



Le Sueur County, MN

Thursday, May 10, 2018

Regular session

Item 2

Chris Kubes/Kubes Realty-D&D Meyer Farms Inc Packet

Staff Contact: Joshua Mankowski or Michelle R. Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT: Chris Kubes-Kubes Realty
OWNER: D & D Meyer Farms
911 ADDRESS: New 290th St, New Prague, MN
PROJECT DESCRIPTION: To allow the applicant to transfer the development right from the NE 1/4 SW 1/4 to the SW 1/4 SW 1/4
PARCEL NUMBER: 07.005.7500
CUP NUMBER: 18027

SITE INFORMATION

LOCATION: SW 1/4, Section 5, Lanesburgh Township
ZONING DISTRICT: Agriculture
ZONING DISTRICT PURPOSE: The **Agriculture (A) District** is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.
GENERAL SITE DESCRIPTION: Agriculture, clustered residences
ACCESS: New off 290th Street, as approved by Township
EXISTING LAND USE WITHIN ¼ MILE:
North: Farmland South: Farmland, scattered residences
East: Farmland West: Church, County drainage ditch # 31, clustered residences

BACKGROUND INFORMATION

The landowner is proposing to transfer the development right from the NE/SW in a current farm field to the SW/SW on a proposed new 5.0-acre parcel. The building eligibility in the NE/SW meets the first dwelling in the quarter/quarter, meets separation distance to a feedlot and density standards in the section for the Ag District as well as performance standards i.e. buildable area, setbacks etc. Location transferred to in the SW/SW, meets performance standards i.e. buildable area, setbacks, separation distance to a feedlot, etc.

TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Tony Kubes from Lanesburgh Township was contacted on March 26, 2018 by applicant.

NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.
WETLANDS: According to the National Wetlands Inventory, a Type 1 wetland (adjacent to County drainage ditch #31) is located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, description of request, site plan, aerial photo, house plans, Letter from well driller, Letter from septic contractor,

STAFF FINDINGS

ZONING ORDINANCE SECTIONS: Section 8, Agriculture, Section 19, Subdivision 12, Transfer of Development Rights, Section 21, Conditional Use Permits

GOALS & POLICIES: The current Land Use Plan as adopted in 2007 does make reference to transferring of development rights.

GOAL #4:	Le Sueur County should adopt and enforce land use goals and policies that provide a wide range of Opportunity for Urban and Rural Housing Development.
Objective 1:	Le Sueur County should allow non-farm development to occur in agricultural areas, but with guidelines meant to reduce conflicts with agricultural operators.
Action 6:	Adopt a Transfer of Development Rights component to the zoning ordinance in which a property owner could transfer one development right from ¼ ¼ to an adjacent ¼ ¼.

ENVIRONMENTAL PERFORMANCE STANDARDS-SECTION 18

WETLAND:	Type 1 wetland located to the West, is adjacent to the County drainage ditch.
GRADING, EXCAVATING, OR FILLING:	No additional grading, excavating, or filling is necessary for construction.
DRAINAGE:	Cannot increase drainage to adjoining properties.

LAND PERFORMANCE STANDARDS-SECTION 19

ACCESS:	Minimum driving surface 14' in width, inslope no greater than 4:1, unobstructed vertical and horizontal clearance, minimum flat grade of at least 20' at access point to road.
SPECIFIC LAND USE:	Sending must have building eligibility and meet performance standards. Receiving must meet performance standards, and feedlot separation distance. Transfer involves contiguous quarter/quarters within Lanesburgh Township. Maximum of 4 dwellings in receiving quarter/quarter.

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.

8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
 - a. Traffic
 - b. The site is adequate for water supply and on-site sewage treatment.
 - c. A Conditional Use Permit for additional grading, excavating, and filling beyond should not be necessary to construct the proposed look-out basement. Grading, excavating, and filling for the basement, driveway and up to 500 cubic yards is part of the permitted use.

PLANNING AND ZONING COMMISSION CONDITIONS
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The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18027

Applicant: CHRIS KUBES-KUBES REALTY

Land Owner: D & D MEYER FARMS INC

Conditional Use Permit Request: TO ALLOW THE APPLICANT TO TRANSFER THE DEVELOPMENT RIGHT FROM THE NE/SW TO THE SW/SW.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application

I. Applicant:

Name DAVE MEYER / CHRIS KUBES KUBES REALTY
Mailing Address 115 1ST AVE SE SUITE 220
City NEW PRAGUE State MN Zip 56071
CHRIS KUBES Phone # 612-759-7831 Phone # _____
E-MAIL CHRISKUBES@KUBESREALTY.COM

II. Landowner:

Name D&D Meyer Farms Inc
Mailing Address 17937 290TH ST
City NEW PRAGUE State MN Zip 56071
Property Address 17840 290TH ST
City NEW PRAGUE State MN Zip 56071
Phone # _____ Phone # _____

III. Parcel Information:

Parcel Number 07.005.7500 Parcel Acreage 141.6
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township LANESBURG Section 05
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

LANESBURG Township notified on 3/26/2018
(Township Name) (Date)

Board Member Tony Kubes regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled**.
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater



VII. Type of Request:

- | | |
|--|---|
| <input type="checkbox"/> Self Service Storage | <input type="checkbox"/> Value Added Agriculture |
| <input type="checkbox"/> School/Church/Cemetery | <input type="checkbox"/> Antique Sales/Service/Repair |
| <input type="checkbox"/> Retail Nursery/Greenhouse | <input type="checkbox"/> Substation/Transmission Lines etc. |
| <input type="checkbox"/> School/Church/Cemetery | <input checked="" type="checkbox"/> Other <u>TDR</u> |

VIII. Description of Request:

a. A full description of request with detailed information must be attached. *2 existing Home zone*

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: New Home
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: N/A
3. LIST OF PUBLIC HEALTH PLANS:
 - i. Water Supply: Private Well
 - ii. Toilet facilities: Private Sewer
 - iii. Solid Waste Collection: Lakers New Prague Sanitary
4. FIRE PREVENTION: _____
5. SECURITY PLANS: _____
6. RETAIL SALES: _____
7. FOOD OR ALCOHOL SERVED OR FOR SALE: _____
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.) _____
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC: _____
10. EXTERIOR LIGHTING: _____
11. PARKING AND LOADING: Private driveway
12. SIGNAGE: _____
13. ROAD ACCESS: (Approved by the road authority) Lanesburg Township
14. CERTIFICATE OF INSURANCE: _____
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) _____

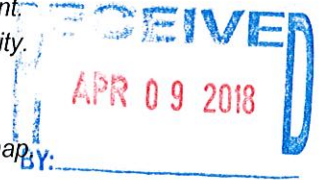
IX. Site Plan: Shall include but not limited to the following:

- | | | | |
|---------------------|-----------|-----------------------|----------------------------|
| • North point | • Lake | • Existing Structures | • Septic system |
| • Setbacks | • River | • Proposed Structures | • Well |
| • Property Lines | • Wetland | • Lot Dimensions | • Access (size & location) |
| • Road Right-Of-Way | • Stream | • Ponds | • Easements |
- Parking (Size & location-if applicable to application)
 - Landscape, screening and buffering (if applicable to application)
 - Location of significant trees to be removed (if applicable to application)



X. Attachments: shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full legal description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion control plan**-Attach completed and signed plan including map.
- h. **Floor plans and/or blue prints**



XI. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Dore Meyer 4-06-18
Applicant signature Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Dore Meyer D&D Meyer Farms 4-6-18
Property Owner signature Date

OFFICE USE ONLY

Request: TDR NELS to SW/SW

Pre-App Date <u>4-9-18</u>	Lake Classification <u>/</u>	Feedlot	500'	1000'	N
Meeting Date <u>5-10-18</u>	Lake	Wetland Type	1-2	3-8	N
60 Day <u>6-8-18</u>	FEMA Panel # 27079C0 <u>088</u>	Water courses	Y	N	
Zoning District <u>A</u>	Flood Zone <u>X-outside</u>	Bluff	Y	N	

- | | | | |
|---|---|---|--|
| <input checked="" type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval | <input checked="" type="checkbox"/> Septic | Comp Insp / Design
Reg / ATF / Spec |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Erosion Control Plan | <input checked="" type="checkbox"/> Meeting | |
| <input checked="" type="checkbox"/> Full Legal | <input checked="" type="checkbox"/> Blue Prints | <input type="checkbox"/> Fee | \$ <u>796-</u> |
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Other | <input type="checkbox"/> Penalty | \$ |

Application Complete Michelle R. Mittels 4-9-18 18027
Planning & Zoning Department Signature Date Permit #

CB 5-22-18

3/22/18

Michelle R. Mettler
LeSueur Environmental Services
88 South Park Ave.
LeCenter, MN 56057

Hello Michelle,

This letter is in regards to transferring 5 acres of my property to my son Chad Meyer. The building eligibility right that is now on the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section #5 will need to be moved next to my house where he intends to build this year. Please see the attached survey.

Thank you,
Dave Meyer

Dave Meyer
4-6-18

D & D Meyer Farm Inc.

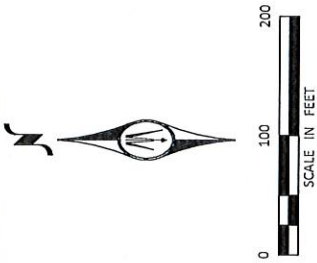
RECEIVED
APR 09 2018

BY: *MJM*

PROPOSED DESCRIPTION

That part of the Southwest Quarter of Section 5, Township 112 North, Range 23 West, Le Sueur County, Minnesota, described as follows: Commencing at the Southwest Corner of said Section 5; thence South 89 degrees 40 minutes 09 seconds East (bearings based of Le Sueur County Coordinate System NAD83, 1996 Adjustment) on the south line of said Section 5, a distance of 999.85 feet to the East line of the West 999.70 feet of the Southwest Quarter of the Southwest Quarter of said Section 5, also being the point of beginning; thence North 00 degrees 38 minutes 58 seconds West on said east line, a distance of 475.07 feet; thence South 89 degrees 40 minutes 09 seconds East, a distance of 458.62 feet; thence South 00 degrees 38 minutes 58 seconds East, a distance of 475.07 feet to the south line of said Section 5; thence North 89 degrees 40 minutes 09 seconds West on said south line, a distance of 458.62 feet to the point of beginning.

Said parcel contains 5.00 acres of land.



LEGEND

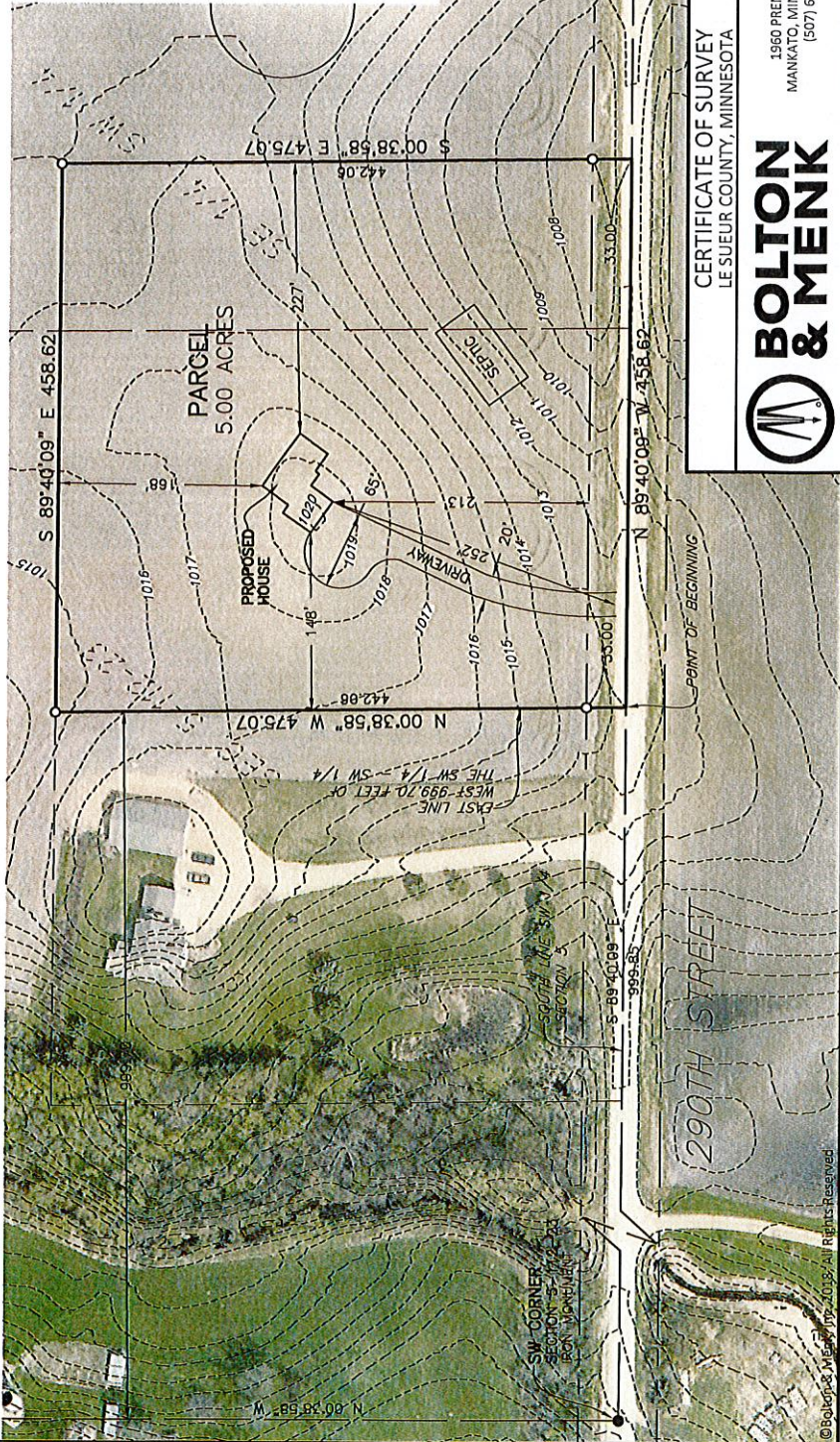
- 3/4" IRON PIPE MONUMENT SET MARKED BY L.I.C. NO. 19789
- MONUMENT FOUND

SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Rory Jensen
 Rory Jensen
 License Number 19789
 Date 3/09/2018

REVISED ORIGINAL SURVEY: 3-23-2018



CERTIFICATE OF SURVEY
 LE SUEUR COUNTY, MINNESOTA



1960 PREMIER DRIVE
 MANKATO, MINNESOTA 56001
 (507) 625-4171

THAT PART OF THE SW 1/4 OF SECTION 5,
 TOWNSHIP 112 NORTH, RANGE 23 WEST,
 MINNESOTA
 FOR: KUBES REALTY
 MEYER FARM

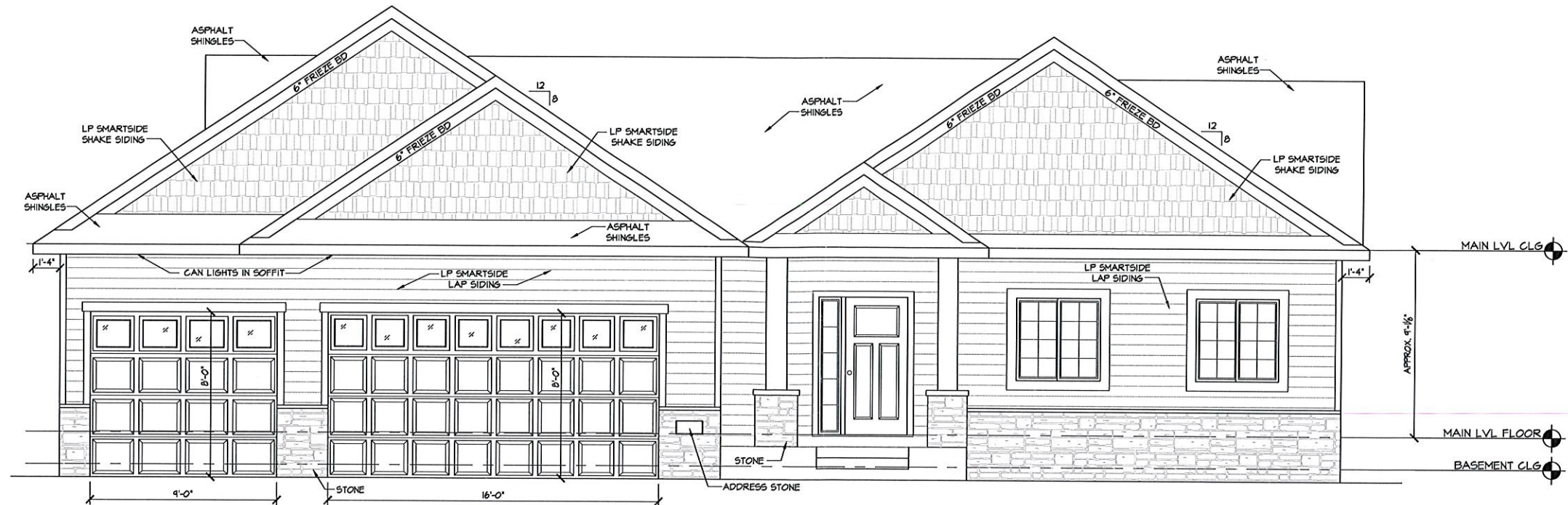
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SDB115926H

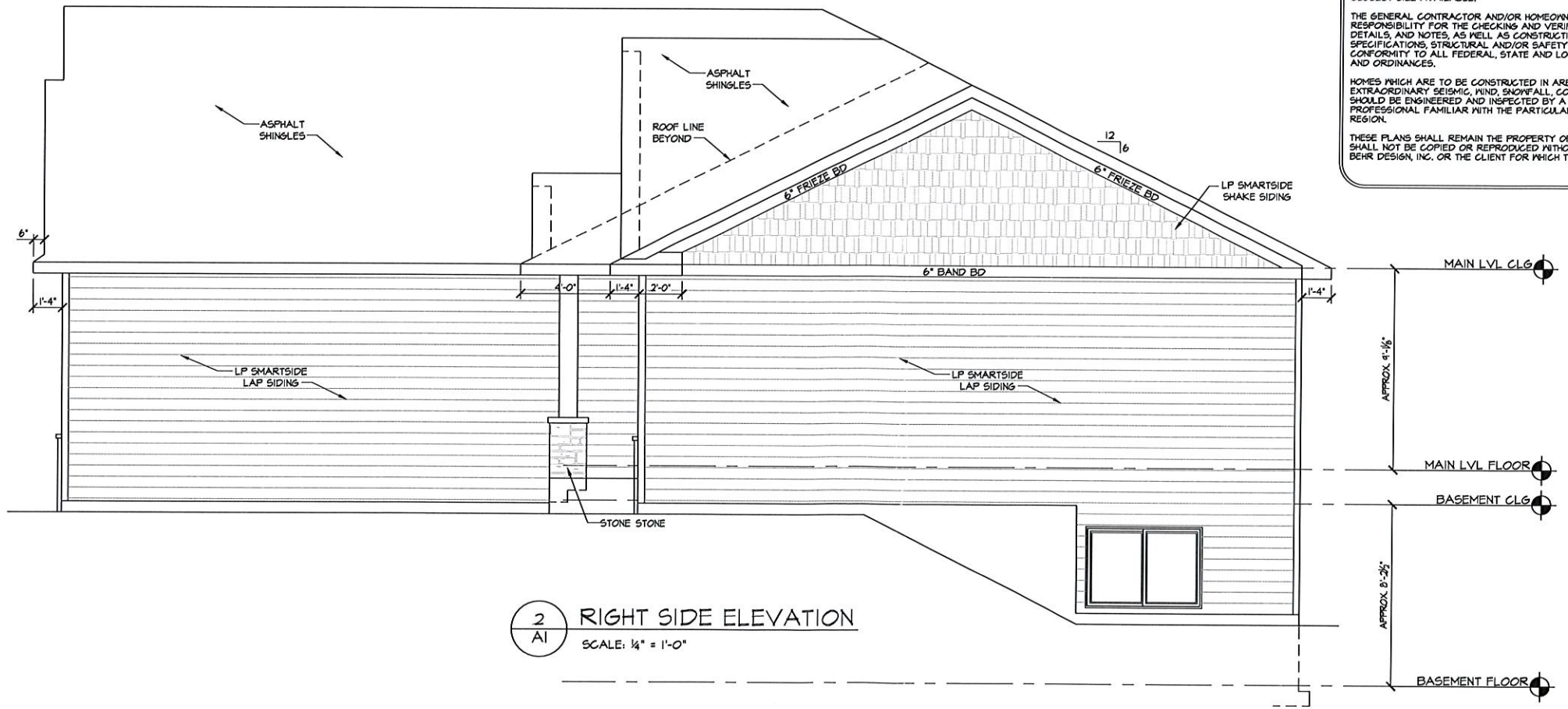
JOB NUMBER: M33.115926 FIELD BOOK: N/A

DRAWN BY: JLA

4.0 55-1112N-R23W



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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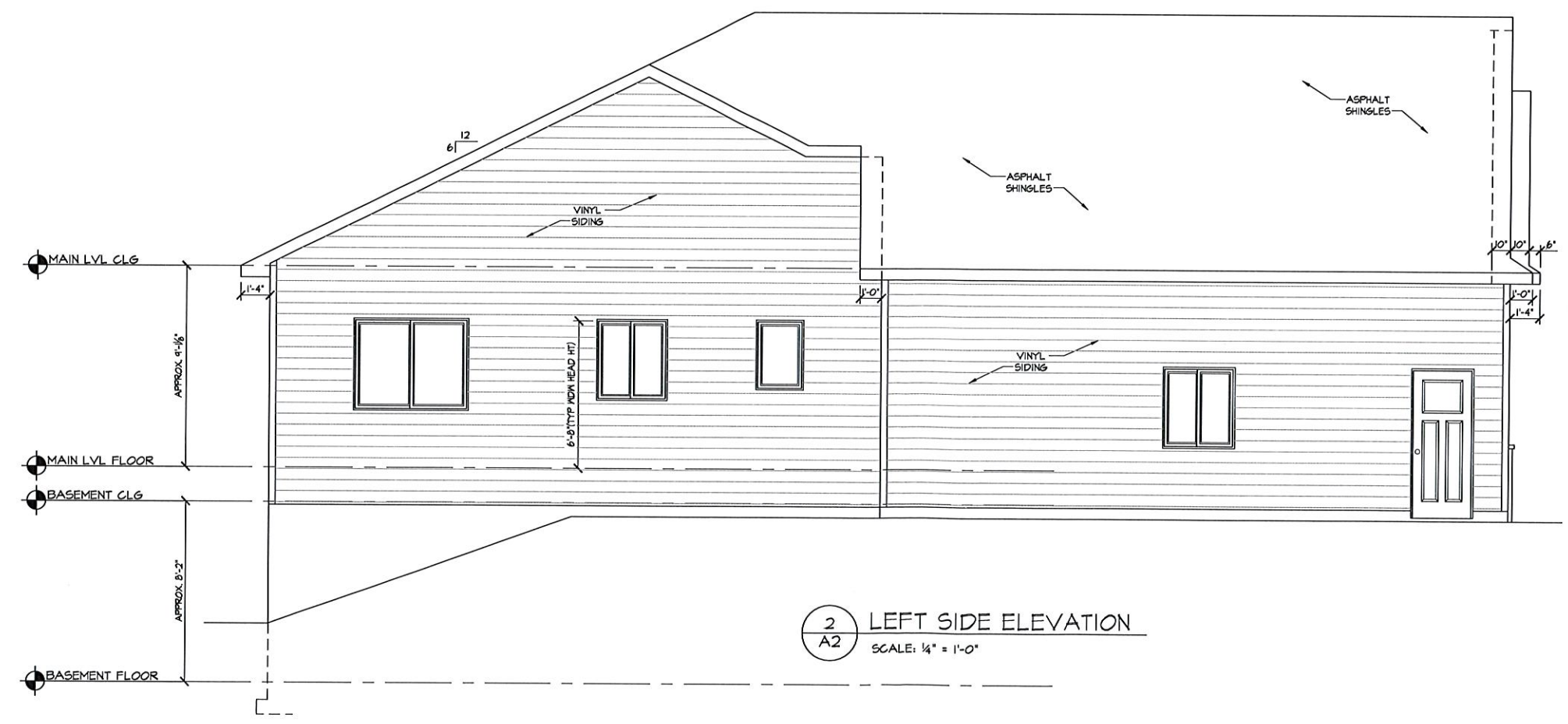
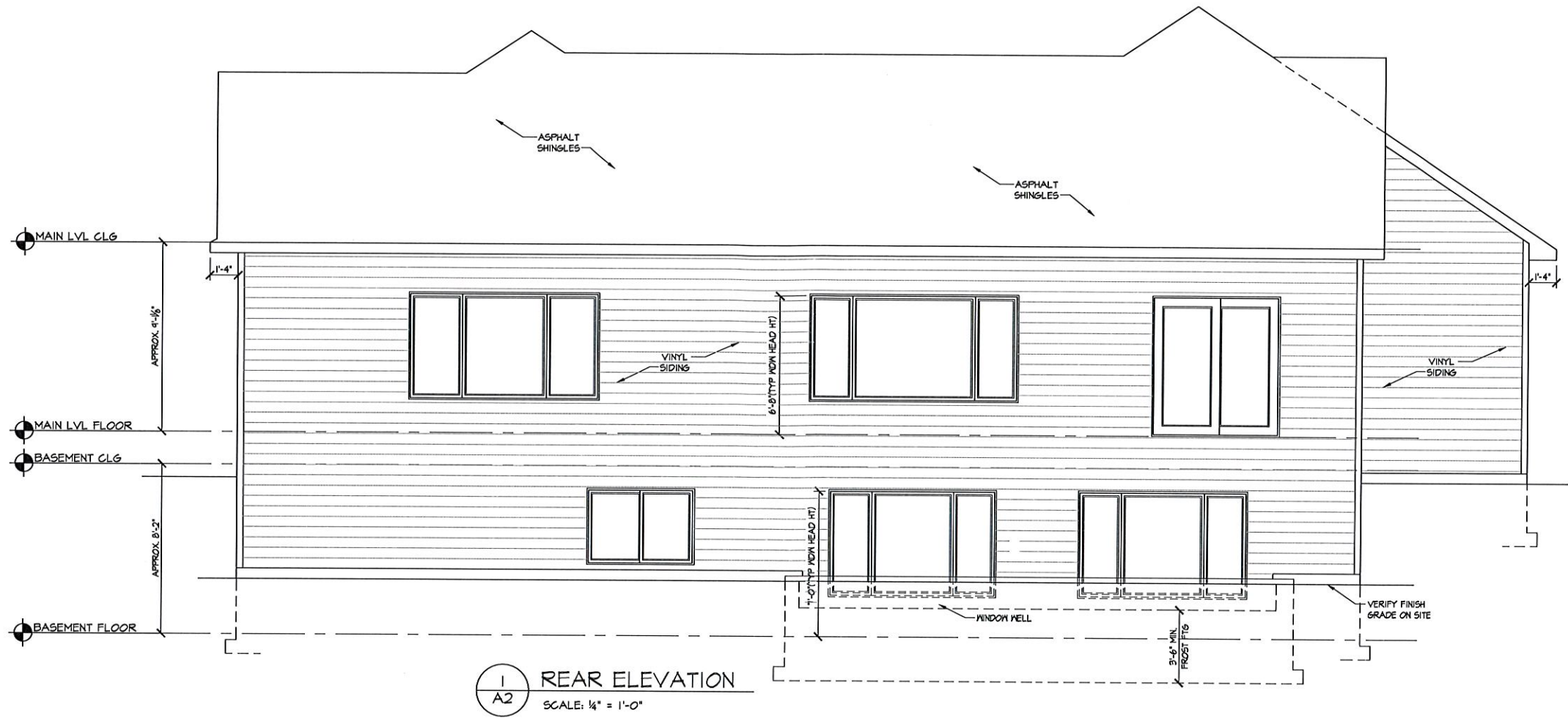
CUSTOM DESIGN FOR...
Meyer Residence
— MN

KUBES REALTY

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PROJECT NO.: 18-0186
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A1
EXTERIOR
ELEVATIONS

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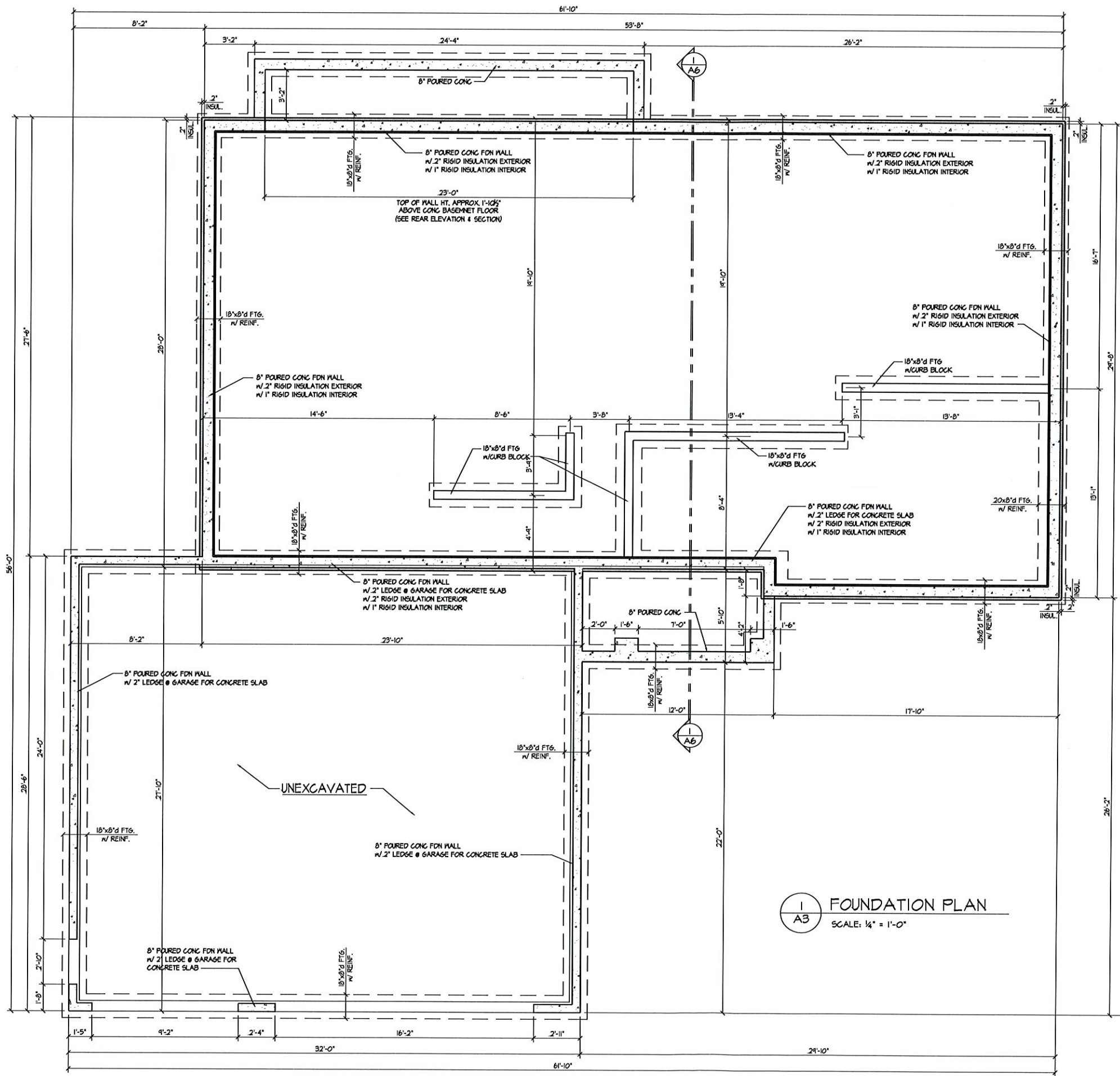
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 MN

KUBES REALTY

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SHEET NO.
A2
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1 FOUNDATION PLAN
A3
SCALE: 1/4" = 1'-0"

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MEYER RESIDENCE
—, MN

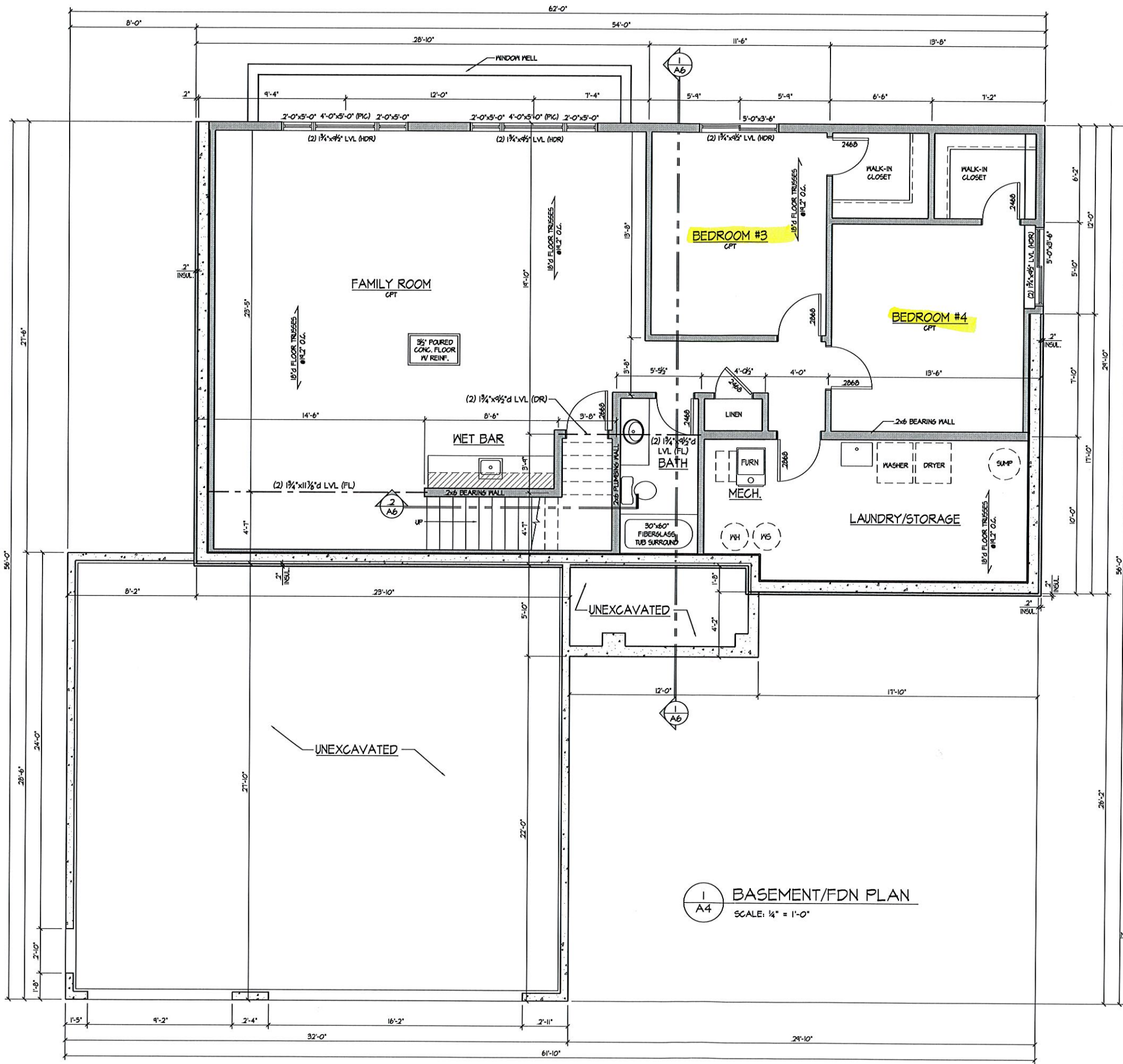
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SHEET NO.
A3
FOUNDATION FLOOR PLAN

- NOTES:
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG MALL WINDOW & DOOR OPN'GS WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)





1
A4
BASEMENT/FDN PLAN
SCALE: 1/4" = 1'-0"

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 THE GENERAL CONTRACTOR AND/OR HOMEOWNER SHALL ASSUME FULL RESPONSIBILITY FOR THE CHECKING AND VERIFICATION OF DIMENSIONS, DETAILS, AND NOTES, AS WELL AS CONSTRUCTION TECHNIQUES, SPECIFICATIONS, STRUCTURAL AND/OR SAFETY REQUIREMENTS AND CONFORMITY TO ALL FEDERAL, STATE AND LOCAL BUILDING CODES, LAWS AND ORDINANCES.
 HOMES WHICH ARE TO BE CONSTRUCTED IN AREAS THAT ARE SUBJECT TO EXTRAORDINARY SEISMIC, WIND, SNOWFALL, GOLF OR FLOOD ISSUES SHOULD BE ENGINEERED AND INSPECTED BY A CONSTRUCTION PROFESSIONAL FAMILIAR WITH THE PARTICULAR CONDITIONS OF THAT REGION.
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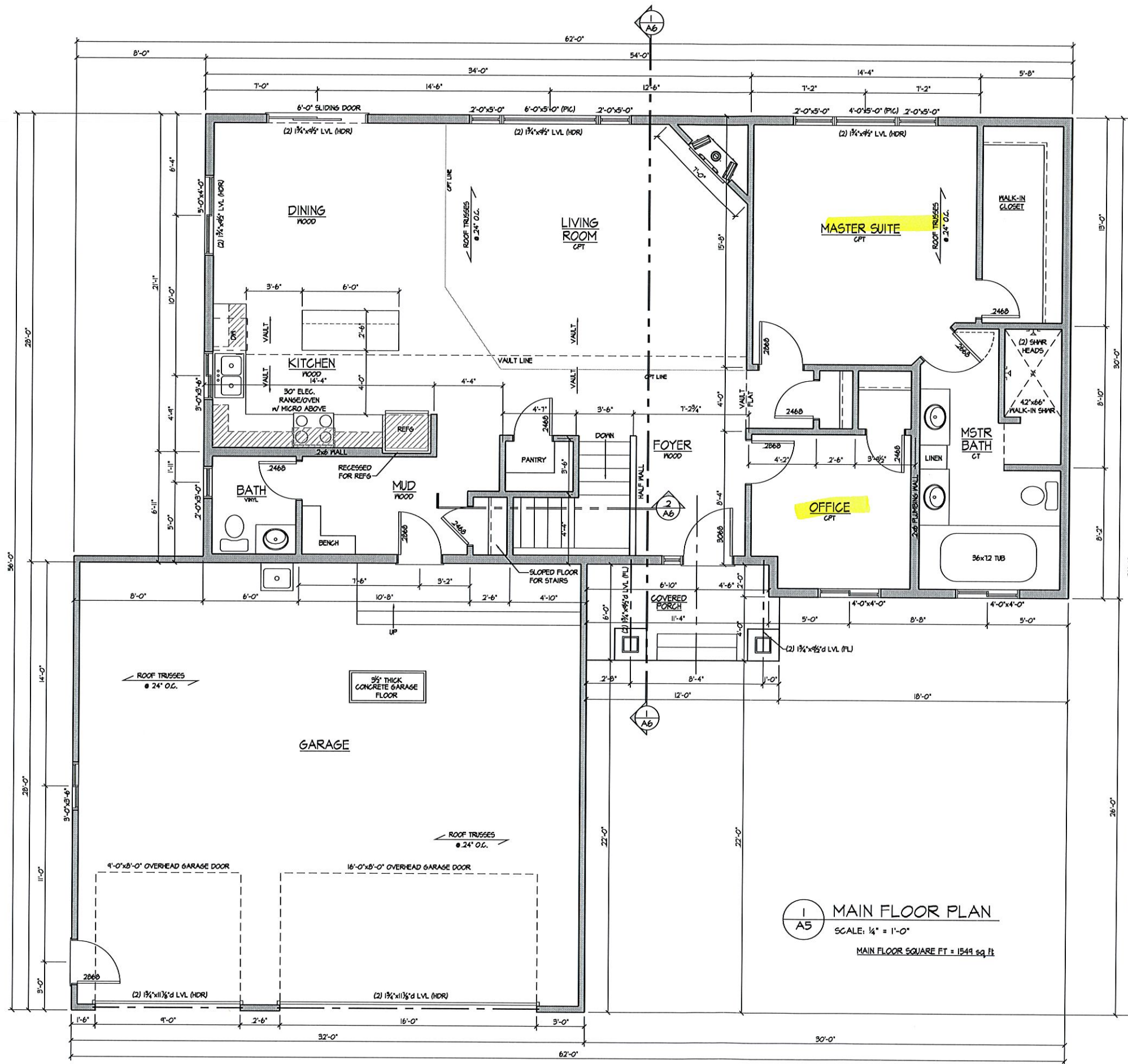
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SHEET NO.
A4
 BASEMENT FLOOR PLAN

- NOTES:
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG. WALL WINDOW & DOOR OPNG'S WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)





1
A5 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
MAIN FLOOR SQUARE FT = 1549 sq ft

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SIZES OF MATERIALS AND PRODUCTS SPECIFIED ON THESE PLANS REFLECT ACCEPTED INDUSTRY STANDARDS AND IN NO WAY INDICATE A SPECIFIC MANUFACTURER, UNLESS REQUESTED BY THE CLIENT. IN THE CASE OF DOORS AND WINDOWS, GENERIC SIZES ARE SPECIFIED UNLESS NOTED OTHERWISE AND IT IS ASSUMED THAT THE SUPPLIER WILL BID AND USE THE CLOSEST SIZE AVAILABLE.
THE GENERAL CONTRACTOR AND/OR HOMEOWNER SHALL ASSUME FULL RESPONSIBILITY FOR THE CHECKING AND VERIFICATION OF DIMENSIONS, DETAILS, AND NOTES, AS WELL AS CONSTRUCTION TECHNIQUES, SPECIFICATIONS, STRUCTURAL AND/OR SAFETY REQUIREMENTS AND CONFORMITY TO ALL FEDERAL, STATE AND LOCAL BUILDING CODES, LAWS AND ORDINANCES.
HOMES WHICH ARE TO BE CONSTRUCTED IN AREAS THAT ARE SUBJECT TO EXTRAORDINARY SEISMIC, WIND, SNOWFALL, COLD OR FLOOD ISSUES SHOULD BE ENGINEERED AND INSPECTED BY A CONSTRUCTION PROFESSIONAL FAMILIAR WITH THE PARTICULAR CONDITIONS OF THAT REGION.
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CUSTOM DESIGN FOR...
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—, MN

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SHEET NO.
A5
MAIN FLOOR PLAN

- NOTES:
- 1) ALL BRG. HEADERS ARE TO BE (2)-2x10 UNLESS NOTED OTHERWISE (UNO).
 - 2) OWNER/CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES.
 - 3) OWNER/CONTRACTOR TO SPEC. ALL FLOORING MATERIAL.
 - 4) OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - 5) ALL BRG. MALL WINDOW & DOOR OPNS'S WIDER THAN 48" REQUIRE (2) TRIMMERS MIN. UNDER EA. SIDE OF HEADER.
 - 6) (FL) - FLUSH BEAM, (DR) DROPPED BEAM
 - 7) ALL HEADERS ARE DROPPED UNLESS NOTED (FL)

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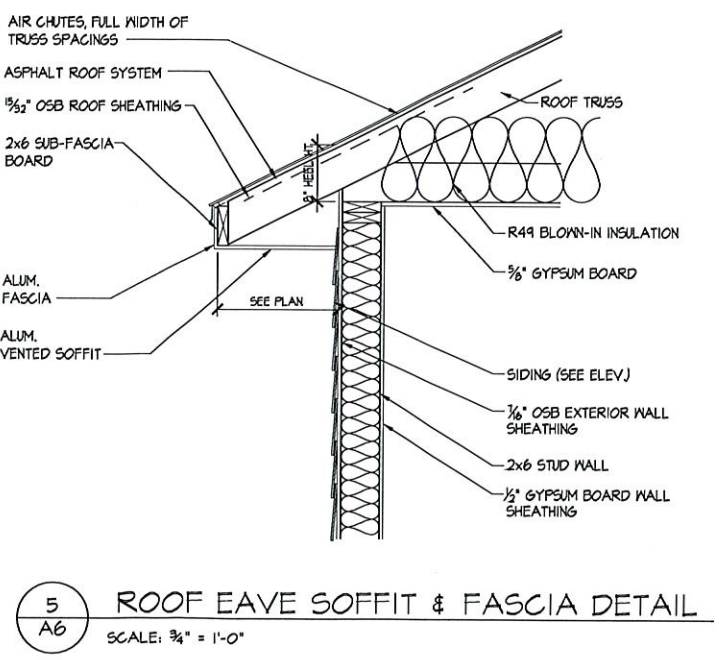
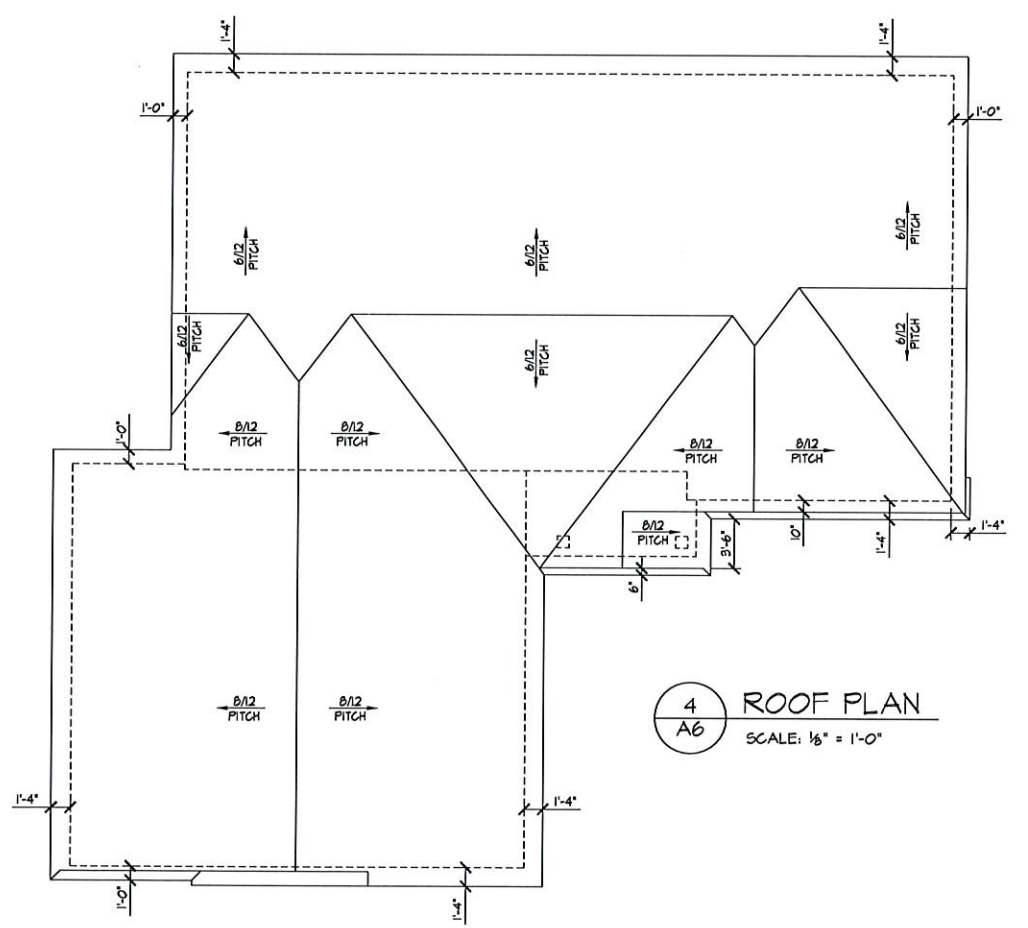
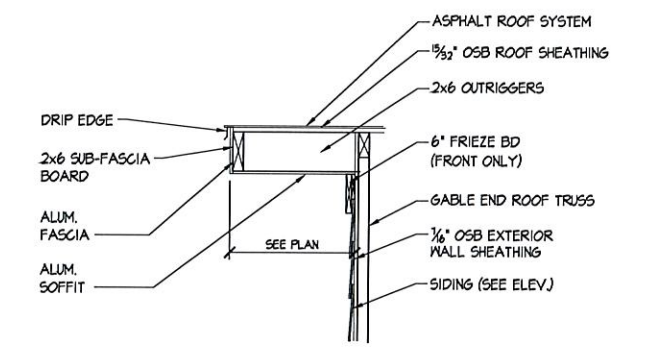
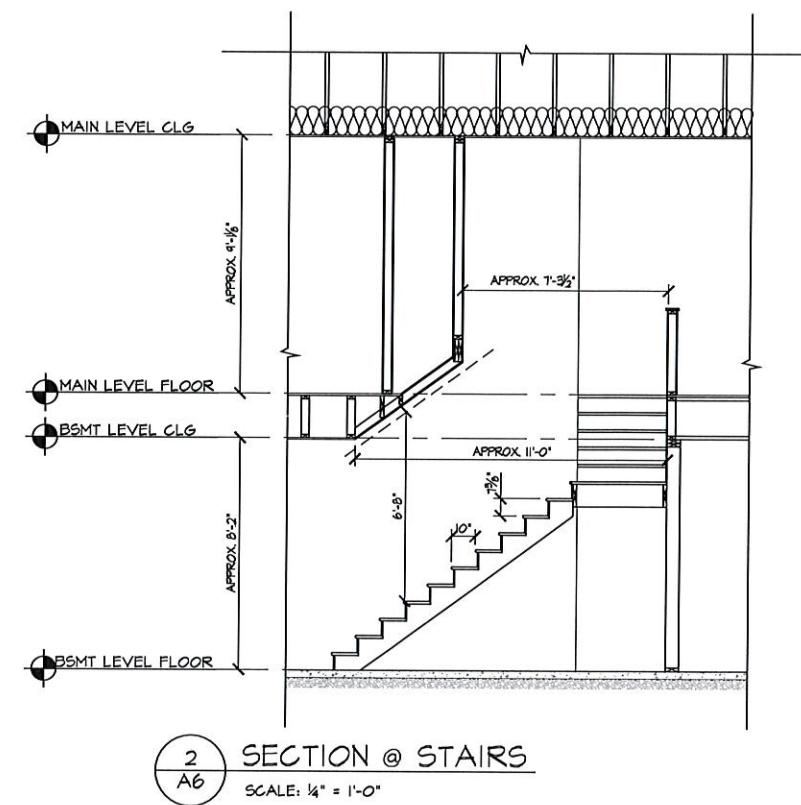
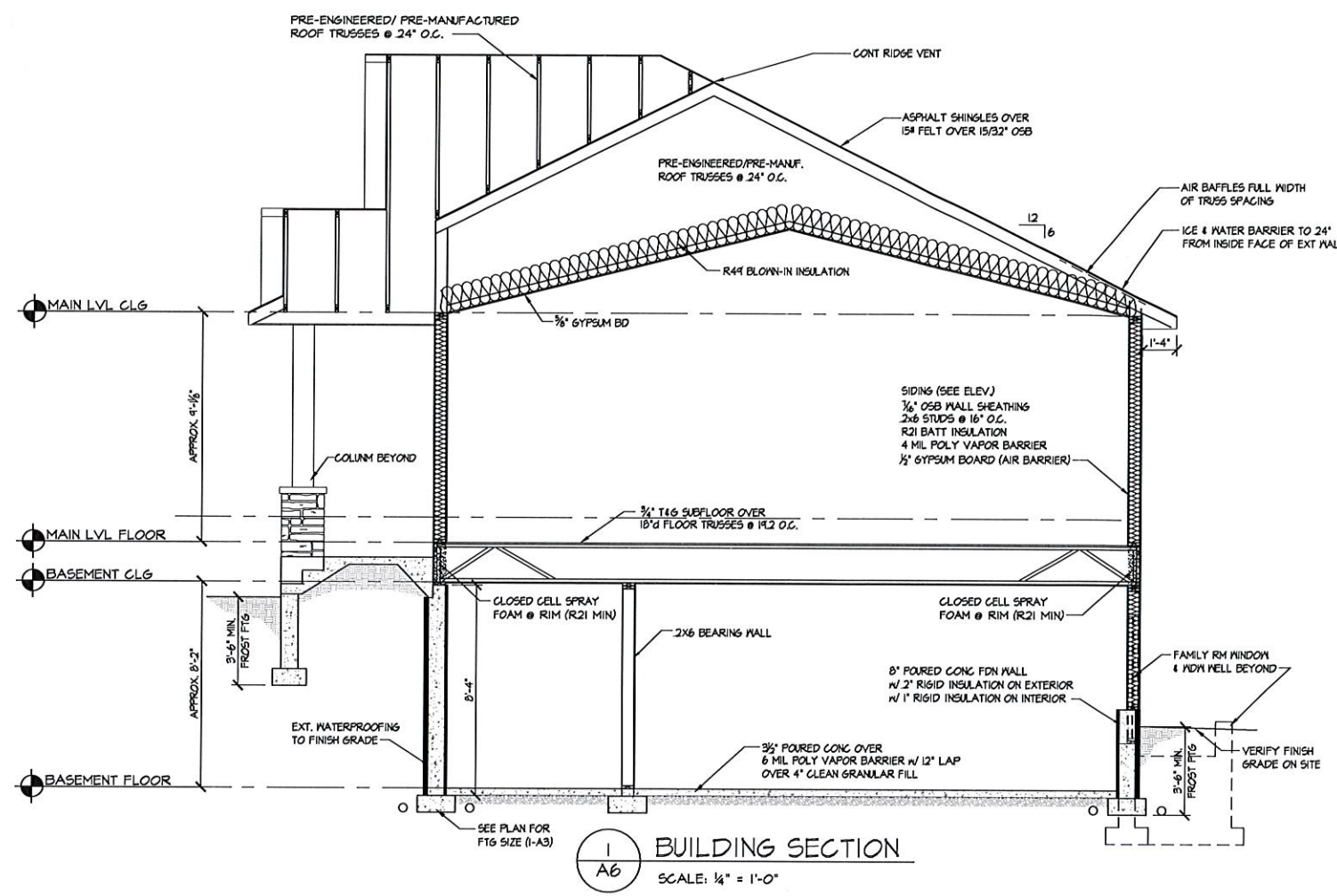


CUSTOM DESIGN FOR...
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SHEET NO.
A6
ROOF PLAN
& SECTION



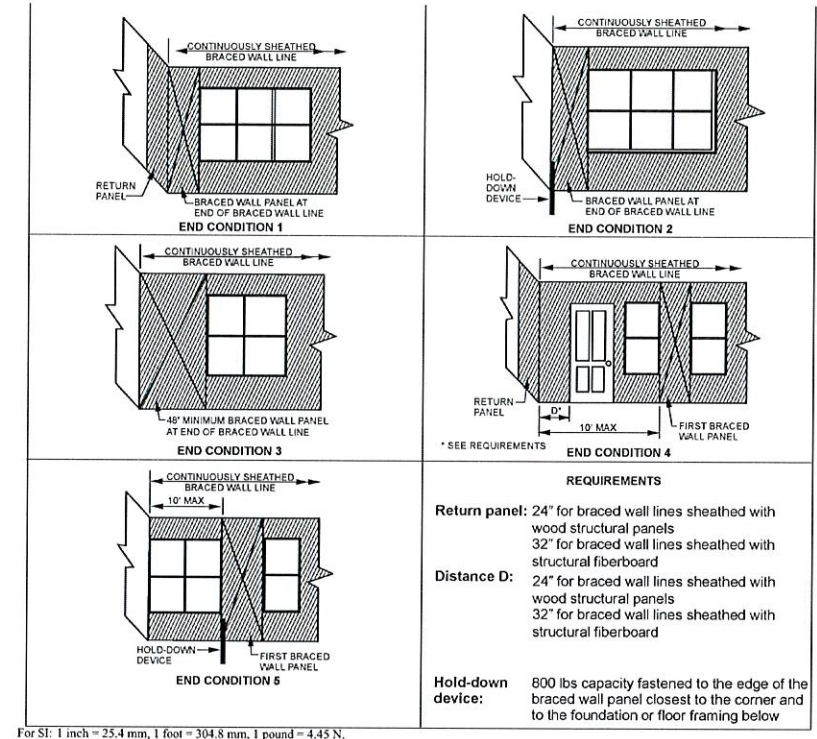
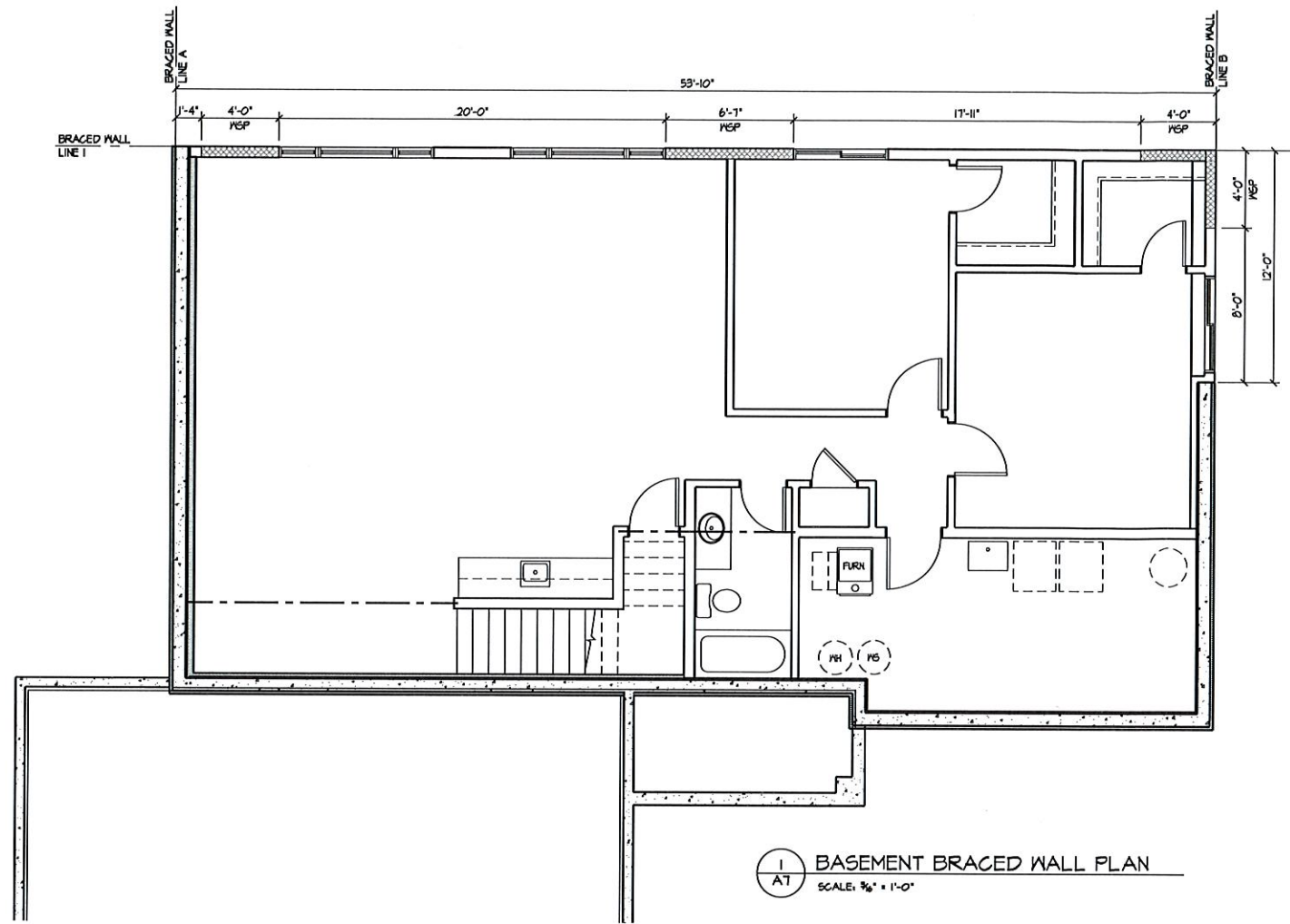


FIGURE R602.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

**TABLE R602.10.4
BRACING METHODS**

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
LIB Let-in-bracing	1 x 4 wood or approved metal straps at 45° to 60° angles for maximum 16" stud spacing		Wood: 2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails Metal strap: per manufacturer	Wood: per stud and top and bottom plates Metal: per manufacturer
DWB Diagonal wood boards	3/8" (1" nominal) for maximum 24" stud spacing		2-8d (2 1/2" long x 0.113" dia.) nails or 2 - 1 1/2" long staples	Per stud
WSP Wood structural panel (See Section R604)	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
WV-WSP Wood Structural Panels with Stone or Masonry Veneer (See Section R602.10.6.5)	3/16"	See Figure R602.10.6.5	8d common (2 1/2" x 0.131") nails	4" at panel edges 12" at intermediate supports 4" at braced wall panel end posts
SFB Structural fiberboard sheathing	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 0.12" dia. (for 1/2" thick sheathing) 1 1/2" long x 0.12" dia. (for 5/8" thick sheathing) galvanized roofing nails or 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
GB Gypsum board	1/2"		Nails or screws per Table R602.3(1) for exterior locations Nails or screws per Table R702.3.5 for interior locations	For all braced wall panel locations: 7" edges (including top and bottom plates) 7" field
PBS Particleboard sheathing (See Section R605)	3/8" or 1/2" for maximum 16" stud spacing		For 3/8", 6d common (2" long x 0.113" dia.) nails For 1/2", 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
PCP Portland cement plaster	See Section R703.6 for maximum 16" stud spacing		1 1/2" long, 11 gage, 7/16" dia. head nails or 7/8" long, 16 gage staples	6" o.c. on all framing members
HPS Hardboard panel siding	3/8" for maximum 16" stud spacing		0.092" dia., 0.225" dia. head nails with length to accommodate 1 1/2" penetration into studs	4" edges 8" field
ABW Alternate braced wall	3/8"		See Section R602.10.6.1	See Section R602.10.6.1

(continued)

**TABLE R602.10.4—continued
BRACING METHODS**

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
PFH Portal frame with hold-downs	3/8"		See Section R602.10.6.2	See Section R602.10.6.2
PFG Portal frame at garage	7/16"		See Section R602.10.6.3	See Section R602.10.6.3
CS-WSP Continuously sheathed wood structural panel	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
CS-G* Continuously sheathed wood structural panel adjacent to garage openings	3/8"		See Method CS-WSP	See Method CS-WSP
CS-PF Continuously sheathed portal frame	7/16"		See Section R602.10.6.4	See Section R602.10.6.4
CS-SFB* Continuously sheathed structural fiberboard	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 0.12" dia. (for 1/2" thick sheathing) 1 1/2" long x 0.12" dia. (for 5/8" thick sheathing) galvanized roofing nails or 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field

For SI: 1 inch = 25.4 mm, 1 foot = 305 mm, 1 degree = 0.0175 rad, 1 pound per square foot = 47.8 N/m², 1 mile per hour = 0.447 m/s.
a. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Categories C, D_s, D₁, and D₂.
b. Applies to panels next to garage door opening when supporting gable end wall or roof load only. May only be used on one wall of the garage. In Seismic Design Categories D_s, D₁, and D₂, roof covering dead load may not exceed 3 psf.
c. Garage openings adjacent to a Method CS-G panel shall be provided with a header in accordance with Table R502.5(1). A full height clear opening shall not be permitted adjacent to a Method CS-G panel.
d. Method CS-SFB does not apply in Seismic Design Categories D_s, D₁, and D₂ and in areas where the wind speed exceeds 100 mph.
e. Method applies to detached one- and two-family dwellings in Seismic Design Categories D_s through D₂ only.

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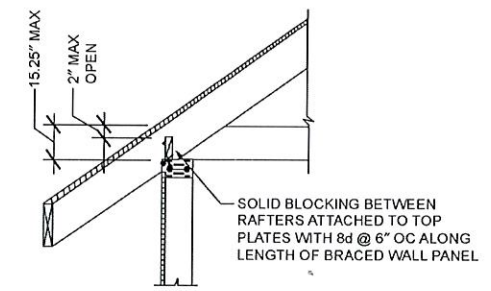
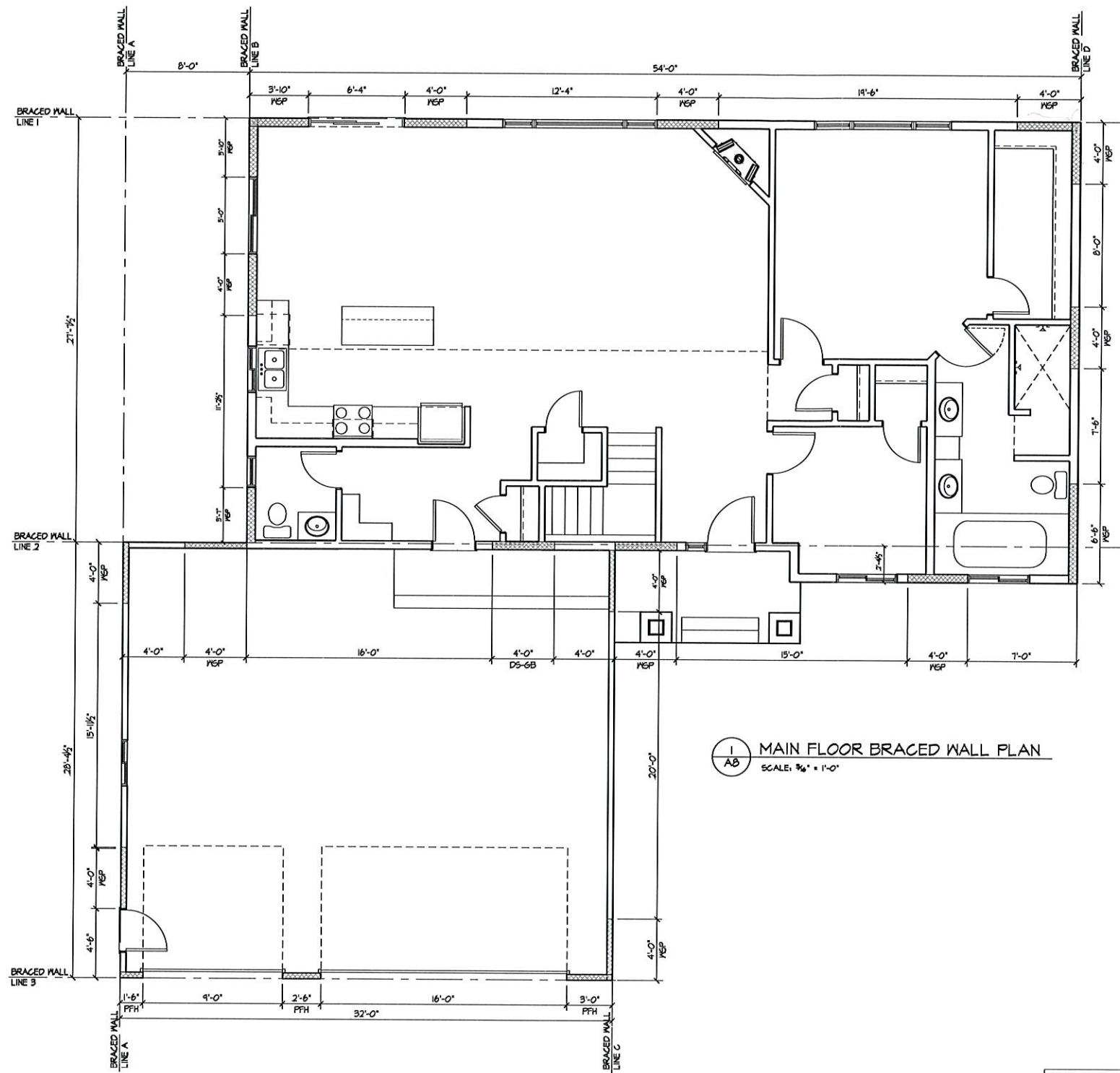
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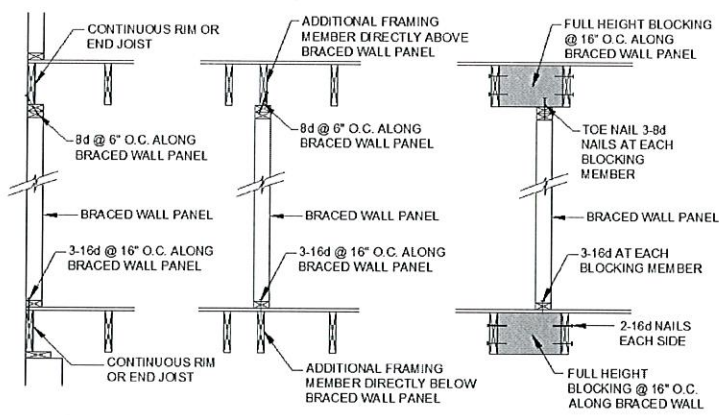
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SHEET NO.
A7
BRACED WALL
PLAN & DETAILS

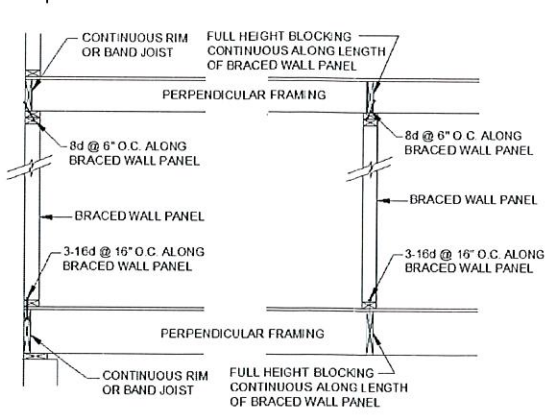
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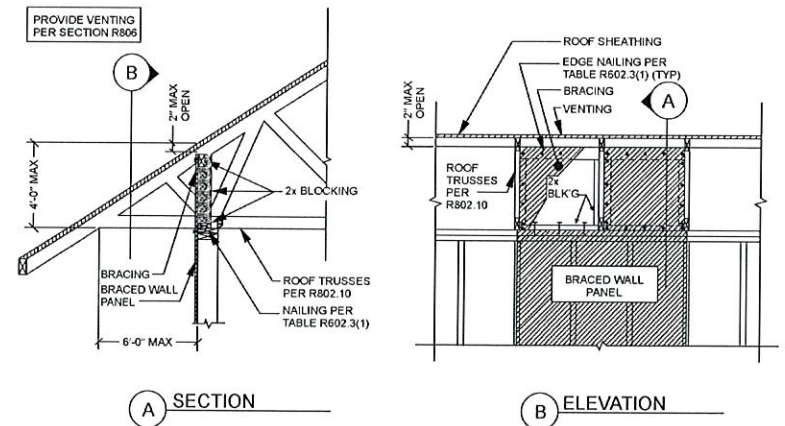
For SI: 1 inch = 25.4 mm.



For SI: 1 inch = 25.4 mm.



For SI: 1 inch = 25.4 mm.



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.
a. Methods of bracing shall be as described in Section R602.10.4.

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CUSTOM DESIGN FOR...
Meyer Residence
—, MN

KUBES REALTY

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SHEET NO.
A8
BRACED WALL
PLAN & DETAILS

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APR 09 2018

April 9, 2018

To Whom it may Concern:

Jaeckels Well Service Inc. will be constructing a new well on the Meyer property at 17840 290th St New Prague for a new home.

Thank you,



Shawn Jaeckels

Jaeckels Well Service, Inc.

29298 Farm Lane

New Prague, MN 56071

952-758-6812



Chris Kubes

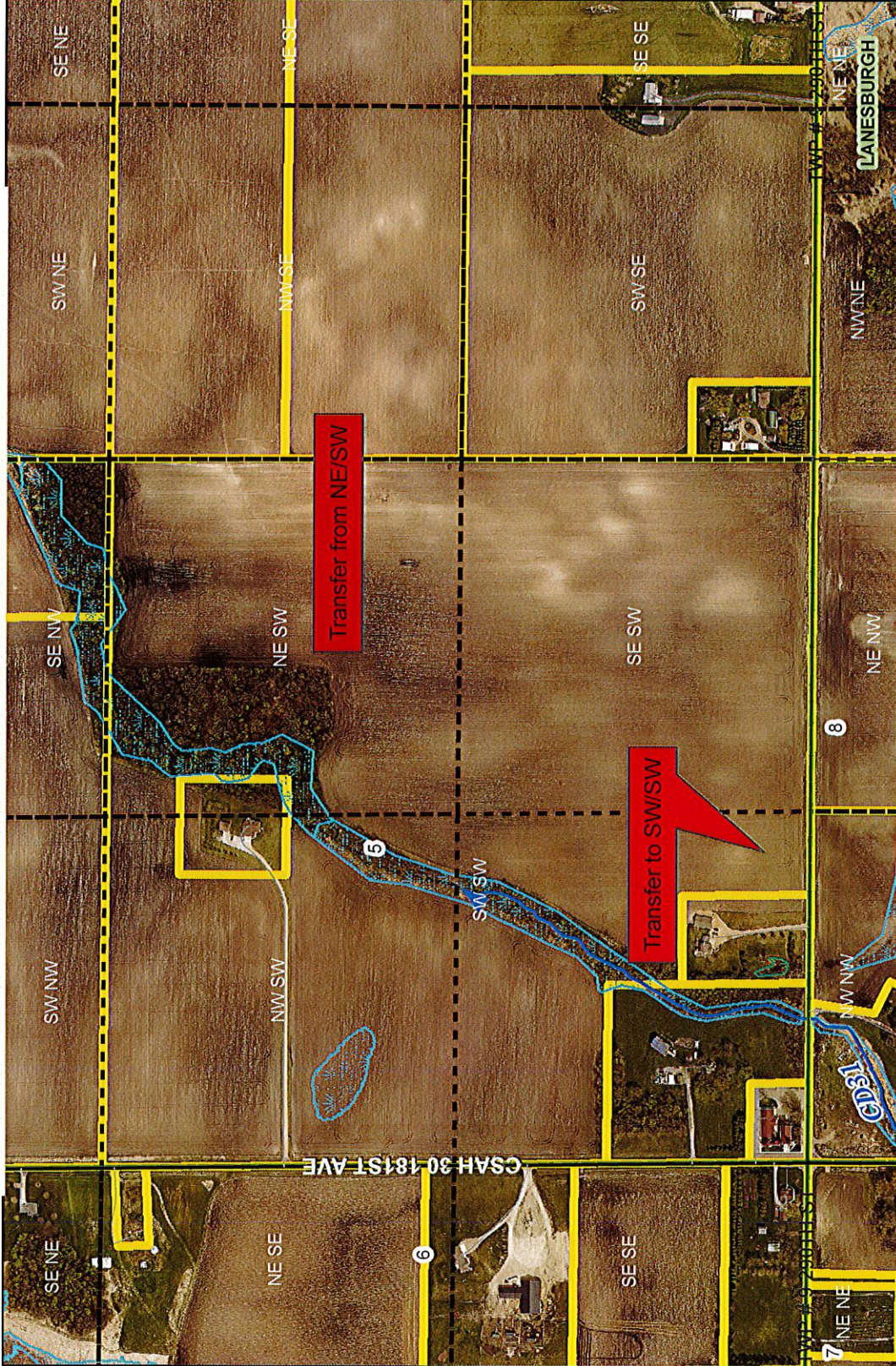
From: Randy Trnka <rtexcavating@frontiernet.net>
Sent: Friday, April 6, 2018 5:30 PM
To: chriskubes@kubesrealty.com
Subject: Septic sites

The site at 17840 290th ST New Prague was viewed on site for septic sites. There is more than adequate space for a primary and secondary septic sites. The Web Soil Survey shows adequate soils for these sites as well.

Randy Trnka
RT Excavating & Services Inc.
20139 Lexington Rd
Le Center, MN 56057
612-741-5492

LE SUEUR COUNTY ENVIRONMENTAL SERVICES

NAME: Meyer
 PID: 07.005.7500
 DATE: DATE
 FIRM #: 27079C0 088D
 F-Zone: X-outside
 RFPE: na
 District: Agriculture



5	4	3 NEWPRAGUE	2
8	9	10	11
17	16	15	14

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