Mankato. Camas would consolodate all of its operations at this property under the Conditional Use Permit.

5. Camas currently employs 4 full time management and administrative employees, 2 people full time for production, and 4 people full time for research, development and quality control. It is possible that these numbers may increase in the future. Camas anticipates adding about \$60,000.00 of improvments and equipment at the property. There would be no livestock raised on the property. Camas contracts with third parties for the production of the eggs at other locations.

6. On this property, Camas would research, develop and prepare immunizations to be given to chickens that are raised by third parties at other locations. These third parties would then collect and ship the whole eggs to the property. On the property, Camas would crack the eggs and pasteurize the liquid egg. The liquid egg would then be shipped to a third party for drying at another location. The dried and powdered egg would then be returned to Camas at the property. Camas would then, at the property, package the dried egg and ship it to Camas's customers. All these steps that would occur at the property are now conducted by Camas at its office in LeCenter and its production facility in Mankato. Managment and administrative activities, including order taking and fulfillment, would also occur at the property. Camas is and would continue to be hold feed licenses from Minnesota, Iowa and South Dakota, and its FDA falcility license number is 13464225090.

7. Currently, there are about 4 semi-truck and 12 straight truck deliveries or pick-ups at Camas facilities each week. All trucking is by third parties, and Camas does not keep any trucks at its LeCenter or Mankato facilities. We do not anticipate this changing in the near future. There would be little traffic other than these trucks and employee traffic. Almost all contacts with suppliers and customers are done by phone, internet and mail. Per the attached e-mail from Dave Tieg Le Sueur County Highway Engineer, the property's access to County Road 112 will be adequate. In addition to anticipated traffic loads, we reminded MnDOT that there is no turn or acceleration lane for the property access to state highway 99. Per the attached e-mail from Steve Schoeb of MnDOT, the property's access to state highway 99 will be adequate without the addition of a turn or acceleration lane. The existing parking area will not be significantly changed (except for possible paving of some currently gravelled surfaces in the future). There will be no need for parking on either the state highway or county road. The attached parking-detail site plan shows the location of 13 parking spaces (each 8 1/2' x 20', total parking area not less than 300 sq. ft., closest parking space not less than 10' from the nearest road right of way).

8. There would be no significant changes to the exterior of the property, except that we would install a 10,000 gallon underground holding tank to hold wastewater from all operations other than the kitchen, bathrooms and hand sinks. The tank would periodically be pumped out and the waste water properly disposed of at another location. Camas has started the application process for an industrial by-product permit (IBP) from the Minnesota Pollution Control Agency to use that tank, but the application process cannot be completed until the CUP is issued. The design application for the tank from James Bros. Construction, Inc. is attached, and the minimum distance from the tank to the well on the property will be 140'. The erosion control plan for the installation of the tank is attached. The septic system will not be used for the waste from processing the products.

9. The waste water from the kitchen, bathrooms and hand sinks will be handled via the existing septic system. A septic system compliance inspection cannot be completed during the Winter. Camas understands that a CUP would be conditioned on completion of the inspection by June 1, 2018. A drawing of the existing septic system and the location of the new holding tank is attached. The existing well on the property is sufficient for all activities.

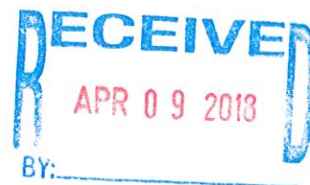
10. Egg shells from processing the eggs will be disposed of by Camas's solid waste disposal service, which is currently provided by LJP Enterprises, Inc.

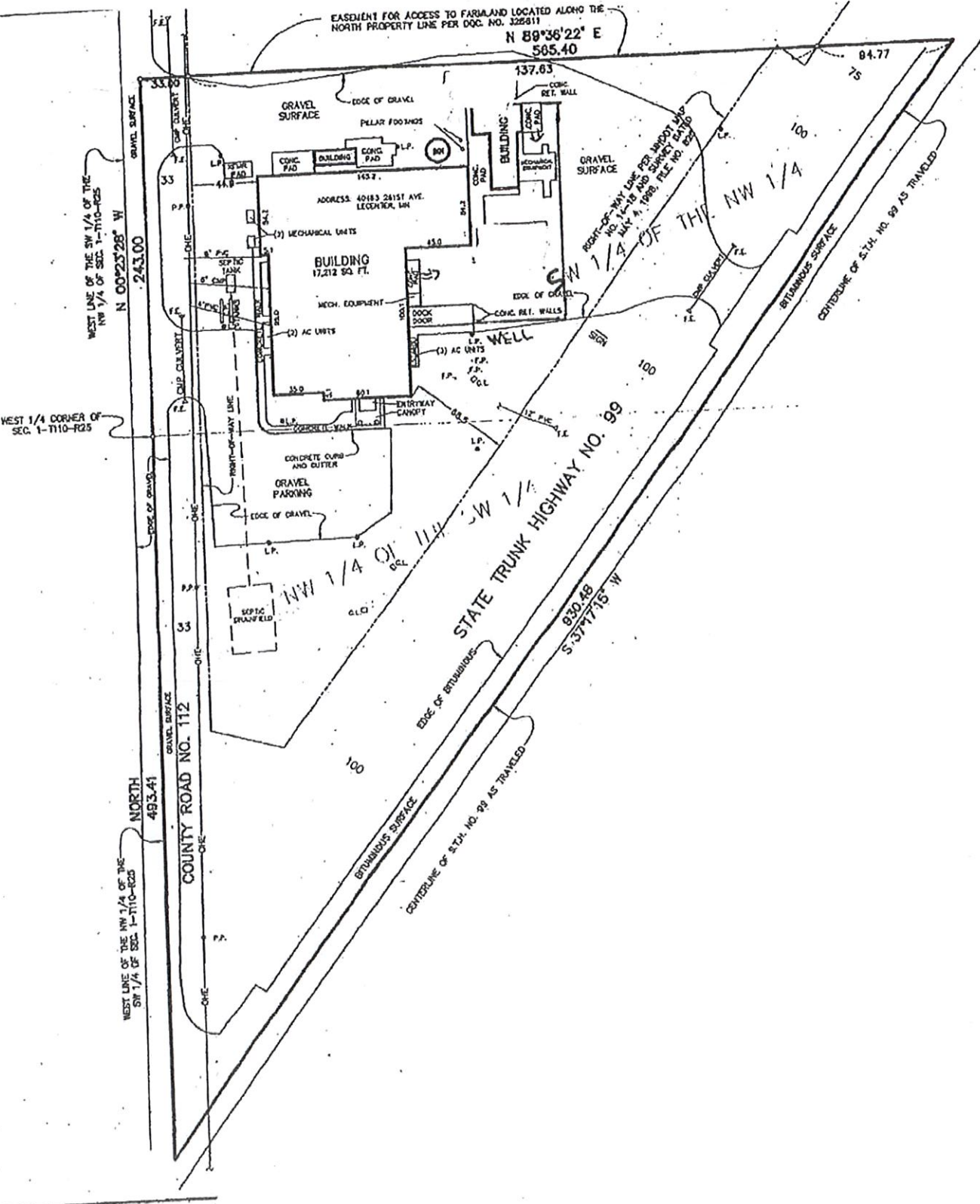
11. Exterior lighting would not significantly change. The exterior lighting will not cast light on either road right of way in excess of 1 foot candle measured from the centerline of the road, will not be directed so as to blind the driver of any vehicle, will not cast light in excess of 1 foot candle off of the property (nor will it cast light exceeding 0.4 foot candles onto a residential property as measured from that property's property line), and no flood lights or exterior high-temperature light-emitting processes will be used. The existing sign will be removed. Within 6 months of the CUP being granted, Camas will apply for a sign permit and erect a new sign at least 10' outside of highway 99 right of way and not larger than 32 sq. ft. and not more than 10' tall. A drawing of the new face of the sign is attached.



12. Emissions from the property will have no significant effect on neighboring properties. The processes used by Camas do not emit significant noise or vibration outside of the buildings. The only significant air emissions will be from heating the buildings. No unusually large electrical service will be required.

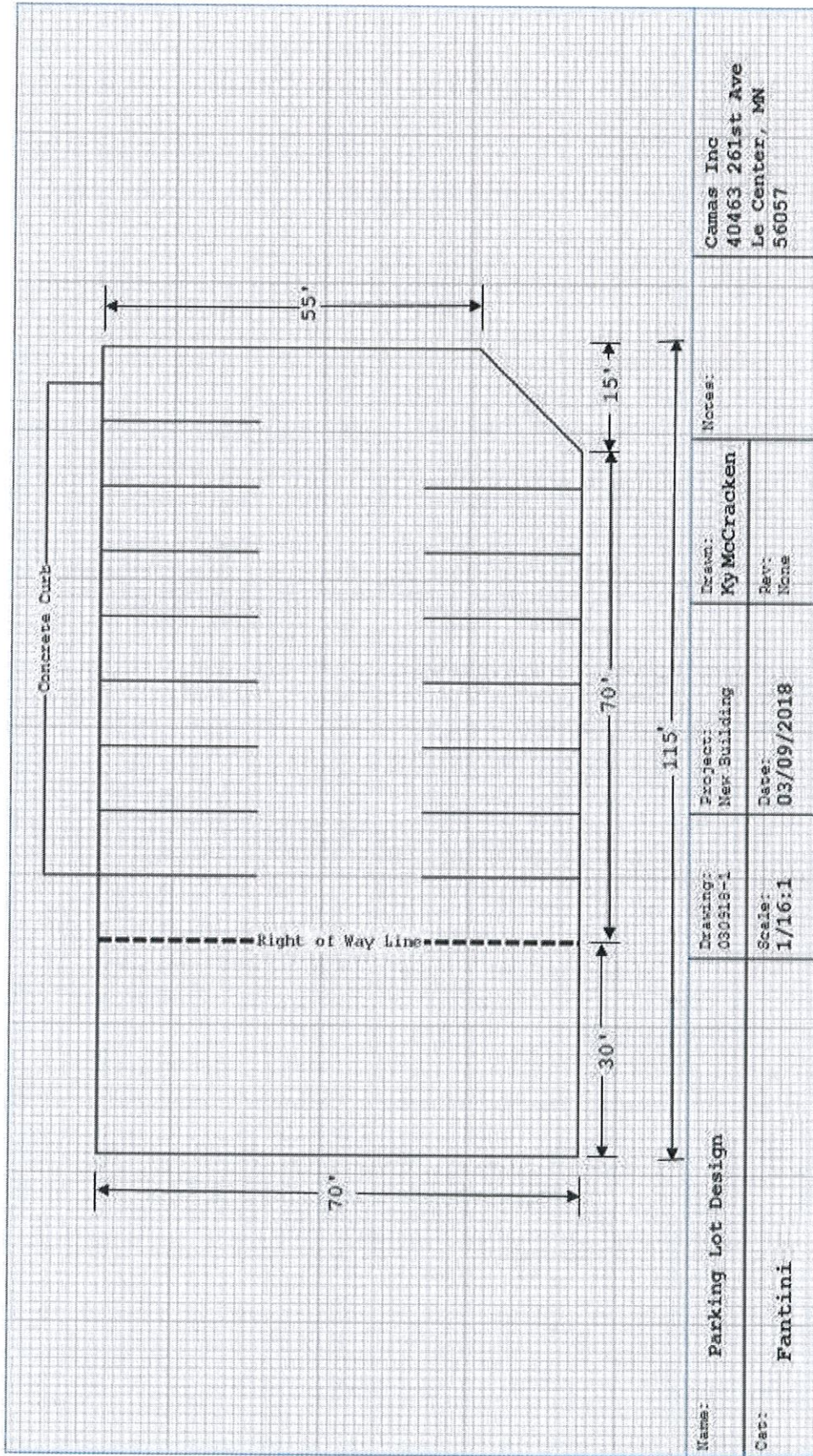
13. We do not anticipate significant change to the current floor plan of the buildings except for the removal and/or construction of non-bearing divider walls.

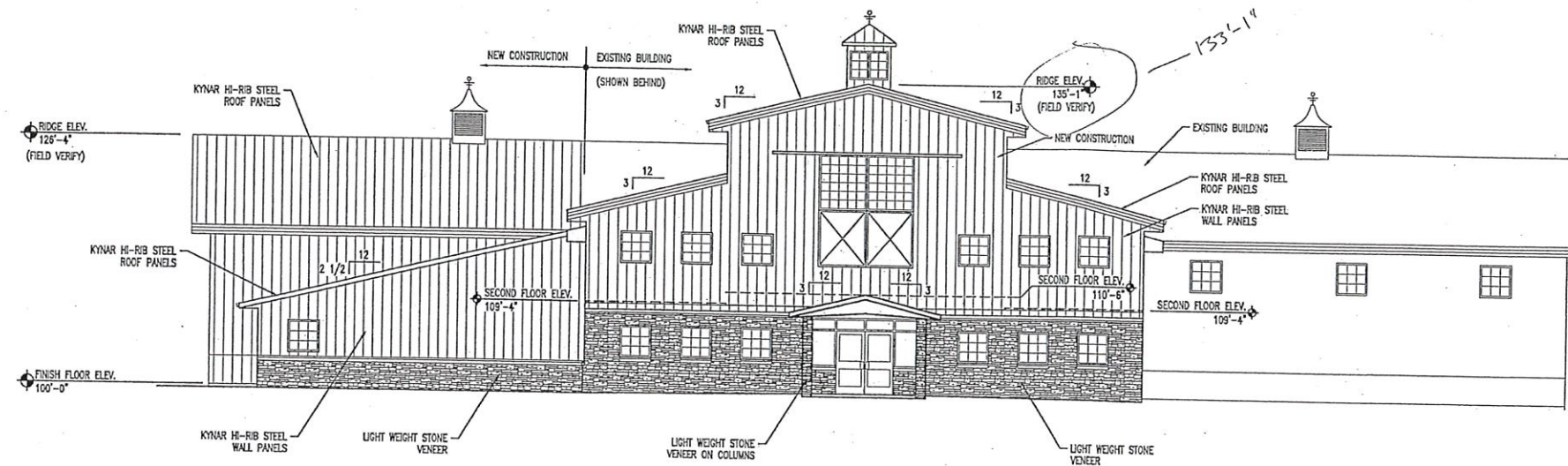




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 BY: _____

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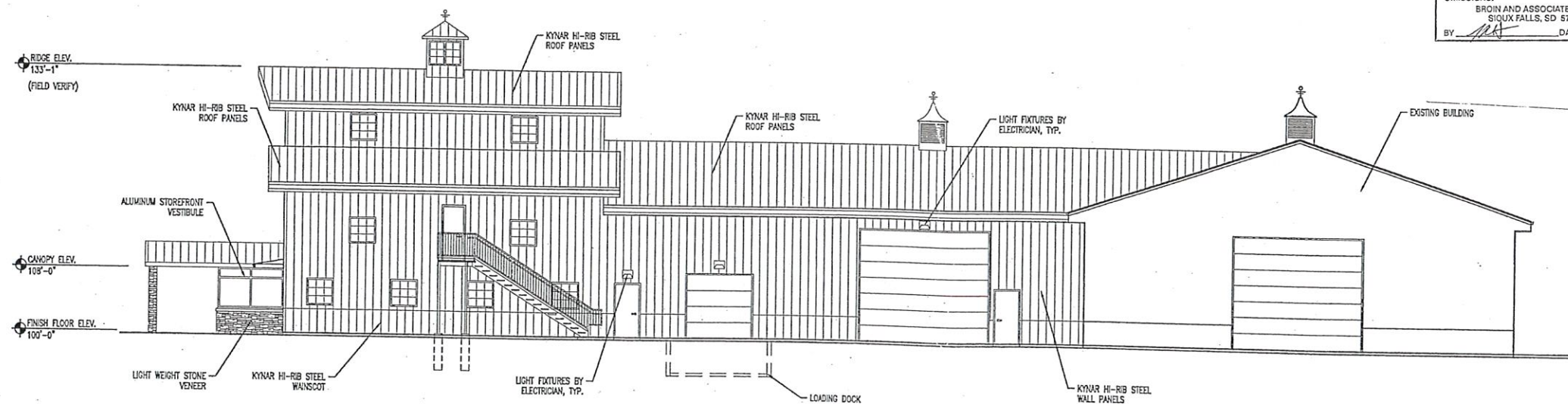


1 SOUTH ELEVATION
 1/8" = 1'-0"

ACCEPTED
 REJECTED
 REVISED
 REVISIONS FOR GENERAL REQUIREMENTS AND CONFORMANCE TO PROJECT SPECIFICATIONS AND DRAWINGS. THIS REVIEW SHALL NOT RELIEVE THE SUBCONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE TO CONTRACT DOCUMENTS OR FOR DEFECTIVE WORK RESULTING FROM ANY ERRORS OR OMISSIONS.

REVISE AND RESUBMIT
 MAKE CORRECTIONS NOTED

BROIN AND ASSOCIATES, INC.
 SIOUX FALLS, SD 57104
 BY *MA* DATE 11-7-05



2 EAST ELEVATION
 1/8" = 1'-0"

KEY PLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE _____ LIC. NO. _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

COREY ALAN BRUNTON

Corey Alan Brunton
 DATE 09-07-05 LIC. NO. 26338

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF I&S ENGINEERS & ARCHITECTS, INC. THEY MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

AGRI-POLYMERIX
 40463 261st AVE., LE CENTER, MN 56075

ADDITION

LE CENTER MINNESOTA

MARK	DATE	DESCRIPTION
▲		
▲		
▲		
▲		

PROJECT NO. 05-8723
 CAD FILE NAME 8723 2-11.dwg
 DRAWN BY DTL
 DESIGNED BY

PLOT DATE 09-07-05

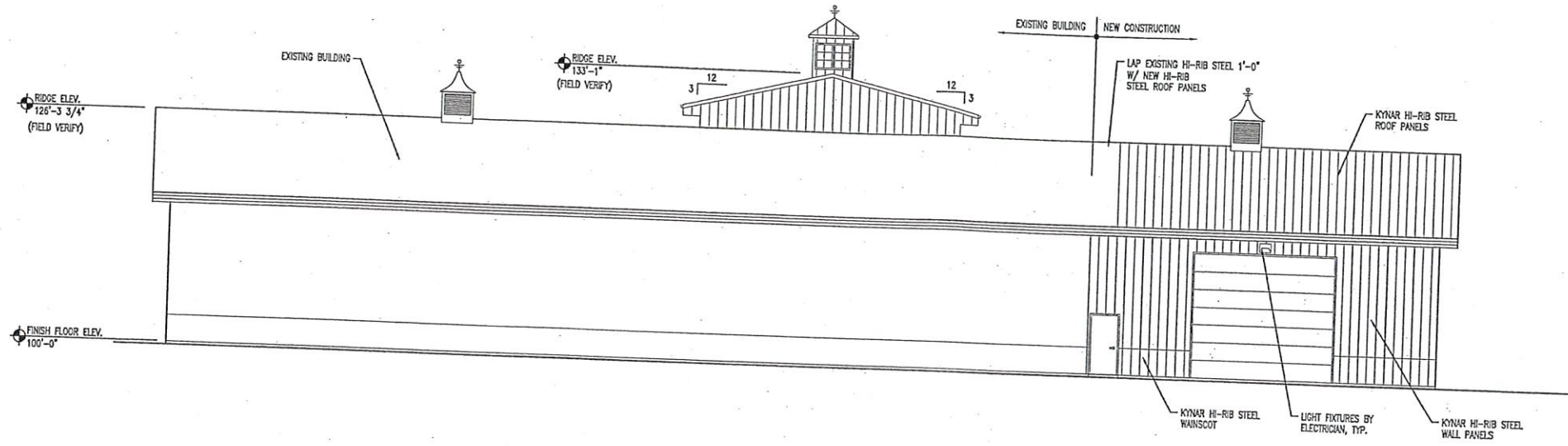
CLIENT PROJECT NO.

TITLE

EXTERIOR ELEVATIONS

SHEET

A2.11

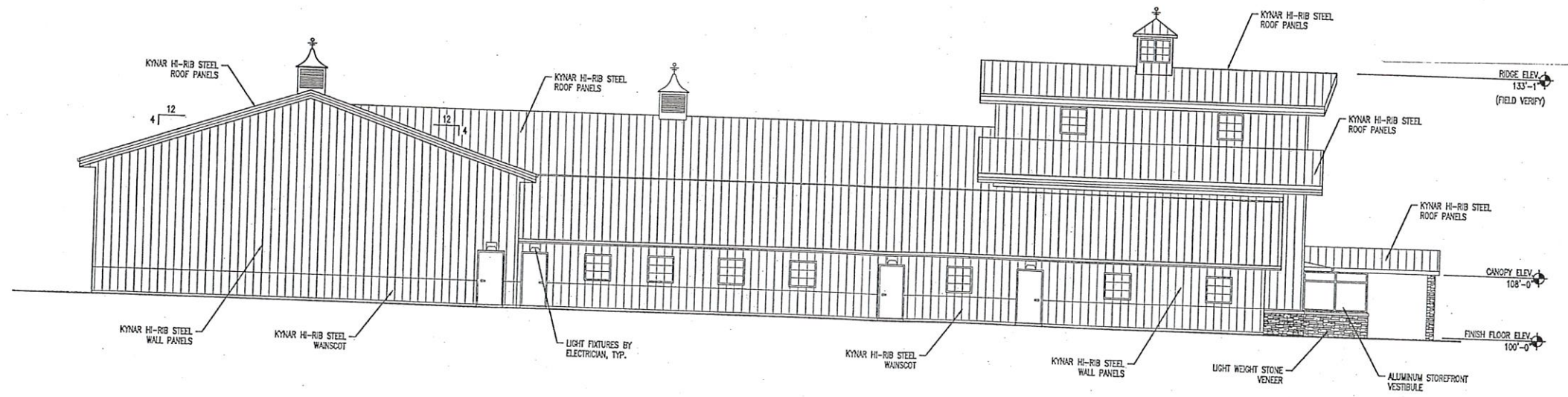


1 NORTH ELEVATION
 1/8" = 1'-0"

ACCEPTED REVISE AND RESUBMIT
 REJECTED MAKE CORRECTIONS
 REVIEWED NOTED

REVIEWED FOR GENERAL REQUIREMENTS AND CONFORMANCE TO PROJECT SPECIFICATIONS AND DRAWINGS. THIS REVIEW SHALL NOT RELIEVE THE SUBCONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE TO CONTRACT DOCUMENTS OR FOR DEFECTIVE WORK RESULTING FROM ANY ERRORS OR OMISSIONS.

BRONIN AND ASSOCIATES, INC.
 SIOUX FALLS, SD 57104
 BY *[Signature]* DATE 11-7-05



2 WEST ELEVATION
 1/8" = 1'-0"

KEY PLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE _____ LIC. NO. _____

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

COREY ALAN BRUNTON
[Signature]
 DATE 09-07-05 LIC. NO. 26338

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PROJECT
AGRI-POLYMERIX
 40463 261st AVE, LE CENTER, MN 56075
ADDITION
 LE CENTER MINNESOTA

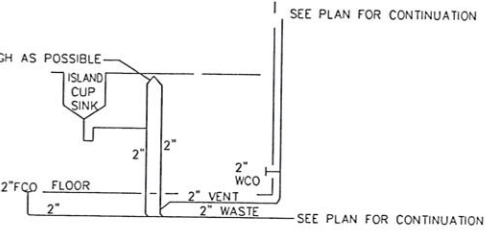
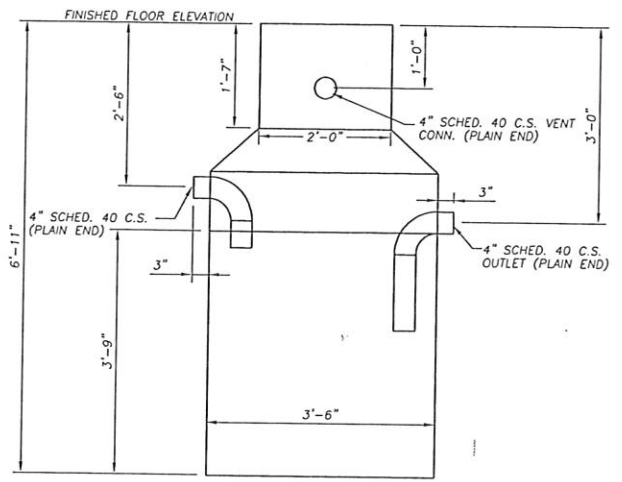
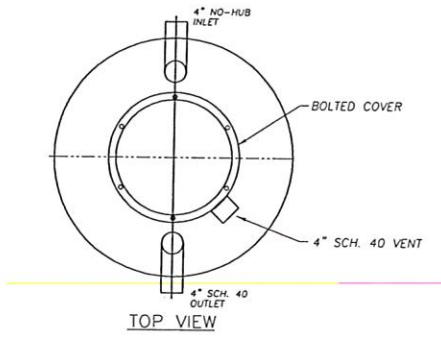
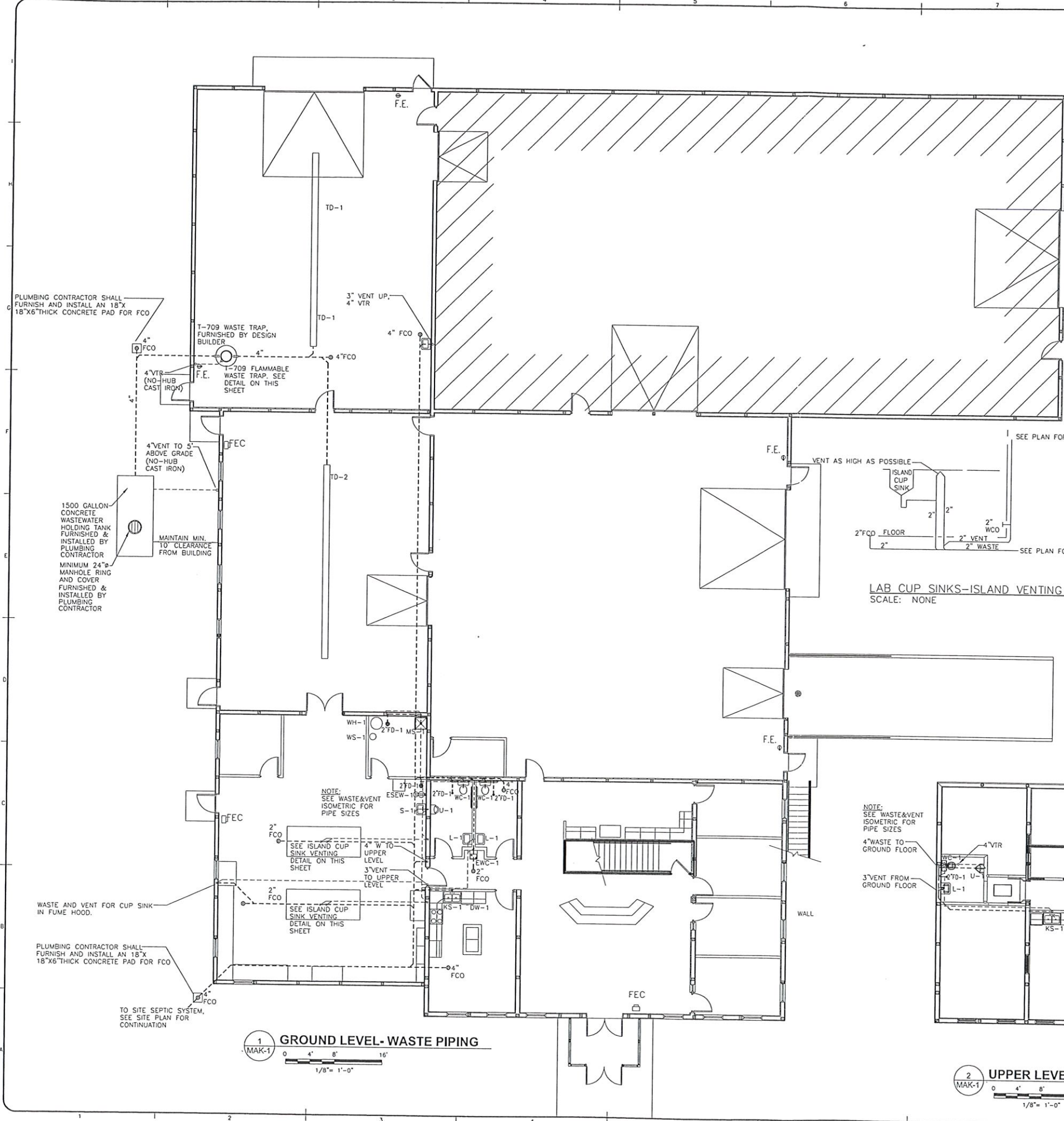
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PROJECT NO. 05-8723
 CAD FILE NAME 8723 2-12.dwg
 DRAWN BY DTL
 DESIGNED BY
 PLOT DATE 09-07-05
 CLIENT PROJECT NO.

TITLE
EXTERIOR ELEVATIONS

SHEET
A2.12

Plot Date: Oct 11, 2005 Plot Time: 8:27am File Name: F:\ALL DRAWINGS\APX\Plumbing\APX-MAK1-4.dwg Layout: MAK2 By: SRMECHDES



- NOTES:**
1. CONE & NECK WILL BE CONSTRUCTED FROM 1/4" CARBON STEEL
 2. SHELL & BOTTOM WILL BE CONSTRUCTED FROM 3/16" CARBON STEEL
 3. REFER TO B&A FURNISHED SHOP DRAWING PRIOR TO INSTALLATION
 4. T-709 WILL BE FURNISHED BY DESIGN BUILDER INSTALLED BY PLUMBING CONTRACTOR
- 3**
P-6 **T-709 WASTE TRAP DETAIL**
SCALE: NONE FURNISHED BY DESIGN BUILDER

1
MAK-1
GROUND LEVEL- WASTE PIPING
0 4' 8' 16'
1/8" = 1'-0"

2
MAK-1
UPPER LEVEL- WASTE PIPING
0 4' 8' 16'
1/8" = 1'-0"

Brain & Associates
2005 E. 7th Street N.
St. Paul, MN 55104
Tel: 651.225.2200 Fax: 651.845.2320

CONFIDENTIAL DO NOT COPY
This drawing is the property of Brain & Associates, Inc. and shall be returned to them upon completion of the project. It is not to be used for any other project without the written consent of Brain & Associates, Inc. All work shall be done in accordance with the applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for the proper installation and maintenance of the system. ©2005 Brain & Associates

REV.	DATE	DESCRIPTION	BY

Project Title:
AGRI-POLYMERIX
40463 261st AVE
LeCENTER, MN 56057

Sheet Title:
PLUMBING PLAN
SEWER PIPING

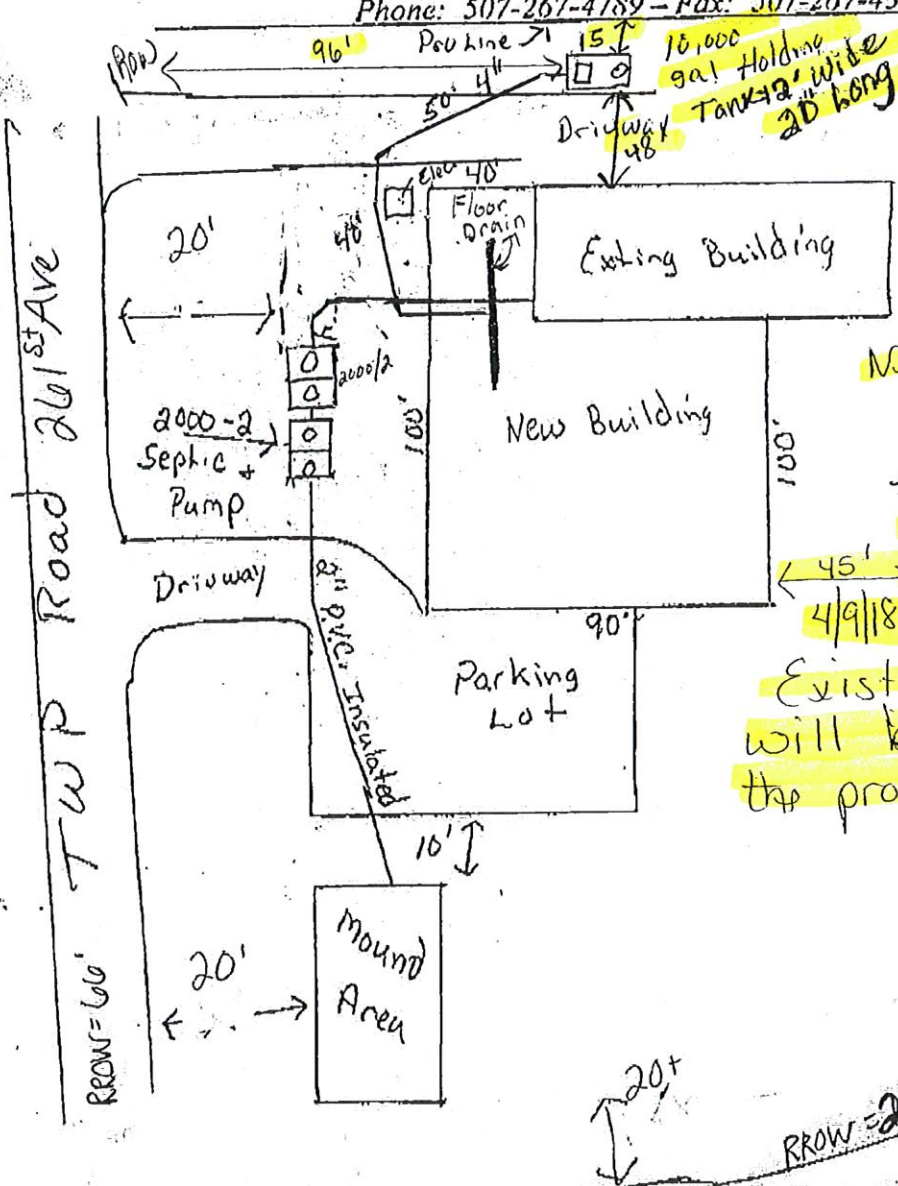
Project:
APX Date: 9-21-05
Drawn By: DMP Checked By:

MAK2

JAMES BROS. CONSTRUCTION, INC.
DESIGN FOR SEWAGE TREATMENT SYSTEM

PO Box 59 - Elysian, MN 56028
 Phone: 507-267-4789 - Fax: 507-267-4379

Name Camas
 Address _____



New proposal:
 unhook Floor Drain
 from Septic Hook to add
 New 10,000 gal. holding tank,
 4/9/18 - location

Existing septic system
 will be sufficient to handle
 the proposed operation
 Wayne Ofner

CERTIFICATION STATEMENT/AS-BUILT
 I hereby certify as a State of Minnesota Licensed Installer that the individual sewage treatment system diagrammed above was installed in accordance with all applicable requirements of Minnesota Rules Chapter 7080. The diagram of the installation is accurate as of the date at the bottom of this form for the site identified at the top of this form. No determination of future hydraulic performance can be made due to future water usage over the life of the system.

Jim Smith Date 9-2-05



WIESER CONCRETE PRODUCTS, INC.

W3716 U.S. HWY 10 • MAIDEN ROCK, WI 54750
(715) 647-2311 800-325-8456 Fax (715) 647-5181

Website: www.wieserconcrete.com

March 9, 2018

James Brothers

Attn: Wayne James

Re: Wieser Tanks for Commercial use

Mr. James,

Wieser Concrete manufactures all our tanks to meet ASTM 1227. You will find an attached copy of the spec. All tanks are also manufactured in NPCA (National Precast Concrete Association) certified plant.

Several models of tanks were shipped to 22 different states tank in 2017. They are used in just about every application imaginable. Commercial, residential, septic, grease interceptors, holding, dose, cisterns, manure storage, storm water, and fire suppression to just name of few.

Please let me know if you need anything else.

Thank you,

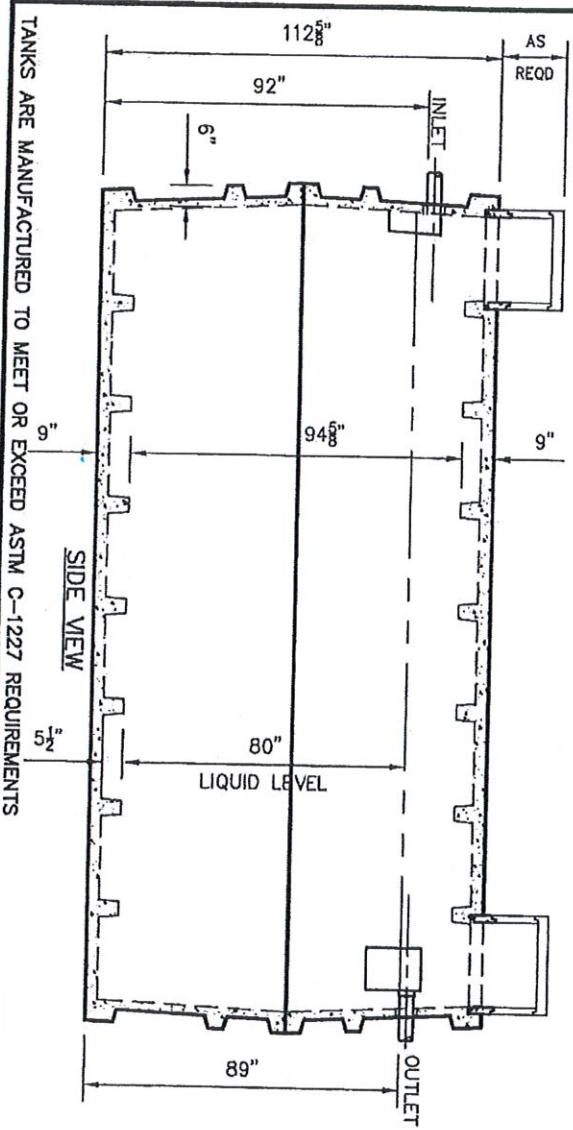


Andy Winkler

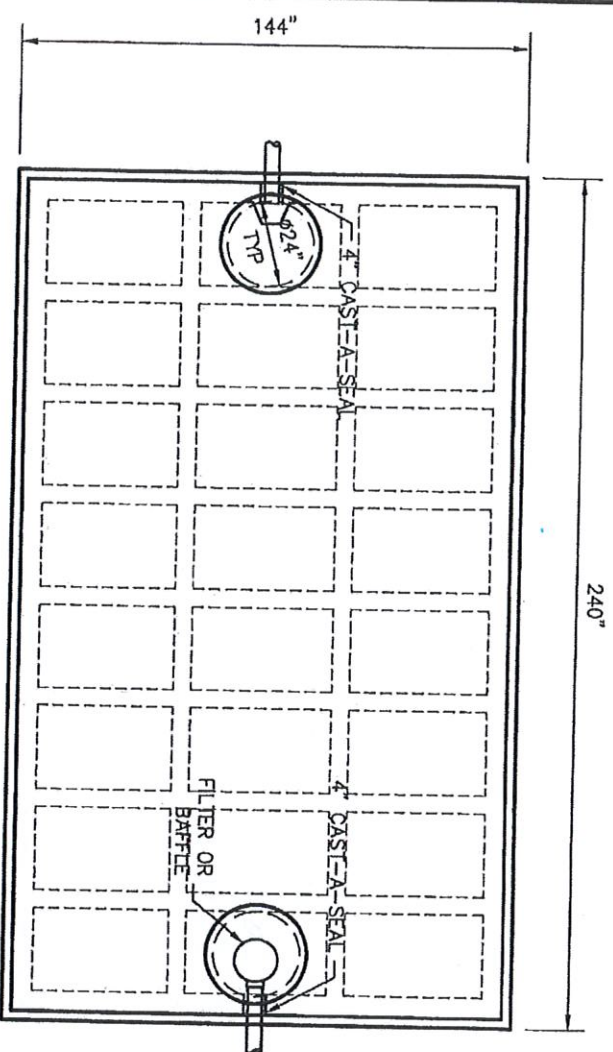
General Manager

Wieser Concrete Products Inc.





SIDE VIEW



TOP VIEW

W10000
TANK SPECIFICATIONS

DIMENSIONS:
 WALL: 6" RIBBED
 COVER: 9" RIBBED
 BOTTOM: 9"
 MANHOLE: 24" I.D. PRECAST RISER
 HEIGHT: 112-5/8" O.D.
 LENGTH: 240" O.D.
 WIDTH: 144" O.D.
 BELOW INLET: 92" O.D.
 LIQUID LEVEL: 80"
 WEIGHT: 29,000 LBS PER SECTION

INLET AND OUTLET:
 4" CAST-A-SEAL BOOT OR EQUAL

INLET AND OUTLET BAFFLE AND FILTER:
 WISCONSIN, SEE DETAIL #90
 (OTHER STATES SEE CHART)

LIQUID CAPACITY: 127.43 GAL/IN

HOLDING TANK:
 OUTLET HOLE PLUGGED
 ACTUAL CAPACITY: 10,577 GALLONS

LOADING DESIGN: 8'-0" UNSATURATED SOIL

TANK CAN BE USED AS:
 SEPTIC, HOLDING, PUMP OR SIPHON

TANK: MIX DESIGN #9 (SMALL FIBER)
CUSTOMIZED TANKS:
 FOR CUSTOM TANKS CONTACT
 WIESER CONCRETE

DRAWINGS SUBMITTED FOR APPROVAL

APPROVED BY: _____
 APPROVAL DATE: _____
 PRODUCTS NEEDED BY: _____

RECEIVED
 APR 06 2018
 BY: _____

W10000 SEPTIC MANUAL SHEET NO. 1 OF 1	WIESER CONCRETE W3716 US HWY 10 MAIDEN ROCK, WI 54750 800-325-8456		DRAWN BY: WCP DATE: 00/00/00 FILE: W10000	SCALE: 1/4"=1'-0" REV. DATE:	PRE-POUR: POST-POUR:
	TANKS ARE MANUFACTURED TO MEET OR EXCEED ASTM C-1227 REQUIREMENTS				



Designation: C1227 – 13



Standard Specification for Precast Concrete Septic Tanks¹

This standard is issued under the fixed designation C1227; the number immediately following the designation indicates the year of original adoption or, in the case of revision, the year of last revision. A number in parentheses indicates the year of last reapproval. A superscript epsilon (ϵ) indicates an editorial change since the last revision or reapproval.

1. Scope

1.1 This specification covers design requirements, manufacturing practices, and performance requirements for monolithic or sectional precast concrete septic tanks.

1.2 The values stated in inch-pound units are to be regarded as standard. The values given in parentheses are mathematical conversions to SI units that are provided for information only and are not considered standard.

1.3 *This standard does not purport to address all of the safety concerns, if any, associated with its use. It is the responsibility of the user of this standard to establish appropriate safety and health practices and determine the applicability of regulatory limitations prior to use.*

2. Referenced Documents

2.1 ASTM Standards:²

- A82/A82M Specification for Steel Wire, Plain, for Concrete Reinforcement (Withdrawn 2013)³
- A185/A185M Specification for Steel Welded Wire Reinforcement, Plain, for Concrete (Withdrawn 2013)³
- A496/A496M Specification for Steel Wire, Deformed, for Concrete Reinforcement (Withdrawn 2013)³
- A497/A497M Specification for Steel Welded Wire Reinforcement, Deformed, for Concrete (Withdrawn 2013)³
- A615/A615M Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement
- A706/A706M Specification for Low-Alloy Steel Deformed and Plain Bars for Concrete Reinforcement
- A996/A996M Specification for Rail-Steel and Axle-Steel Deformed Bars for Concrete Reinforcement
- C33 Specification for Concrete Aggregates

- C39/C39M Test Method for Compressive Strength of Cylindrical Concrete Specimens
 - C94/C94M Specification for Ready-Mixed Concrete
 - C125 Terminology Relating to Concrete and Concrete Aggregates
 - C150 Specification for Portland Cement
 - C231 Test Method for Air Content of Freshly Mixed Concrete by the Pressure Method
 - C260 Specification for Air-Entraining Admixtures for Concrete
 - C330 Specification for Lightweight Aggregates for Structural Concrete
 - C494/C494M Specification for Chemical Admixtures for Concrete
 - C595 Specification for Blended Hydraulic Cements
 - C618 Specification for Coal Fly Ash and Raw or Calcined Natural Pozzolan for Use in Concrete
 - C685/C685M Specification for Concrete Made by Volumetric Batching and Continuous Mixing
 - C890 Practice for Minimum Structural Design Loading for Monolithic or Sectional Precast Concrete Water and Wastewater Structures
 - C990 Specification for Joints for Concrete Pipe, Manholes, and Precast Box Sections Using Preformed Flexible Joint Sealants
 - C1116/C1116M Specification for Fiber-Reinforced Concrete
 - C1644 Specification for Resilient Connectors Between Reinforced Concrete On-Site Wastewater Tanks and Pipes
- #### 2.2 ACI Standard:⁴
- ACI 318 Building Code Requirements for Reinforced Concrete
- #### 2.3 NSF/ANSI Standard:⁵
- NSF/ANSI 46–2005 Evaluation of Components and Devices used in Wastewater Treatment Systems

¹ This specification is under the jurisdiction of ASTM Committee C27 on Precast Concrete Products and is the direct responsibility of Subcommittee C27.30 on Water and Wastewater Containers.

Current edition approved Dec. 15, 2013. Published January 2014. Originally approved in 1993. Last previous edition approved in 2012 as C1227–12. DOI: 10.1520/C1227-13.

² For referenced ASTM standards, visit the ASTM website, www.astm.org, or contact ASTM Customer Service at service@astm.org. For *Annual Book of ASTM Standards* volume information, refer to the standard's Document Summary page on the ASTM website.

³ The last approved version of this historical standard is referenced on www.astm.org.

3. Terminology

3.1 For definitions of terms relating to concrete, see Terminology C125.

3.2 Definitions of Terms Specific to This Standard:

⁴ Available from American Concrete Institute (ACI), P.O. Box 9094, Farmington Hills, MI 48333-9094, <http://www.aci-int.org>.

⁵ Available from American National Standards Institute (ANSI), 25 W. 43rd St., 4th Floor, New York, NY 10036, <http://www.ansi.org>.

3.2.1 *access opening, n*—hole in the top slab used to gain access to the inside of the tank for the purpose of cleaning and removing sludge without a person actually having to enter the tank.

3.2.2 *air scum volume, n*—number of cubic inches (centimetres) in the space between the liquid surface and the underside of the top slab.

3.2.3 *baffle, n*—device placed in a tank to dissipate energy, direct flow, retain solids, and/or draw liquid off at a specific depth.

3.2.4 *baffle, inlet, n*—tee or wall segment at or near the inlet pipe of a tank designed to direct flow below the liquid surface.

3.2.5 *baffle, outlet, n*—tee or wall segment at or near the outlet pipe of a tank designed to collect flow from the liquid effluent layer.

3.2.6 *cement, n*—powdered substance of lime and clay mixed with water to make concrete.

3.2.7 *connector, n*—device that provides a flexible seal between a pipe and the precast concrete tank.

3.2.8 *corrosion-resistant, adj*—materials that are resistant to deterioration when in contact with the corrosive materials found in a septic tank.

3.2.9 *dead load, n*—mass of a structure and all permanent loads imposed on the structure (that is, soil).

3.2.10 *detention time, n*—average length of time a unit volume of liquid or a suspended particle remains in a tank; mathematically, it is the volume of liquid in the tank divided by the flow rate through the tank.

3.2.11 *effective volume, n*—maximum amount of liquid and solids that can be contained in a tank under normal operating conditions.

3.2.12 *effluent filter device, n*—device, made from corrosion-resistant materials, that separates solid material from tank liquid before the liquid exits the tank.

3.2.13 *grinder, n*—device for grinding and flushing cooking wastes; also known as a garbage disposal.

3.2.14 *inspection opening, n*—hole in the top slab used for the purpose of observing conditions inside the tank.

3.2.15 *joint, n*—physical separation where two pieces of precast concrete are in contact.

3.2.16 *liquid effluent layer, n*—area in a tank made up of liquids and semibuoyant waste particles after the sludge and scum waste have separated and settled.

3.2.17 *live load, n*—loads exerted on or above a structure when the source of the load is dynamic and transient.

3.2.18 *non-sealed joint, n*—joint in which sealant is not used but in which a machined fit will minimize the movement of liquid from one side of a precast concrete wall to the opposite side.

3.2.19 *owner, n*—is by definition, end user, customer, or purchaser.

3.2.20 *rated volume, n*—depth from the bottom of a septic tank to the invert of the outlet pipe.

3.2.21 *scum layer, n*—buoyant waste floating near the surface of liquid, consisting of lighter-than-water materials, such as greases and soaps.

3.2.22 *sealed joint, n*—joint that is sealed to prevent liquid passing from one side of a precast concrete wall to the opposite side.

3.2.23 *septic tank system, n*—anaerobic digestion chamber in which domestic sewage is received and retained, and from which the liquid effluent, which is comparatively free from settleable and floating solids, is then discharged.

3.2.24 *sludge layer, n*—heavier waste solids that separate and settle at the bottom of a tank.

3.2.25 *tee, n*—“T”-shaped pipe fitting made of corrosion-resistant materials used to connect horizontal piping with vertical piping and used to provide access for cleaning piping.

4. Ordering Information

4.1 The purchaser shall include the following information in bidding documents and on the purchase order, as applicable to the units being ordered:

4.1.1 Reference to this specification and date of issue.

4.1.2 Quantity, that is, number of units ordered.

4.1.3 Capacity of tank in gallons or litres.

4.1.4 Special cement requirements including moderate sulfate-resisting cement, Specification C150 Type II, or highly sulfate-resisting cement, Specification C150, Type V. If the purchaser does not stipulate, the manufacturer shall use any cement meeting the requirements of Specification C150 or C595.

4.1.5 Acceptance will be based on a review of the calculations or on proof tests.

4.1.6 Design requirements such as depth of earth cover, live load applied at the surface, and ground water level.

4.1.7 Testing for water leakage shall not be required at the job site unless specifically required by the purchaser.

4.1.8 Manufacturer is permitted to require testing on site prior to backfill.

5. Materials and Manufacture

5.1 *Cement*—Portland cement shall conform to the requirements of Specification C150 or shall be portland blast-furnace slag cement or portland-pozzolan cement conforming to the requirements of Specification C595.

5.2 *Aggregates*—Aggregates shall conform to Specification C33 and lightweight aggregates shall conform to Specification C330, except that the requirements for grading shall not apply.

5.3 *Water*—Water used in mixing concrete shall be clean and free of injurious amounts of oils, acids, alkalies, salts, organic materials, or other substances that will be incompatible with concrete or steel.

5.4 *Admixtures*—Admixtures, when used, shall conform to Specification C494/C494M or Specification C618 and shall not be injurious to other products used in the concrete.

5.4.1 *Air-Entraining Admixtures*—Air-entraining admixtures conforming to Specification C260 shall be used when there is a risk that the concrete will be exposed to freezing and

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APR 06 2018

thawing. Then the concrete mixture shall contain 5.5 ± 1.5 % air by volume as determined by Test Method C231.

5.5 Steel Reinforcement—Steel reinforcement shall conform to Specification A82/A82M or A496/A496M for wire, Specification A185/A185M or A497/A497M for wire fabric, or Specifications A615/A615M, A706/A706M, or A996/A996M for steel reinforcement bars.

5.5.1 Locating Reinforcement—Reinforcement shall be placed in the forms as required by the design.

5.5.2 Holding Reinforcement in Position During Pouring Placement—Reinforcement shall be securely held in place by tying, clipping, or welding to maintain position during concrete placing operations. Welding procedures shall conform to the appropriate material specification. Chairs, bolsters, braces, and spacers in contact with forms shall have a corrosion-resistant surface.

5.6 Concrete Mixtures—The aggregates, cement, and water shall be proportioned and mixed to produce a homogeneous concrete meeting the requirements of this specification, and in accordance with Specification C94/C94M or Specification C685/C685M. The concrete shall have a maximum water cementitious materials ratio of 0.45.

5.7 Forms—The forms used in manufacture shall be sufficiently rigid and accurate to maintain the dimensions of the structure within the stated tolerances. All casting surfaces shall be of smooth nonporous material. Form releasing agents used shall not be injurious to the concrete.

5.8 Concrete Placement—Concrete shall be placed in the forms at a rate to allow the concrete to consolidate in all parts of the form, and around all reinforcement steel and embedded fixtures without segregation of materials.

5.9 Curing—The precast concrete sections shall be cured by any method or combination of methods that will develop the specified compressive strength at 28 days or less.

5.10 Concrete Quality—The quality of the concrete shall be in accordance with the chapter on concrete quality in ACI 318, except for frequency of tests, which shall be specified by the purchaser. Concrete compressive strength tests shall be conducted in accordance with Test Method C39/C39M.

5.11 Fibers—Polypropylene or polyolefin fibers are only permitted as a secondary reinforcing material, at the manufacturer's option, in precast concrete septic tanks. For the purposes of this specification, secondary reinforcing material is only used to resist temperature and shrinkage effects. Only Type III conforming to the requirements of Specification C1116/C1116M shall be accepted.

5.12 Sealants—Flexible sealants used in the manufacture and installation of tanks shall conform to Specification C990. Rigid (mortar) sealing of tank sections is not permitted.

5.13 Pipe Connections—Pipe-to-tank connections shall use flexible connectors conforming to the requirements of Specification C1644.

6. Structural Design Requirements

6.1 Structural design of septic tanks shall be by calculation or by performance.

6.1.1 Design by calculation shall be completed using the Strength Design Method (ultimate strength theory) or the Alternate Design Method (working stress theory) outlined in ACI 318. The Strength Design Method is outlined in Chapter 9 and the Alternate Design Method is in Appendix A.

6.1.2 Design by performance requires the manufacturer to demonstrate that failure will not occur by physically applying loads to the product. The load applied shall be 1.5 times the anticipated actual loads.

6.1.3 Tanks shall be designed so that they will not collapse or rupture when subjected to anticipated earth and hydrostatic pressures when the tanks are either full or empty.

6.1.4 The structural design of tanks will consider buoyancy effects, if applicable, and proportion the structure to ensure an adequate flotation safety factor.

6.1.5 All dead and live loads shall be considered in the design. For tanks located in residential lawn areas and not subject to loads greater than the minimum stated herein, the minimum live load shall be 100 lbf/ft² (5 kPa) or a concentrated load of 2250 lbs (10 kN) applied to a 10 by 10 in. (250 by 250 mm) area, which ever produces the greatest stress on the structure. Concentrated loads shall be distributed in accordance with provisions of Practice C890. Loading conditions other than described herein shall conform with provision of Practice C890.

6.1.6 After conditions are established, loads from Practice C890 shall be used for design. Unless heavier live loads are expected, the minimum live load at the surface for design shall be 300 lbf/ft² (14 kPa).

6.1.7 The live loads imposed at lifting points shall be considered in the design of the structure.

6.1.8 Inserts embedded in the concrete shall be designed for an ultimate load that is four times the working load (Factor of Safety = 4).

6.2 Concrete Strength—The minimum compressive strength (f_c) for designs shall be 4000 psi (28 MPa) at 28 days of age.

6.3 Reinforcing Steel Placement—The concrete cover for reinforcing bars, mats, or fabric shall not be less than 1 in. (25 mm).

6.4 Openings—The structural design shall take into consideration the number, placement, and size of all openings.

6.5 Lift equipment shall be designed for an ultimate load that is five times the working load (Factor of Safety = 5).

7. Physical Design Requirements

7.1 Capacity—Sizes are generally specified by local regulations and they shall supersede the following guidelines. When local regulations are not available, the following minimum sizes will be required:

1-bedroom residence	750 gal (2800 L)
2 and 3-bedroom residence	1000 gal (3800 L)
4-bedroom residence	1200 gal (4500 L)
5-bedroom residence	1400 gal (5300 L)
Motels	100 gpd/unit (380 Lpd/unit)
Restaurant	70 gpd/seat (265 Lpd/seat)
Office building	20 gpd/seat (75 Lpd/seat)
Additional capacity is required when grinders are available	

7.2 Shape:

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7.2.1 There shall be a total of no less than 25 ft² (2.3 m²) of surface liquid area and a total inside length of at least 6 ft (2 m) between inlet and outlet of the tank.

7.2.2 The air scum volume above the liquid shall be at least 12½ % of the volume of liquid but not less than 9 in. (230 mm) high for entire surface above liquid.

7.2.3 Minimum water depth shall be 36 in. (900 mm) unless otherwise approved by local code or jurisdiction.

7.2.4 Maximum liquid depth shall be 72 in. (1800 mm) unless otherwise approved or required by local codes or jurisdiction.

7.3 Compartments:

7.3.1 The septic tank system shall include two compartments unless otherwise approved by local codes or jurisdiction. The two-compartment dividing wall is to be monolithically cast or placed secondarily utilizing a non-sealed joint with the tank body.

7.3.2 One double unit or two single compartment units in series are acceptable.

7.3.3 The first compartment shall have a liquid volume of approximately two thirds of the liquid volume of the entire contents of the system.

7.3.4 The transfer port between compartments shall be sized to maintain a low velocity as liquid moves between compartments. A minimum of 50 in.² (320 cm²) shall be used where local codes do not specify otherwise.

7.3.5 The transfer port shall be in the middle 25 % of the distance from the bottom of the tank to the water line.

7.3.6 No baffle, tee, outlet filter unit, or compartment wall shall extend to the interior roof without providing for venting. The cross-sectional area of a vent shall be at least equivalent to a 4-in. (100-mm) diameter pipe.

7.4 Influent and Effluent Pipes:

7.4.1 The influent pipe shall be no less than 4 in. (100 mm) in diameter.

7.4.2 The difference between the invert of the influent pipe and the invert of the effluent pipe shall be a minimum of 2 in. (50 mm) and a maximum of 4 in. (100 mm).

7.4.3 Inlet and outlet pipes shall be connected to the tank with a sealed flexible joint connector to accommodate tank movement.

7.5 Baffles and Outlet Devices:

7.5.1 Baffles or tees shall be placed at the influent pipe. Outlet filter devices shall be placed at the effluent pipe.

7.5.2 Baffles or tees are permitted to be precast monolithically with the tank. If baffles, tees, or outlet filters are added, they shall be made of noncorrosive materials and be permanently connected with noncorrosive fasteners to either the inside of the tank or the outlet pipe.

7.5.3 The inlet baffle or tee shall extend at least 8 in. (200 mm) below the liquid level and at least 5 in. (125 mm) above the liquid level.

7.5.4 The outlet filter shall extend below the liquid line at least 10 in. (250 mm) but not more than 40 % of the depth of the liquid. It shall extend a minimum of 5 in. (125 mm) above the liquid level line. The filter device shall be constructed to prevent the discharge of floating solids in the event the liquid

level in the tank overflows the top of the filter with the filter element in place. All filter devices must meet the performance criteria of NSF/ANSI Standard 46-2005 or most current revision.

7.5.5 Outlet filter device shall be maintained in accordance with manufacturer's recommendations or requirements of regulating agencies, or both.

7.5.6 Outlet filter devices shall be sized upon the estimated daily water use and the rated capacity of the filter per the manufacturer's specifications.

7.5.7 Specifications for baffles, tees, and outlet filter devices are for normal, low-flow conditions. High-flow conditions, created when liquid is pumped from another tank, will require consideration for other dimensions. Design by a qualified engineer is required for these cases.

7.5.8 Outlet solids deflectors may be used in conjunction with outlet filter devices to deflect suspended solids away from the outlet filter device and shall be installed per the manufacturer's instructions.

7.6 Openings in Top Slab:

7.6.1 An access opening shall be located over the influent pipe and the effluent pipe. Where an opening has any dimension greater than 12 in. (300 mm), the lid shall weigh a minimum of 59 lb (27 kg) or be provided with a lock system to prevent unauthorized entrance.

7.6.2 An access opening or openings shall be provided to permit pumping of all compartments.

7.6.3 An inspection hole, at least 4 in. (100 mm) in diameter, shall be located over an interior divider in a two-compartment tank.

7.6.4 Handles shall be provided when the top of a cover is flush with the top of the top slab. Handles shall be made of corrosion-resistant material and be capable of supporting the weight of the cover.

7.6.5 Handles are not required when the cover sits on top of the slab. The cover shall be prevented from moving laterally if sitting on top of the slab.

7.6.6 Where covers are flush with or above ground, they shall be provided with a lock system to prevent unauthorized entrance.

7.6.7 If cover is below grade, it shall have a minimum of 6 in. (150 mm) and a maximum of 12 in. (300 mm) of earth above.

7.6.8 If top slab is more than 12 in. (300 mm) below grade, risers will be required to make the top of the cover meet the requirements of 7.6.7.

8. Quality Control and Sampling

8.1 The manufacturer shall certify that the product meets three criteria: (1) water tightness, (2) physical dimensions, and (3) strength of structure.

NOTE 1—Installation to be in accordance with manufacturer's instructions.

8.2 When the purchaser specifies in the bidding documents and the purchase order, the manufacturer shall select at random 1 of every 20 septic tanks to determine compliance with the provisions of this specification.

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9. Performance Test Methods

9.1 Proof testing is used to demonstrate the strength of the tank to resist anticipated external and internal loads.

9.1.1 Proof testing, when required by the purchaser, shall be performed in such a way as to simulate the actual anticipated loads.

9.2 Testing for leakage is performed using either vacuum testing or water-pressure testing.

9.2.1 *Vacuum Testing*—Watertight integrity testing utilizing vacuum (negative air pressure).

9.2.1.1 Assemble the empty tank including temporary sealing of inlet and outlet pipes and all access openings.

9.2.1.2 Attach a vacuum device, which is capable of drawing a minimum vacuum pressure of 7 in. (175 mm)/Hg, to an opening at the tank so that air can be drawn from the tank. To measure the negative pressure drawn, the vacuum device shall utilize a calibrated gauge, mercury manometer, or water manometer accurate to within 0.2 in./HG. If a vacuum gauge is used, it shall have a range no greater than 0-10 in. (0-250 mm) Hg.

9.2.1.3 Utilizing the attached vacuum device, introduce negative pressure into the tank to a pressure level of 4 in. (100mm)/Hg. Once the vacuum pressure in the tank has stabilized at 4 in. (100 mm)/Hg the test time begins. The tank passes the test once it holds the negative pressure for 5 min without loss of pressure. Should the negative pressure fall below 4 in. (100 mm) during the test, the pressure shall be returned to 4 in. (100 mm)/Hg and the 5 min test period shall be restarted.

9.2.1.4 If the tank is unable to hold the required pressure for 5 min then the tank can be repaired per the manufacturer's recommendations and retested.

9.2.2 *Water-Pressure Testing*—Seal the tank, fill with water, and let stand for 24 h. Refill the tank. The tank is approved if water level is held for 1 h.

10. Dimensions and Permissible Variations

10.1 *Dimensional Tolerances*—The length, width, height, or diameter measurements of the structure when measured on the inside surface shall not deviate from the design dimensions more than the following:

Dimension	Tolerance
0 to 5 ft (0 to 1.5 m)	±¼ in. (±6 mm)
5 to 10 ft (1.5 to 3.0 m)	±¾ in. (±10 mm)
10 to 20 ft (3.0 to 6.1 m)	±½ in. (±13 mm)
20 ft (6.1 m) and over	as agreed upon between the manufacturer and the purchaser

10.2 *Squareness Tolerance*—The inside of the rectangular precast concrete component shall be square as determined by diagonal measurements. The difference between such measurements shall not exceed:

Measured Length	Allowance Difference
0 to 10 ft (0 to 3.0 m)	½ in. (13 mm)
10 to 20 ft (3.0 to 6.1 m)	¾ in. (19 mm)
20 ft (6.1 m) and over	as agreed upon between the manufacturer and the purchaser

10.3 *Joint Surfaces*—The following joint tolerances for water-retaining structures shall apply:

10.3.1 *Flexible Joint*—The sealed joint gap between two mating joint surfaces shall not exceed ¾ in. (10 mm) before the joint sealant is applied.

10.4 *Reinforcement Location*—With reference to thickness of wall or slab, reinforcement shall be within ±¼ in. (6 mm) of the design location, but in no case shall the cover be less than 1 in. (25 mm). The variation in reinforcement spacing shall not be more than one tenth of the designed bar spacing nor exceed 1½ in. (38 mm). The total number of bars shall not be less than that computed using the design spacing.

11. Repairs

11.1 Repairs of precast concrete structures, when required, shall be performed by the manufacturer in a manner ensuring that the repaired structure will conform to the requirements of this specification.

12. Rejection

12.1 Precast concrete structures or sections of structures shall be subject to rejection because of failure to conform to any of the requirements contained in this specification.

13. Product Marking

13.1 Each septic tank shall be clearly marked within 2 ft (0.6 m) of the inlet to the tank by indentation or other approved means with (1) date manufactured, (2) name or trademark of the manufacturer, and (3) tank capacity. The tank or tank cover shall also be marked within 2 ft (0.6 m) of the inlet either on the cover or on the tank with an indication of external loads for which the septic tank is designed to resist, including the number of feet of earth cover above top slab and surface load from Practice C890, that is, A-03, A-8, A-12, or A-16, unless required otherwise by local codes.


13.2 Each septic tank shall be clearly marked by indentation, or other approved means with (1) date of manufacture, (2) name or trademark of the manufacturer, and (3) indication of external loads for which the septic tank is designed to resist, including the number of feet of earth cover above top slab and surface load from Practice C890, that is, A-03, A-8, A-12, or A-16, unless required otherwise by local codes.

13.2.1 When all the requirements of this specification are met, the product shall be so stamped.

13.3 Where an access opening or an inspection opening has a dimension greater than 8 in. (200 mm), a label of noncorrosive material shall be placed in a prominent place to warn everyone that "Entrance into the tank could be fatal."

14. Keywords

14.1 anaerobic digestion; on-site wastewater treatment; sanitary waste; septic tank; sewer; sewer treatment

 C1227 – 13

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From: Smith, Brandon E (MPCA)
Sent: Tuesday, March 27, 2018 3:19 PM
To: Schnick, Emily (MPCA) <emily.schnick@state.mn.us>
Subject: RE: Land Application of Industrial By-Product

I can take care of the review once we receive the permit application, and we'll have to send them approval to use it for IBP storage after the permit is issued. We won't be able to give them formal approval until then, but I've seen this tank used in other applications, and I don't expect there will be any issues with us being able to approve it once we get a little more info. They will have to obtain plans for the final tank that are signed by a professional engineer licensed in Minnesota (Wieser Concrete has been able to provide that info to us on past projects), and will also have to have certified plans for any piping associated with it.

If they have any further questions, go ahead and have them call or email me.

Brandon E. Smith, P.E.
Minnesota Pollution Control Agency
Engineer - Industrial Division
[651-757-2740](tel:651-757-2740)
brandon.e.smith@state.mn.us

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Change of Use

Form 1721 (6-25-2013)	Document Management System # _____
m DEPARTMENT OF TRANSPORTATION	District <u>7A</u> Permit # <u>79597</u>
APPLICATION FOR ACCESS (DRIVEWAY) PERMIT	C.S. <u>4808</u> T.H. <u>99</u>
	R.P. <u>MM 23.010</u>
	(THIS SECTION FOR MnDOT OFFICE USE ONLY.)

ATTACH A SKETCH OF THE PROPOSED WORK AREA AND RELATION TO TRUNK HIGHWAY. SUBMIT TO DISTRICT OFFICE OF MINNESOTA DEPARTMENT OF TRANSPORTATION.

APPLICANT Camas, Inc.	TELEPHONE 507-357-4929	ADDRESS (Street, City, State, Zip) 40463 261st Ave, Le Center, MN, 56057
PROPERTY OWNER SRS Properties, LLLP	TELEPHONE	ADDRESS (Street, City, State, Zip)

LOCATION OF PROPOSED WORK (City/Township) (County) (Distance) (N-S-E-W) SPECIFIC ROAD INTERSECTION OR LANDMARK
 Highway 99 in Le Center Le Sueur 0.13 Miles East of County Road 112

WILL THIS ACCESS BE WITHIN TRIBAL LANDS? Yes No IF YES, WHICH ONE?

PURPOSE OF DRIVEWAY <input type="checkbox"/> Temporary <input type="checkbox"/> Field Entrance <input type="checkbox"/> Residential <input type="checkbox"/> Proposed Public Street <input checked="" type="checkbox"/> Commercial (Specify Type) <u>Animal Feed Ingredient Company</u>	REQUESTED ENTRANCE WIDTH _____ Feet	PROPERTY IS IN <input checked="" type="checkbox"/> Platted Area <input type="checkbox"/> Unplatted Area	ZONING FOR PROPERTY IS Commercial
IS BUILDING TO BE CONSTRUCTED <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (Specify Type)	WILL BUILDING BE <input type="checkbox"/> Temporary <input checked="" type="checkbox"/> Permanent	NUMBER OF PRESENT DRIVEWAYS TO PROPERTY 2- 1 on 99 1 on Cnty 112	

EXACT LOCATION OF PRESENT DRIVEWAY(S) Attached EXACT LOCATION OF PROPOSED DRIVEWAY(S) NA

LEGAL DESCRIPTION OF PROPERTY Attached

WORK TO START ON OR AFTER No Construction using existing DATE WORK TO BE COMPLETED BY Anticipated Move Date May 2018

APPLICANT'S ACCEPTANCE, WAIVER AND INDEMNIFICATION

The undersigned applicant hereby agrees to comply with applicable statutes, rules, and all the standard conditions and special provisions of this permit. The applicant understands and agrees that no work in connection with this application will be started until the application has been approved and the permit issued.

The applicant also understands that this permit may also be subject to the approval of local road authorities having joint supervision over said street or highway, and may be subject to applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and/or any other affected governmental agencies.

The applicant is aware of circumstances or hazards that may arise while performing the work associated with this application that could result in injury, loss, damage or death, and the applicant assumes the risk of such circumstances, dangers or hazards, whether reasonably foreseeable or not.

The undersigned applicant expressly agrees that except for negligent acts of the State, its agents and employees, the applicant or his/her agents or contractor shall assume all liability for, and save the State, its agents and employees, harmless from any and all claims for damages, actions or causes of action arising out of the work to be done in connection with this application and permit.

NAME AND TITLE Michelle Hawkins, Director of Operations	EMAIL ADDRESS mhawkins@camasinc.net
DATE 3/8/18	SIGNATURE <u>Michelle Hawkins</u>

DO NOT WRITE BELOW THIS LINE PERMIT NOT VALID UNLESS BEARING SIGNATURE AND NUMBER

AUTHORIZATION OF PERMIT

In consideration of the applicant's agreement to comply in all respects with the applicable laws and the conditions of the Commissioner of Transportation pertaining to this permit, permission is hereby granted for the work to be performed as described in the above application, said work to be performed in accordance with the following standard conditions and special provisions:

SEE ATTACHED STANDARD CONDITIONS AND SPECIAL PROVISIONS

<u>March 12 2018</u> Date All Work To Be Completed By	<u>[Signature]</u> Authorized MnDOT Signature	<u>March 12 2018</u> Date of Authorized Signature
--	--	--

DISTRIBUTION Original to Area Maintenance Engineer Applicant Subarea Supervisor Roadway Regulations Supervisor	DEPOSIT REQUIREMENTS <input checked="" type="checkbox"/> No Deposit Required <input type="checkbox"/> Deposit Required in the Amount of \$ _____ Date Deposit Received _____ <i>Deposit to be returned upon satisfactory completion of all work</i>	DEPOSIT TYPE Cashier's Check # _____ Certified Check # _____ Money Order # _____ Bond # _____
--	---	---

DATE WORK COMPLETED (The date when the work is completed must be reported to the MnDOT District Permits Office)

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Michelle Hawkins <masa0009.mh@gmail.com>

Road Authority Approval Request-Camas

Schoeb, Steve (DOT) <steve.schoeb@state.mn.us>
To: Michelle Hawkins <mhawkins@camasinc.net>

Fri, Mar 9, 2018 at 7:44 AM

That is correct. We believe that a turn lane onto MN Hwy 99 will not be needed at this time.

Please fill out the attached permit application and return it to me.

Steve Schoeb

District 7 East Permits

2151 Bassett Dr.

Mankato, MN.

56001

507-304-6180

From: masa0009.mh@gmail.com [mailto:masa0009.mh@gmail.com] On Behalf Of Michelle Hawkins
Sent: Friday, March 09, 2018 7:34 AM
To: Schoeb, Steve (DOT) <steve.schoeb@state.mn.us>

[Quoted text hidden]

[Quoted text hidden]

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BY: _____

Mettler, Michelle

From: Tiegs, David
Sent: Tuesday, February 27, 2018 1:38 PM
To: Mettler, Michelle
Cc: 'mhawkins@camasinc.net'
Subject: Entrance to Parcel 01.001.0400

Michelle, I was recently contacted by Michelle Hawkins of CAMAS Inc. regarding the entrances to parcel 01.001.0400 from County Road 112. Per Michelle Hawkins the proposed use of the entrances would be for employee and small vehicle traffic. The existing entrances from County Road 112 are adequate to accommodate this. Should anything else be needed please let me know.

Thanks,
Dave Tiegs
Le Sueur County
Highway Engineer

MINNESOTA DEPARTMENT OF AGRICULTURE

COMMERCIAL FEED

CAMAS INCORPORATED
304 NORTH 2ND ST
MANKATO MN 56001



20135313	01/01/2018	12/31/2018
License Number	Effective date	Expiration date

CAMAS INCORPORATED
PO BOX 10
LE CENTER MN 56057

20135313	\$75.00	12/31/2018
License Number	License Fee Paid	Expiration date

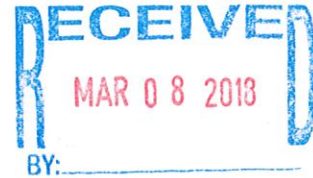




**SOUTH DAKOTA DEPARTMENT OF AGRICULTURE
DIVISION OF AGRICULTURAL SERVICES**

523 East Capitol Ave., Foss Building
Pierre, South Dakota 57501-3182
Phone (605) 773-4432 / Fax (605) 773-3481
<http://sdda.sd.gov/divisions/#agservices>

MICHELLE HAWKINS
CAMAS INCORPORATED
PO BOX 10
LE CENTER MN 56057



**QUESTIONS REGARDING THIS LICENSE SHOULD
BE DIRECTED TO THE ABOVE ADDRESS**

SOUTH DAKOTA DEPARTMENT OF AGRICULTURE

FEED LICENSE

LICENSE TO MANUFACTURE AND / OR DISTRIBUTE COMMERCIAL FEED

This is to certify that Camas Incorporated of LE CENTER MN 56057 is hereby licensed according to the provisions of SDCL 39-14, the South Dakota Commercial Feed Law, and is authorized to engage in the manufacturing and or distribution of animal feed in the state of South Dakota for the year ending

December 31, 2018

Company ID: 3602

Dated at Pierre, South Dakota

January 3, 2017

Secretary of Agriculture

Agriculture - South Dakota's #1 Industry

POST IN CONSPICUOUS PLACE

NONTRANSFERABLE

STATE OF IOWA

DEPARTMENT OF AGRICULTURE & LAND STEWARDSHIP

DES MOINES

FEE\$ 20.00

NO. FD 03936 000

IOWA
DEPARTMENT OF
AGRICULTURE
FEED MANUFACTURER/DEALER LICENSE

CAMAS INCORPORATED
PO BOX 10
LE CENTER MN 56057-0010

THE AFORESAID, HAVING DEPOSITED THE REQUIRED FEE, IS HEREBY GRANTED THE ABOVE LICENSE PURSUANT TO CHAPTER 198, CODE OF IOWA. THIS LICENSE SHALL REMAIN IN FULL FORCE FROM THE DATE OF ISSUE UNTIL ITS EXPIRATION DATE, UNLESS REVOKED OR SUSPENDED FOR CAUSE BY THE SECRETARY OF AGRICULTURE FOR NONCOMPLIANCE WITH CHAPTER 198, CODE OF IOWA OR RULES PROMULGATED PURSUANT THERETO.

DATE OF ISSUE October 4, 2017
EXPIRES June 30, 2019.



SECRETARY OF AGRICULTURE
AND LAND STEWARDSHIP

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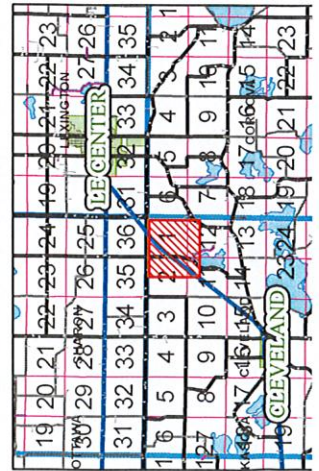
CAMAS INCORPORATED

Natural Solutions for Animal Agriculture



LE SUEUR COUNTY ENVIRONMENTAL SERVICES

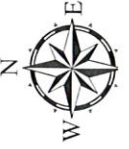
NAME: Camas
PID: 01.001.0400
DATE: 04-25-18
FIRM #: 27079C0260D
F-Zone: X-outside
RFPE: na
District: Agriculture



Map Disclaimer

*Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation; however, a degree of error is inherent in all maps, and these maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.

Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet





Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 2

Chris Kubes/Kubes Realty-D&D Meyer Farms Inc Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT: Chris Kubes-Kubes Realty
OWNER: D & D Meyer Farms
911 ADDRESS: New 290th St, New Prague, MN
PROJECT DESCRIPTION: To allow the applicant to transfer the development right from the NE 1/4 SW 1/4 to the SW 1/4 SW 1/4
PARCEL NUMBER: 07.005.7500
CUP NUMBER: 18027

SITE INFORMATION

LOCATION: SW 1/4, Section 5, Lanesburgh Township
ZONING DISTRICT: Agriculture
ZONING DISTRICT PURPOSE: The **Agriculture (A) District** is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.
GENERAL SITE DESCRIPTION: Agriculture, clustered residences
ACCESS: New off 290th Street, as approved by Township
EXISTING LAND USE WITHIN ¼ MILE:
North: Farmland South: Farmland, scattered residences
East: Farmland West: Church, County drainage ditch # 31, clustered residences

BACKGROUND INFORMATION

The landowner is proposing to transfer the development right from the NE/SW in a current farm field to the SW/SW on a proposed new 5.0-acre parcel. The building eligibility in the NE/SW meets the first dwelling in the quarter/quarter, meets separation distance to a feedlot and density standards in the section for the Ag District as well as performance standards i.e. buildable area, setbacks etc. Location transferred to in the SW/SW, meets performance standards i.e. buildable area, setbacks, separation distance to a feedlot, etc.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Tony Kubes from Lanesburgh Township was contacted on March 26, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.
WETLANDS: According to the National Wetlands Inventory, a Type 1 wetland (adjacent to County drainage ditch #31) is located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, house plans, Letter from well driller, Letter from septic contractor,

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture, Section 19, Subdivision 12, Transfer of Development Rights, Section 21, Conditional Use Permits

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 does make reference to transferring of development rights.

- GOAL #4:** Le Sueur County should adopt and enforce land use goals and policies that provide a wide range of Opportunity for Urban and Rural Housing Development.
- Objective 1:** Le Sueur County should allow non-farm development to occur in agricultural areas, but with guidelines meant to reduce conflicts with agricultural operators.
- Action 6:** Adopt a Transfer of Development Rights component to the zoning ordinance in which a property owner could transfer one development right from ¼ ¼ to an adjacent ¼ ¼.

ENVIRONMENTAL PERFORMANCE STANDARDS-SECTION 18

- WETLAND:** Type 1 wetland located to the West, is adjacent to the County drainage ditch.
- GRADING, EXCAVATING, OR FILLING:** No additional grading, excavating, or filling is necessary for construction.
- DRAINAGE:** Cannot increase drainage to adjoining properties.

LAND PERFORMANCE STANDARDS-SECTION 19

- ACCESS:** Minimum driving surface 14' in width, inslope no greater than 4:1, unobstructed vertical and horizontal clearance, minimum flat grade of at least 20' at access point to road.
- SPECIFIC LAND USE:** Sending must have building eligibility and meet performance standards. Receiving must meet performance standards, and feedlot separation distance. Transfer involves contiguous quarter/quarters within Lanesburgh Township. Maximum of 4 dwellings in receiving quarter/quarter.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.

8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
 - a. Traffic
 - b. The site is adequate for water supply and on-site sewage treatment.
 - c. A Conditional Use Permit for additional grading, excavating, and filling beyond should not be necessary to construct the proposed look-out basement. Grading, excavating, and filling for the basement, driveway and up to 500 cubic yards is part of the permitted use.

PLANNING AND ZONING COMMISSION CONDITIONS
--

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18027

Applicant: CHRIS KUBES-KUBES REALTY

Land Owner: D & D MEYER FARMS INC

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO TRANSFER THE DEVELOPMENT RIGHT FROM THE NE/SW TO THE SW/SW.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application

I. Applicant:

Name DAVE MEYER / CHRIS KUBES KUBES REALTY
Mailing Address 115 1ST AVE SE SUITE 220
City NEW PRAGUE State MN Zip 56071
CHRIS KUBES Phone # 612-759-7831 Phone # _____
E-MAIL CHRISKUBES@KUBESREALTY.COM

II. Landowner:

Name D&D Meyer Farms Inc
Mailing Address 17937 290TH ST
City NEW PRAGUE State MN Zip 56071
Property Address 17840 290TH ST
City NEW PRAGUE State MN Zip 56071
Phone # _____ Phone # _____

III. Parcel Information:

Parcel Number 07.005.7500 Parcel Acreage 141.6
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township LANESBURG Section 05
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

LANESBURG Township notified on 3/26/2018
(Township Name) (Date)

Board Member Tony Kubes regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled**.
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater



VII. Type of Request:

- | | |
|--|---|
| <input type="checkbox"/> Self Service Storage | <input type="checkbox"/> Value Added Agriculture |
| <input type="checkbox"/> School/Church/Cemetery | <input type="checkbox"/> Antique Sales/Service/Repair |
| <input type="checkbox"/> Retail Nursery/Greenhouse | <input type="checkbox"/> Substation/Transmission Lines etc. |
| <input type="checkbox"/> School/Church/Cemetery | <input checked="" type="checkbox"/> Other <u>TDR</u> |

VIII. Description of Request:

a. A full description of request with detailed information must be attached. *2 existing Home zone*

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: New Home
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: N/A
3. LIST OF PUBLIC HEALTH PLANS:
 - i. Water Supply: Private Well
 - ii. Toilet facilities: Private Sewer
 - iii. Solid Waste Collection: Lakers New Prague Sanitary
4. FIRE PREVENTION: _____
5. SECURITY PLANS: _____
6. RETAIL SALES: _____
7. FOOD OR ALCOHOL SERVED OR FOR SALE: _____
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.) _____
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC: _____
10. EXTERIOR LIGHTING: _____
11. PARKING AND LOADING: Private driveway
12. SIGNAGE: _____
13. ROAD ACCESS: (Approved by the road authority) Lanesburg Township
14. CERTIFICATE OF INSURANCE: _____
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) _____

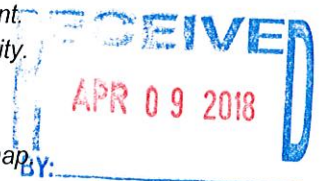
IX. Site Plan: Shall include but not limited to the following:

- | | | | |
|---------------------|-----------|-----------------------|----------------------------|
| • North point | • Lake | • Existing Structures | • Septic system |
| • Setbacks | • River | • Proposed Structures | • Well |
| • Property Lines | • Wetland | • Lot Dimensions | • Access (size & location) |
| • Road Right-Of-Way | • Stream | • Ponds | • Easements |
- Parking (Size & location-if applicable to application)
 - Landscape, screening and buffering (if applicable to application)
 - Location of significant trees to be removed (if applicable to application)



X. Attachments: shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full legal description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion control plan**-Attach completed and signed plan including map.
- h. **Floor plans and/or blue prints**



XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Dore Meyer 4-06-18
Applicant signature Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Dore Meyer D&D Meyer Farms 4-6-18
Property Owner signature Date

OFFICE USE ONLY

Request: TDR NELS to SW/SW

Pre-App Date <u>4-9-18</u>	Lake Classification <u>/</u>	Feedlot	500'	1000'	N
Meeting Date <u>5-10-18</u>	Lake	Wetland Type	1-2	3-8	N
60 Day <u>6-8-18</u>	FEMA Panel # 27079C0 <u>088</u>	Water courses	Y	N	
Zoning District <u>A</u>	Flood Zone <u>X-outside</u>	Bluff	Y	N	

- | | | | |
|---|---|---|--|
| <input checked="" type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval | <input checked="" type="checkbox"/> Septic | Comp Insp / Design
Reg / ATF / Spec |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Erosion Control Plan | <input checked="" type="checkbox"/> Meeting | |
| <input checked="" type="checkbox"/> Full Legal | <input checked="" type="checkbox"/> Blue Prints | <input type="checkbox"/> Fee | \$ <u>796-</u> |
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Other | <input type="checkbox"/> Penalty | \$ |

Application Complete Michelle R. Mittels 4-9-18 18027
Planning & Zoning Department Signature Date Permit #

CB 5-22-18

3/22/18

Michelle R. Mettler
LeSueur Environmental Services
88 South Park Ave.
LeCenter, MN 56057

Hello Michelle,

This letter is in regards to transferring 5 acres of my property to my son Chad Meyer. The building eligibility right that is now on the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section #5 will need to be moved next to my house where he intends to build this year. Please see the attached survey.

Thank you,
Dave Meyer

Dave Meyer
4-6-18

D & D Meyer Farm Inc.

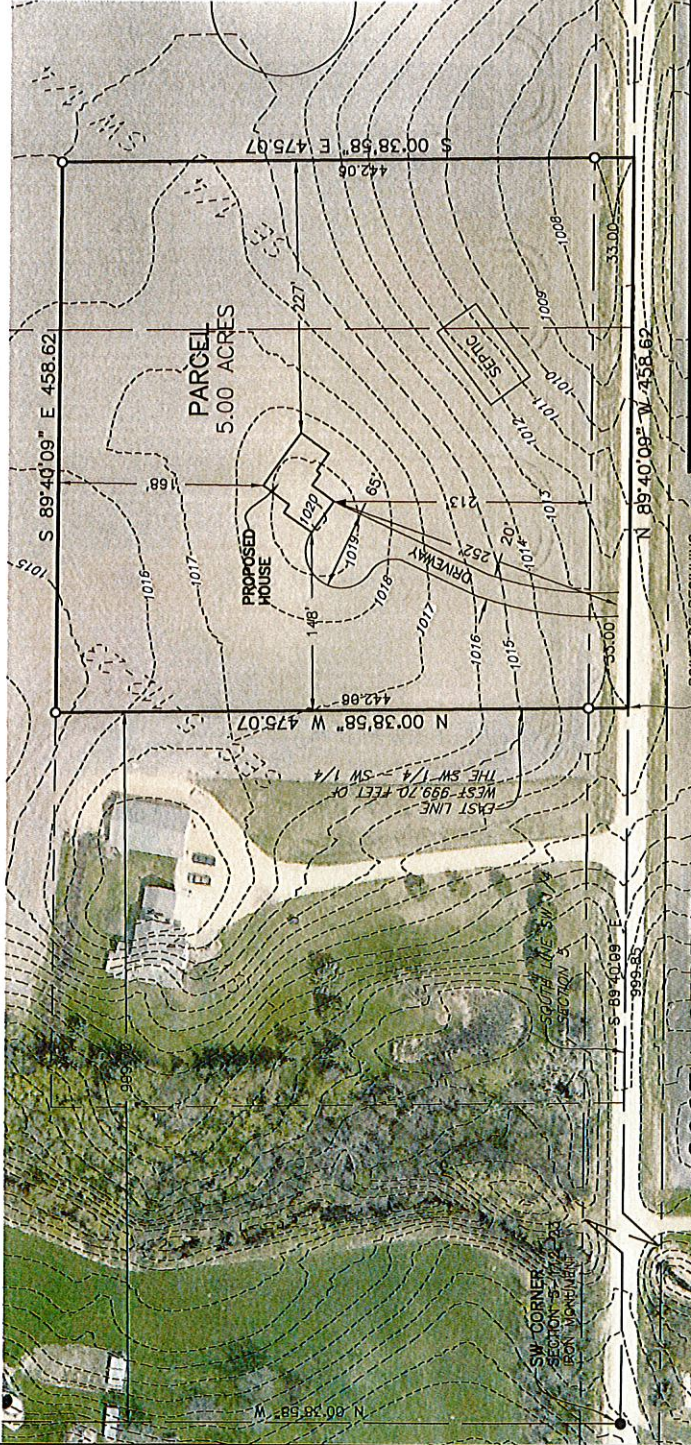
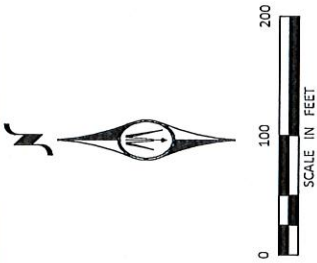
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APR 09 2018

BY: *MJM*

PROPOSED DESCRIPTION

That part of the Southwest Quarter of Section 5, Township 112 North, Range 23 West, Le Sueur County, Minnesota, described as follows: Commencing at the Southwest Corner of said Section 5; thence South 89 degrees 40 minutes 09 seconds East (bearings based of Le Sueur County Coordinate System NAD83, 1996 Adjustment) on the south line of said Section 5, a distance of 999.85 feet to the East line of the West 999.70 feet of the Southwest Quarter of the Southwest Quarter of said Section 5, also being the point of beginning; thence North 00 degrees 38 minutes 58 seconds West on said east line, a distance of 475.07 feet; thence South 89 degrees 40 minutes 09 seconds East, a distance of 458.62 feet; thence South 00 degrees 38 minutes 58 seconds East, a distance of 475.07 feet to the south line of said Section 5; thence North 89 degrees 40 minutes 09 seconds West on said south line, a distance of 458.62 feet to the point of beginning.

Said parcel contains 5.00 acres of land.



LEGEND

- 3/4" IRON PIPE MONUMENT SET MARKED BY L.I.C. NO. 19789
- MONUMENT FOUND

SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Rory Jensen
 Rory Jensen
 License Number 19789
 Date 3/09/2018

REVISED ORIGINAL SURVEY: 3-23-2018

CERTIFICATE OF SURVEY
 LE SUEUR COUNTY, MINNESOTA



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 (507) 625-4171

THAT PART OF THE SW 1/4 OF SECTION 5,
 TOWNSHIP 112 NORTH, RANGE 23 WEST,
 LANESBURGH TOWNSHIP, LE SUEUR COUNTY,
 MINNESOTA
 FOR: KUBES REALTY
 MEYER FARM

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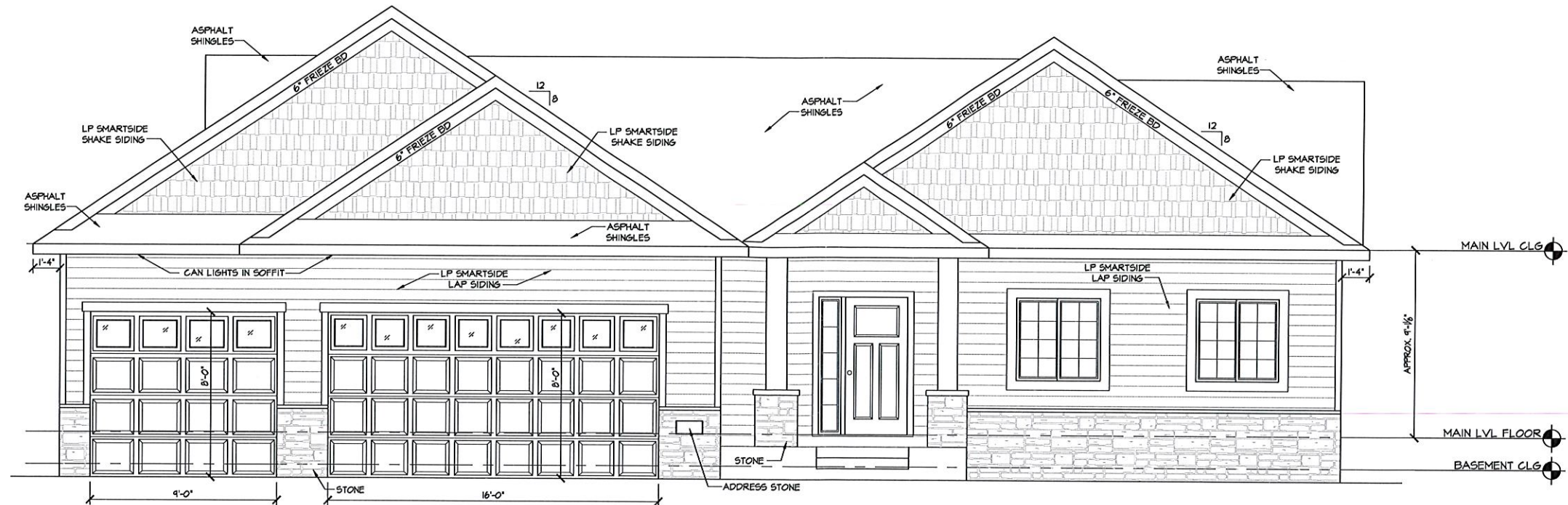
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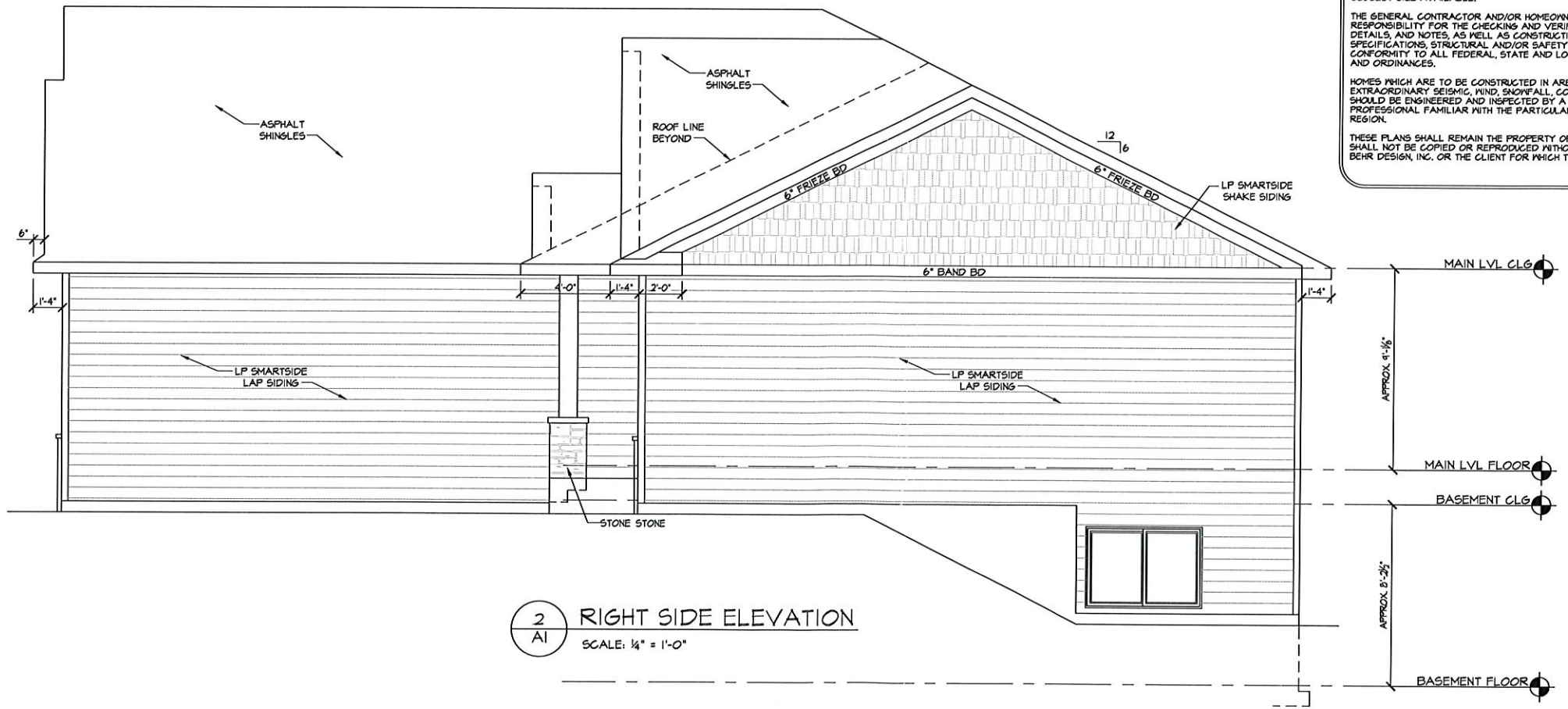
JOB NUMBER: M33.115926 FIELD BOOK: N/A

DRAWN BY: JLA

4.0 55-1112N-R23W



1
AI
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2
AI
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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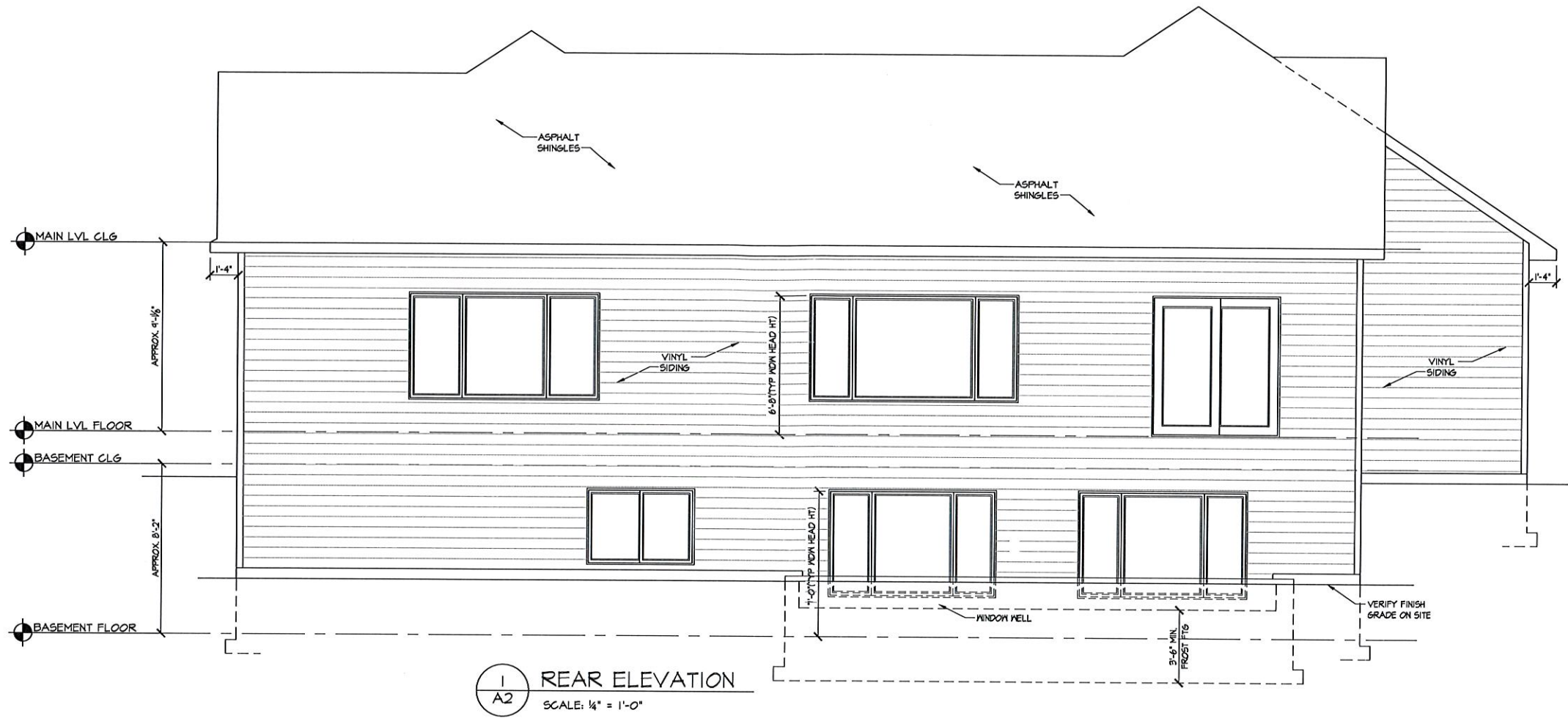
CUSTOM DESIGN FOR...
Meyer Residence
— MN

KUBES REALTY

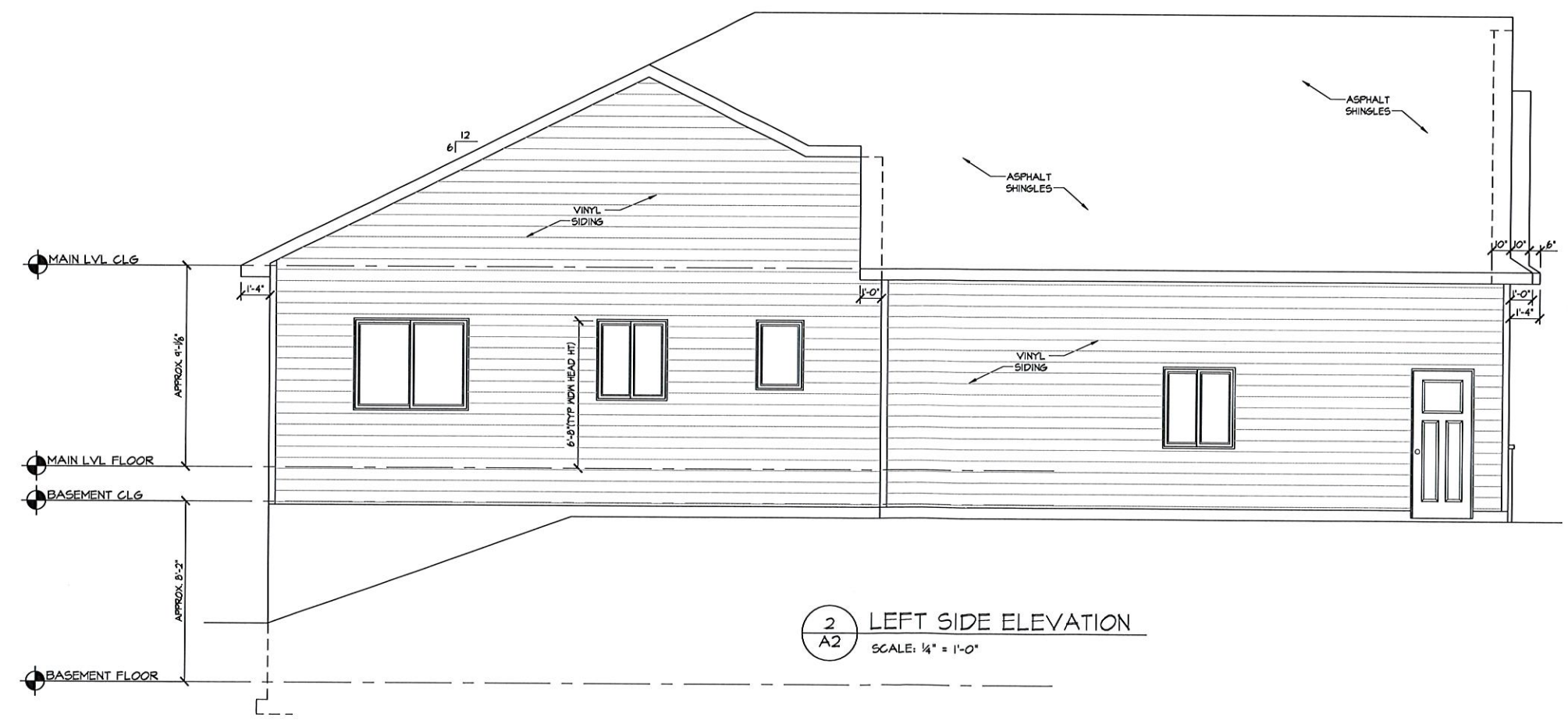
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SHEET NO.
A1
EXTERIOR
ELEVATIONS

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APR 09 2018
BY:



1 REAR ELEVATION
A2
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
A2
SCALE: 1/4" = 1'-0"

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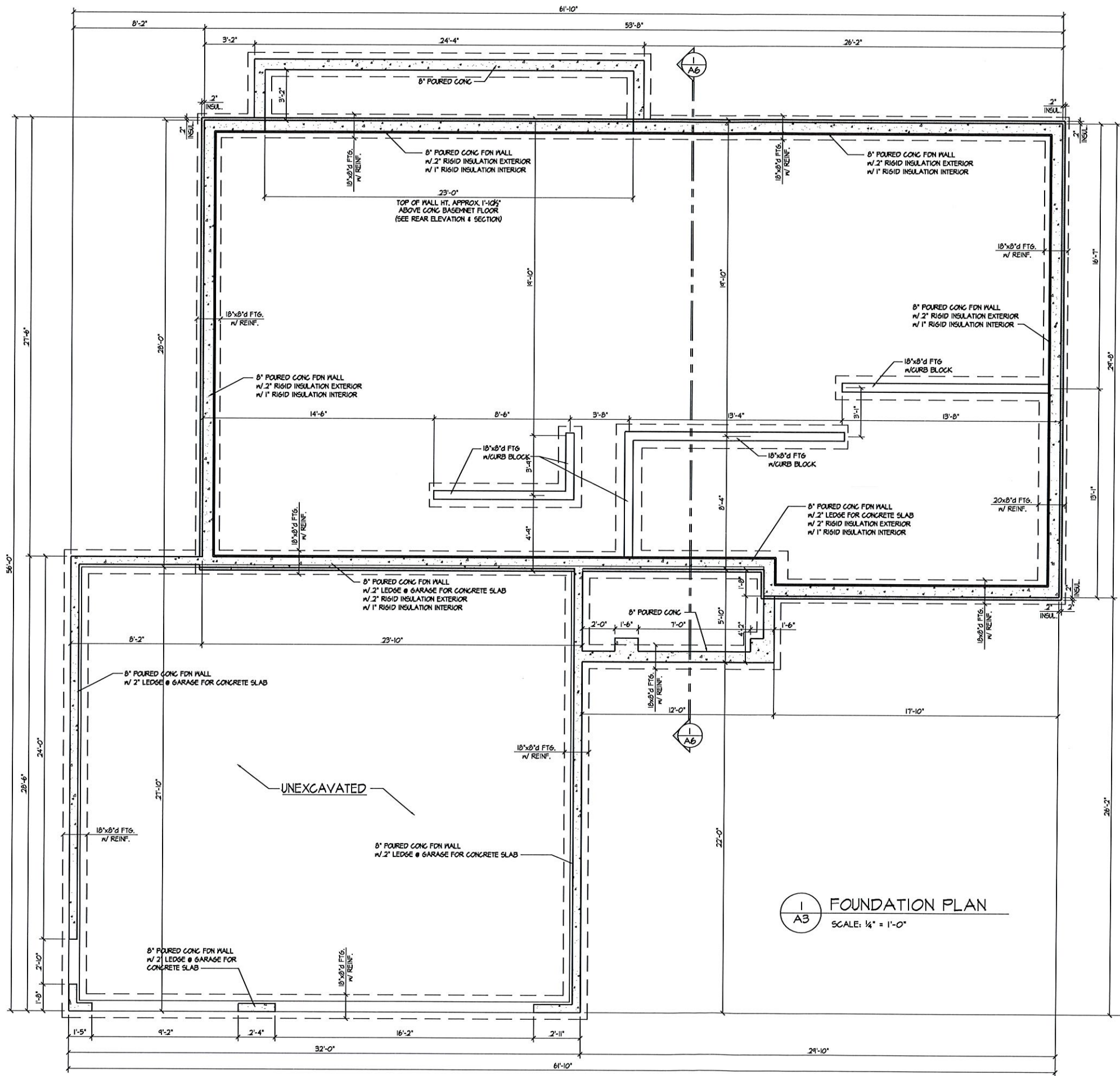
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Meyer Residence
—, MN

KUBES REALTY

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SHEET NO.
A2
EXTERIOR
ELEVATIONS

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1 FOUNDATION PLAN
A3
SCALE: 1/4" = 1'-0"

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MEYER RESIDENCE
—, MN

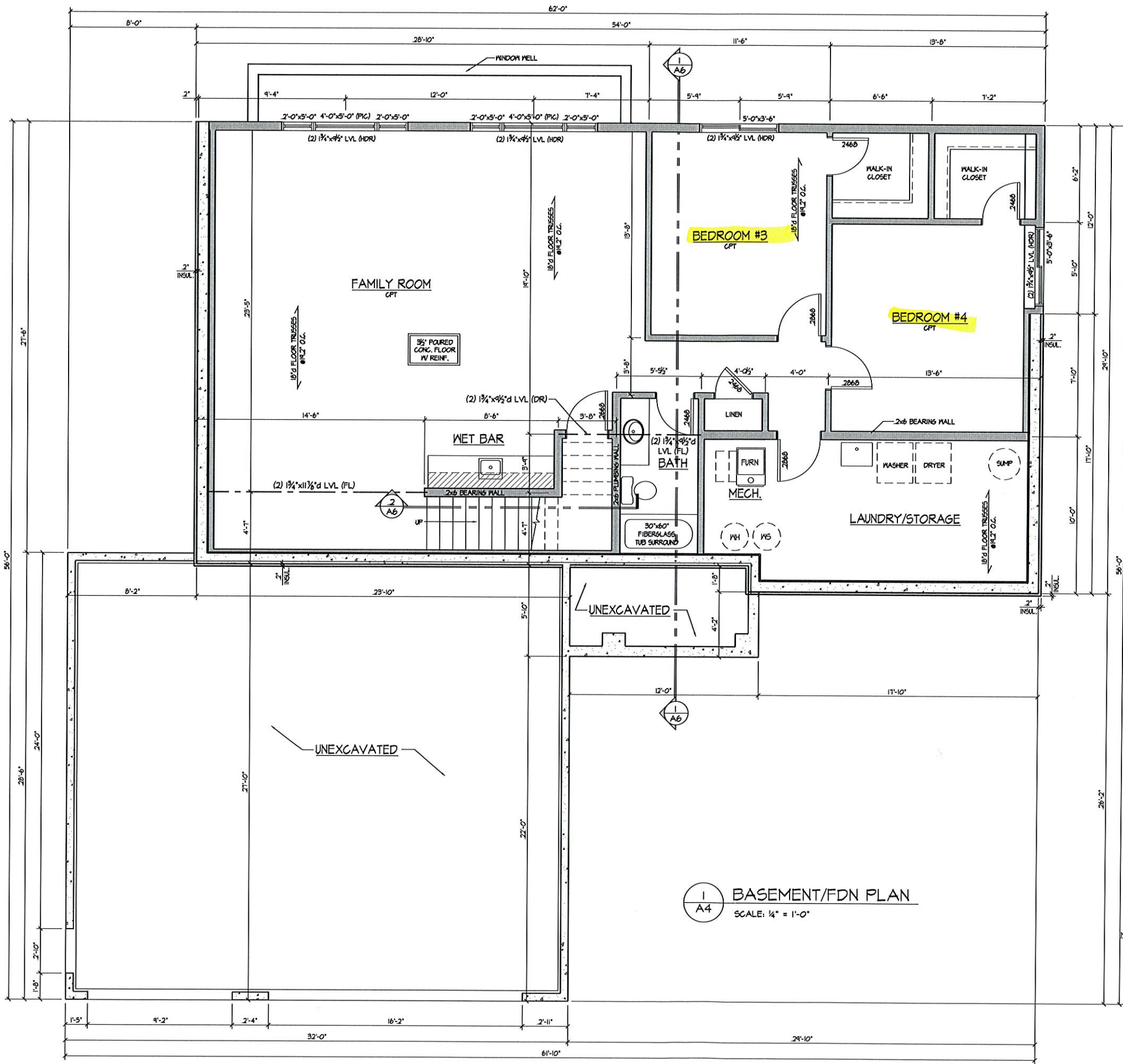
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SHEET NO.
A3
FOUNDATION FLOOR PLAN

- NOTES:
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG MALL WINDOW & DOOR OPN'GS WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)





1 BASEMENT/FDN PLAN
A4 SCALE: 1/4" = 1'-0"

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MEYER RESIDENCE
Meyer, MN

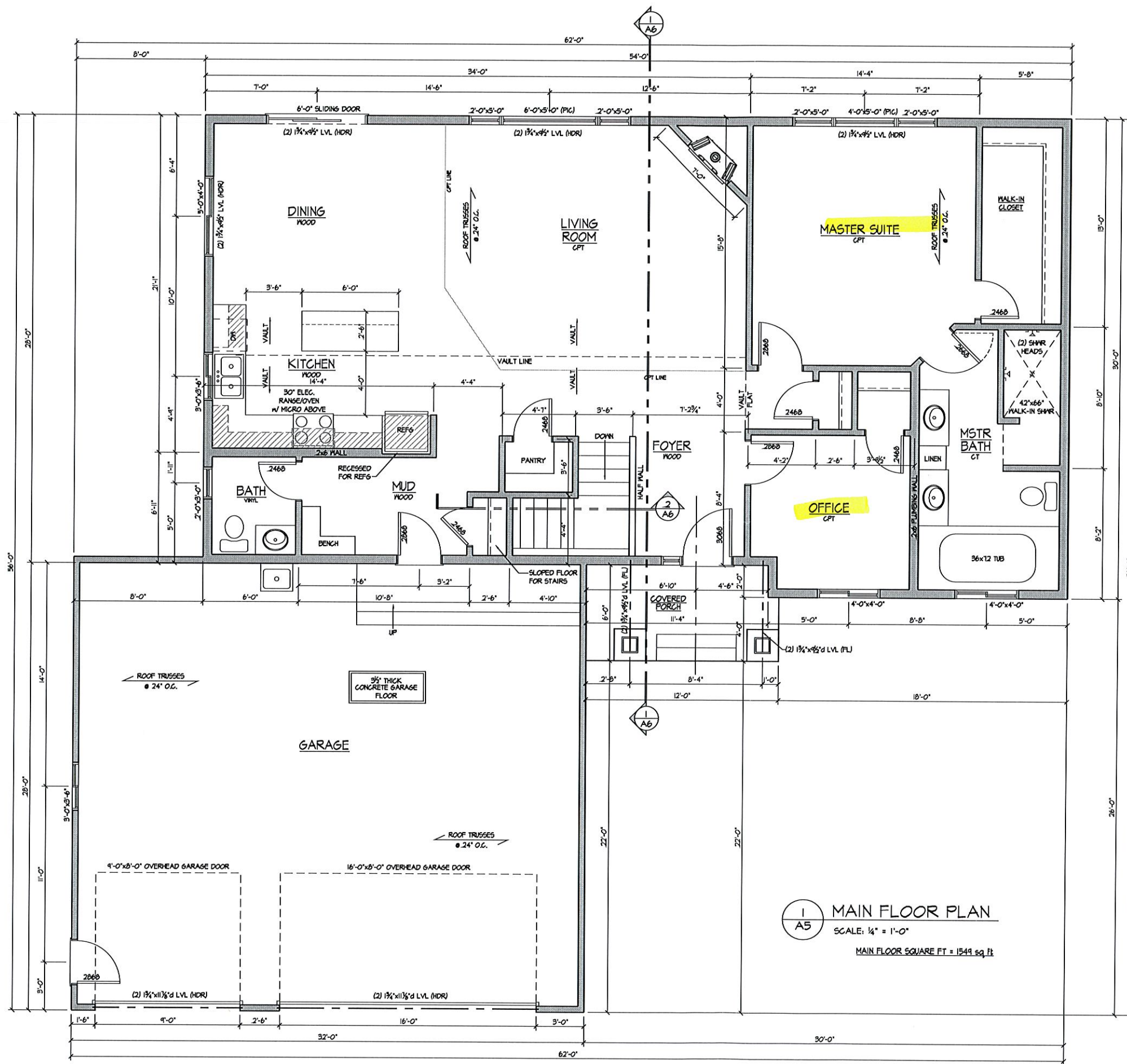
KUBES REALTY

DATE: 5/8/2018
DRAWN BY: PETER K.
PROJECT NO.: 18-018K
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SHEET NO.
A4
BASEMENT FLOOR PLAN

- NOTES:
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG. WALL WINDOW & DOOR OPNG'S WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)





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 HOMES WHICH ARE TO BE CONSTRUCTED IN AREAS THAT ARE SUBJECT TO EXTRAORDINARY SEISMIC, WIND, SNOWFALL, COLD OR FLOOD ISSUES SHOULD BE ENGINEERED AND INSPECTED BY A CONSTRUCTION PROFESSIONAL FAMILIAR WITH THE PARTICULAR CONDITIONS OF THAT REGION.
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CUSTOM DESIGN FOR...
MEYER RESIDENCE
 —, MN

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SHEET NO.
A5
 MAIN FLOOR PLAN

- NOTES:**
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG. MALL WINDOW & DOOR OPNS'S WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)



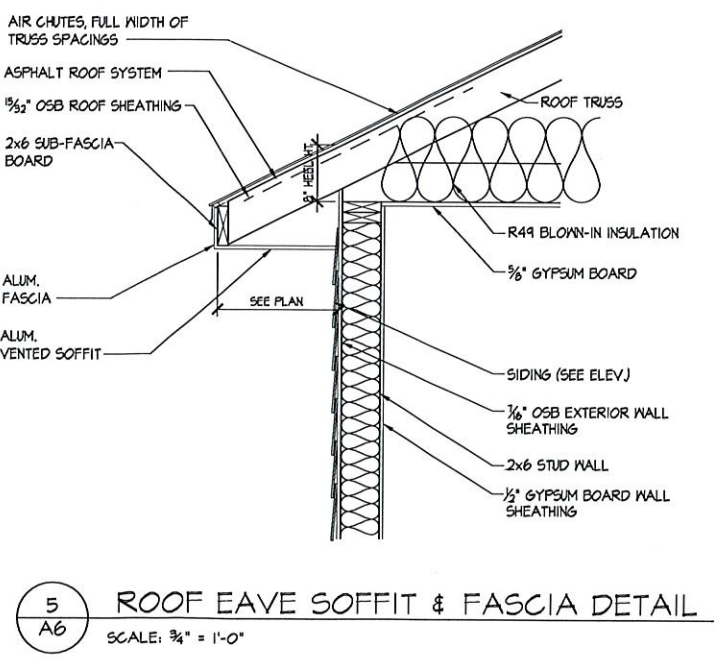
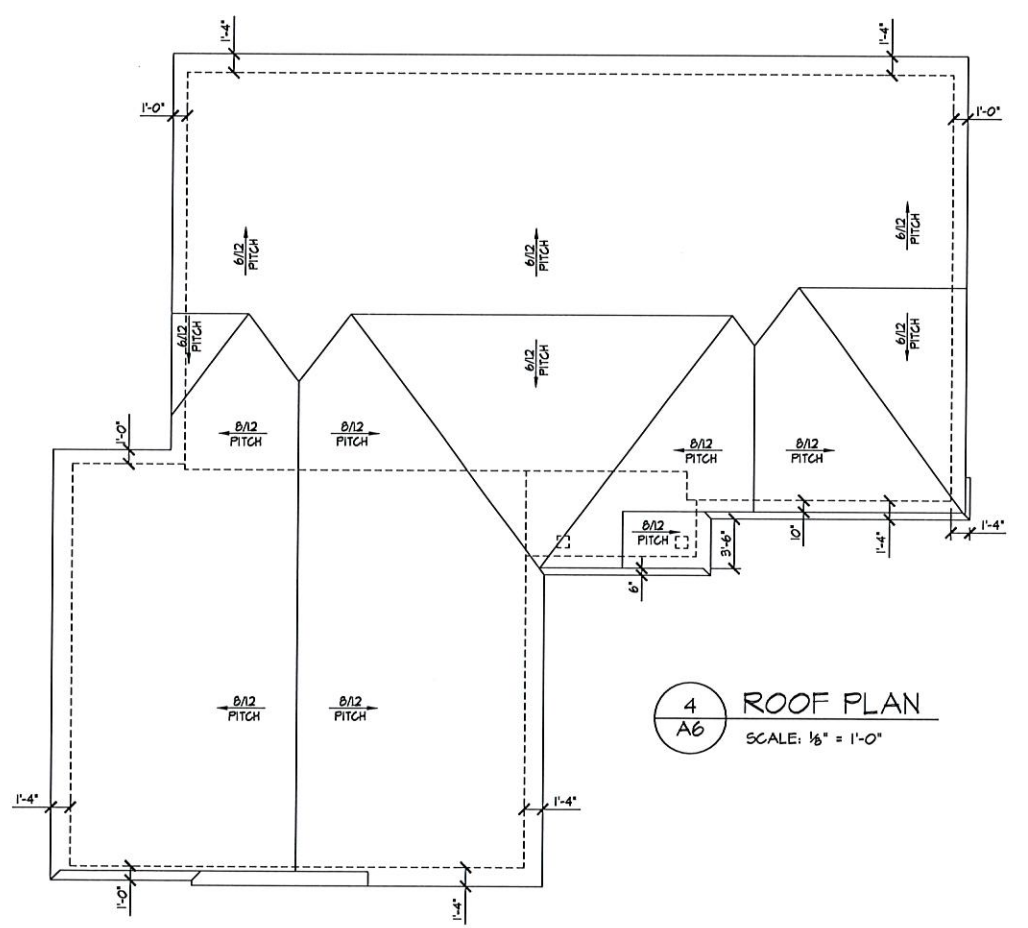
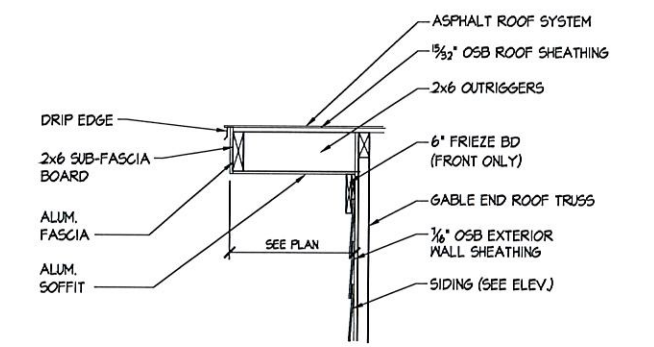
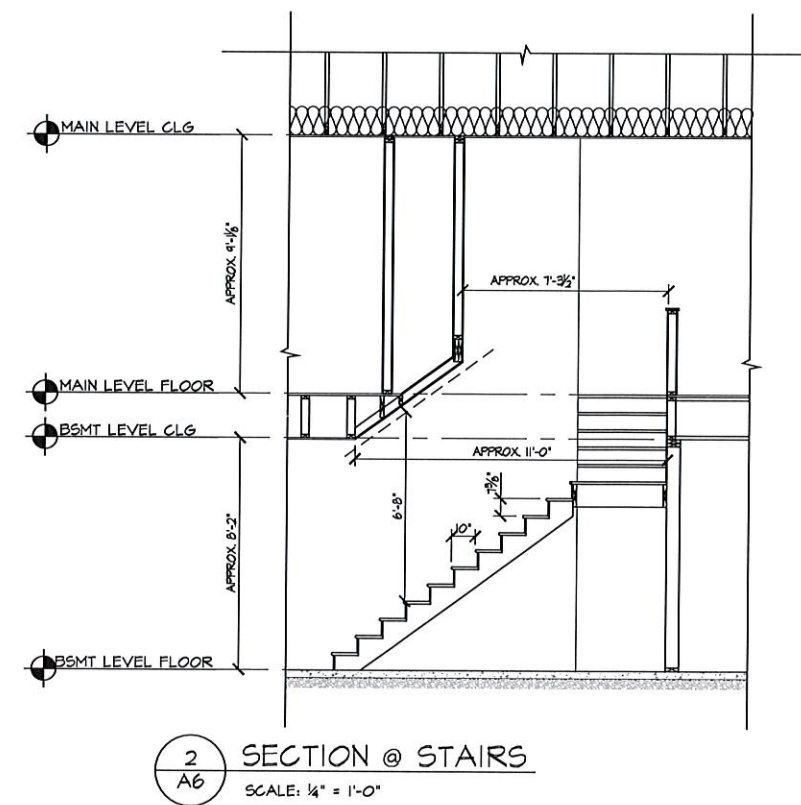
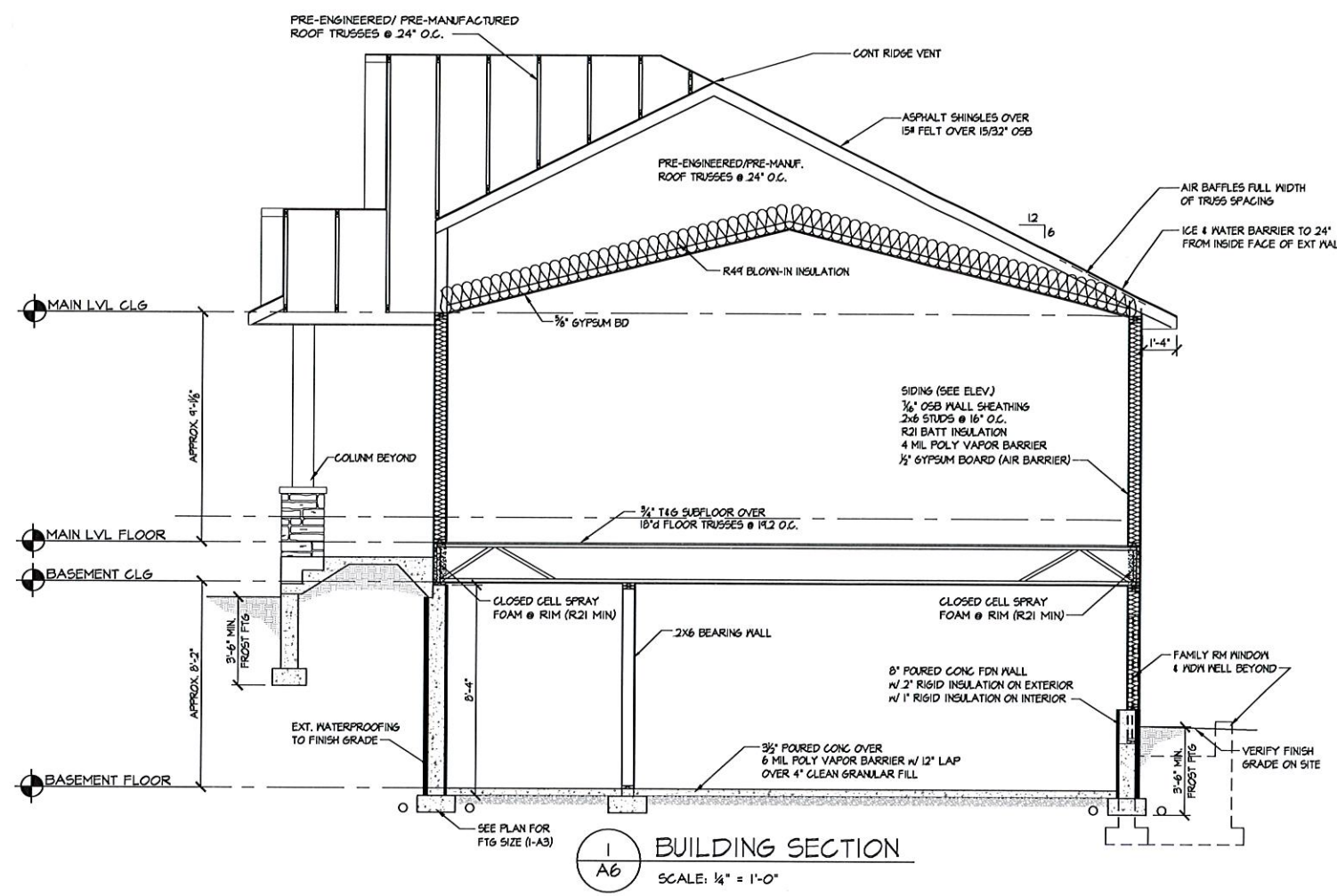


CUSTOM DESIGN FOR...
MEYER RESIDENCE
M, MN

KUBES REALTY

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SHEET NO.
A6
ROOF PLAN
& SECTION



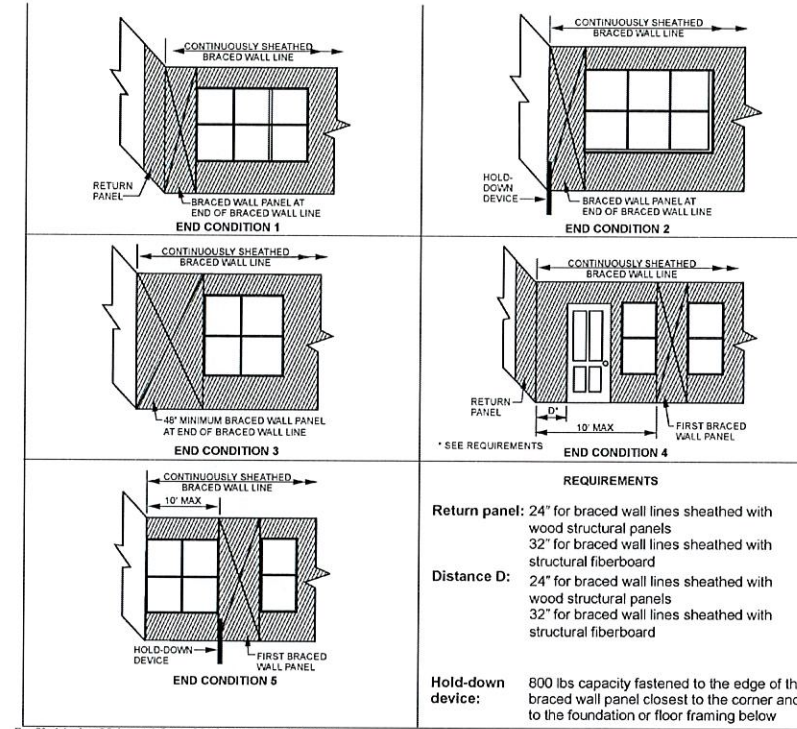
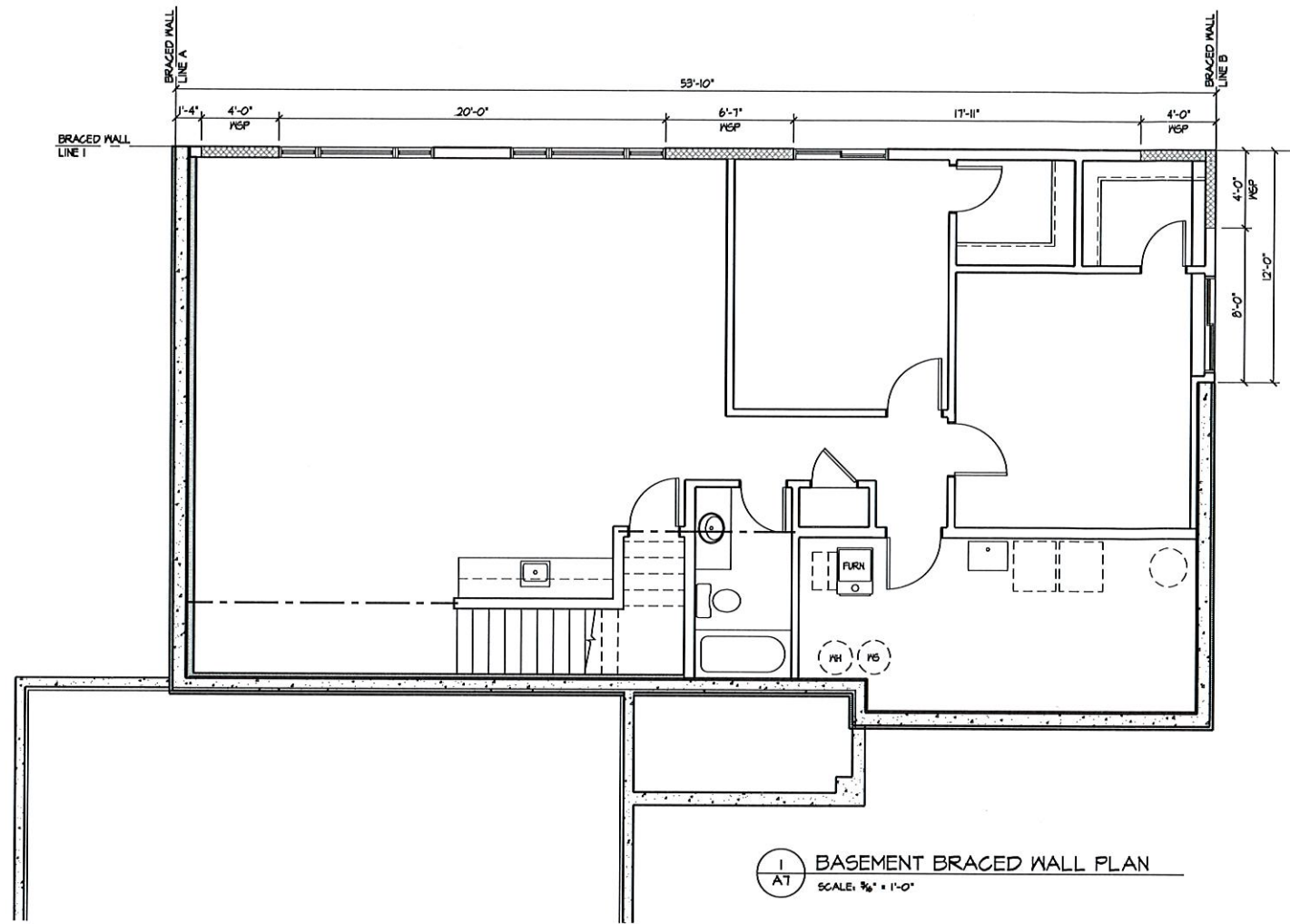


TABLE R602.10.4
BRACING METHODS

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
LIB Let-in-bracing	1 x 4 wood or approved metal straps at 45° to 60° angles for maximum 16" stud spacing		Wood: 2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails Metal strap: per manufacturer	Wood: per stud and top and bottom plates Metal: per manufacturer
DWB Diagonal wood boards	3/8" (1" nominal) for maximum 24" stud spacing		2-8d (2 1/2" long x 0.113" dia.) nails or 2 - 1 1/2" long staples	Per stud
WSP Wood structural panel (See Section R604)	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
WV-WSP Wood Structural Panels with Stone or Masonry Veneer (See Section R602.10.6.5)	3/16"	See Figure R602.10.6.5	8d common (2 1/2" x 0.131) nails	4" at panel edges 12" at intermediate supports 4" at braced wall panel end posts
SFB Structural fiberboard sheathing	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 0.12" dia. (for 1/2" thick sheathing) 1 1/2" long x 0.12" dia. (for 5/8" thick sheathing) galvanized roofing nails or 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
GB Gypsum board	1/2"		Nails or screws per Table R602.3(1) for exterior locations Nails or screws per Table R702.3.5 for interior locations	For all braced wall panel locations: 7" edges (including top and bottom plates) 7" field
PBS Particleboard sheathing (See Section R605)	3/8" or 1/2" for maximum 16" stud spacing		For 3/8", 6d common (2" long x 0.113" dia.) nails For 1/2", 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
PCP Portland cement plaster	See Section R703.6 for maximum 16" stud spacing		1 1/2" long, 11 gage, 7/16" dia. head nails or 7/8" long, 16 gage staples	6" o.c. on all framing members
HPS Hardboard panel siding	3/16" for maximum 16" stud spacing		0.092" dia., 0.225" dia. head nails with length to accommodate 1 1/2" penetration into studs	4" edges 8" field
ABW Alternate braced wall	3/8"		See Section R602.10.6.1	See Section R602.10.6.1

(continued)

TABLE R602.10.4—continued
BRACING METHODS

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
PFH Portal frame with hold-downs	3/8"		See Section R602.10.6.2	See Section R602.10.6.2
PFG Portal frame at garage	7/16"		See Section R602.10.6.3	See Section R602.10.6.3
CS-WSP Continuously sheathed wood structural panel	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
CS-G* Continuously sheathed wood structural panel adjacent to garage openings	3/8"		See Method CS-WSP	See Method CS-WSP
CS-PF Continuously sheathed portal frame	7/16"		See Section R602.10.6.4	See Section R602.10.6.4
CS-SFB* Continuously sheathed structural fiberboard	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 0.12" dia. (for 1/2" thick sheathing) 1 1/2" long x 0.12" dia. (for 5/8" thick sheathing) galvanized roofing nails or 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field

For SI: 1 inch = 25.4 mm, 1 foot = 305 mm, 1 degree = 0.0175 rad, 1 pound per square foot = 47.8 N/m², 1 mile per hour = 0.447 m/s.

a. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Categories C, D_s, D₁, and D₂.
b. Applies to panels next to garage door opening when supporting gable end wall or roof load only. May only be used on one wall of the garage. In Seismic Design Categories D_s, D₁, and D₂, roof covering dead load may not exceed 3 psf.
c. Garage openings adjacent to a Method CS-G panel shall be provided with a header in accordance with Table R502.5(1). A full height clear opening shall not be permitted adjacent to a Method CS-G panel.
d. Method CS-SFB does not apply in Seismic Design Categories D_s, D₁, and D₂ and in areas where the wind speed exceeds 100 mph.
e. Method applies to detached one- and two-family dwellings in Seismic Design Categories D_s through D₂ only.

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CUSTOM DESIGN FOR...
MEYER RESIDENCE
— MN

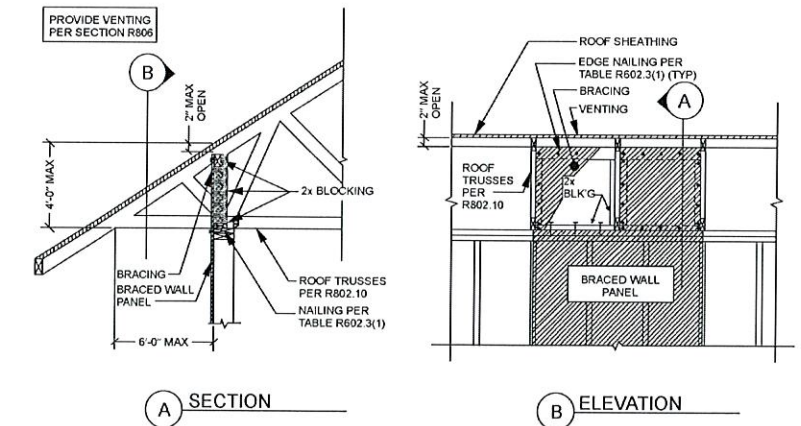
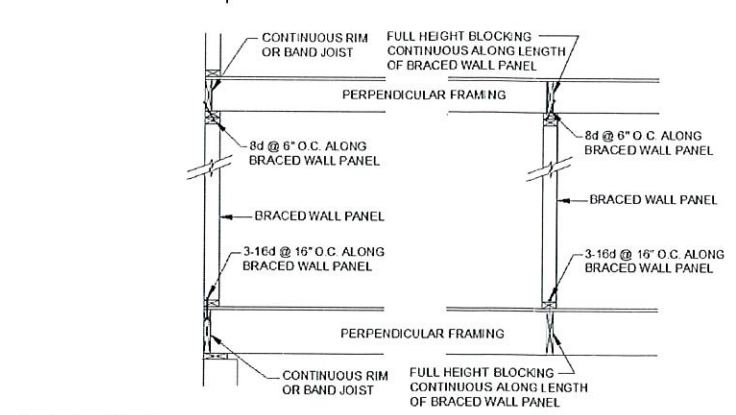
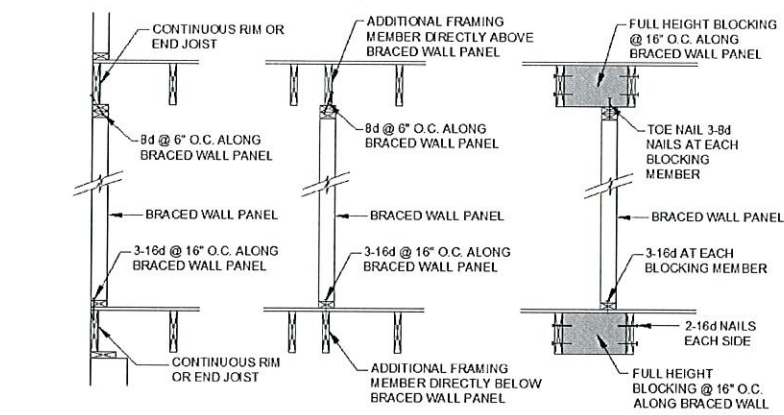
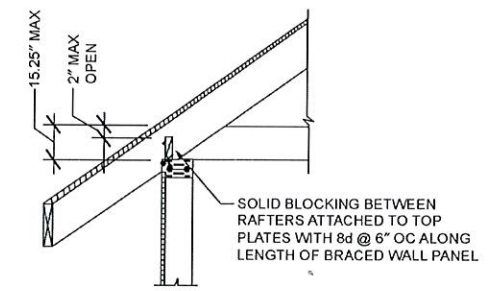
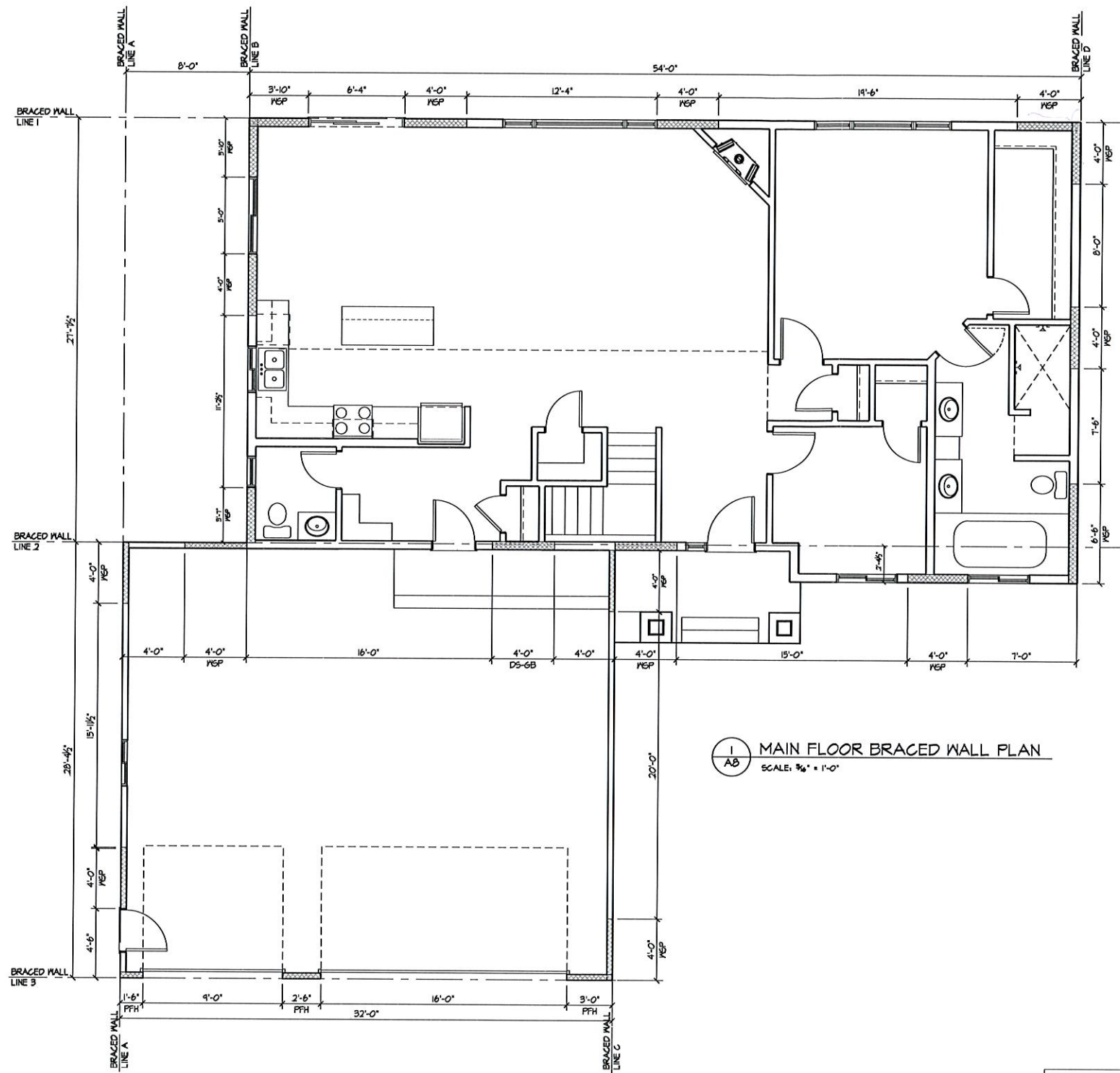
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PROJECT NO.: 18-018R
ISSUE DATE

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SHEET NO.
A7
BRACED WALL
PLAN & DETAILS

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APR 09 2018



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CUSTOM DESIGN FOR...
Meyer Residence
—, MN

KUBES REALTY

DATE: 8/8/2018
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PROJECT NO.: 18-0108
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SHEET NO.
A8
BRACED WALL
PLAN & DETAILS

RECEIVED
APR 09 2018

April 9, 2018

To Whom it may Concern:

Jaeckels Well Service Inc. will be constructing a new well on the Meyer property at 17840 290th St New Prague for a new home.

Thank you,



Shawn Jaeckels

Jaeckels Well Service, Inc.

29298 Farm Lane

New Prague, MN 56071

952-758-6812



Chris Kubes

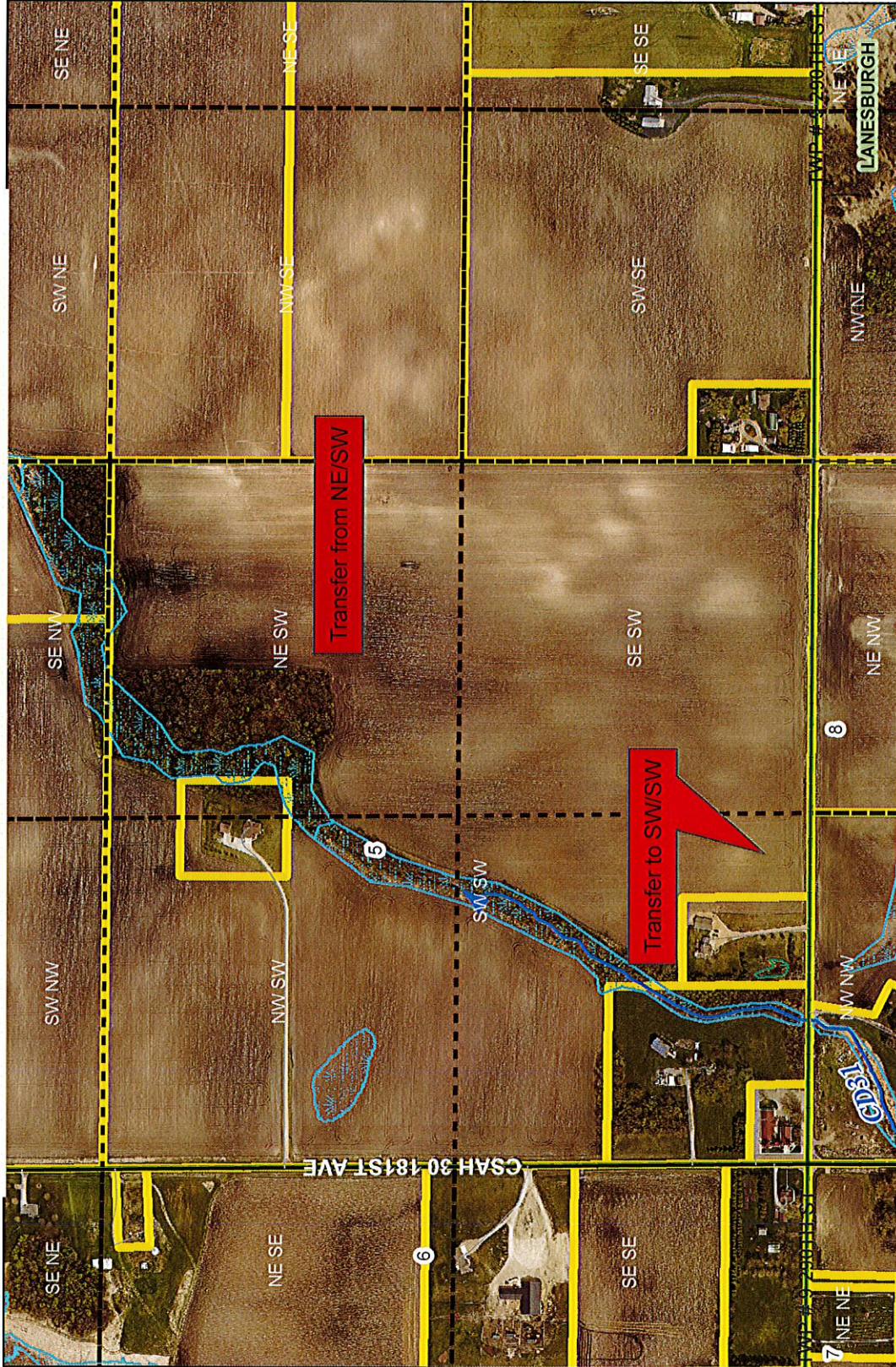
From: Randy Trnka <rtexcavating@frontiernet.net>
Sent: Friday, April 6, 2018 5:30 PM
To: chriskubes@kubesrealty.com
Subject: Septic sites

The site at 17840 290th ST New Prague was viewed on site for septic sites. There is more than adequate space for a primary and secondary septic sites. The Web Soil Survey shows adequate soils for these sites as well.

Randy Trnka
RT Excavating & Services Inc.
20139 Lexington Rd
Le Center, MN 56057
612-741-5492

LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Meyer
PID: 07.005.7500
DATE: DATE
FIRM #: 27079C0 088D
F-Zone: X-outside
RFPE: na
District: Agriculture



5	4	3	2
8	9	10	11
17	16	15	14

Map Disclaimer
 Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation. However, a degree of error is inherent in all maps. These maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.

Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet

Photo dated April/May 2017

Created By: MRM





Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 3

Stangler Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT/OWNER: Richard Stangler
911 ADDRESS: New 151st Ave, Kilkenny, MN
PROJECT DESCRIPTION: To allow the applicant to transfer the development right from the NE/SE 1/4 to the SE/SE.
PARCEL NUMBER: 06.027.5710 & 06.027.3800
CUP NUMBER: 18029

SITE INFORMATION

LOCATION: SE 1/4, Section 27, Kilkenny Township
ZONING DISTRICT: Agriculture
ZONING DISTRICT PURPOSE: The **Agriculture (A) District** is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.

GENERAL SITE DESCRIPTION: Agriculture, scattered residences, wooded, wetland, floodplain

ACCESS: New off 151st Ave, approved by County Highway Engineer

EXISTING LAND USE WITHIN ¼ MILE:

North: Agriculture, Floodplain	South: Agriculture
East: Wetland	West: Agriculture

BACKGROUND INFORMATION

The applicant is proposing to transfer the development right from the NE/SE in a current farm field to the SE/SE on a wooded 4.16-acre parcel. The building eligibility in the NE/SE meets the first in the quarter/quarter, meets separation distance to a feedlot and density standards in the section for the Ag District and performance standards i.e. buildable area, setbacks etc. Location transferred to in the SE/SE, meets performance standards i.e. buildable area, setbacks, etc.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Jim Hebel from Kilkenny Township was contacted on April 5, 2018 by applicant, per application.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, Type 1-2 wetlands located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture; Section 19, Subdivision 12 Transfer of Development Rights; Section 21, Conditional Use Permits;

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 does make reference to transfer of development rights.

- | | |
|---------------------|---|
| GOAL #4: | Le Sueur County should adopt and enforce land use goals and policies that provide a wide range of Opportunity for Urban and Rural Housing Development. |
| Objective 1: | Le Sueur County should allow non-farm development to occur in agricultural areas, but with guidelines meant to reduce conflicts with agricultural operators. |
| Action 6: | Adopt a Transfer of Development Rights component to the zoning ordinance in which a property owner could transfer one development right from $\frac{1}{4}$ $\frac{1}{4}$ to an adjacent $\frac{1}{4}$ $\frac{1}{4}$. |

ENVIRONMENTAL PERFORMANCE STANDARDS-SECTION 18

- BLUFF:** There is a bluff between 18-30 % slope located on the proposed site. Required 30-foot setback from top and toe of the bluff.
- GRADING, EXCAVATING, OR FILLING:** Material movement for the purpose of digging the basement and constructing the driveway is part of the zoning permit. Any additional Grading, Excavating, & Filling beyond 500 cubic yards will require a Conditional Use Permit. Any additional Grading, Excavating, & Filling between 250 & 500 cubic yards will require a Land Alteration Plan.
- EROSION CONTROL:** Erosion Control measures required.
- DRAINAGE:** Cannot increase drainage to adjoining properties.

LAND PERFORMANCE STANDARDS-SECTION 19

- ACCESS:** Minimum driving surface 14' in width, inslope no greater than 4:1, unobstructed vertical and horizontal clearance, minimum flat grade of at least 20' at access point to road.
- SPECIFIC LAND USE:** Sending must have building eligibility and meet performance standards. Receiving must meet performance standards, and feedlot separation distance. Transfer involves contiguous quarter/quarters within Kikenny Township.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.

2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
 - a. Access
 - b. The site is adequate for water supply and on-site sewage treatment.
 - c. Additional Grading, Excavating and Filling beyond the permitted use will require a CUP.

PLANNING AND ZONING COMMISSION CONDITIONS
--

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions *may* include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18029

Applicant: RICHARD STANGLER

Land Owner: RICHARD STANGLER

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO TRANSFER THE DEVELOPMENT RIGHT FROM THE NE/SE TO SE/SE.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application

I. Applicant:

Name Richard Stangler
Mailing Address 44357 Kilky Rd S
City Kilkeny State mn Zip 56052
Phone # 507-595-2883 Phone # _____

II. Landowner:

Name Richard Stangler
Mailing Address 44357 Kilky Rd S
City Kilkeny State mn Zip 56052
Property Address _____
City Kilkeny mn State mn Zip 56052
Phone # _____ Phone # _____

III. Parcel Information:

Parcel Number 06:027.5710 Parcel Acreage 4.16
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township Kilkeny Section 27
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Kilkeny Twp Township notified on ~~Jim Hebel~~ 4-5-18
(Township Name) (Date)

Board Member Jim Hebel regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.
- Applications will not be accepted by mail.**

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request:

- Self Service Storage
- School/Church/Cemetery
- Retail Nursery/Greenhouse
- School/Church/Cemetery
- Value Added Agriculture
- Antique Sales/Service/Repair
- Substation/Transmission Lines etc.
- Other TDR

VIII. Description of Request:

a. A full description of request with detailed information must be attached.

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: _____
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: _____
3. LIST OF PUBLIC HEALTH PLANS:
 - i. Water Supply: Private Well
 - ii. Toilet facilities: Approved septic System
 - iii. Solid Waste Collection: Waste management
4. FIRE PREVENTION: _____
5. SECURITY PLANS: _____
6. RETAIL SALES: _____
7. FOOD OR ALCOHOL SERVED OR FOR SALE: _____
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.) _____
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC: _____
10. EXTERIOR LIGHTING: _____
11. PARKING AND LOADING: _____
12. SIGNAGE: _____
13. ROAD ACCESS: (Approved by the road authority) Culvert installed as per Hy dept location
14. CERTIFICATE OF INSURANCE: _____
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) _____

IX. Site Plan: Shall include but not limited to the following:

- North point
- Setbacks
- Property Lines
- Road Right-Of-Way
- Lake
- River
- Wetland
- Stream
- Existing Structures
- Proposed Structures
- Lot Dimensions
- Ponds
- Septic system
- Well
- Access (size & location)
- Easements
- Parking (Size & location-if applicable to application)
- Landscape, screening and buffering (if applicable to application)
- Location of significant trees to be removed (if applicable to application)

X. Attachments: shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full legal description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion control plan**-Attach completed and signed plan including map.
- h. **Floor plans and/or blue prints**

XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Richard Stayer

Applicant signature

4-4-18

Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Richard Stayer

Property Owner signature

4-4-18

Date

OFFICE USE ONLY

Request:

Pre-App Date <u>4-6-18</u>	Lake Classification <u>/</u>	Feedlot	500'	1000'	N
Meeting Date <u>5-10-18</u>	Lake <u>/</u>	Wetland Type	1-2	3-8	N
60 Day <u>6-5-18</u>	FEMA Panel # 27079C0 <u>325</u>	Water courses			Y N
Zoning District <u>A</u>	Flood Zone <u>X-outside</u>	Bluff			Y N

- Request Description
- Site Plan
- Full Legal
- Ordinance

- Access Approval
- Erosion Control Plan
- Blue Prints
- Other _____

- Septic
- Meeting
- Fee
- Penalty

Comp Insp / Design
 Reg / ATF / Spec
 \$ 7960

Contractor Stm +

- Application Complete

Michelle R Mitta
 Planning & Zoning Department Signature

4-10-18
 Date

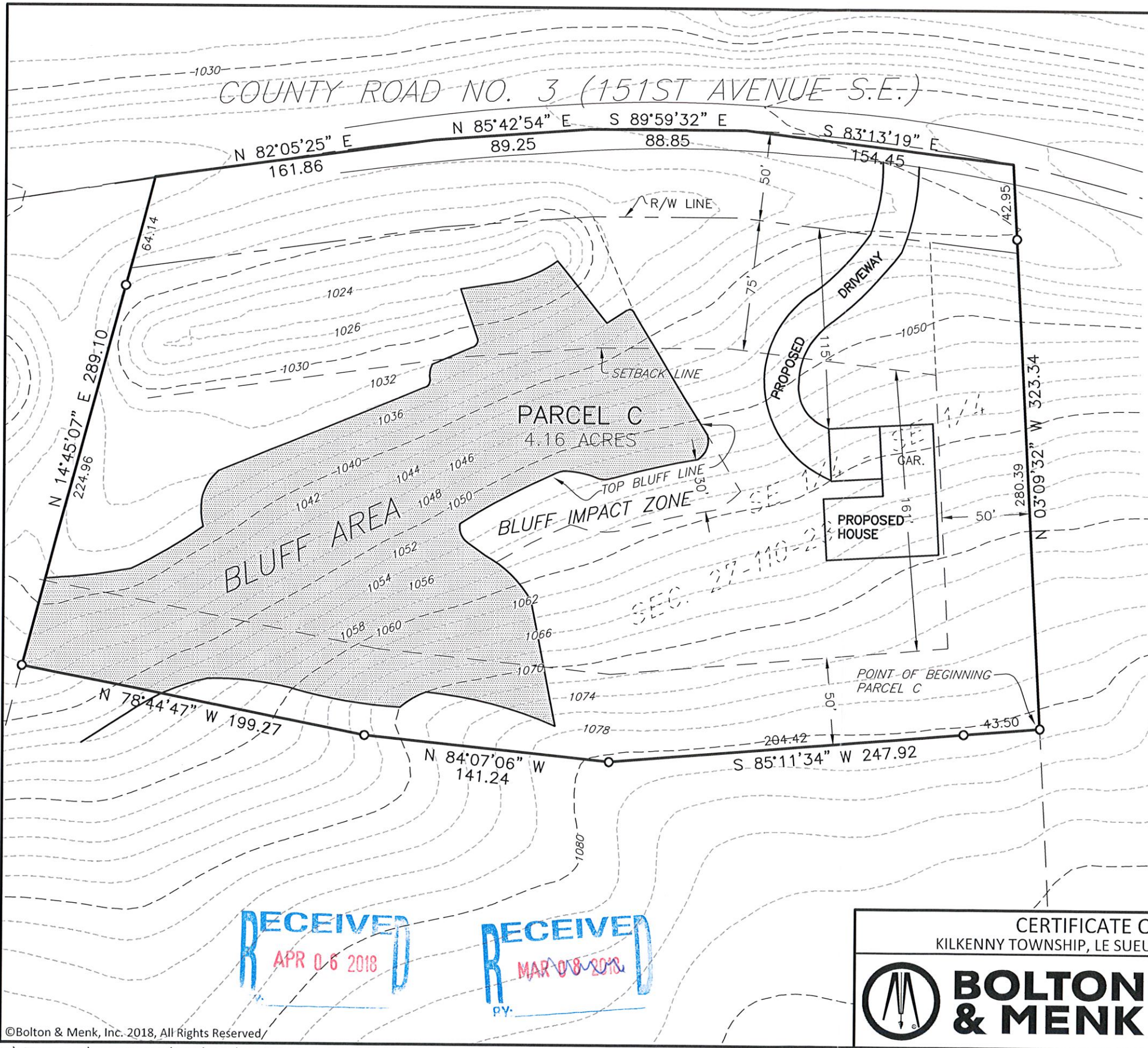
18029
 Permit #

To Le Sueur County Planning and Zoning;

I am bringing this conditional use application for your agency to consideration of transferring building rights from a eligible ag property to a wooded area that I also own which keeps both properties in their best use used purposes.

I have an ag property in the n/e ¼ of the s/ ¼ of section 27 of Kilkenny township while it does met buildable requirements its best use is to stay as farm land. The property I wish to move it to is described as the s/e ¼ of the s/e ¼ of section 27 this is a wooded lot that can met buildable standards for locating a house and I have gotten preliminary oks for the well, septic system, and road placement as u can see the site plan drafted by Bolton and Menk will allow for all requirements to be met for placement within the lot .

F. J. St. John
4-9-18

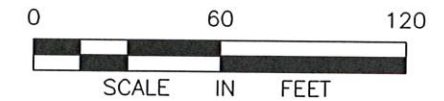


PROPOSED DESCRIPTION

PARCEL C

That part of the Southeast Quarter of Section 27, Township 110 North, Range 23 West, Le Sueur County, Minnesota, described as follows: Commencing at the Southeast Corner of said Section 27; thence North 23 degrees 13 minutes 32 seconds West (the East line of the Southeast Quarter of Section 27 bears North 00 degrees 06 minutes 28 seconds East and is based on Le Sueur County Coordinate System NAD83 1996 Adjustment), a distance of 184.00 feet to the Southeast Corner of a parcel described in Document Number 243455, recorded in the Le Sueur County Recorder's Office also being the point of beginning; thence North 88 degrees 53 minutes 32 seconds West on the south line of said parcel, a distance of 659.00 feet to the Southwest Corner of said parcel; thence North 03 degrees 09 minutes 32 seconds West on the west line of said parcel, a distance of 232.91 feet to the point of beginning; thence South 85 degrees 11 minutes 34 seconds West, a distance of 247.92 feet; thence North 84 degrees 07 minutes 06 seconds West, a distance of 141.24 feet; thence North 78 degrees 44 minutes 47 seconds West, a distance of 199.27 feet to the east line of a parcel described in Document Number 400086; thence North 14 degrees 45 minutes 20 seconds East on the east line of said parcel, a distance of 289.10 feet; thence North 82 degrees 05 minutes 25 seconds East, a distance of 161.86 feet; thence North 85 degrees 42 minutes 54 seconds East, a distance of 89.25 feet; thence South 89 degrees 59 minutes 32 seconds East, a distance of 88.85 feet; thence South 83 degrees 13 minutes 19 seconds East, a distance of 154.45 feet to the west line of a parcel described in Document Number 243455; thence South 03 degrees 09 minutes 32 seconds East on the west line of said parcel, a distance of 323.34 feet to the point of beginning. Said parcel contains 4.16 acres of land.

BUILDABLE AREA = 109,251 SQ FT



SURVEYOR'S CERTIFICATION

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Rory Jensen
 Rory Jensen
 License Number 19789

4-3-18
 Date

RECEIVED
 APR 06 2018

RECEIVED
 MAR 08 2018

CERTIFICATE OF SURVEY
 KILKENNY TOWNSHIP, LE SUEUR COUNTY, MINNESOTA

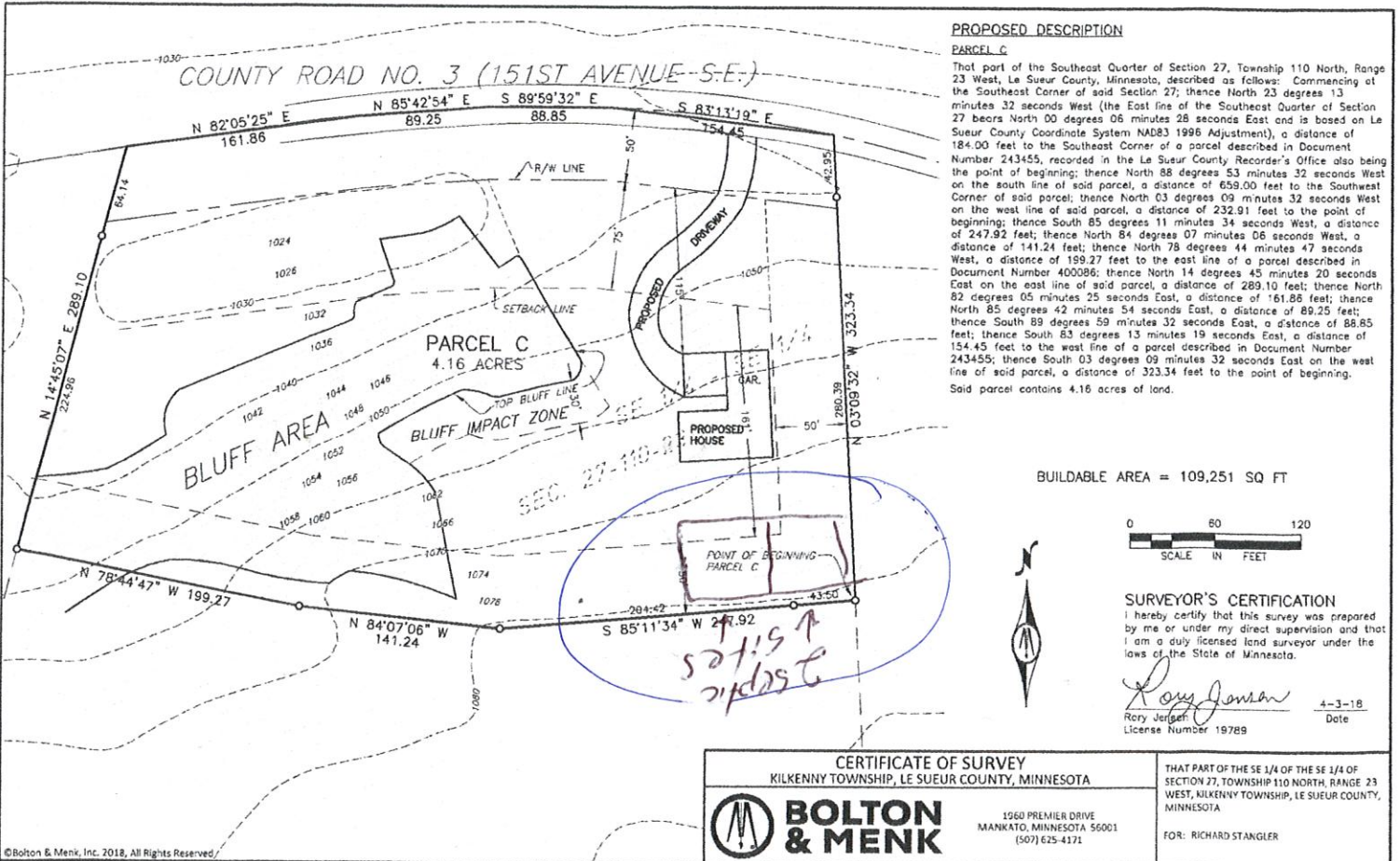


1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 (507) 625-4171

THAT PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 27, TOWNSHIP 110 NORTH, RANGE 23 WEST, KILKENNY TOWNSHIP, LE SUEUR COUNTY, MINNESOTA

FOR: RICHARD STANGLER

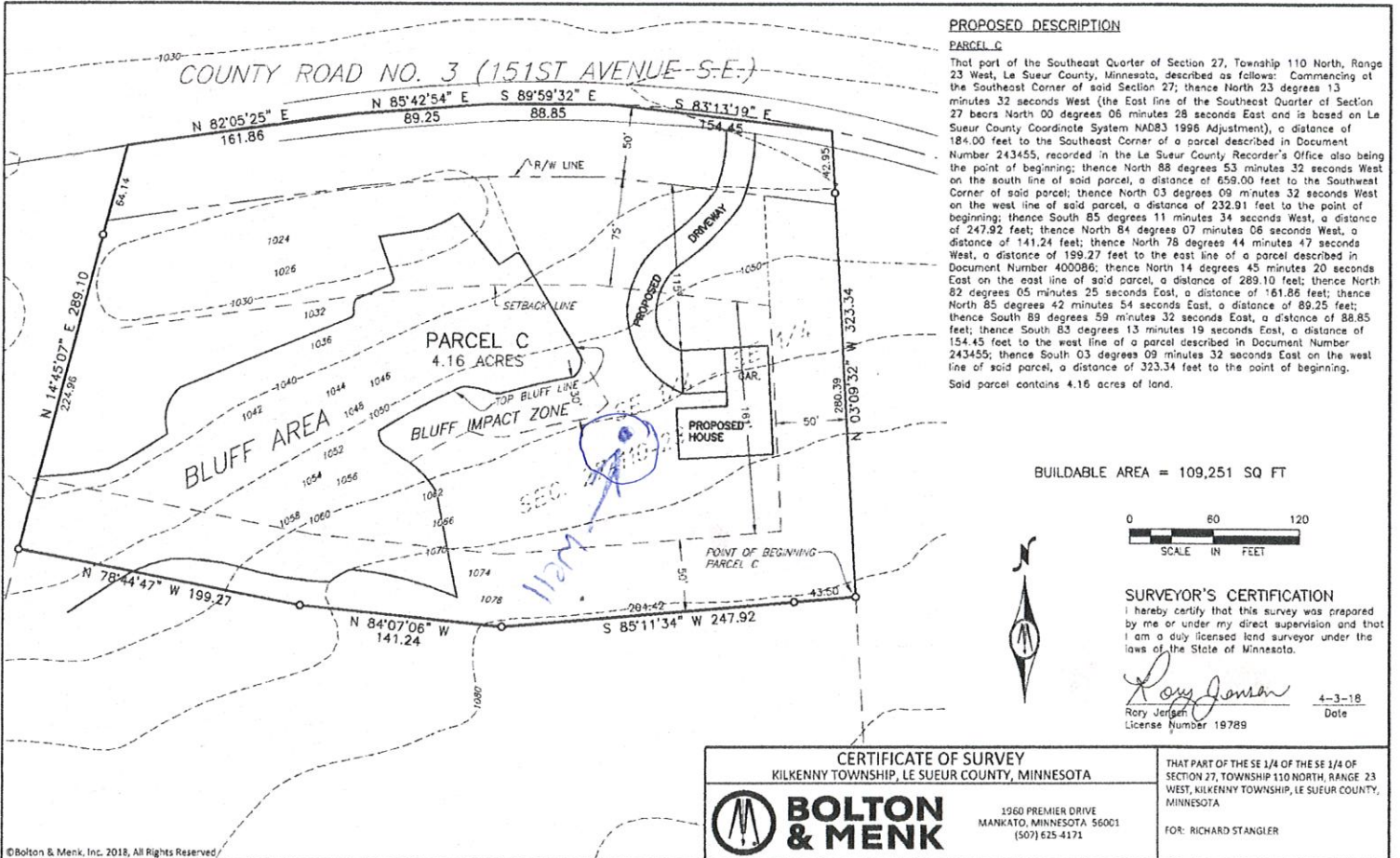
RECEIVED
APR 10 2018
 BY: _____



need 1 septic location

2-septic sites are on this parcel south east corner
 Hackett construction llc
[Signature] 63473

RECEIVED
APR 10 2018
 BY: _____



©Bolton & Menk, Inc. 2018. All Rights Reserved. H:\STANR_PR\M35113242\CAD\C3D\113242BD3.dwg 2/7/2017 5:42 PM SDB1132424 JOB NUMBER: M35.113242 FIELD BOOK: SEE FILE DRAWN BY: JLA 4.0 527-T110N-R23W

Need preliminary well location
 Kapurik well (site meets criteria) All lights

Mettler, Michelle

From: Tiegs, David
Sent: Wednesday, February 01, 2017 9:35 AM
To: Mettler, Michelle
Subject: Approved Entrance Permit
Attachments: DOC020117.pdf

Michelle, Attached is an approved entrance permit for a proposed house. The parcel is owned by Richard Stangler, PID 06.027.5710

Dave

LE SUEUR COUNTY HIGHWAY DEPARTMENT

Application For Access Driveway or Entrance Permit

C.S.A.H./Co. Hwy. No. 3 Name of Twp. _____

SKETCH PROPERTY, PRESENT AND PROPOSED DRIVEWAY AND RELATION TO COUNTY HIGHWAY.

Name of Applicant: Richard Stangler Telephone No.: () _____

Address: 44357 Kilkenny Rd. Kilkenny, MN 56052

Name of Property Owner: Richard Stangler Telephone No.: () _____

Address: _____

Location: Co Hwy. No.: _____ in Le Sueur Co. _____ Miles N-S-E-W of _____
(circle one) (Specify Road, or intersection)

Legal Description of Property P.I.D. 06.027.5710

Purpose of Driveway: Farm Residence X Field _____

Is a Building to be Constructed: Yes X No _____ What kind Future Home

Possible replacement cost of this pipe will be the responsibility of the owner: Yes No
(Circle One)

Will the Building be Temporary: _____ Permanent X

Distance from center of highway to front of building is _____ feet.

Is land higher? _____ lower? _____ or level? _____ with highway.
(show feet & inches) (show feet & inches)

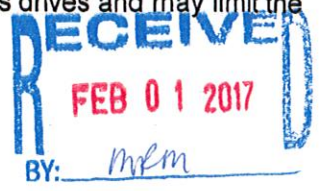
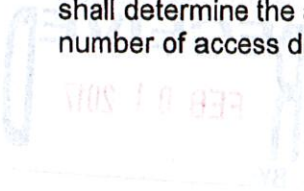
Number of present driveways to property _____ Date Proposed driveway will be needed _____

Give exact location to Proposed Driveway to Property: (Give lath to mark center of Proposed Driveway)

Near East property line as shown in sketch. * Optional location to West, near drainage structure also possible. (Coordinate installation with Hwy. Dept.)

I, We, the undersigned, herewith make application for permission to construct the access driveway at the above location, said driveway to be constructed to conform with the standards of the Minnesota Highway Department and to any special provisions included in the permit. It is agreed that all work will be done to the satisfaction of the Le Sueur County Highway Department. It is further agreed that no work in connection with this application will be started until the application is approved and the permit issued.

Access drives onto any public roads shall require a review by the Road Authority. The Road Authority shall determine the appropriate location, size, and design of such access drives and may limit the number of access drives in the interest of public safety.



Access drives which traverse wooded, steep, or open field areas shall be constructed and maintained to a minimum ten (10) foot width base material depth sufficient to support access by emergency vehicles and have an unobstructed width of not less than fourteen (14) feet and an unobstructed vertical clearance of not less than thirteen (13) feet, six (6) inches. Access drives outside the road rights of ways shall not exceed twelve percent (12%) grade unless approved by the local fire chief.

Access drives shall have a twenty (20) foot long flat grade directly adjacent to the road that drive accesses.

All lots or parcels with dwellings shall have direct adequate physical access for emergency vehicles along the frontage of the lot or parcel from either an existing or dedicated public roadway.

All roads serving more than one (1) lot or parcel with dwellings shall be built to township road specifications or at least sixty six (66) feet wide with a minimum driving surface width of twenty-four (24) feet.

Access drives in excess of one hundred fifty (150) feet shall provide a minimum turn-around of forty (40) feet in width by forty (40) feet in length.

BE IT RESOLVED: That the County Highway Engineer is hereby authorized and instructed to control farm and field entrances on all County State Aide Highways, including roads scheduled for new construction, under the following regulations.

- A: One field and one farm entrance shall be allowed per owner or approved additional access at no cost to owner.
- B: A permit shall be required on all additional entrance requests.
- C: All new culverts and aprons on additional entrance requests shall be furnished by the private owner, and constructed according to the Engineer's specifications.
- D: All new culvert materials and aprons shall become the property of the County Highway Department and entrances shall be maintained by same.
- E: There shall be no distinction for entrances with or without culvert.
- F: The relocation of existing entrances shall be accomplished at the private owner's expense and according to the Engineer's specifications, except where the County is proved negligent.

BE IT RESOLVED: That the design standards for County Roads be the same as those currently listed in State Aid Rules for County State Aid Highways.

1-30-17
Date

Richard J. [Signature]
Signature of Applicant



Office Use Do Not Write On This Page.

NOT VALID UNLESS SIGNED AND NUMBERED

Access Driveway or Entrance Permit: 2017003
Permit No.

Permission is hereby granted for the construction of the driveway as described in the above application, said driveway to be constructed in accordance with the Minnesota Highway Departments Driveway Standard Plate Nos. 9000B and 9001A and subject to the requirements on the next page and the following special provisions:

It is expressly understood that this permit is conditioned upon replacement or restoration of the County Highway to its original or to satisfactory condition.

2-1-17
Date

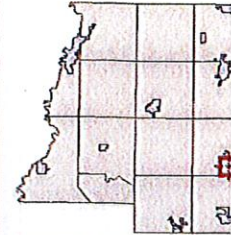
David P. [Signature]
ASST Le Sueur County Highway Engineer

RECEIVED
FEB 01 2017

RECEIVED
FEB 01 2017
BY: mem



Overview



Legend

- City Limits
- Political Township
- Cadastral Lines**
- Corp Line
- County Line
- Easement Line
- Geo Twp Line
- Gov Lot Line
- Lot Line
- Misc Line
- New Split Line
- Parcel Line
- Pol Twp Line
- Quarter Line
- Railroad Centerline
- Railroad ROW
- Road Centerline
- Road ROW
- Road ROW Vac
- Section Line
- Sub Line 400
- Unknown Linear
- Parcels

Parcel ID	06.027.5710	Alternate ID	n/a	Owner Address	STANGLER,RICHARD J
Sec/Twp/Rng	27-110-023	Class	101 - AGRICULTURAL		44357 KILKENNY RD
Property Address		Acreage	4.16		KILKENNY, MN 56052
District	KILK TWP/2143				
Brief Tax Description	Sect-27 Twp-110 Range-023 4.16 AC THAT PART OF SE 1/4 OF SEC 27 COMM AT SE COR OF SAID SEC, TH NW 184 FT, W 659 FT, TH NW 232.91 FT TO POB, TH SW 247.92 FT, NW 141.24 FT, NW 199.27 FT, TH NE 289.1 FT, TH NE 161.86 FT, NE 89.25 FT, TH E 88.85 FT, TH SE 154.45 FT, TH SE 323.34 FT TO BEG				
	<i>(Note: Not to be used on legal documents)</i>				

Photo from April 2013

Date created: 1/30/2017
 Last Data Uploaded: 1/30/2017 3:44:57 AM

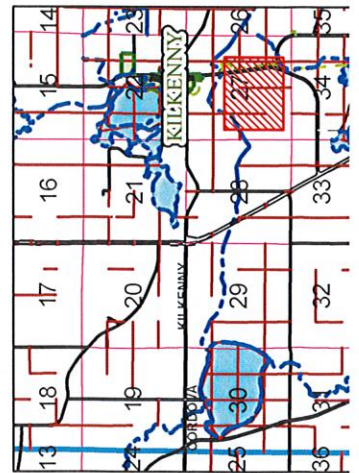
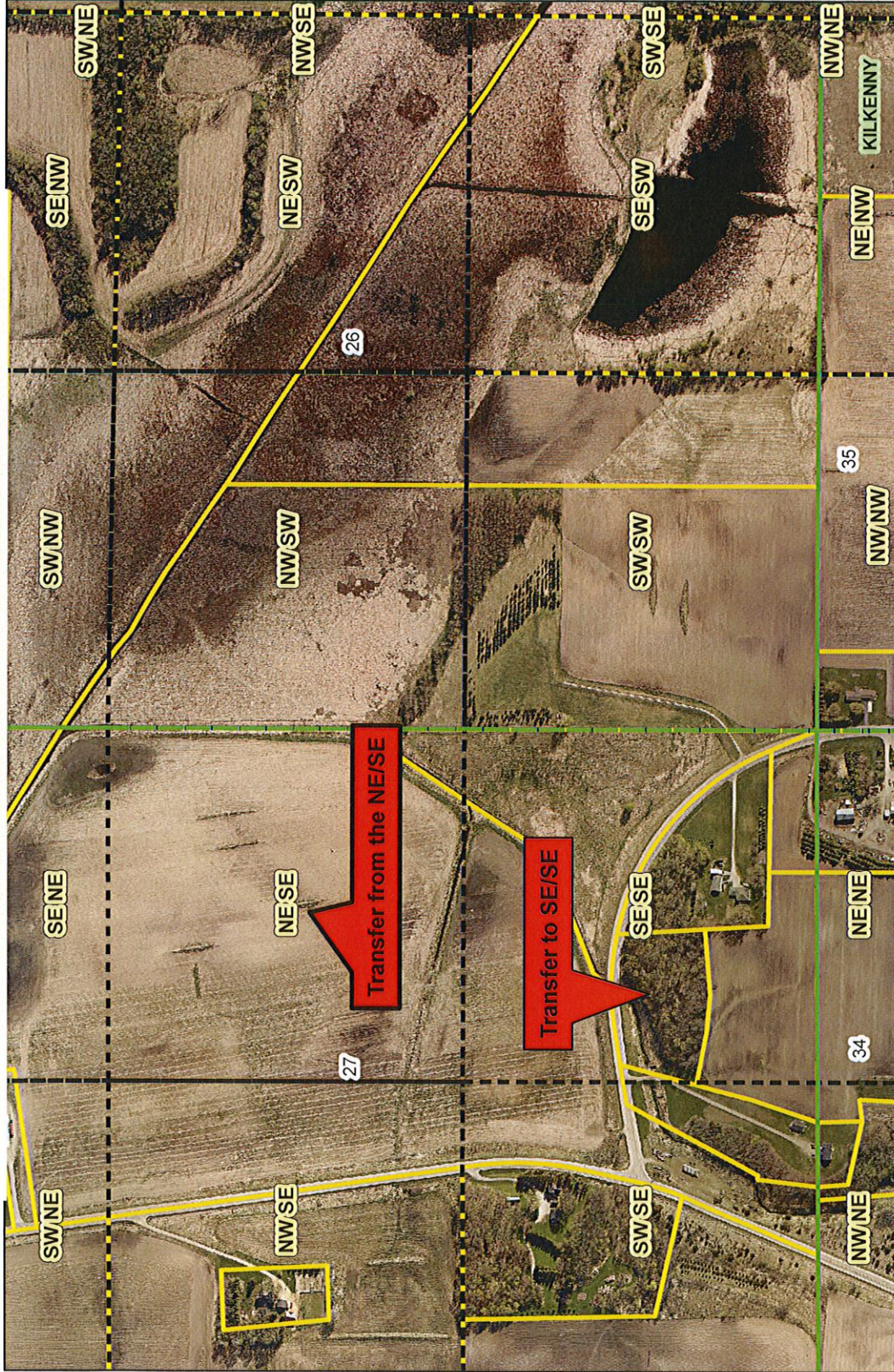
Developed by
 The Schneider Corporation

RECEIVED
 FEB 01 2017
 BY: *mfm*

LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Stangler
 PID: 06.027.5710
 06.027.3800

DATE: 04-27-18
 FIRM #: 27079C0325D
 F-Zone: X-outside
 RFPE: na
 District: Agriculture



Map Disclaimer
 Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation. However, a degree of error is inherent in all maps. These maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.



Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet

Photo dated April/May 2017

Created By: MRM

LE SUEUR COUNTY
 ENVIRONMENTAL SERVICES
 507-357-8538



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 4

Akemann-Waterville Foods & Ice Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT: Bernard Akemann-Waterville Food & Ice
OWNER: ABRA LLC
911 ADDRESS: 14853 Benton Street, Waterville, MN
PROJECT DESCRIPTION: To allow grading, excavating, and filling of approximately 1,957 cubic yards of material movement.
PARCEL NUMBER: 14.026.7700
CUP NUMBER: 18028

SITE INFORMATION

LOCATION: SE 1/4 SW 1/4, Section 26, Waterville Township
ZONING DISTRICT: General Business
ZONING DISTRICT PURPOSE: The **General Business (B) District** is established for areas that allows for a wide range of services and goods in compact and convenient limited highway-oriented businesses which are close to existing urban areas or major transportation routes. Such business developments are to be developed at standards that will not impair the traffic carrying capabilities of abutting roads and highways.

GENERAL SITE DESCRIPTION: Existing business, 2 State Highways, Abutting city limits of Waterville, wetlands

ACCESS: Existing off State Highway 60

EXISTING LAND USE WITHIN ¼ MILE:

North: State Hwy 60 & City of Waterville	South: Farmland, wetlands
East: State Hwy 13, Farmland & scattered residences	West: State Hwy, city limits, flood zone, Waterville Creek

BACKGROUND INFORMATION

Property is currently zoned Business. Grading, excavating, and filling is beyond the permitted use and will require a CUP. The proposed work to be done will allow for the expanded building area. Proposed contours per proposed plan. Erosion control and revegetation is critical for the project. There are wetlands located downslope of the project area. As-built by surveyor of finished project required within 30 days of project completion.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Fritz Cummins from Waterville Township was contacted on April 2, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, Type 1 and Type 3 wetlands located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, Erosion Control Plan

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 10, General Business; Section 18, Environmental Performance Standards, Subdivision

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 does not make reference to grading, excavating and filling projects in the Business District.

ENVIRONMENTAL PERFORMANCE STANDARDS-SECTION 18

- WETLAND:** Type 1 and Type 3 wetlands present on property. No grading, excavating, or filling within the wetlands.
- GRADING, EXCAVATING, OR FILLING:** Grading, excavating, and filling beyond 50 cubic yards requires a Conditional Use Permit. There shall be no substantial adverse impact on surrounding properties or wetlands.
- EROSION CONTROL:** Erosion Control Plan attached. Erosion Control measures must be in place prior to any material movement or removal of vegetation on the site and must remain in place until re-vegetation is established.
- DRAINAGE:** Shall not increase stormwater runoff to cause adverse effects on adjacent land.

LAND PERFORMANCE STANDARDS-SECTION 19

- ACCESS:** Minimum driving surface 14' in width, inslope no greater than 4:1, unobstructed vertical and horizontal clearance, minimum flat grade of at least 20' at access point to road.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.

10. Other factors impacting the public health, safety and welfare.

11. **Additional considerations:**

- a. Off-site parking for equipment during construction.
- b. The site is adequate for water supply and on-site sewage treatment, will be required to submit a Compliance Inspection on the Septic System Servicing the property by June 1, 2018.
- c. If proposing new septic system, must protect proposed septic site from any construction equipment traffic or any grading, excavating, or filling activities.

PLANNING AND ZONING COMMISSION CONDITIONS

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Compliance Inspection required by June 1, 2018.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18028

Applicant: BERNARD AKEMANN-WATERVILLE FOO **Land Owner:** ABRA LLC

Conditional Use Permit Request: TO ALLOW GRADING, EXCAVATING & FILLING OF APPROXIMATELY 1957 CUBIC YARDS OF MATERIAL MOVEMENT.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application-Grading, Excavating & Filling

Activities that involve topographic alterations in all districts shall conform to the standards in Section 18 of the Le Sueur County Zoning Ordinance. Activities within a shoreland district shall conform to the standards in Section 13 of the Le Sueur County Zoning Ordinance.

In addition any activities in any type wetland shall be evaluated in accordance with the Wetland Conservation Act (WCA) regulations, as administered by the Le Sueur County Soil & Water Conservation District (SWCD).

I. Applicant:

Name Bernard Ahemann
Mailing Address PO Box 92
City Waterville State Mn Zip 56096
Phone # 507 838 8985 Phone # 507 362-8177

II. Landowner:

Name A.B.R.A. LLC
Mailing Address PO Box 92
City Waterville State Mn Zip 56096
Property Address 14853 E Benton
City Waterville State Mn Zip 56096
Phone # 507 362 8177 Phone # 507-362-8177

III. Parcel Information:

Parcel Number 14,026.7700 Parcel Acreage 7.25
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township Waterville 109 Section 26
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Waterville Township Township notified on Apr. 2, 2018
(Township Name) (Date)
Board Member Fritz Cummins regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- a. One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- b. Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- c. Electronic version of any supporting documents *if available*.
- c. Additional copies may be requested as deemed necessary by the Department.
- d. **Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- e. **Appointment is necessary.**
- f. **Applications will not be accepted by mail.**

Conditional Use Permit
Filing Fee

\$ 750 After-The-Fact fee is doubled.
\$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request: Grading, Excavating or Filling.

Non-Shoreland

- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: 1957
Cubic yards of material movement: _____
Cubic yards of material movement: _____

TOTAL cubic yards of material movement: 1957

Shoreland- Outside Shore Impact Zone

- Within Shore Impact Zone
- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: _____
Cubic yards of material movement: _____
Cubic yards of material movement: _____
Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

Assurance security shall be required for projects that are >1500 cubic yards.

VIII. Description of Request:

a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. ENVIRONMENTAL IMPACT: see attach
2. ADVERSE IMPACT ON SURROUNDING AREAS: see attach
3. STORMWATER RUNOFF: " "
4. DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL: " "
5. WETLAND IMPACT: " "
6. SLOPE STABILITY: " "
7. CERTIFICATE OF INSURANCE: " "
8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:
(For example additional licensing and/or permitting) see Attach

IX. Site Plan: Shall include but not limited to the following:

- **Parcels < 5 AC =** 2-foot contours depicting existing and proposed topography.
- **Parcels 5-20 AC =** 5-foot contours depicting existing and proposed topography.
- **Parcels >20 AC =** 10-foot contours depicting existing and proposed topography.
- Location of grading, excavating, and/or filling sites.
- Location of areas for obtaining fill or disposing of excavated materials.
- Tree inventory of all trees, indicating trees to be cut or removed.
(Caliper of 6 inches or greater measured 4.5 feet from ground level).

- | | | | |
|--------------------------------------|-----------|-----------------------|----------------------------|
| • North point | • Lake | • Existing Structures | • Septic system |
| • Setbacks | • River | • Proposed Structures | • Well |
| • Property Lines | • Wetland | • Lot Dimensions | • Access (size & location) |
| • Road Right-Of-Way | • Stream | • Ponds | • Easements |
| • Landscape, screening and buffering | | | • Drainage |

Site plan & As-Built must be completed by a surveyor or professional engineer.

X. Restoration Plan: Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD))*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Distircts)*
 - Root zone of existing trees shall be preserved and protected during development.
 - Replace one tree for every tree that is removed.
 - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

XI. Attachments: Shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full Legal Description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion Control Plan**-Attach completed and signed plan including map.
- h. **Restoration Plan**-See Part X for full details and requirements.
- i. **Approved Stormwater Pollution Prevention Plan**
-Must meet NPDES requirements and prepared by a licensed professional engineer.

XII. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Bernard Akerman
Applicant signature

4-10-2018
Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Bernard Akerman
Property Owner signature

4-10-2018
Date

Request: **GRADING, EXCAVATING & FILLING**

Non-Shoreland

- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: 1957
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____

TOTAL cubic yards of material movement: 1957

Shoreland - Outside Shore Impact Zone

- Within Shore Impact Zone
- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: _____
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

Pre-App Date 4-10-18
 Meeting Date 5-10-18
 60 Day 6-9-18
 Zoning District B

Lake Classification _____
 Lake _____
 FEMA Panel # 27079C0 4133 D
 Flood Zone A-outside

Feedlot 500' 1000' N
 Wetland Type 1-2 3-8 N
 Water courses Y N
 Bluff Y N

Request Description

Access Approval

Septic Comp Insp / Design

Site Plan

Erosion Control Plan

Meeting Reg / ATF / Spec

Full Legal

Fee \$ 7960-

Ordinance

Other _____

Penalty \$ _____

by 6-1-18

Application Complete Michelle R. Mitts
 Planning & Zoning Department Signature

4-10-18
 Date

18028
 Permit #

PRINCIPALS

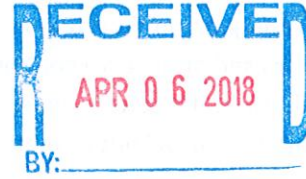
Steven J. Thompson, P.L.S.
Brian J. Johnson, P.E.
Steven J. Penkava, P.E.
John H. Schulte V, P.E.
Scott A. Tuchtenhagen, P.L.S.

Established 1945

Memorandum

Conditional Use Permit Request
Waterville Food & Ice
2018 Building Expansion
Prepared by: John H. Schulte V, PE

April 10, 2018



Description of Request

Waterville Food & Ice is proposing to construct an approximate 9000 sf addition at their existing site. The addition will be east and south of the existing facility and include an expansion of their commercial ice production facility and a small paved connection to the existing hard surface area. All new equipment will be housed within the facility.

Grading activities will proceed as follows:

1. The erosion and sediment control or grading contractor will construct downstream silt fences near the wetland utilizing a trailer mounted silt fence trencher and light to medium duty pickup trucks.
2. The topsoil from the area to be disturbed will be removed utilizing a bulldozer and stockpiles in the northeast corner of the site, then stabilized with seed and mulch, hydromulch, or tarps.
3. Loamy sub-grade materials will be relocated from within the site's northern and eastern sides and relocated to the southern and western sides via bulldozer or excavator. Materials will be recompacted utilizing a sheepsfoot or steel drum roller.
4. After the building pad is completed with clay materials to sub-grade, an excavator will remove materials below the building's footings.
5. Once the buildings footings are complete, clay and gravel materials will be brought in to construct the area under the building's concrete slab. Material will be spread via skid-steer or excavator and compacted with small steel drum or sheepsfoot rollers.
6. Topsoil materials will re-placed around the building using a skidsteer, bulldozer, or excavator, and re-vegetated. Slopes will be stabilized with erosion control blankets, seed, mulch, and bio-roll ditch checks. Any extra topsoil will be shaped on the agricultural area around the site.

Environmental Impact

It is anticipated that a new septic tank and drain field will be required as part of the upgraded facility. As septic rules have become increasingly more stringent since construction of the initial system, the Owner anticipates that the new facility will provide better treatment than the current system. No other environmental impacts are anticipated.

Adverse Impact on Surrounding Areas

The proposed project is a continuation of the existing use. The surrounding area is agricultural and is zoned General Business. The proposed use is consistent with the current use and will not adversely impact the adjacent areas.

Stormwater Runoff

The project will not be required to obtain an NPDES stormwater permit due to a land disturbance of less than 1 acre. The only stormwater treatments required are erosion and sediment control best management practices. The site plan includes construction requirements including those measures.

Does Any Part of the Project Extend Below the OHWL / Wetland Impact

The project is adjacent to a Type 1 Wetland but does not impact said wetland, and therefore does not extend below the OHWL.

Slope Stability

The project extends existing slopes or constructs new non-bluff slopes in a non-shoreland zone. Proposed slopes are less steep than existing slopes. No slope stability issues are anticipated for new slopes.

Certificate of Insurance:

The Owner will provide a Certificate of Insurance if required.
The Owner's Contractor will provide a Certificate of Insurance if required.

Meet All Applicable County, State, & Federal Regulations:

A Le Sueur County building permit and septic permit, and State of Minnesota plumbing and electrical permits will be required. The facility is also subject to USDA regulation. The Owner will request relevant permits and inspections as the project progresses.



OFFICES | 515 S. Washington Ave. 415 W. North St.
Albert Lea, MN 56007 Owatonna, MN 55060
507.373.4876 507.451.4598

JHSENG.COM

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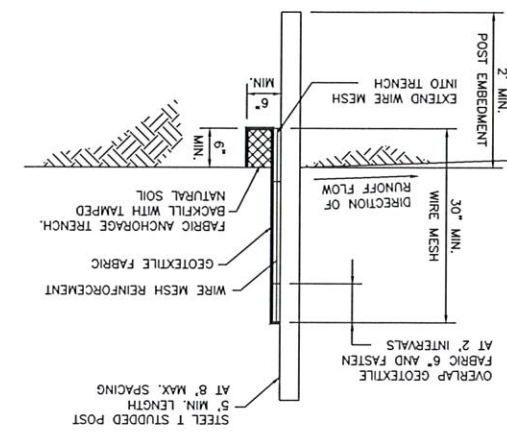
REV.	BY	DATE



415 West North Street Owatonna, MN 56051-4598
 Date: 4/2/18
 Checked: B.U.
 Drawn: J.S.S.
 Designed: J.S.S.
 License No. 4459 Date: 4/2/18
 John H. Schulte V
 Licensed Professional Engineer under the laws
 of the State of Minnesota

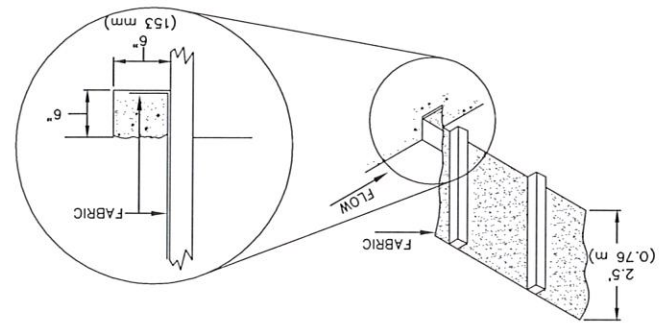
WATERVILLE FOOD & ICE
 BERNIE AKEMANN
 SE-SW SECTION 26-1109N-R23W
 SITE PLAN FOR CUP
 SHEET 1 OF 1

SILT FENCE - HEAVY DUTY



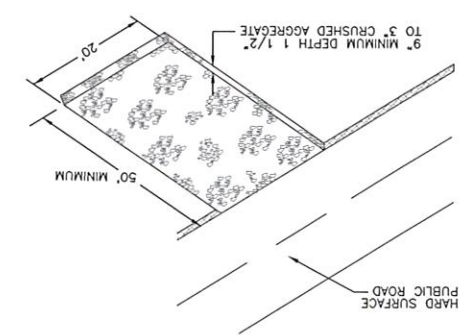
EROSION CONTROL FENCE (MACHINE SLICED)

- NOTES:
- PLACE BOTTOM EDGE OF FENCE INTO 6" (153 mm) DEEP
 - POSTS SHALL BE:
 - 4" (122 mm) ON CENTER
 - 2" (50.8 mm) X 2" (50.8 mm) HARDWOOD, PINE OR STANDARD
 - DRIVEN 2' (0.61 m) INTO THE GROUND.
 - STEEL FENCE POSTS



EROSION CONTROL PROTECTION AT CONSTRUCTION ACCESS

- NOTES:
- 1. FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MIGRATION OF MUD THROUGH ROCK.
 - 2. ENTRANCE MUST BE REGULARLY MAINTAINED TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS.
 - 3. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.



Tree Removal Note:

City volunteer undesirable trees (Cottonwood, Box Elder, etc.) to be removed from grading areas. No restoration of removed trees proposed.

Grading Data:

Total Grading:	1957 cy
Fill Volume:	1054 cy
Cut Volume:	903 cy
Disturbed Area:	15486 sf

Impervious Surface Calculation

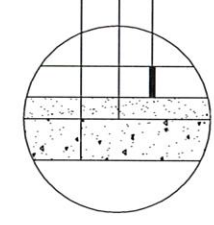
Parcel Area:	131280 sf
50% Allowed Impervious Surface:	65640 sf
Existing Impervious Surface:	23054 sf
Proposed Impervious Surface:	32684 sf

Zoned: B - General Business



CONCRETE DRIVEWAY PAVEMENT

- NOTE: NO CONCRETE WASHOUT ON SITE
- 7" CONC DWY PAVEMENT (2531)
 - 3" AGGREGATE BASE, CL. 5 (2211)
 - SUBGRADE PREPARATION (2112) (INCIDENTAL)



REMOVE POLE
 PROTECT WELL
 EXISTING BIT. PVT
 GREEN AREA TO REMAIN
 CONSTRUCTION ENTRANCE
 CONSTRUCTION ENTRANCE
 CONSTRUCT SWALE
 100' FROM SETBACK
 EXISTING CULTIVATED AGRICULTURAL
 STABILIZED TOPSOIL STOCKPILE
 EXISTING ELEVATION CONTOUR TYP.
 PROPOSED ELEVATION CONTOUR TYP.
 50' SETBACK FROM AGRICULTURAL DRAIN FIELD SITE
 PROPOSED SECONDARY DRAIN FIELD SITE
 EXISTING CULTIVATED AGRICULTURAL
 10' DRAIN FIELD SETBACK
 15' SIDE SETBACK
 APPROXIMATE WETLAND BOUNDARY
 TYPE 1 WETLAND
 VEGETATED WET AREA
 DRAIN FIELD SITE
 PROPOSED PRIMARY DRAIN FIELD SITE
 MACHINE SLICED SILT FENCE
 SEPTIC SETBACK
 50' WETLAND
 HEAVY DUTY SILT FENCE
 FERTILIZER & MULCH
 STABILIZE SLOPES AND SWALE BOTTOM IMMEDIATELY UPON COMPLETION OF MASS GRADING
 CONST. & TOPSOIL WITH CAT. 3 EROSION BLANKET, SEED, FERTILIZER & MULCH
 PROPOSED SEPTIC TANKS
 WATERVILLE FOOD & ICE
 PROPOSED ADDITION
 EEE-1031.45
 NEW CONCRETE APRON
 AREA DRAIN
 EXISTING BUILDING
 LOADING DOCK
 EXISTING SEPTIC
 CONCRETE PAVEMENT
 GRAVEL SURFACE
 BITUMINOUS PAVEMENT
 TH 60
 CONCRETE PAVEMENT

- GENERAL NOTES:
1. FINISH GRADE ADJACENT TO BUILDING IS MIN. 6" BELOW TOP OF FOUNDATION, EXCEPT AT PAVED AREAS.
 2. FINISH GRADE 10' FROM BUILDING IN MIN. 6" BELOW FINISH GRADE ADJACENT TO BUILDING.
 3. SILT FENCE LINES AND TOP OF BACKSLOPE OF SWALE ARE CONSTRUCTION LIMITS.
 4. NO CONCRETE WASHOUT ON SITE.
1. PROVIDE A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS NOT TO BE TURF ESTABLISHMENT.
2. RETURNED TO CULTIVATION. THIS GENERALLY INCLUDES SLOPE AREAS AROUND THE BUILDING AND THE DIVERSION SWALE, INCLUDING SLOPES. STABILIZE ALL OTHER DISTURBED AREAS OF THE SITE NOT SHOWN TO RECEIVE SPECIAL TREATMENT ON THIS PLAN WITH HYDROSEED MIXTURE AS MANDOT RAPID STABILIZATION METHOD 3 WITH:
- FERTILIZER 22-5-10 @ 300 LBS/ACRE
 - SEED MIX 260 @ 100 LBS/ACRE
- TYPE 1 HYDRAULIC SOIL STABILIZER

LE SUEUR COUNTY ENVIRONMENTAL SERVICES
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057-1620
(507) 357-2251
FAX (507) 357-8541

Erosion and Sediment Control Plan

Goal: To control erosion and prevent sediment and other pollutants from entering the lakes, streams, wetlands, and storm drain systems during construction.

Property Owner: Bernard Akemann PID: 14,026,7700
Mailing Address: PO Box 92
Property Address: 14853 E Benton Ste # 1
Phone: (507) 362-8177 Mobile/Cell: (507) 838 8985

Responsible party for Implementation/Inspection: James Bros Construction Inc
Address: P.O. Box 59 Elysian MN 56028
Phone: (507) 267-4789 Mobile/Cell: (507) 380 6326

Erosion & Sediment Control Measures

1. Maintain existing vegetation whenever possible and minimize the area of disturbance. Retain and protect trees to enhance future landscaping efforts and to reduce raindrop impact. (Vegetation is the best and most cost-effective erosion control practice).
2. Install all erosion and sediment control practices prior to any soil disturbing activities, when applicable.
3. Phase construction activities to minimize the areas disturbed at one time. This will also allow completed areas to be stabilized and re-vegetated before disturbing adjacent sites.
4. Maintain and protect all natural waterways. Retain at least a 20-foot wide strip of natural vegetation along all waterways to filter out sediment and other pollutants.
5. Minimize the use of impermeable surfaces such as roofs, driveways, parking lots and roads. The Environmental Resources staff must approve all storm water runoff plans.
6. Use rock rip-rap at both the outlet and inlet ends of culverts to prevent scour erosion.
7. Limit construction equipment to designated areas to control soil compaction.
8. Install silt fence on the down-slope perimeter of all disturbed areas according to the attached installation instructions. Sensitive areas such as wetlands, drainage swales and shoreland areas should also be protected with silt fence.
9. Install straw bale checks or rock check dams in areas of concentrated flow .
10. Cover any stockpiled topsoil with plastic or other impervious covering. Use stockpiled topsoil as earthen berms to serve as temporary sediment basins.



11. Mulch all disturbed areas at the rate of one 50-pound bale of straw per 500 square feet. On slopes 4:1 or steeper use the following erosion control blankets that have been pinned to the slope according to the manufacturer's instructions:

2:1 slopes or steeper	Straw/Coconut Blanket or High Velocity Wood Blanket
3:1 slopes or steeper	Wood or Straw Blanket with net on both sides
4:1 slopes or steeper	Wood or Straw Mulch blanket with net on one side
Flat areas	Straw Mulch w/disc anchoring

12. Seed all disturbed areas within seven days of final grading and temporary seed/mulch all areas that will be left inactive for more than seven days. Do not seed later than September 1st. Areas that need to be seeded after this date should be dormant seeded in late October or early November. See the attached instruction sheet for recommended mixtures and rates. The use of native plant materials, including trees and shrubs, is encouraged. Native species will provide good vegetative cover that is adapted to our soils and climate.
13. Apply fertilizer according to soil test recommendations.
14. Install water bars on access roads to prevent concentrated water from flowing down the road and eroding gravel.
15. Attach a site map showing the location of all erosion control practices, property lines, roads, lakes, watercourses, wetlands, on-site systems and building locations.

Note: To reduce mud transported onto paved roads, a rock construction entrance may be required. This will require a six-inch layer of 1-2 inch diameter washed rock a minimum of 50 feet in length.

Inspection and Maintenance

16. Inspect the construction site every 7 days and within 24 hours after every rain event to ensure the practices are working properly (i.e. silt fences, water bars).
17. Clean out the silt fences when they are 1/3 full of sediment or replace with functional silt fences within 24 hours.
18. Clean out sediment basins on a regular basis to maintain capacity.

I agree to install, inspect and maintain the above practices to accomplish the goal of preventing erosion.

Bernard Haman
 (Property Owner)
S.D. Sum
 (Person Responsible for Implementation)

4-10-18
 (Date)
4-10-18
 (Date)

If you have any questions, please contact Environmental Services, at 507-357-8538.



Erosion and Restoration

There will be a 36 inch river rock around the new building with cloth under the rock. The front of the building will be 11/2 in rock for parking. And the rest of the property will be farmed or grass planted for mowing or hay to be harvested.

All top soil will be place to meet the contour need of 4 inches plus to accomplish the above paragraph.

Because of the exposed foundation no replacement of trees will be done because of the farm grass for mowing on parcel.

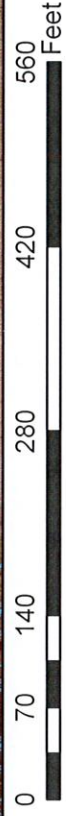
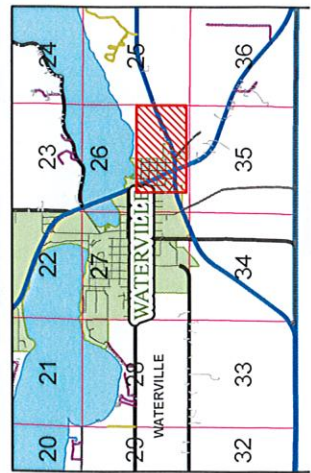
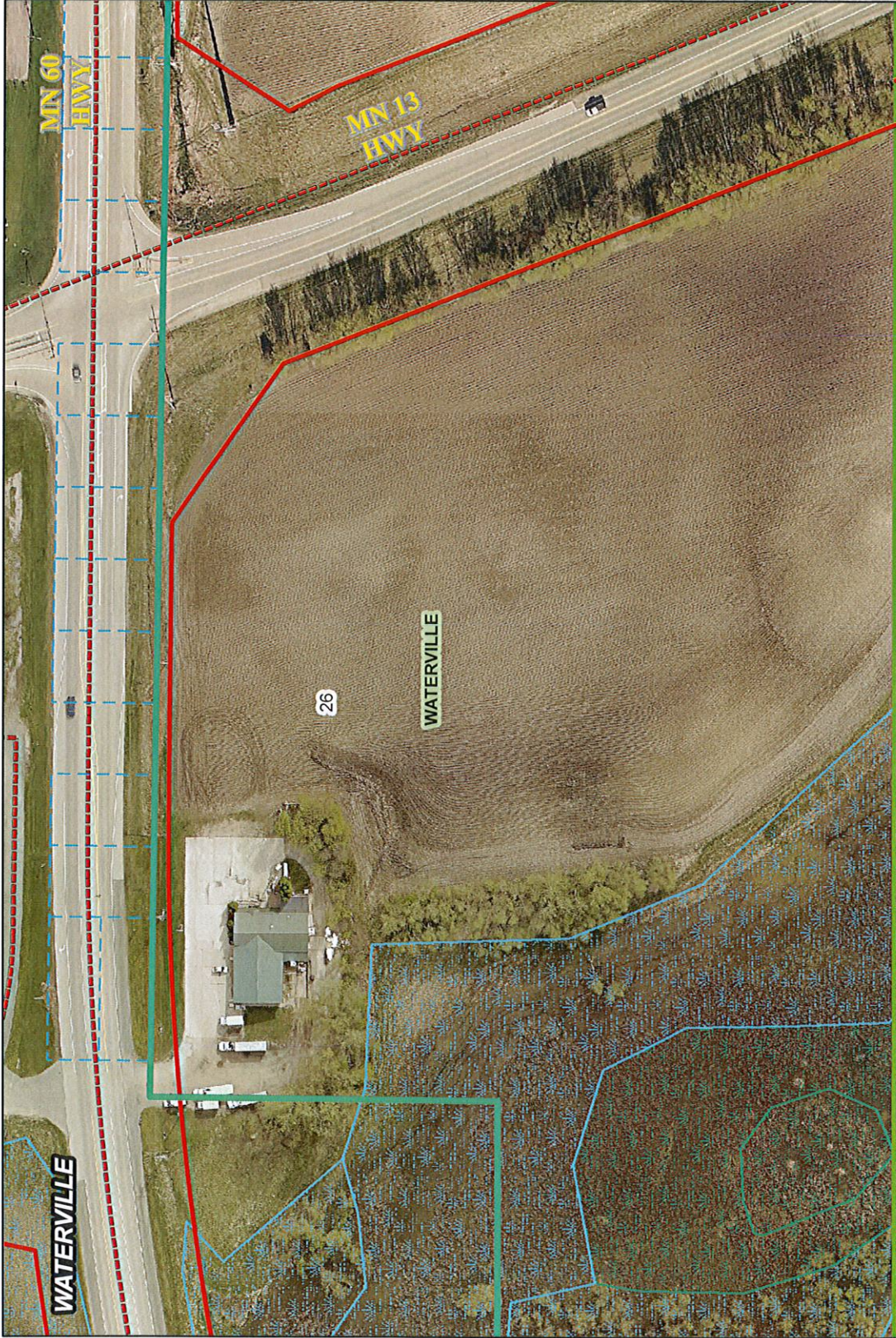
If the existing septic tank isn't in complaint the new tank will be installed. The new addition has just one hand sink to meet FDA needs in packaging room. If the existing septic is in compliant a holding tank will be install for the new addition.



LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Waterville Foods
PID: 14.026.7700
DATE: 04-25-18
FIRM #: 27079C0433D
F-Zone: X-outside
RFPE: na
District: Business

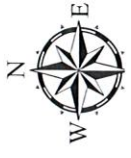
NAME: Waterville Foods
PID: 14.026.7700
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FIRM #: 27079C0433D
F-Zone: X-outside
RFPE: na
District: Business



Map Disclaimer

*Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation; however, a degree of error is inherent in all maps, and these maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.

Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet



LE SUEUR COUNTY
 ENVIRONMENTAL SERVICES



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 5

Fuller Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT/OWNER: Kenneth & Linda Fuller
911 ADDRESS: 34425 480th St, Kasota, MN
PROJECT DESCRIPTION: To allow the applicant to move in a temporary dwelling for the elderly.
PARCEL NUMBER: 05.116.2800
CUP NUMBER: 18031

SITE INFORMATION

LOCATION: W 1/2 NE 1/4, Section 16, Kasota Township
ZONING DISTRICT: Agriculture
ZONING DISTRICT PURPOSE: The **Agriculture (A) District** is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.
GENERAL SITE DESCRIPTION: Agriculture, scattered residences, feedlot
ACCESS: Existing off 480th St, Kasota
EXISTING LAND USE WITHIN ¼ MILE:
North: Ag, residence, wetland, road South: Agriculture
East: Agriculture West: Residences, Feedlot, Agriculture

BACKGROUND INFORMATION

Applicants currently reside in the single-family dwelling on the property. Proposal is the fullers to move in a single-wide mobile home temporary dwelling for the elderly. Family member to move into existing dwelling to assistance with care for the Fullers. New SSTS is required for both dwellings. Proposal is design for a shared system to serve both dwellings. Existing water supply on the property.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Joe Keinlen from Kasota Township was contacted on February 15, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.
WETLANDS: According to the National Wetlands Inventory, there are no wetlands located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, floor plan, SSTS Waiver, access approval.

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture; Section 19, Subdivision 12, Land Use Performance Standards; Section 21, Conditional Use Permits.

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 does make reference to *agriculture development design*.

GOAL #1: Le Sueur County contains some of the most productive agricultural soils in Minnesota and should adopt and enforce land use goals and policies that conserve and protect agricultural resources and uses.

Objective 1: The County will protect the best of its agricultural land as a resource for long term agricultural use.

Action 1: The County will continue using an Agricultural District with the ultimate aim being to preserve large contiguous agricultural land tracts for agricultural use.

LAND PERFORMANCE STANDARDS-SECTION 19

ACCESS: Existing off 480th St, Kasota, MN

PARKING & LOADING: At least 2 parking spaces on site per dwelling unit.

TEMPORARY DWELLING: Applicants must demonstrate a need for housing for the elderly.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
 - a. Traffic
 - b. The site is adequate for water supply and on-site sewage treatment.
 - c. *Removal of mobile home when Kenneth and/or Linda Fuller no longer reside in the mobile home.*

PLANNING AND ZONING COMMISSION CONDITIONS

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18031

Applicant: KENNETH & LINDA FULLER

Land Owner: KENNETH & LINDA FULLER

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO MOVE IN A TEMPORARY DWELLING FOR THE ELDERLY.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application

I. Applicant:

Name Kenneth and Linda Fuller
Mailing Address 34425 480th St
City Kasota State MN Zip 56050
Phone # 507-514-4158 Phone # _____

II. Landowner:

Name Kenneth and Linda Fuller
Mailing Address 34425 480th St
City Kasota State MN Zip 56050

Property Address 34425 480th St
City Kasota State MN Zip 56050
Phone # 507-514-4158 Phone # _____

Linda

III. Parcel Information:

Parcel Number 05.116.2800 Parcel Acreage 2
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township 109 Section 16
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Kasota Township notified on 2-15-18
(Township Name) (Date)

Board Member Joe Kienlen regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.
- Applications will not be accepted by mail.**

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

X. Attachments: shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full legal description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection** *unable to complete by application*
- g. **Erosion control plan**-Attach completed and signed plan including map.
- h. **Floor plans and/or blue prints**

XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Kenneth Fuller 4-10-18
Applicant signature Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

K. Fuller 4-10-18
Property Owner signature Date

OFFICE USE ONLY

Request: Temp MH

Pre-App Date <u>4-10-18</u>	Lake Classification <u>/</u>	Feedlot	500'	1000'	<u>N</u>
Meeting Date <u>5-10-18</u>	Lake <u>/</u>	Wetland Type	1-2	3-8	<u>N</u>
60 Day <u>6-9-18</u>	FEMA Panel # 27079C0 <u>240</u>	Water courses			<u>N</u>
Zoning District <u>A</u>	Flood Zone <u>Xoutside</u>	Bluff			<u>N</u>

To be
Waiver

- | | | | |
|---|--|---|---------------------------|
| <input checked="" type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval | <input checked="" type="checkbox"/> Septic | Comp Insp / Design |
| <input checked="" type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Erosion Control Plan | <input checked="" type="checkbox"/> Meeting | Reg / ATF / Spec |
| <input checked="" type="checkbox"/> Full Legal | <input checked="" type="checkbox"/> Blue Prints | <input type="checkbox"/> Fee | \$ <u>790</u> |
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Other _____ | <input type="checkbox"/> Penalty | \$ _____ |

Application Complete Michelle R Mottler 4-10-18 18031
Planning & Zoning Department Signature Date Permit #

Le Sueur County Planning and Zoning Commission

April 2018

We, Kenneth and Linda Fuller are applying for a Conditional Use Permit for our property due to a health hardship. The legal property description is: **That portion of the West Half of the Northeast Quarter of Section 16-109-26, Le Sueur County, Minnesota, described as follows: Commencing at a point 13 ½ rods West of the NW corner of the Northeast Quarter of the Northeast Quarter of said Section 16, thence South a distance of 16 rods, thence West 10 rods, thence, North 16 rods to the North line of the West Half of the Northeast Quarter of said Section 16, thence East along said North line 10 rods to the point of beginning, all in Le Sueur County, Minnesota.**

Kenneth has been on medical disability since 2005 due to a brain injury. Since then he has also been diagnosed with Chronic Heart Failure and recently had a Defibrillator implanted. He is no longer able to perform the maintenance and upkeep duties of our property. In addition, Linda has been on disability since 1994 for a chronic illness known as Chronic Fatigue Immune Dysfunction Syndrome which also limits her physical abilities.

We are seeking a Conditional Use Permit to allow us to install a 16 X 80 foot Manufactured Single Wide Mobile Home on the property so our daughter can assist with our daily needs now and into the future as we continue to age. A sample picture is included in this application. It will be a two bedroom, 2 bathroom home, possibly with a small den.

Our daughter Heidi and her partner, Jason, plan on purchasing the home site and living in the main dwelling with their three children. Kenneth and Linda will reside in the manufactured home. We have met with Beau Munsell from Excelsior Homes West of Hutchinson Mn to discuss placement options.

A current outbuilding is in disrepair and will be torn down, making room for the new dwelling. We will refer to this as the **old shed** in future references. The site plan shows the new dwelling positioned in the old shed site. This placement will comply with the setback regulations of 75 feet from the ROW of County Road 101, 50 feet distance from the property lines and 5 feet from other structures. Several large trees will need to be removed and fill brought in to level the site. It is estimated that less than 500 cubic yards of fill should be needed to prepare the site. It is more a grading issue than an excavating issue.

The current septic system does not comply with the existing Zoning Ordinances, so we are signing a waiver for the Compliance Inspection. Glenn at St. Peter Well Company has been contacted regarding a septic design for the updated system. It was not possible to accomplish this by the time of this application due to weather. Glenn is submitting an email to Michelle. The new system will be shared by the original dwelling and the new



manufactured home. Also the current well on the site will be shared by both dwellings.

There are currently two driveways into the property. One is a field approach shared with the farmer, George Warrant. The County Highway Department was contacted concerning our plans on March 1, 2018. They have submitted a report prior to this meeting.

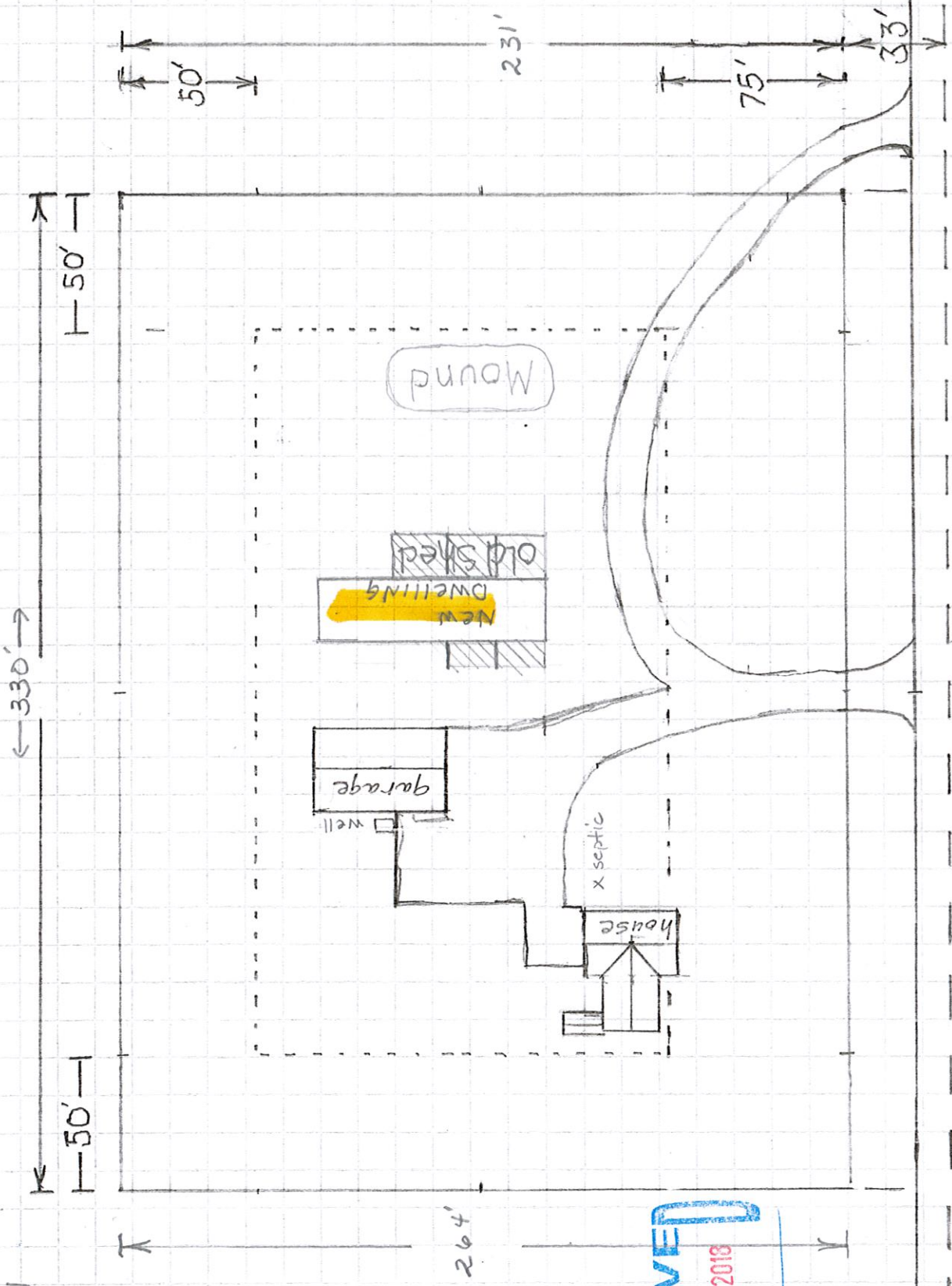
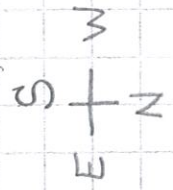
We contacted Joe Kienlen, at the Kasota Township Board, on February 15th to inform him of our plans.

Thank you for your time.

Ken and Linda Fuller



1/8



RECEIVED
 APR 10 2018
 BY: _____

05,116,2800

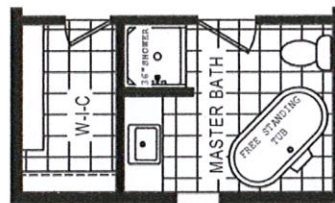
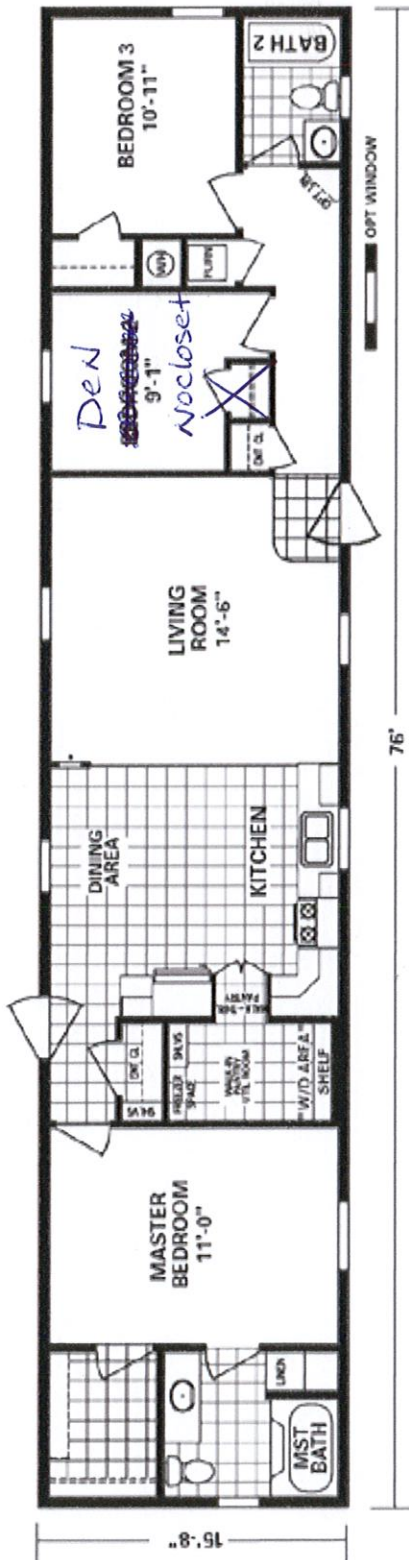
OPTION 2



EXCELSIOR
HOMES WEST, INC.
Since 1973

Schult Independence 8016-4026

1191 Sq. Ft. - 3 Bedrooms / 2 Bathrooms
Manufactured



FREE STANDING TUB
W/ 36" SHOWER OPT

RECEIVED
APR 10 2018
BY:

Excelsior Homes West, Inc. • 1355 Highway 7 West • Hutchinson, MN 55350 • Ph: 1.800.547.4990 • info@excelsiorhomesinc.com • excelsiorhomesinc.com

05, 116, 2800



WAIVER FOR COMPLIANCE INSPECTION OF AN EXISTING SEPTIC SYSTEM

Mailing Address: 88 South Park Avenue • Le Center • MN • 56057

Physical Address: 515 South Maple Avenue • Le Center • MN • 56057

Direct Dial: 507-357-8538 • Fax: 507-357-8541 • Email: environmentalservices@co.le-sueur.mn.us

Landowner(s):

Name: <u>Kenneth and Linda Fuller</u>		
Mailing Address: <u>34425 480th St</u>		
City: <u>KASOTA</u>	State: <u>MN</u>	Zip: <u>56050</u>
Telephone Number: <u>507-514-4158</u>		

Parcel Information: (this information can be found on your tax statement, Beacon, or contact Environmental Services)

Parcel Number: <u>05.116.2800</u>	Township Name: <u>KASOTA</u>	
Section: <u>16</u>	Township: <u>109</u>	Range: <u>26</u>
Property Address: <u>34425 480th St</u>		
City: <u>KASOTA</u>	State: <u>MN MN</u>	Zip: <u>56050</u>

Per the Le Sueur County Zoning Ordinance – Section 17, a compliance inspection on an existing septic system or subsurface sewage treatment system (SSTS) shall be required when any of the following conditions occur:

- a. Prior to issuance of a zoning permit within Shoreland Zoning Districts.
- b. Prior to issuance of a zoning permit requested for all single-family dwellings or change in the principal structure for all non-shoreland Zoning districts.
- c. Upon receipt of a variance and/or conditional use permit application.
- d. When a construction permit is required to repair, modify, or upgrade an existing system.
- e. Any time there is a change in use of the property and/or expansion of the structure being served by an existing SSTS, which may impact the performance of the system.
- f. Prior to property sale or transfer.
- g. At any time as required by this Section or the Department deems appropriate such as upon receipt of a complaint or other notice of a system malfunction.

This waiver allows the landowner to forgo a compliance inspection and disclose any known information about the existing septic system servicing the above listed property.

As the landowner of the above listed property (please initial the following);

RF I understand that I am disclosing, without inspection, that the septic system does not meet MN Rules, Chapters 7080-7083 Requirements.

lef I understand that I am required to have a compliant septic system servicing the above listed property per regulations set forth in Section 17 of the Le Sueur County Zoning Ordinance.

This **NOTARIZED** waiver shall be submitted to:
Le Sueur County Environmental Services Department
88 South Park Avenue Le Center, MN 56057

Email: environmentalservices@co.le-sueur.mn.us Fax: 507-357-8541



I understand that I will face legal penalties and will be turned over to the Le Sueur County Attorney and/or Minnesota Pollution Control Agency for enforcement if the work is not completed as agreed.

STATE OF MINNESOTA

ss

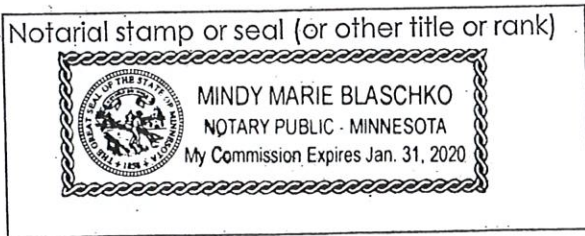
COUNTY OF Le Sueur

Kenneth Fuller 4-10-18
Signature of Landowner(s) Date

Linda Fuller 4-10-18
Signature of Landowner(s) Date

Signed or attested before me on April 10, 2018

by Kenneth + Linda Fuller



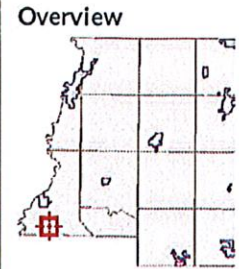
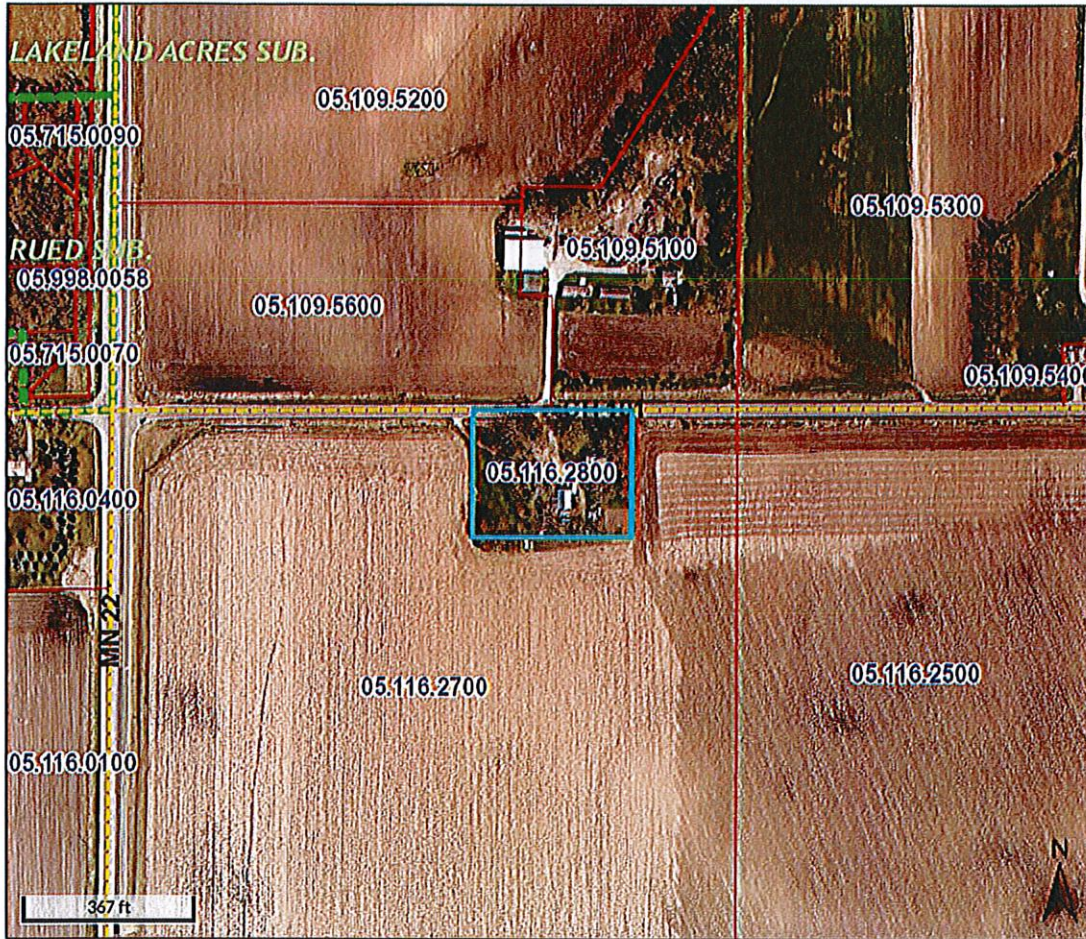
Mindy Blaschko
SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT

Mettler, Michelle

From: Tiegs, David
Sent: Thursday, March 01, 2018 3:36 PM
To: Mettler, Michelle
Cc: 'shadowgramma@hotmail.com'
Subject: Parcel 05.116.2800
Attachments: DOC030118.pdf

Michelle, I was contacted by **Linda Fuller** to review the access to parcel 05.116.2800. She informed me that they are applying for a CUP for a temporary dwelling on that parcel. The existing entrance is adequate to serve this purpose. Should anything else be needed please let me know.

Thanks,
Dave Tiegs
Le Sueur County
Highway Engineer



- Legend**
- Roads
 - Parcels
 - Parcel Labels
 - Subdivisions

Parcel ID	05.116.2800	Alternate ID	n/a	Owner Address	FULLER, KENNETH L & LINDA L
Sec/Twp/Rng	16-109-026	Class	201 - RESIDENTIAL		34425 480TH ST
Property Address	34425 480TH ST KASOTA	Acreege	2		KASOTA, MN 56050
District	KAS TWP/508				
Brief Tax Description	Sect-16 Twp-109 Range-026 2.00 AC W 20 RODS OF E 33.50 RODS OF N 16 RODS OF W 1/2 OF NE 1/4 (Note: Not to be used on legal documents)				

Aerial Photo taken in April 2017

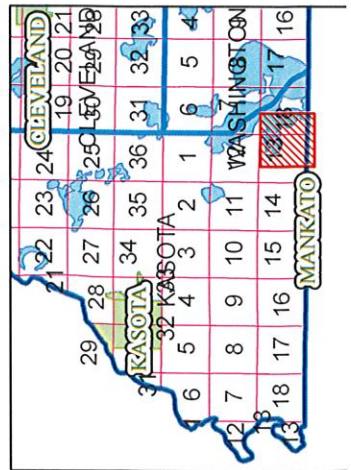
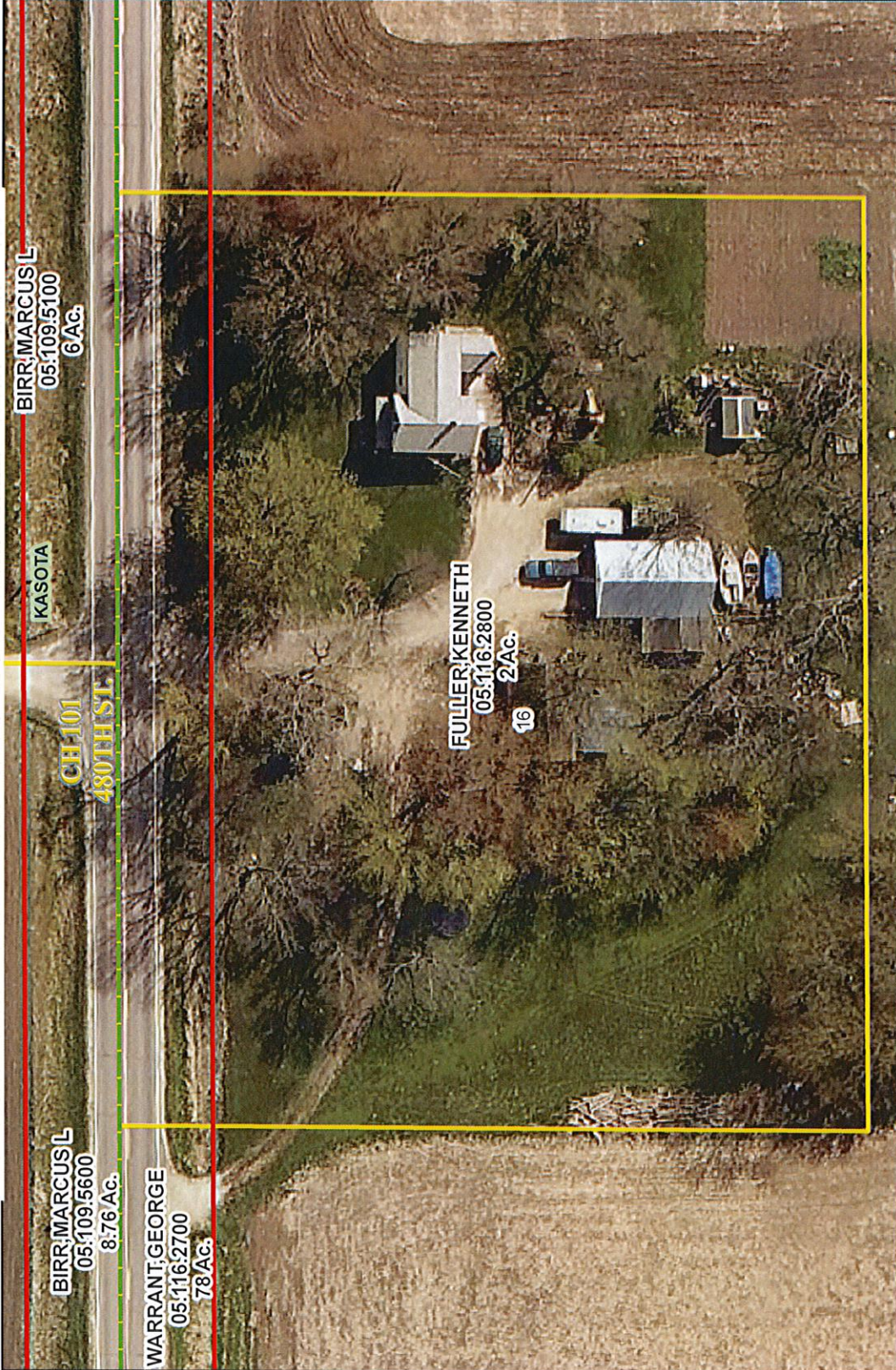
Date created: 3/1/2018
Last Data Uploaded: 3/1/2018 8:41:01 AM

Developed by
The Schneider Corporation

*Linda Fuller:
shadowgramma@hotmail.com*

LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Fuller
PID: 05.116.2800
DATE: 04-27-18
FIRM #: 27079C0240D
F-Zone: X-outside
RFPE: na
District: Agriculture



Map Disclaimer
 Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation. However, a degree of error is inherent in all maps. These maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.

Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet

Photo dated April/May 2017

Created By: MRM



LE SUEUR COUNTY
 ENVIRONMENTAL SERVICES
 507-357-8538



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 6

Denn Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT/OWNER: Tricia Denn

911 ADDRESS: 31282 141st Ave, New Prague, MN

PROJECT DESCRIPTION: Permit to allow the applicant to establish and operate a Special Event for 300 people for wedding/receptions venue.

PARCEL NUMBER: 07.023.3200

CUP NUMBER: 18030

SITE INFORMATION

LOCATION: NE 1/4, Section 23, Lanesburgh Township

ZONING DISTRICT: Agriculture

ZONING DISTRICT PURPOSE: The **Agriculture (A) District** is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.

GENERAL SITE DESCRIPTION: 40-acre existing building site, and a 21-acre existing building site. Existing dwelling on each property and accessory structures. Proposed shed/barn located on 40-acre parcel. Proposed parking on both parcels. Proposed carriage rides on both parcels.

ACCESS: Existing off 141st Ave, County Road 164

EXISTING LAND USE WITHIN ¼ MILE:

North: Clustered residences, rolling hills, wetlands	South: Farmland, rolling hills
East: Farmland, rolling hills, wetlands, scattered residences	West: Farmland, rolling hills

BACKGROUND INFORMATION

Property is a 40-acre parcel with an existing dwelling and shed/barn. Existing access off the gravel County road. Shared driveway. Proposed use is for wedding event venue for 200-300 people to include antique sales and services event, sale of pumpkins, trees, antiques & vanity, carriage rides, retail nursery/greenhouse.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Vicky Valley from Lanesburgh Township was contacted on February 27, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, Type 1, Type 3, and Type 4 wetlands located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, MN Department of Labor & Industry Fact Sheet, shed plans

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture; Section 19, Land Use Performance Standards; Section 21, Conditional Use Permits

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 makes reference to conserve and protect agricultural resources and uses.

GOAL #1: Le Sueur County contains some of the most productive agricultural soils in Minnesota and should adopt and enforce land use goals and policies that conserve and protect agricultural resources and uses.

Objective 1: The County will protect the best of its agricultural land as a resource for long term agricultural use.

Action 1: The County will continue using an Agricultural District with the ultimate aim being to preserve large contiguous agricultural land tracts for agricultural use.

ENVIRONMENTAL PERFORMANCE STANDARDS-SECTION 18

WETLAND: Wetlands are located within the quarter/quarter, however none are located on the property.

GRADING, EXCAVATING, OR FILLING: No grading, excavating, and filling is proposed.

LAND PERFORMANCE STANDARDS-SECTION 19

ACCESS:

- Existing access off County Road 164, 141st Ave, see County Highway Engineer email.
- Minimum driving surface 14 feet in width.
- Inslope no greater than 4:1.
- Unobstructed vertical and horizontal clearance.
- Minimum flat grade of at least 20 feet at access point to road.
- The number and width of access drives shall be located to minimize traffic congestion and hazards.

PARKING:

- Parking minimum size requirements: 8 ½ feet in wide, 20 feet in depth, 300 square feet in area.
- Parking space requirements for a use not specifically mentioned herein shall be the same as required for a use of similar nature, as determined by the Department.
- Indoor/Outdoor Recreation Area: One (1) parking space for each four (4) occupants based upon design capacity.
- The number of parking spaces may be increased with the Conditional Use Process.
- Seventy-Five (75) total required number of parking spaces for proposed use.
- Handicap parking requirements shall be in accordance with the Americans with Disabilities Act.
- Each parking space shall be adequately served by access drives.
- Onsite parking areas of sufficient size required to provide parking for patrons, customers, suppliers, visitors and employees shall be provided.
- No parking space shall be located within ten (10) feet of a road Right-Of-Way (ROW).
- Parking is proposed on a grass-sloped area with no lighting.

LOADING:

- Each loading space shall contain a minimum area of 500 square feet.
- All loading spaces shall provide adequate space for maneuvering of the vehicles.
- Loading area shall not be used for any storage.
- Loading spaces shall have proper access form a road ROW.

LANDSCAPING & SCEENING:

- Exterior storage shall be screened.
- Screened may consist of fencing and/or landscaping.

SIGNAGE: No proposed signage, per application

OUTDOOR LIGHTING: One (1) yard light and exterior lights by each door.

NUISANCE CONTROL:

- **Refuse** shall be disposed of in compliance with all county, state and Federal waste disposal requirements.
- **Sewage** from shed/barn event structure is connected to a septic system designed for a 3-brdroom dwelling. *(Existing septic system is not designed for this type of use.)*
- **Solid Waste** is proposed to be removed via onsite dumpster as provided by Lakers Sanitation.
- All waste material shall be kept in an enclosed structure or properly contained in a closed container designed for such purposes.

SPECIFIC LAND USE:

- Special event activities shall be setback a minimum of 20 feet from all road Right-Of-Ways.
- Special event activities shall be setback a minimum of 20 feet from all property lines.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**

- a. Traffic.
- b. Dust control. Access is from gravel roads.
- c. The site is adequate for water supply and on-site sewage treatment. Applicant is proposing to use an existing septic system designed for a 3-bedroom single-family dwelling. Existing system will not be able to withstand the use of a 300-person event.
- d. Proposal is for 200 or more occupants of structure for the purposes of large gatherings weddings, reunions etc. Plans must be submitted to the Minnesota Department of Labor & Industry (DLI) for building code review and approval. DLI inspects the public assembly spaces in all non-code enforced areas. Plans for conversions of existing structures must be prepared by Minnesota licensed architects and engineers.

PLANNING AND ZONING COMMISSION CONDITIONS

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Proposal is for 200 or more occupants of structure for the purposes of large gatherings weddings, reunions etc. Plans must be submitted to the Minnesota Department of Labor & Industry (DLI) for building code review and approval. DLI inspects the public assembly spaces in all non-code enforced areas. Plans for conversions of existing structures must be prepared by Minnesota licensed architects and engineers.



FACT SHEET: 'WEDDING BARN' AND THE BUILDING CODE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY

Old barns have become a popular venue for weddings, receptions, family reunions and similar gatherings. What are the main code-related issues that should be considered?

As an existing building, the barn would be subjected to the requirements of the Minnesota Conservation Code for Existing Buildings. In most instances, this would constitute a change of use as the barn was likely agricultural and exempt from the code under Minnesota Statutes § 326B.121. Converting a barn for weddings and similar functions reclassifies the building as an assembly use.

The biggest code issues that may arise from this change of use/occupancy classification are:

- Requirement for an automatic sprinkler system for assembly occupancies.
- Accessibility to the building, rest rooms and elevated levels or floors.
- Minimum number of sanitation facilities (toilets, lavatories and drinking fountains).
- Door swing, panic/fire exit hardware.
- Exit signs and emergency illumination.
- Fire detectors both manual and automatic.
- Allowable area and height based on the type of construction and occupancy classification.
- Structural – most barns were never designed for the assembly use and, if exempt as agricultural, there is a good chance that the required snow and wind loads were not considered as for commercial buildings.



Does converting a barn to an assembly use require having plans prepared?

Yes, because this changes the purpose and puts the barn into a higher risk use, plans for the barn's conversion must be prepared by Minnesota licensed architects and engineers.

Does the new law for places of public accommodation apply to barns that are converted for weddings or receptions?

Yes, if the barn contains a room or space having an occupant load of 200 or more.

Who enforces the building code on wedding barns?

As of July 1, 2017, where there is no local government building official, plans must be submitted to the Minnesota Department of Labor and Industry (DLI) for building code review and approval before construction can begin. DLI issues permits and inspects the construction of public assembly spaces in all non-code enforced areas.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18030

Applicant: TRICIA DENN

Land Owner: TRICIA DENN

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO ESTABLISH A SPECIAL EVENT FOR WEDDING VENUE/RECEPTIONS.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application

I. Applicant:

Name Tricia Denn
Mailing Address 31290 141 Ave
City New Prague State mn Zip 56071
Phone # 952 758 6849 Phone # 952 300 1967

II. Landowner:

Name Tricia Denn
Mailing Address 31282 141 Ave
City New Prague State mn Zip 56071
Property Address 31290 141 Ave
City New Prague State mn Zip 56071
Phone # 952 758 6849 Phone # 952 300 1967

III. Parcel Information:

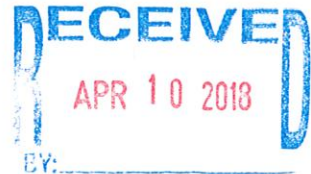
Parcel Number 070233200 Parcel Acreage 40
070232900 Parcel Acreage 21
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township Lanesburgh Section _____
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Lanesburgh Township notified on Feb 27 - 2:30 pm
(Township Name) (Date)
Board Member Vicki Valley regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.
- Applications will not be accepted by mail.**



VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled**.
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request:

- Self Service Storage
- School/Church/Cemetery
- Retail Nursery/Greenhouse
- School/Church/Cemetery

- Value Added Agriculture
- Antique Sales/Service/Repair
- Substation/Transmission Lines etc.
- Other Carrriage rides, weddings on site only

VIII. Description of Request:

- a. A full description of request with detailed information must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: 1 @ 10 pm
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: less than 200.
3. LIST OF PUBLIC HEALTH PLANS:
 - i. Water Supply: well dwelling / Barn
 - ii. Toilet facilities: five indoor and five portable toilets
 - iii. Solid Waste Collection: take sanitation cups or
4. FIRE PREVENTION: 7 door exits,
5. SECURITY PLANS: on site hire
6. RETAIL SALES: yes, pumpkins, trees, Antiques & Vanity
7. FOOD OR ALCOHOL SERVED OR FOR SALE: Bevone
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.)
none
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC:
indoor in insulated building not to exceed 9m
10. EXTERIOR LIGHTING: one out door yard light
11. PARKING AND LOADING: 40 acres access.
12. SIGNAGE: _____
13. ROAD ACCESS: (Approved by the road authority) yes approved by county
14. CERTIFICATE OF INSURANCE: attached.
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) _____

IX. Site Plan: Shall include but not limited to the following:

- North point
- Setbacks
- Property Lines
- Road Right-Of-Way
- Lake
- River
- Wetland
- Stream
- Existing Structures
- Proposed Structures
- Lot Dimensions
- Ponds
- Septic system
- Well
- Access (size & location)
- Easements
- Parking (Size & location-if applicable to application)
- Landscape, screening and buffering (if applicable to application)
- Location of significant trees to be removed (if applicable to application)



X. Attachments: shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full legal description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion control plan**-Attach completed and signed plan including map.
- h. **Floor plans and/or blue prints**

XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

 2-16-18
Applicant signature Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

 2-16-18
Property Owner signature Date

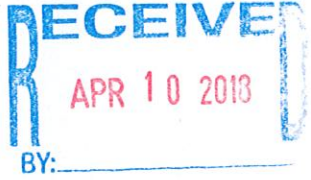
OFFICE USE ONLY

Request: Special Event - Wedding / reception s venue

Pre-App Date 4-10-18 Lake Classification _____ Feedlot 500' 1000' N
 Meeting Date 5-10-18 Lake _____ Wetland Type 1-2 3-8 N
 60 Day 10-9-18 FEMA Panel # 27079C0 200 D Water courses Y N
 Zoning District 1A Flood Zone outside Bluff Y N

- | | | | |
|---|---|--|---------------------------------|
| <input checked="" type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval | <input checked="" type="checkbox"/> Septic | Comp Insp / Design + COC |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Erosion Control Plan | <input type="checkbox"/> Meeting | Reg / ATF / Spec |
| <input checked="" type="checkbox"/> Full Legal | <input type="checkbox"/> Blue Prints | <input checked="" type="checkbox"/> Fee | \$ <u>760</u> |
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Other _____ | <input type="checkbox"/> Penalty | \$ _____ |

Application Complete Michelle R Mitte 4-10-18 18030
 Planning & Zoning Department Signature Date Permit #



Subdivision #2

Tricia Denn

31282 141 Ave New Prague MN 56071

I proposed Daily access to the event Barn. Events would only be held Friday, Saturday, and Sunday. With limited winter events. Events would be the months of May till October. Hours of operation would be 10:00 AM till 10:00 PM.

The estimated number of persons to attend the place of business would be under 200. On a weekly basis. To exceed winter months at very limited hours of business. Then very limited access would be run of operation hours.

Weddings will only be allowed food and liquor threw licensed catering company prior approved threw the venue. No outside liquor will be approved on property.

Sanitation is covered with a roll off dumpster to be picked up every week by Lakers Sanitation New Prague.

Parking is available with two accesses off of crd 164. With 40 acre grass field. No issue with erosion and or emergency vehicle to enter and exit. There will be no off street parking.

Water supply is well dwelling well.

Toilets are 5 outdoor portable toilet. And three indoor toilets. With handicapped access.

There is one yard light for exterior lighting and indoor lighting.

Sound is limited with the building insulation. To limit the noise to public area. All amplification will be done by 9 pm. And or music and musical instruments.

The venue has 6 exits on ground level only access for public.

Security for event will be provided by event.



Tricia L Denn
31290 141st Ave
New Prague, MN 56071
(952) 300-1967
trishdenn@gmail.com

Le Sueur County
Planning and Zoning Commission
88 South Park Ave
Le Sueur, MN 56057



RE: Land Use Permit Application

April 10, 2018

To Whom It May Concern:

Subdivision 1. Purpose

I would like to submit a request for a Conditional Use Permits (CUP) for the following address: 31290 141st Ave, New Prague, MN 56071 for the use of Weddings, Reception Venue, Special Events and Outdoor Functions. ie: Antique, sales and services event, not to be held more than 3x per calendar year.

Subdivision 2. Application

4. A: Name and Address of Applicant and Landowner

Tricia Denn
31290 141st Ave
New Prague, MN 56071

B: Legal Description and Property Address

Sect-23 Twp-112 Range-023 21.00 AC THAT PART OF E 1/2 OF NE 1/4 BEG 1324.33 FT S OF NE COR OF SEC 23, TH S 209.17 FT, W 1328.60 FT, N 850.14 FT, E 993.83 FT, S 640.67 FT, E 335.18 FT TO BEG

31290 141st Ave, New Prague, MN 56071
40 Acre Parcel, surrounded by common type parcels.

C: Proposed Days and Hours of Operation

January thru April
Limited Hours of Operation

May Thru December

Friday: 4pm – 12am
Saturday: 11am – 12am
Sunday: 11am – 9pm

D: Attendance

Estimated Number of People during event is 300 people

E: List of All Public Health Plans:

1. Water Supply: Well
2. Solid Waste Collection: Mound Septic System (3 Tank System)
3. Toilet Facilities: Men's: 1 Toilet & 1 Urinal / Women's: 2 Toilets (Both Rooms are ADA Handicap Accessible)
4. Other: None
5. Facility is fully heated and airconditioned

F: Fire Prevention and Emergency Medical Services Plan:

Equipped with 2 Commercially Approved Fire Extinguisher and First Aid Kit

G: Security Plans:

Security will be provided by facility for each event during hours of service

H: Retail Sales:

None

I: Food or Alcohol Sales:

Food and Alcohol will be brought in by only Licensed Catering and or Full-Service, Full-Alcohol Vendors.

J: Altering Request of Traffic:

None

K: County Personnel Request:

None

L: Sound Amplification, Public Address System, Playing of Music or Musical Instruments:

Only in-building speaker system will be used.

M: Exterior Lighting

Exterior Lighting of 10 Lights next to each exterior door

N: Parking and Loading

ADA Handicap Parking Area:

36' x 1 Row (3 Spots based on the 8' w/ 5' spacing between spaces rule)

General Outdoor Parking Area:

165' x 300' (170 spaces based on the formula of 10'x18' w/ 24' between lanes)

Loading Area:

N/A

O: Signage

N/A



P: Access by Road Authority
Already Approved by Township Personnel

Q: Certificate of Insurance
Attached

R: Meet all other applicable county, state and federal regulations:
None additional to knowledge at this time.

Subdivision 3. General Standards

A: Purpose
Purpose of the CUP is to provide a venue for events, wedding and other means of gatherings

B: Emission Standards
N/A

C: Noise
No additional known noise shall be present

D: Odors
No obscure or foul odors shall be present

E: Water Pollution
N/A

F: Vibration
N/A

G: Smoke and Particulate Matter
N/A

H: Dust
N/A

I: Toxic Noxious Matter
N/A

J: Explosives
N/A

K: Compliance
1. Understood within reason
2. Understood within reason



Subdivision 4. Access Drives, Access and Service Roads

A. Access Drives onto Public Roads

- a. Already approved by township road maintenance member

B. Access Drive

- 1. Minimum Drive Width of 14': Yes
- 2. Inslope of no greater than 4 to 1: Yes
- 3. Base Material of Road: Commercial Grade Underlayment Fabric w/ 4" of Class 5 Material
- 4. Unobstructed Width of 20': Yes
- 5. Unobstructed Vertical Clearance of 20': Yes

C: Access Drive Turnaround Area

Yes

D: Access Drive of Flat 20' Area

Yes

E: All Lots...

N/A

F: All Roads...

N/A

G: A Service Roads...

N/A

H: Access drives...

N/A

Subdivision 5. Parking and Loading Standards

A. Parking

- 1. Approved
- 2. Size Requirements
 - a. See Subdivision 3 (N)
 - b. See Subdivision 3 (N)
 - c. See Subdivision 3 (N)
- 3. Reduction of Parking Space
N/A
- 4. Location of Parking Facilities and Combined Facilities
Packing is available at Facility.
- 5. Computing Requirements
 - a. $36' \times 72' = 2,592$ sq. ft.
- 6. Required Number of On-Site Parking Spaces
 - i. 300 people or 75 parking spaces based on 1 parking space per 4 occupants as noted in Indoor/Outdoor Reactional Area Uses (Line Item 8)



B. Loading

- 1. Adequate
- 2. N/A

3. N/A

C. Parking & Loading General Standards

1. Yards

- a. No parking is within 10 feet of property lines, or any road right-of-way.
- b. No parking or loading spaces are located within bluff or shore impact zones.

2. Buffers, Fences and Planting Screens

N/A

3. Access

- a. Parking and loading spaces have adequate space from road right-of-way
- b. N/A
- c. Road Authority have approved the service road
- d. Business is not in a Residential District

4. Construction and Maintenance

- a. N/A
- b. Agreed that we will maintain the access road of the driveway from County Road

Subdivision 6. Landscaping and Screening

- A. Land and Structure is and will be established and maintained
- B. Yard around premise is landscaped and sodded for proper erosion control and adequate drainage.
- C. N/A
- D. N/A
- E. N/A
- F. See B Above

Subdivision 7. Sign Standards

- A. Purpose
- B. General Sign Standards
 - 1. Agreed, but no current sign at this time
 - 2. Agreed, but N/A at this time
 - 3. Agreed, but N/A at this time
 - 4. Agreed, but N/A at this time
 - 5. Agreed, but N/A at this time
 - 6. Agreed
 - 7. Agreed
 - 8. Agreed
- C. Exempted Signs – No Permit
Agreed
- D. Prohibited Signs
 - 1. Agreed
 - 2. Agreed
 - 3. Agreed
 - 4. Agreed
- E. Non-Conforming Signs
 - a. Agreed



- b. Agreed
- F. General Business and General District
 - 1. Ground/Pylon Signs
 - a. Agreed
 - b. Agreed
 - c. Agree
 - d. Agreed
 - 2. Wall Signs
 - a. Agreed
 - b. Agreed
 - 3. Electronic Message board Signs/Dynamic Signs
 - a. Agreed
 - b. Agreed
 - c. Agreed
 - d. Agreed
- G. N/A
- H. N/A
- I. Agreed

Subdivision 8. Outdoor Lighting Standards

N/A at this time

Subdivision 9. Nuisance Control

- A. Purpose
- B. Waste Disposal
 - a. Refuse Waste will be removed by approved waste hauler
- C. Rodent Control
 - 1. Agreed
 - 2. N/A
 - 3. Agreed
- D. Noxious Weeds
 - a. Agreed
- E. Restricted Storage
 - a. Agreed
 - b. Agreed
- F. Salvage Vehicles, Agricultural Equipment and Parts
 - 1. N/A
 - 2. N/A
 - 3. Agreed
 - 4. Agreed
 - 5. Agreed
- G. Abatement
 - 1. Agreed
 - 2. Agreed
 - 3. Agreed

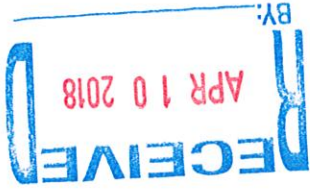


Subdivision 10. Relocating Structures

- A. Permit Required. Agreed
- B.

RECEIVED
APR 17 2018
BY: _____

South point



40 acres access

Parking

80 feet by 90 feet lean

Barn

west

Septic holding tank

Handicap parking

Parking

square feet

3.5 acres

31290

31282

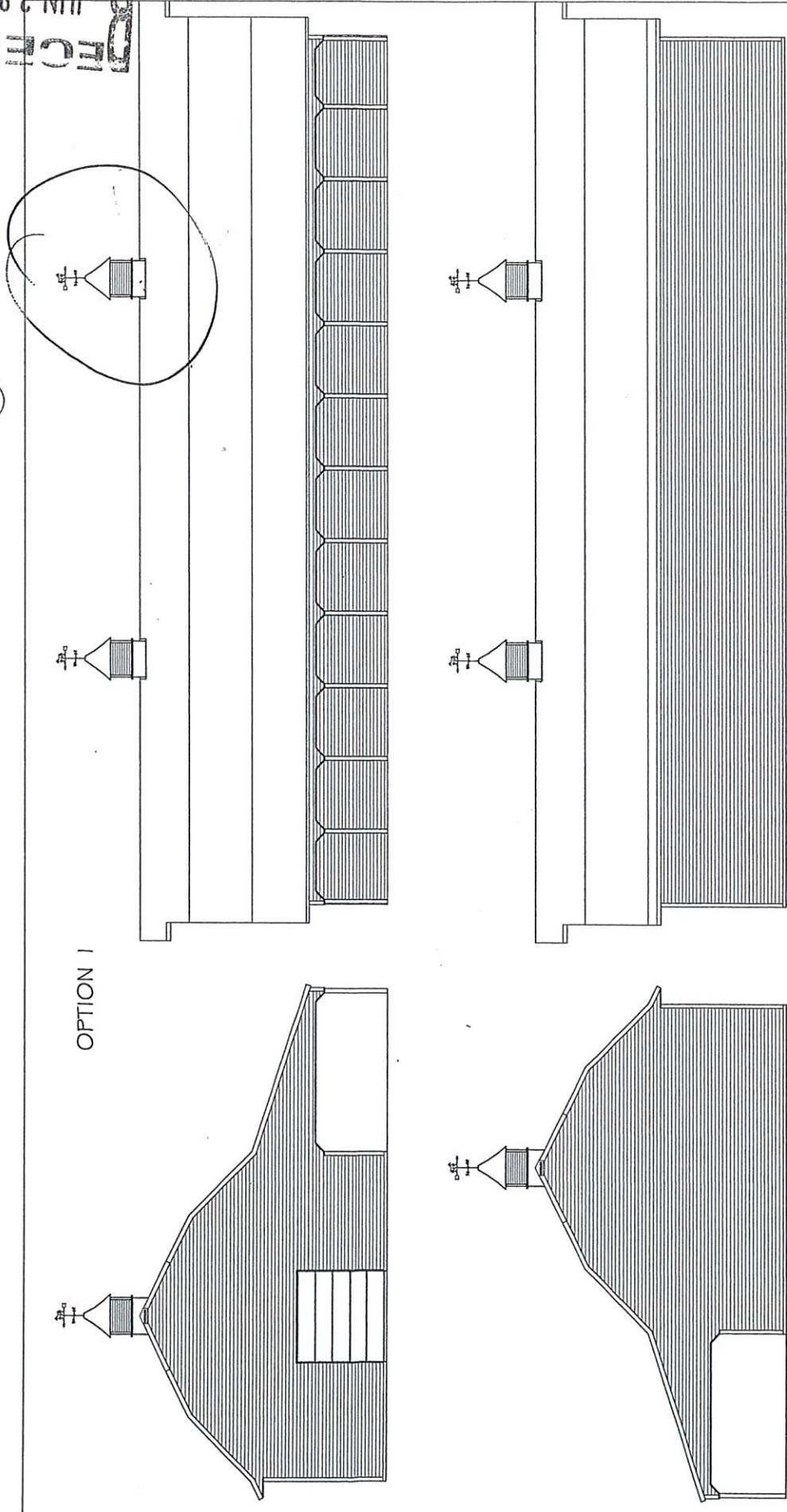
East. 141 Ave Rd
1 1/4 Acre Road

North point

RECEIVED JUN 29 2013 BY:

Stud

OPTION 1



ELEVATIONS
SCALE: 3/32" = 1'-0"

Northland Buildings
The Leader in Custom Built Buildings

ENGINEERING DEPARTMENT
2804 58th Street
Eau Claire, WI 54703
Fax (715) 874-4213
Office (715) 874-4211

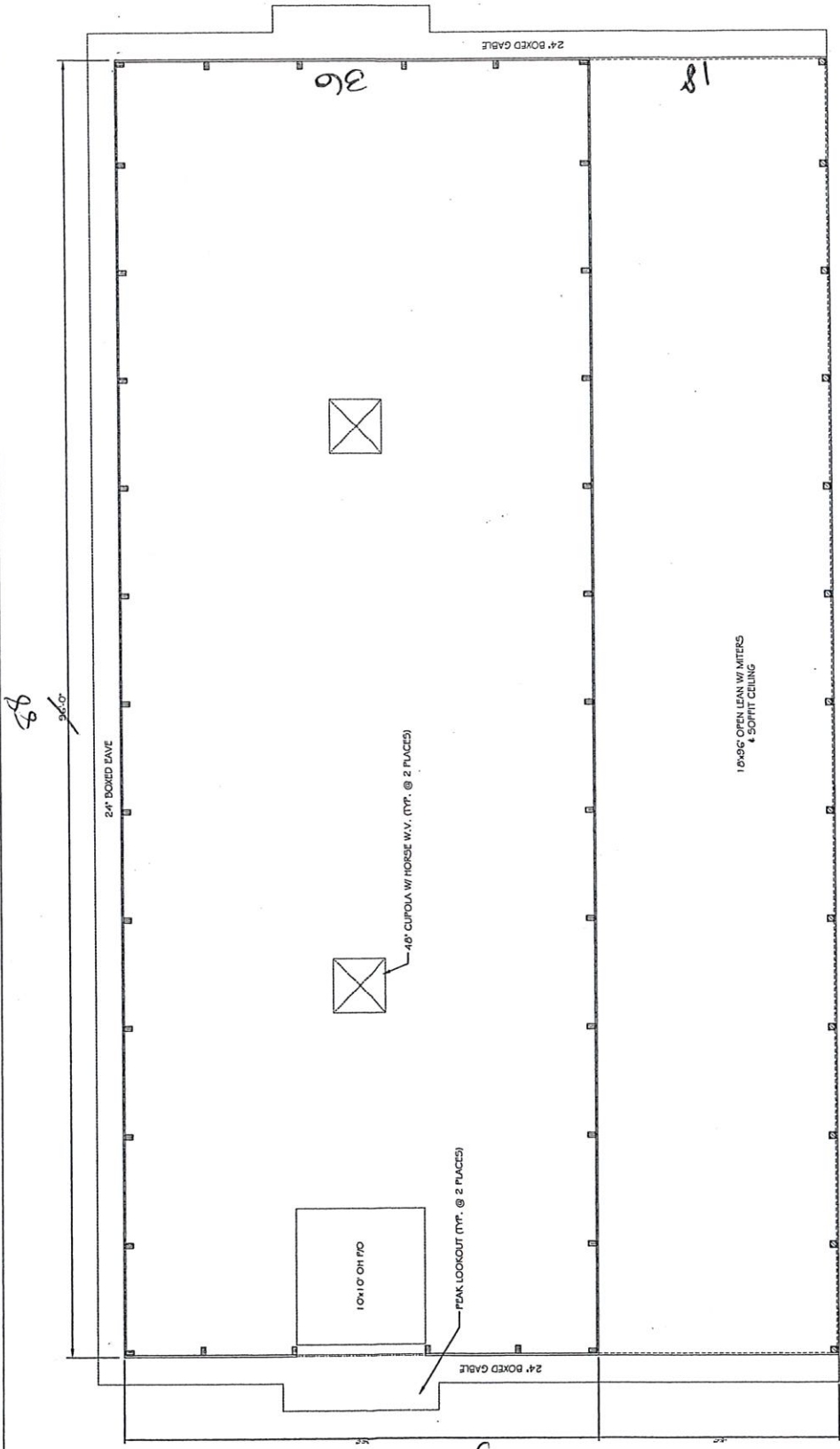
PROJECT TITLE
SCOTT BIXBY / TRILLIUM
CITY, ST
36' x 96' x 14'-4"

FILE NAME: I:\ACAD\DWG\PLANREQUEST\15\WABIXBY.SCOTT.DWG

REVISIONS		SCALE	JOB NO.
NO.	DATE	DESCRIPTION	BY
0			AS NOTED
1			DRAWN BY WLC
2			DATE 3/11/16
3			

SHEET NO. 15-23
of

RECEIVED JUN 29 2013



FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS		SCALE	JOB NO.
NO.	DATE	DESCRIPTION	BY
0			
1			
2			
3			

AS NOTED	DATE	BY
WLC	10/22/15	

SHEET NO. 15-25
DRAWN BY WLC
DATE 10/22/15
of 1

PROJECT TITLE: SCOTT BIXBY/Fire/Deer
CITY, ST
FILE NAME: I:\ACAD\DWG\PLAN\REQUEST1\5WANDIBY,SCOTT.DWG

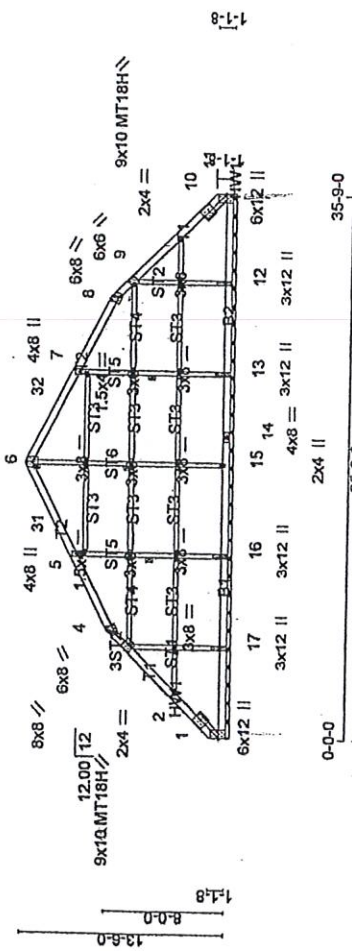
36' x 96' x 1'-4"-4"
18 x 18 x 18

ENGINEERING DEPARTMENT
2894 58th Street
Eau Claire, WI 54703
Fax (715) 874-4213
Office (715) 874-4211



Job	Truss Type	Qty	Ply	427275 QROOF Northia Scott Bixby
QROOF	GABLE	2	1	
Littlin Truss Company, Winsted, MN, BLS				

Job Reference (optional)
 7.650 3 Jul 9 2015 MITek Industries, Inc. Mon OG 05 10:36:11 2015 Page 1
 ID:p1wF5KSCV5s-QaQ1YsnrlyVV_U-TLVMNksIDpos41XERNZ6DxxKrcXjcvB77AGxWUJKI
 28-10-8 35-9-0
 Scale: 3/32"=1'



LOADING (psf)	SPACING	PLATE GRIP	PLATES
TCLL 35.0	Plate Grip DOL 1.15	MT20 197/144	
(Roof Snow=35.0)	Lumber DOL 1.15	MT18H 197/144	
TCDL 4.0	Rep Stress Incr NO		
BCLL 0.0	Code MNSRC2015/TP12007		
BCDL 10.0			

DEFL	in (oc)	L/d	Weight: 322 lb FT = 20%
Ver(LL)	n/a	999	
Ver(TL)	n/a	999	
Horz(TL)	0.03	11	

CSL	TC	BC	WB	Matrix
8-0-0	0.69	0.40	0.76	(Matrix)

BRACING	TOP CHORD	BOT CHORD	WEBS
	2-0-0 oc purlins (6-0-0 max)		
	(Switched from sheeted; Spacing > 2-0-0)		
	Rigid ceiling directly applied or 10-0-0 oc bracing		
	1 Row at midpt		

REACTIONS. All bearings 35-9-0
 (b) - Max Horz 1=1049(LC 10)
 Max Uplift All uplift 100 lb or less at joint(s) except 1=793(LC 13), 11=593(LC 12), 16=876(LC 12), 17=1486(LC 12), 13=863(LC 13), 12=1381(LC 13)
 Max Grav All reactions 250 lb or less at joint(s) except 1=1923(LC 1), 11=1923(LC 1), 15=1487(LC 22), 16=2353(LC 1), 17=2258(LC 19), 13=2353(LC 1), 12=2164(LC 20)

FORCES. (b) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 1-2=2006/938, 2-3=1543/975, 3-4=1613/1447, 4-5=1256/1420, 5-31=1410/1939, 6-31=1195/1970, 6-32=1195/1931, 7-32=1410/1900, 7-8=1256/1380, 8-9=1613/1409, 9-10=1346/713, 10-11=1959/678
BOT CHORD 1-17=360/1025, 16-17=358/1022, 15-16=358/1022, 14-15=358/1022, 13-14=358/1022, 12-13=358/1022, 11-12=358/1022
WEBS 6-15=999/489, 5-16=1905/1328, 3-17=1629/1509, 7-13=1905/1325, 9-12=1541/1408

NOTES: (12-14)
 1) Wind: ASCE 7-10; Vult=114mph (3-second gust) V(RC2012)=90mph; TCCL=2.4psf; BCDL=3.0psf; h=28ft; Cat. II; Exp C; enclosed; MMFRS (envelope) automatic zone and C-C Corner(3) 0-0-0 to 3-6-14, Exterior(2) 3-6-14 to 17-10-8, Corner(3) 17-10-8 to 21-5-6, Exterior(2) 28-10-8 to 35-9-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces; & MMFRS for reactions shown; Lumber DOL=1.15 plate grip DOL=1.15
 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/APA 1.
 3) TCLL: ASCE 7-10; P=35.0 psf (flat roof snow); Category II; Exp C; Partially Exp.; Ct=1.1
 4) This truss has been checked for uniform snow load only, except as noted.
 5) Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.

Mettler, Michelle

From: Tiegs, David
Sent: Friday, November 03, 2017 9:41 AM
To: Mettler, Michelle
Cc: 'tdenn@bop.gov'
Subject: Entrance Review

Michelle, At the request of Tricia Denn I was asked to review the entrance to parcel 07.023.2900 / 07.023.3200. I was informed the purpose of the review was to provide entrance approval for the purpose of hosting special events such as but not limited to Weddings, Anniversary parties, etc on her property. The entrance to this parcel provides adequate site distance and has adequate width for such a purpose. Please note that this review refers only to the approach itself within the CR 164 ROW and does not refer to or override any other zoning requirements that may apply.

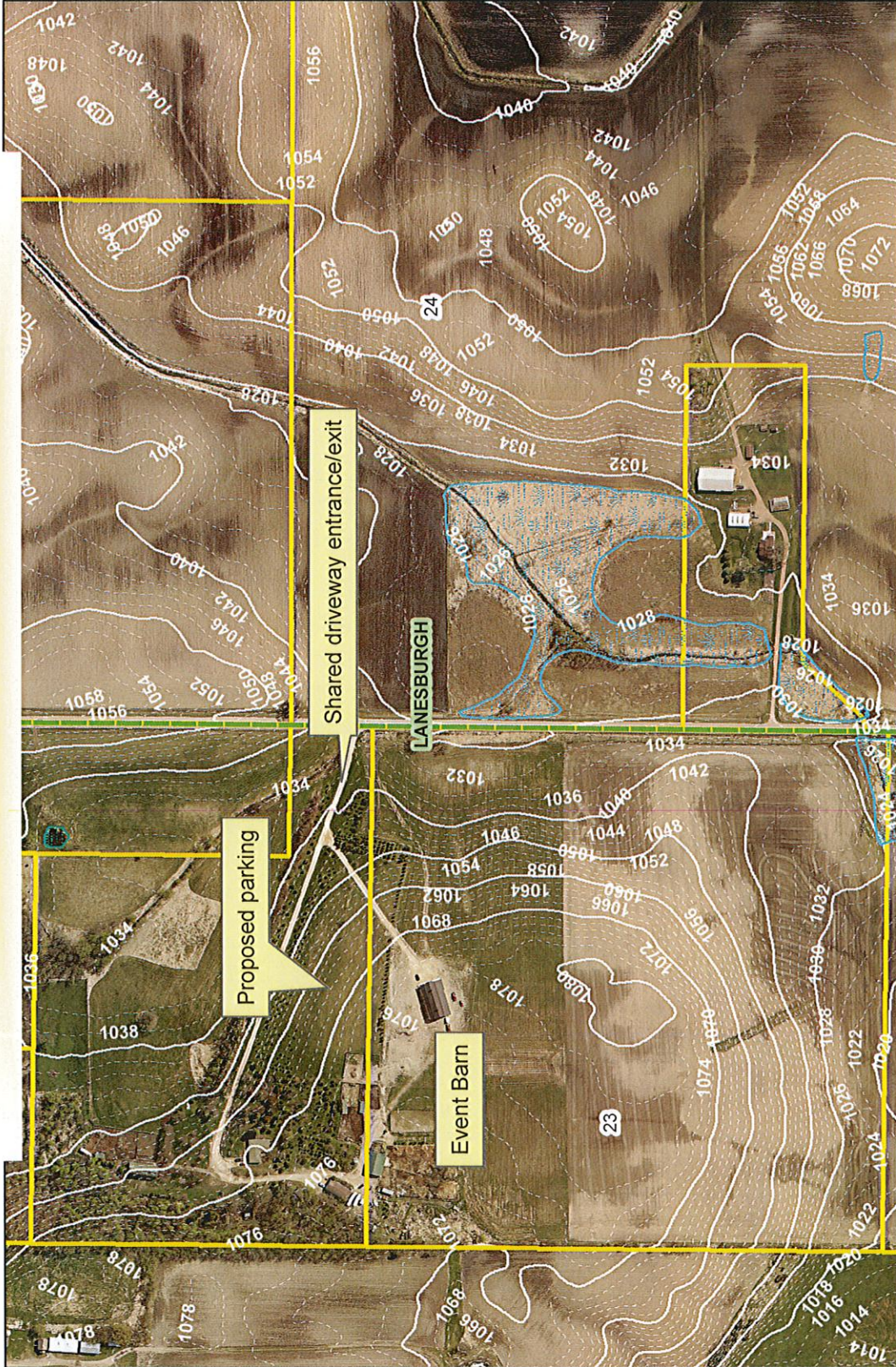
If anything else is needed please let me know.

Thanks,
Dave Tiegs
Le Sueur County
Highway Engineer

LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Denny
 PID: 04-26-18
 DATE: 27079C0200D
 FIRM #: x-outside
 F-Zone: na
 RFPE: Agriculture
 District:

PARCEL NUMBER
 27079C0200D
 x-outside
 na
 Agriculture



Map Disclaimer
 Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation. However, a degree of error is inherent in all maps. These maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.
 *The maps are date specific and are intended for use only at the published scale.
 *These maps should not be used for navigational, engineering, legal, or any other site-specific use.

Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet

Photo dated April/May 2017 Created By: MRM



2	1	6	5	4	NEWPRAGUE	1		
11	12	7	8	9	10	11	12	
14	13	18	17	16	15	14	13	
20	BERNARD	20	LANESBURGH	21	22	23	24	
26	25	30	29	28	27	26	25	
35	36	31	32	MONTGOMERY	33	34	35	36



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 1

Approved May 10, 2018 Meeting Minutes

Staff Contact: Joshua Mankowski or Michelle R. Mettler

LE SUEUR COUNTY PLANNING AND ZONING COMMISSION
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057
May 10, 2018

MEMBERS PRESENT: Don Reak, Jeanne Doheny, Don Rynda, Shirley Katzenmeyer, Doug Krenik, Al Gehrke, Pam Tietz,

MEMBERS ABSENT: Commissioner King

OTHERS PRESENT: Joshua Mankowski, Michele Mettler

1. The meeting was called to order at 7:00 by Chairperson, Jeanne Doheny.
2. Agenda. Motion to approve agenda was made by Shirley Katzenmeyer. Second by Doug Krenik. Approved.
3. Minutes from April 12th, 2018 Meeting. Motion to approve minutes., was made by Al Gehrke. Second by Pam Tietz. Approved.
4. Applications

ITEM #1: CAMAS INC, LE CENTER, MN, (APPLICANT); YELLOW REAL ESTATE LLC, LE CENTER, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a value-added agriculture use business of developing, processing and selling farm animal nutritional supplements in an Agriculture "A" District. Property is located in the NW 1/4 and the SW 1/4, Section 1, Cleveland Township.

Joshua Mankowski presented power point presentation. Michael Hopkins, Director of Operations was present for the application.

TOWNSHIP: Notified. Response None.

LETTERS: Amy Beatty, Environmental Programs Specialist regarding recommended conditions to be placed on Conditional Use Permit if approved.

PUBLIC COMMENT: None

Discussion was held regarding: Michael Hopkins stated that their intent, if they receive approval, will to consolidate at the new site. They currently have locations in Mankato and Le Center. Discussion was held about what material will be held in the 10,000 gallon holding tank and weather it can be land applied. The tank will hold egg shell, water, and cleaner/sanitizer, mostly water. There is no plan to do land application. Shirley Katzenmeyer is the they had obtained the SDS permit. They have not but it is in process. Jeanne Doheny asked about the planned timeframe. Michael Hopkins stated it was their plan to move operation in June and begin production this fall. There is no interior wall movement, they need to add refrigerators and some plumbing. Discussion about the past Conditional Use Permits that have been issued for this property. Discussion about access off of MN State Highway 99 and County Road 112 and the type of traffic that will be expected. Access off of County Road 112 will be primarily used by staff and they anticipate two semis per week to use the access off of MN State Highway 99. Jeanne Doheny inquired about the anticipated waste. The amount of waste generated will be documented as part of the SDS permit. Jeanne Doheny stated that any changes to signage would need to comply with Le Sueur County Planning and Zoning Ordinance.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity*

for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Motion was made by Doug Krenik to approve the application with conditions.

1. Camas, Inc. shall apply to the MPCA for coverage under an SDS Permit for its IBP storage and land application.
2. Le Sueur County Environmental Services Department shall receive copies of all SDS Permit Coverage Letters for the life of the business's operation in Le Sueur County.
3. Le Sueur County Environmental Services Department shall receive copies of all annual reports submitted to the MPCA for the life of the business's operation in Le Sueur County.
4. Camas, Inc. shall abide by its SDS Permit pertaining to the construction, installation, operation, and maintenance of its IBP storage area.
 - a. Le Sueur County Environmental Services Department shall receive all storage area construction information submitted to the MPCA (for example, the engineered drawing(s) of the storage tank, notification of when the storage tank is installed and the name of contractor, and final as-built of the storage tank's installation).
5. Camas, Inc. shall abide by its SDS permit regarding the land application of its IBP as to where it can be applied, when it can be applied, who can apply it, notification of the application to the county and township(s) where it is applied, and sampling and analysis of the IBP.
6. Camas, Inc. shall notify Le Sueur County Environmental Services Department of any non-compliance issues pertaining to any permits and/or licenses issued for the operation and manufacturing of its farm animal nutritional supplements.
7. If the disposal of the egg shells changes from what is proposed in the application (placed in a dumpster and managed at a solid waste facility), Camas, Inc. shall contact the Le Sueur County Environmental Services Department.
8. Provide the County with a Professional Engineer Certification on the planned Tank.
9. Obtain an SDS permit from MPCA

Second by Shirley Katzenmeyer. Motion approved. Motion carried.

ITEM #2: CHRIS KUBES-KUBES REALTY, NEW PRAGUE, MN, (APPLICANT); D & D MEYER FARMS INC, NEW PRAGUE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SW 1/4 to the SW 1/4 SW 1/4 in an Agriculture "A" District. Property is located in the SW 1/4, Section 5, Lanesburgh Township.

Joshua Mankowski presented power point presentation. Chris Kubes, Kubes Reality was present for the application.

TOWNSHIP: Notified. Response None

LETTERS: None

PUBLIC COMMENT: None

Discussion was held regarding: Chris Kubes stated that the reason for the transfer of development rights is to allow for a building site for the property owners' son. Both quarter/quarters are under the same ownership. Pam Tietz inquired about other development in the quarter quarter and road access. Chris Kubes stated that the development in the quarter quarter is the applicants home and access for the new building site would be off the same road. Pam Tietz also inquired if there were going to be shared or separate wells and septic systems. Chris Kubes stated that both will be individual. Jeanne Doheny was concerned that the change in the Planning and Zoning Ordinance that allowed for the transfer of development rights might hinder agriculture in the future. Michelle Mettler read from the goals in the County Comprehensive Plan that would support development in this matter, allowing homes to cluster and leave larger tracks of land undeveloped.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Motion was made by Pam Tietz to approve the application.

Second by Shirley Katzenmeyer. Motion approved. Motion carried.

ITEM #3: RICHARD STANGLER, KILKENNY, MN, (APPLICANT\OWNER): Requests that the County grant a Conditional Use Permit to allow the applicant to transfer the development right from the NE 1/4 SE 1/4 to the SE 1/4 SE 1/4 in an Agriculture "A" District. Property is located in the SE 1/4, Section 27, Kilkenny Township.

Joshua Mankowski presented power point presentation. Richard Stangler was present for the application.

TOWNSHIP: Notified. Response None

LETTERS: None

PUBLIC COMMENT: None

Discussion was held regarding: Don Reak asked if a Conditional Use Permit would be required to build on the site. Joshua Mankowski stated that it would depend on site plan and home design. It might require a Conditional Use Permit if there is a sufficient amount of material movement.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Motion was made by Don Reak to approve the application.

Discussion was held regarding: The goals in the Comprehensive Plan also support this application for Transfer of Development Rights. Shirley Katzenmeyer inquired about the driveway as shown on the proposed plan. Joshua Mankowski offered clarification that a driveway longer than 150 feet would require a 60x60 turnaround.

Second by Al Gehrke. Motion approved. Motion carried.

ITEM #4: BERNARD AKEMANN-WATERVILLE FOODS & ICE, WATERVILLE, MN, (APPLICANT); ABRA LLC, WATERVILLE, MN, (OWNER): Request that the County grant a Conditional Use Permit to allow grading, excavating, and filling of approximately 1,957 cubic yards of material movement a Business "B" District. Property is located in the SE 1/4 SW1/4, Section 26, Waterville Township.

Joshua Mankowski presented power point presentation. Bernard Akemann was present for the application.

TOWNSHIP: Notified. Al Gehrke (Township Supervisor) stated Waterville Township has no issues with the proposal.

LETTERS: None

PUBLIC COMMENT: None

Discussion was held regarding: Discussion was held regarding: Don Reak asked if the business and the adjacent field were under the same ownership. Bernard Akemann said they were. Bernard Akemann stated that this is a 46-year-old business and needs to expand to continue to create the same produce and stay within FDA standards. Don Reak inquired about connecting to city services. Bernard Akemann state that they were not able to do so. Don Reak then asked what type of waste products are produced. Bernard Akemann stated that they were mainly just plastic bags. Doug Krenik then inquired about the anticipated timeline. Bernard Akemann stated

that, if they receive the Conditional Use Permit, they will then finalize building blueprints and begin working and would anticipate pouring concrete by September 1st.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Motion was made by Al Gehrke to approve the application with Conditions.

1. Compliance Inspection for the septic by June 1st, 2018
2. As Built must be completed by a licensed Surveyor or Engineer and submitted to the County.

Second by Done Reak. Motion approved. Motion carried.

ITEM #5: KENNETH & LINDA FULLER, KASOTA, MN, (APPLICANT/TOWNER): Request that the County grant a Conditional Use Permit to allow the applicant to move in a temporary dwelling for the elderly in an Agriculture "A" District. Property is located in the West Half of NE 1/4, Section 16, Kasota Township.

Joshua Mankowski presented power point presentation. Linda Fuller was present for the application.

TOWNSHIP: Notified. Response None

LETTERS: None

PUBLIC COMMENT: None

Discussion was held regarding: Linda Fuller stated that the property has been in the family since the 1960s. Her husband has health issues and she has a chronic illness and they can no longer keep up with the property. Her daughter and her three children plan to purchase the property and live in the house. Jeanne Doheny stated that that if approved, there would need to be a timeframe for removal. Doug Krenik asked if they will both reside in the temporary dwelling. Jeanne Doheny asked if they will share the septic and the well. Linda Fuller stated that they will need to replace the septic and they will either construct a shared system or two separate systems. They plan to share the well. Michelle Mettler offered clarification that they would most likely have individual tanks and then a shared absorption area. There was then discussion on the appropriate timeframe for removal of the temporary dwelling and when the timeframe would start.

Findings by majority roll call vote:

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Motion was made by Doug Krenik to approve the application with conditions.

1. The temporary dwelling must be removed within six months after it is no longer occupied by either Kenneth or Linda Fuller.

Discussion was held regarding: Discussion was held on the appropriate amount of time to designate for removal and to clarify that when the timeframe should start.

Second by Shirley Katzenmeyer. Motion approved. Motion carried.

ITEM #6: TRICIA DENN, NEW PRAGUE, MN, (APPLICANT\OWNER): Request that the County grant a Conditional Use Permit to allow the applicant to establish and operate a Special Event for wedding/receptions venue in an Agriculture "A" District. Property is located in the NE 1/4, Section 23, Lanesburgh Township.

Joshua Mankowski presented power point presentation. Tricia Denn was present for the application.

TOWNSHIP: Notified. Response None

LETTERS:

Jeremy Tikalsky, New Prague Fire Chief regarding his concerns for the facility. 1. Interconnected smoke detectors. 2. Lighted exit signs. 3. Panic hardware on the exit doors.

Mike Bunnell, Department of Labor and Industry regarding the minimum requirements for code administration, permits, plan reviews, and inspection with the Minnesota Department of Labor and Industry. At a minimum the owner needs to hire/employ a state licensed architect to do a code analysis/code review/code record for the planned wedding event/barn structure. At a minimum the code analysis must determine the occupant load for the use determined by the architect. Since it will be open to the public and not just an ag use the building needs to comply with the Minnesota State Building Code. Architectural, structural, accessibility, sprinklers, plumbing, and mechanical codes, etc. If it determined by the architect that the occupant of the converted barn contains a room or space having occupant load of 200 or more then it will fall under the authority of the Department of Labor and Industry.

PUBLIC COMMENT: Wayne & Patrice Schanus regarding concerns with permitting this use across the road from their property. In 2016 there were at least three big events held out at the property. A lot of garbage, balloons, paper plates ended up on their property. Dust was an issue caused by the number of cars traveling down the gravel road. There were issues with moving farm equipment on the road. They have also had issues with the noise.

Discussion was held regarding: Tricia Denn gave a brief overview of their current business giving carriage rides for 20+ years at events. She has been asked at different times if she would do wedding events at her location. Jeanne Doheny asked if the barn was an existing building, to which Tricia Denn stated that it was. Jeanne Doheny then asked why the applicant thought this type of venue was needed. Tricia stated that it isn't needed but it was something she would like to do. Doug Krenik asked for some clarification on the number of people. The number of people changes throughout the application. Discussion on the number of people that will attend the events. Staff stated that, in order to qualify for a Conditional Use Permit, the event needs to be for more than 300 people per the Le Sueur County Zoning Ordinance. Michelle Mettler then discussed the new requirements from the Department of Labor and Industry. These new requirements are triggered if the building is determined to have a capacity of 200 or more people. A licensed architect is required to determine the capacity of the structure. There needs to be 300 plus people to qualify as a special event under the Zoning Ordinance. Department of Labor and Industry requirements are triggered at 200 plus people. Doug Krenik asked if the applicant could get a variance for the number of people. Michelle Mettler state that that would be a use variance and use variances are not allowed. Don Reak then listed his issues with the proposal. He had issues with the amount of dust that would result from the increased travel on the gravel road for the neighbors, rain causing issues with parking cars on a hillside, there were contradictions on every page of the application, issues with the location of the parking being on a hillside and safety for people both driving and walking when it rains. Issue with the size of the current septic system. It was sized for the house and not for the flow from the barn during events. Doug Krenik inquired about the use of portable toilets. Don Reak then voiced concern with the inconsistencies in the planned hours of operation. They change from one area to another within the application. For fire prevention, exit doors were listed. This is not fire prevention so none were listed. The application had inconsistencies when addressing retail sales. At one point the application says yes and then later states none. Again, the issue of inconsistencies with the planned number of people. Issues with sound applications. The application states that there will be none after 9:00 p.m. The music will not be turned off at a wedding reception at 9:00 p.m. if the reception is going until midnight. When the road authority is looking at an access, they are looking at sight lines, not the number of cars using the access. Doug Krenik voices concern with the lack of lighting in the parking area. Don Reak stated that the proposed site is a beautiful location but doesn't think that it is appropriate for this type of venue. Shirley Katzenmeyer asked if there have been requests to hold events at the locations. Tricia Denn state that she has received requests. Pam Teitz stated that she has seen the carriage ride business at both off-site events and on-site. Michelle Mettler stated that it is a permitted use to operate the business off-site only. On-site would be a level 2 home occupation and is not permitted. Shirley Katzenmeyer inquired, if they received approval, would they continue the carriage ride business. Tricia Denn stated that they would. Pam Tietz asked about clarification on using portable toilets for events. Joshua Mankowski stated that they can be used. Doug Krenik asked if there were any plans or a kitchen. Tricia Denn stated no, all food is catered. There was continued discussion on parking lot size and access. Tricia Denn stated that there is a field access that could be utilized for the parking area. It was then stated that the other access was not review or included in the permit application and can't be considered. The applicant did not access for comment form the road authority about the field access.

Findings by majority roll call vote:

1. *The conditional use **will be** injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*

The increased traffic on the gravel road will cause increase dust and will be a nuisance to the neighbors and those on the road. The use of a PA system for music at an event will all be a cause of nuisance to the immediate vicinity.

2. *The establishment of the conditional use **will** impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*

Increased traffic on the road will impede normal development in this area. This as it may be avoided.

3. *Adequate utilities, access roads, drainage and other facilities **have not** been or are **not** being provided.*

The access road is insufficient for this type of use and the increased traffic that will ensue. Rain would cause a number of issues with the access and parking area. Lighting is not being provided for safety purposes. The plan was not thought out and sufficient evidence was not presented.

4. *Adequate measures have **not** been or will **not** be taken to provide sufficient off-street parking and loading space to serve the proposed use.*

The area designated for parking is not a good area for parking. It is located on a side hill. Issues will arise if it rains. Terrain may prove unstable for parking cars.

5. *Adequate measures have **not** been or will **not** be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*

There are no controls to address dust from the increased traffic on the unpaved road and noise from the sound system.

6. *The Conditional Use Permit **is not** consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*

Similar types of venues not allowed on gravel roads. This use would pose a nuisance for the neighbors. Would need the right conditions to operate under.

7. *The Conditional Use Permit **is not** consistent with the Comprehensive Land Use Plan?*

As presented, the application is not consistent with the Comprehensive Land Use Plan for the reasons stated above.

Motion was made by Done Reak to Deny the application. Reason for denial were inconsistencies in the application, access and parking issues, issues with nuisance to surrounding area, and that this use does not conform to the use in the area.

Second by Shirley Katzenmeyer. Motion approved. Motion carried.

5. Discussion Items: We will be scheduling training with the Department of Natural Resources hopefully in the next few weeks. We also need to continue the discussion on ordinance revisions for short-term transient rental. We will contact you to set up meeting dates and times.

6. Warrants/Claim-signatures.

7. Motion to adjourn meeting by Shirley Katzenmeyer. Second by Doug Krenik. Motion approved. Motion carried.

Respectfully submitted,

Joshua Mankowski

Approved July 12, 2018

Tape of meeting is on file in the

Le Sueur County Environmental Services Office