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# **Le Sueur County, MN**

**Thursday, May 10, 2018**

**Regular session**

## **Item 1**

### **Camas Inc-Yellow Real Estate LLC Packet**

Staff Contact: Joshua Mankowski or Michelle R. Mettler

# STAFF REPORT

## GENERAL INFORMATION

<b>APPLICANT:</b>	Camas Inc
<b>OWNER:</b>	Yellow Real Estate LLC
<b>911 ADDRESS:</b>	40463 261 <sup>st</sup> Ave, Le Center, MN
<b>PROJECT DESCRIPTION:</b>	To allow the applicant to establish and operate a value-added agriculture use business of developing, processing and selling farm animal nutritional supplements
<b>PARCEL NUMBER:</b>	18025
<b>CUP NUMBER:</b>	01.001.0400

## SITE INFORMATION

<b>LOCATION:</b>	NW 1/4 & SW 1/4, Section 1, Cleveland Township
<b>ZONING DISTRICT:</b>	Agriculture
<b>ZONING DISTRICT PURPOSE:</b>	The <b>Agriculture (A) District</b> is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils.
<b>GENERAL SITE DESCRIPTION:</b>	4.77-acre parcel, existing building, rural
<b>ACCESS:</b>	Existing off State Highway 99 and County Road 112
<b>EXISTING LAND USE WITHIN 1/4 MILE:</b>	
North: Farmland	South: Farmland, state highway
East: Farmland, state highway	West: Dwelling, farmland, county road

## BACKGROUND INFORMATION

The property is a triangular-shaped 4.77-acre parcel in an Ag district, between two roads, with existing buildings located on the site, existing access to County Road, existing access to State Highway. Originally the site was McCabe Tiling, a permitted use in the Ag district. In 2005 a Conditional Use Permit (CUP) was approved for Agri-Polymerix to operate a production facility to include warehouse and office space. A large addition was constructed to the existing building and a new septic system was installed. In 2008 a CUP was approved for Fantini North America LLC to operate an Ag Machinery sales and service to include a paint shop and office space. Both CUP's have since expired for lack of use. Current proposal is for a Value-Added Ag use, a Conditional Use in the Ag district. Camas intends to use existing structures, with some interior modifications, and existing septic system. A new Industrial By-Product (IBP) tank will be stalled for processing waste.

## TOWNSHIP BOARD NOTIFICATION

Public Notice sent to Township via mail. Pat McCabe from Cleveland Township was contacted on February 28, 2018 by applicant.

## NATURAL RESOURCES INFORMATION

<b>SHORELAND:</b>	The proposal is not located within the Shoreland District.
<b>WETLANDS:</b>	According to the National Wetlands Inventory, no wetlands are located in the quarter-quarter section where the project is proposed.

## ATTACHMENTS

Application, description of request, site plan, aerial photo, IBP tank information, site plan for proposed IBP tank, parking site plan, existing structure plans, access approvals, Department of Ag Commercial Feed Licenses, Le Sueur County Solid Waste Officer Letter,

## STAFF FINDINGS

**ZONING ORDINANCE SECTIONS:** Section 8, Agriculture, Subdiv. 3.E. Section 19, Land Use Performance Standards, Section 21, Conditional Use Permits.

**GOALS & POLICIES:** The current Land Use Plan as adopted in 2007 makes reference to conserve and protect agricultural resources and uses.

**GOAL #1:** Le Sueur County contains some of the most productive agricultural soils in Minnesota and should adopt and enforce land use goals and policies that conserve and protect agricultural resources and uses.

**Objective 1:** The County will protect the best of its agricultural land as a resource for long term agricultural use.

**Action 1:** The County will continue using an Agricultural District with the ultimate aim being to preserve large contiguous agricultural land tracts for agricultural use.

## LAND PERFORMANCE STANDARDS-SECTION 19

### ACCESS:

- Existing access off State Highway 99, see MN DOT driveway permit.
- Existing access of County Road 112, see County Engineer email.
- Minimum driving surface 14 feet in width.
- Inslope no greater than 4:1.
- Unobstructed vertical and horizontal clearance.
- Minimum flat grade of at least 20 feet at access point to road.
- The number and width of access drives shall be located to minimize traffic congestion and hazards.

### PARKING:

- Parking minimum size requirements: 8 ½ feet in wide, 20 feet in depth, 300 square feet in area.
- Manufacturing or processing plant: Three (3) parking spaces plus one (1) per employee on the major shift. 10 employees.
- Thirteen (13) total required number of parking spaces for proposed use.
- Handicap parking requirements shall be in accordance with the Americans with Disabilities Act.
- Each parking space shall be adequately served by access drives.
- Onsite parking areas of sufficient size required to provide parking for patrons, customers, suppliers, visitors and employees shall be provided.
- No parking space shall be located within ten (10) feet of a road Right-Of-Way (ROW).

### LOADING:

- Each loading space shall contain a minimum area of 500 square feet.
- All loading spaces shall provide adequate space for maneuvering of the vehicles.
- Loading area shall not be used for any storage.
- Loading spaces shall have proper access form a road ROW.

### LANDSCAPING & SCREEENING:

- Exterior storage shall be screened.
- Screened may consist of fencing and/or landscaping.

**SIGNAGE:**

- New sign is proposed, see attached sign face.
- Sign will need to be relocated to meet the 10-foot setback from the road ROW.

**OUTDOOR LIGHTING:**

- Exterior lighting of off-street parking areas, sign, or structures shall be arranged to deflect light away from all road ROWs.
- Source of light shall be shielded or controlled in some manner so as to not illuminate adjacent property.

**NUISANCE CONTROL:**

**Waste Disposal:**

- **Refuse** shall be disposed of in compliance with all county, state and Federal waste disposal requirements.
- **Sewage** from structure connected to existing septic system. Compliance Inspection of the system required by June 1, 2018.
- **Solid Waste** is proposed to be removed via onsite dumpster as provided by LJP Enterprises. This will include the disposal of the eggshells.
- **Industrial by-product (IBP)** generated from proposed use will be contained in a separate 10,000-gallon tank, to be installed.
- An SDS permit issued by MPCA, will be require. See Amy Beatty, Solid Waste Officer, letter for conditions.
- All waste material shall be kept in an enclosed structure or properly contained in a closed container designed for such purposes.

**PLANNING AND ZONING COMMISSION CONSIDERATIONS**

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance.
10. Other factors impacting the public health, safety and welfare.
11. **Additional considerations:**
  - a. Traffic.
  - b. The site is adequate for water supply and on-site sewage treatment.
  - c. Comply with all County, State and Federal requirements.
  - d. Department of Ag Commercial Feed License. Minnesota, Iowa, South Dakota. See enclosed.

- e. Installation of an IBP tank for processing waste. SDS permit required. See Amy Beatty letter.
- f. Solid Waste removal. See Amy Beatty letter.

<b>PLANNING AND ZONING COMMISSION CONDITIONS</b>
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The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Compliance Inspection required by June 1, 2018.
10. See Conditions as listed in Le Sueur County Solid Waste Officer, Amy Beatty, letter.

# LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 18025

**Applicant:** CAMAS INC

**Land Owner:** YELLOW REAL ESTATE LLC C/O FANTINI

**Conditional Use Permit Request:** TO ALLOW THE APPLICANT TO ESTABLISH AND OPERATE A VALLUE-ADDED AGRICULTURE USE BUSINESS OF DEVELOPING, PROCESSING AND SELLING FARM ANIMAL NUTRITIONAL SUPPLEMENTS.

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Don Rk	Pam	Doug	Jeanne	Shirley	Don Ry	AI	TOTAL

Explain \_\_\_\_\_

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: \_\_\_\_\_ APPROVED \_\_\_\_\_ DENIED \_\_\_\_\_ PZ Chairperson \_\_\_\_\_

COUNTY BOARD MEETING DATE \_\_\_\_\_



## ENVIRONMENTAL SERVICES

Mailing Address: 88 South Park Avenue, Le Center, MN 56057  
Physical Address: 515 South Maple Avenue, Le Center, MN 56057  
Direct Dial: 507-357-8538 Fax: 507-357-8541  
Email: [environmentalservices@co.le-sueur.mn.us](mailto:environmentalservices@co.le-sueur.mn.us)  
County Website: [www.co.le-sueur.mn.us](http://www.co.le-sueur.mn.us)

DATE: Monday, April 30, 2018

TO: Le Sueur County Planning and Zoning Commission Members

FROM: Amy Beatty, Le Sueur County Environmental Programs Specialist

RE: Camas, Inc. (Applicant) and Yellow Real Estate LLC (Owner) Conditional Use Permit Application

Dear Planning and Zoning Commission Members:

This letter is regarding Camas, Inc. Conditional Use Permit (CUP) application to establish and operate a value-added agriculture use business on property located in Section 1 of Cleveland Township.

Because Camas, Inc. will be generating an industrial by-product (IBP) from the processing of its farm animal nutritional supplements, a State Disposal System (SDS) Permit, issued by the Minnesota Pollution Control Agency (MPCA) is required for its storage and land application. An SDS Permit for the an IBP is required when

- Land application of more than 50,000 gallons or 10 dry tons of IBP per year and/or
- IBP storage at a volume that could create environmental concerns.

As of April 30, 2018, Camas, Inc. has not applied to the MPCA for coverage under an SDS permit for its IBP.

If Camas, Inc. application is approved, I recommend the following conditions:

1. Camas, Inc. shall apply to the MPCA for coverage under an SDS Permit for its IBP storage and land application.
2. Le Sueur County Environmental Services Department shall receive copies of all SDS Permit Coverage Letters for the life of the business's operation in Le Sueur County.
3. Le Sueur County Environmental Services Department shall receive copies of all annual reports submitted to the MPCA for the life of the business's operation in Le Sueur County.
4. Camas, Inc. shall abide by its SDS Permit pertaining to the construction, installation, operation, and maintenance of its IBP storage area.
  - a. Le Sueur County Environmental Services Department shall receive all storage area construction information submitted to the MPCA (for example, the engineered drawing(s) of the storage tank, notification of when the storage tank is installed and the name of contractor, and final as-built of the storage tank's installation).
5. Camas, Inc. shall abide by its SDS permit regarding the land application of its IBP as to where it can be applied, when it can be applied, who can apply it, notification of the application to the county and township(s) where it is applied, and sampling and analysis of the IBP.

6. Camas, Inc. shall notify Le Sueur County Environmental Services Department of any non-compliance issues pertaining to any permits and/or licenses issued for the operation and manufacturing of its farm animal nutritional supplements.
7. If the disposal of the egg shells changes from what is proposed in the application (placed in a dumpster and managed at a solid waste facility), Camas, Inc. shall contact the Le Sueur County Environmental Services Department.

If you have any questions or comments regarding this letter, please contact me at 507-357-8203.

Sincerely,

A handwritten signature in cursive script that reads "Amy Beatty". The signature is written in black ink and is positioned above the typed name.

Amy Beatty

Le Sueur County Environmental Programs Specialist  
507-357-8203



# Le Sueur County

## Conditional Use Application

### I. Applicant:

Name CAMAS, Inc.  
Mailing Address P.O. Box 10  
City Le Center State MN Zip 56057  
Phone # 507-357-4929 Phone # \_\_\_\_\_

### II. Landowner:

Name Yellow Real Estate, LLC  
Mailing Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Property Address 40463 261st Ave  
City Le Center State MN Zip 56057  
Phone # \_\_\_\_\_ Phone # \_\_\_\_\_

### III. Parcel Information:

Parcel Number 01.001.0400 Parcel Acreage 4.77  
Attach Full Legal Description (**NOT** abbreviated description from tax statement)  
Township 110 N Section 1  
Subdivision N/A Lot N/A Block N/A

### IV. Township Notification: Township must be notified of proposed use prior to application.

Cleveland Township notified on 2/28/18  
(Township Name) (Date)  
Board Member Pat McCabe regarding the proposed use.  
(Name)

### V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made **in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.
- Applications will not be accepted by mail.**



### VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled**.  
Filing Fee \$ 46

#### Additional Fees:

Special Meeting \$ 2,000  
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

**VII. Type of Request:**

- |  |   |
|--|---|
| <input type="checkbox"/> Self Service Storage      | <input checked="" type="checkbox"/> Value Added Agriculture |
| <input type="checkbox"/> School/Church/Cemetery    | <input type="checkbox"/> Antique Sales/Service/Repair       |
| <input type="checkbox"/> Retail Nursery/Greenhouse | <input type="checkbox"/> Substation/Transmission Lines etc. |
| <input type="checkbox"/> School/Church/Cemetery    | <input type="checkbox"/> Other _____                        |

**VIII. Description of Request:**

- a. A full description of request with detailed information must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.

1. PROPOSED DAYS AND HOURS OF OPERATION: Monday - Friday 5 a.m. - 5 p.m.
2. ESTIMATED NUMBER OF PERSONS TO ATTEND PLACE OF BUSINESS/LOCATION ON A DAILY OR WEEKLY BASIS: currently 10 employees per day, more may be added in future; see #7 of Full Description for traffic
3. LIST OF PUBLIC HEALTH PLANS:
  - i. Water Supply: Well
  - ii. Toilet facilities: Septic: 3 restrooms
  - iii. Solid Waste Collection: LSP
4. FIRE PREVENTION: Sprinkler Sys. Installed. V. King Services inspects
5. SECURITY PLANS: Existing: North American Security
6. RETAIL SALES: N/A
7. FOOD OR ALCOHOL SERVED OR FOR SALE: N/A
8. DESCRIBE IF THE APPLICANT REQUESTS THE COUNTY TO PROVIDE ANY SERVICES OR COUNTY PERSONNEL: (For example, pedestrian and/or vehicular traffic control.) N/A
9. SOUND AMPLIFICATION, PUBLIC ADDRESS SYSTEM, PLAYING OF MUSIC: N/A
10. EXTERIOR LIGHTING: Existing: see #9 of Full Description
11. PARKING AND LOADING: Existing Loading; 13 parking spaces; see #7 of Full Description
12. SIGNAGE: Existing sign will be removed and new installed; see #9 of Full Description
13. ROAD ACCESS: (Approved by the road authority) See #7 of Full Description re: MnDOT and County Approval
14. CERTIFICATE OF INSURANCE: Brown & Brown, attached
15. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: (For example additional licensing and/or permitting) FDA Facility Feed License (MN, IA, SD) see #6 of Full Description

**IX. Site Plan:** Shall include but not limited to the following:

- |                     |           |                       |                            |
|---------------------|-----------|-----------------------|----------------------------|
| • North point       | • Lake    | • Existing Structures | • Septic system            |
| • Setbacks          | • River   | • Proposed Structures | • Well                     |
| • Property Lines    | • Wetland | • Lot Dimensions      | • Access (size & location) |
| • Road Right-Of-Way | • Stream  | • Ponds               | • Easements                |
- Parking (Size & location-if applicable to application)
  - Landscape, screening and buffering (if applicable to application)
  - Location of significant trees to be removed (if applicable to application)



**X. Attachments: shall include but not limited to:**

- a. Description of Request-See Part VIII for full details and requirements.
- b. Site Plan-See Part IX for full details and requirements.
- c. Full legal description-Not abbreviated description from tax statement.
- d. Access approval-Attach approval in writing from proper road authority.
- e. Township Notification-See Part IV for details and requirements.
- f. Septic System Compliance Inspection
- g. Erosion control plan-Attach completed and signed plan including map.
- h. Floor plans and/or blue prints

**XI. Procedure:**

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and the recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

**XII. Signatures:**

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

[Signature] \_\_\_\_\_ Date \_\_\_\_\_  
Applicant signature

*I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.*

[Signature] \_\_\_\_\_ Date \_\_\_\_\_  
Property Owner signature

**OFFICE USE ONLY**

Request: \_\_\_\_\_

Pre-App Date <u>4-10-18</u>	Lake Classification <u>✓</u>	Feedlot	500' 1000' <u>N</u>
Meeting Date <u>5-10-18</u>	Lake	Wetland Type	1-2 3-8 <u>N</u>
60 Day <u>6-5-18</u>	FEMA Panel # 27079C0 <u>210</u>	Water courses	Y <u>N</u>
Zoning District <u>A</u>	Flood Zone <u>K-outside</u>	Bluff	Y <u>N</u>

<input checked="" type="checkbox"/> Request Description	<input checked="" type="checkbox"/> Access Approval	<input checked="" type="checkbox"/> Septic	Comp Insp / Design
<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Erosion Control Plan	<input checked="" type="checkbox"/> Meeting	Reg L ATF / Spec
<input checked="" type="checkbox"/> Full Legal	<input checked="" type="checkbox"/> Blue Prints	<input checked="" type="checkbox"/> Fee	\$ <u>4796</u>
<input checked="" type="checkbox"/> Ordinance	<input type="checkbox"/> Other _____	<input type="checkbox"/> Penalty	\$ _____

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Application Complete Michelle R. Muffa 4-10-18 180  
Planning & Zoning Department Signature Date Permit #

- Will need CI on SSTS by 6-1-17.  
(Thaw)



LE SUEUR COUNTY CONDITIONAL USE APPLICATION  
Camas, Inc., applicant, Yellow Real Estate, LLC, current landowner  
Concerning 40463 261<sup>st</sup> Ave., Le Center; Parcel ID# 01.001.0400



Part VIII. a. of application (full description of request)

1. Yellow Real Estate LLC is the current owner of this property. SRS Properties LLLP has entered into a purchase agreement for the property contingent on receiving this Conditional Use Permit. If the CUP is approved and the property purchased, SRS will lease the property to Camas, Inc., which will use the property as described below.

2. SRS Properties LLLP would lease the property to Camas Inc, which would use it for its business of developing, processing and selling its farm animal nutritional supplements (as described in more detail below). The nutritional supplements are based on dried (i.e. powdered) chicken egg, and the conditionally permitted use that applies is “value added agriculture” (sec. 8, subd. 3. E. of the zoning code).

3. Most recently, the property was operated as an agri-machinery sales and service business under Conditional Use Permit #28108 issued to Fantini North America LLC. That business ceased operation on the property and the property has been vacant since about Spring 2017. Previously, the property was operated as a pilot product facility and warehouse and office under Conditional Use Permit #25022 issued to Agri-Polymerix, LLC. We do not proposed to make use of either of those Conditional Use Permits.

4. Camas Inc has operated in the area since 2000. Begining then and to the present, its management and sales office and research facility for the development of new products has been and is located at 260 W Derrynane Street in Le Center. Currently, its production facility is located at 304 N. 2<sup>nd</sup> Street, Mankato. Camas would consolodate all of its operations at this property under the Conditional Use Permit.

5. Camas currently employs 4 full time management and administrative employees, 2 people full time for production, and 4 people full time for research, development and quality control. It is possible that these numbers may increase in the future. Camas anticipates adding about \$60,000.00 of improvments and equipment at the property. There would be no livestock raised on the property. Camas contracts with third parties for the production of the eggs at other locations.

6. On this property, Camas would research, develop and prepare immunizations to be given to chickens that are raised by third parties at other locations. These third parties would then collect and ship the whole eggs to the property. On the property, Camas would crack the eggs and pasteurize the liquid egg. The liquid egg would then be shipped to a third party for drying at another location. The dried and powdered egg would then be returned to Camas at the property. Camas would then, at the property, package the dried egg and ship it to Camas's customers. All these steps that would occur at the property are now conducted by Camas at its office in LeCenter and its production facility in Mankato. Managment and administrative activities, including order taking and fulfillment, would also occur at the property. Camas is and would continue to be hold feed licenses from Minnesota, Iowa and South Dakota, and its FDA falcility license number is 13464225090.

7. Currently, there are about 4 semi-truck and 12 straight truck deliveries or pick-ups at Camas facilities each week. All trucking is by third parties, and Camas does not keep any trucks at its LeCenter or Mankato facilities. We do not anticipate this changing in the near future. There would be little traffic other than these trucks and employee traffic. Almost all contacts with suppliers and customers are done by phone, internet and mail. Per the attached e-mail from Dave Tieg Le Sueur County Highway Engineer, the property's access to County Road 112 will be adequate. In addition to anticipated traffic loads, we reminded MnDOT that there is no turn or acceleration lane for the property access to state highway 99. Per the attached e-mail from Steve Schoeb of MnDOT, the property's access to state highway 99 will be adequate without the addition of a turn or acceleration lane. The existing parking area will not be significantly changed (except for possible paving of some currently gravelled surfaces in the future). There will be no need for parking on either the state highway or county road. The attached parking-detail site plan shows the location of 13 parking spaces (each 8 1/2' x 20', total parking area not less than 300 sq. ft., closest parking space not less than 10' from the nearest road right of way).

8. There would be no significant changes to the exterior of the property, except that we would install a 10,000 gallon underground holding tank to hold wastewater from all operations other than the kitchen, bathrooms and hand sinks. The tank would periodically be pumped out and the waste water properly disposed of at another location. Camas has started the application process for an industrial by-product permit (IBP) from the Minnesota Pollution Control Agency to use that tank, but the application process cannot be completed until the CUP is issued. The design application for the tank from James Bros. Construction, Inc. is attached, and the minimum distance from the tank to the well on the property will be 140'. The erosion control plan for the installation of the tank is attached. The septic system will not be used for the waste from processing the products.

9. The waste water from the kitchen, bathrooms and hand sinks will be handled via the existing septic system. A septic system compliance inspection cannot be completed during the Winter. Camas understands that a CUP would be conditioned on completion of the inspection by June 1, 2018. A drawing of the existing septic system and the location of the new holding tank is attached. The existing well on the property is sufficient for all activities.

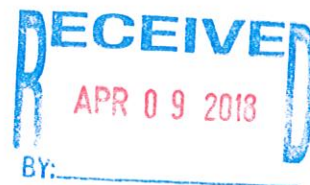
10. Egg shells from processing the eggs will be disposed of by Camas's solid waste disposal service, which is currently provided by LJP Enterprises, Inc.

11. Exterior lighting would not significantly change. The exterior lighting will not cast light on either road right of way in excess of 1 foot candle measured from the centerline of the road, will not be directed so as to blind the driver of any vehicle, will not cast light in excess of 1 foot candle off of the property (nor will it cast light exceeding 0.4 foot candles onto a residential property as measured from that property's property line), and no flood lights or exterior high-temperature light-emitting processes will be used. The existing sign will be removed. Within 6 months of the CUP being granted, Camas will apply for a sign permit and erect a new sign at least 10' outside of highway 99 right of way and not larger than 32 sq. ft. and not more than 10' tall. A drawing of the new face of the sign is attached.

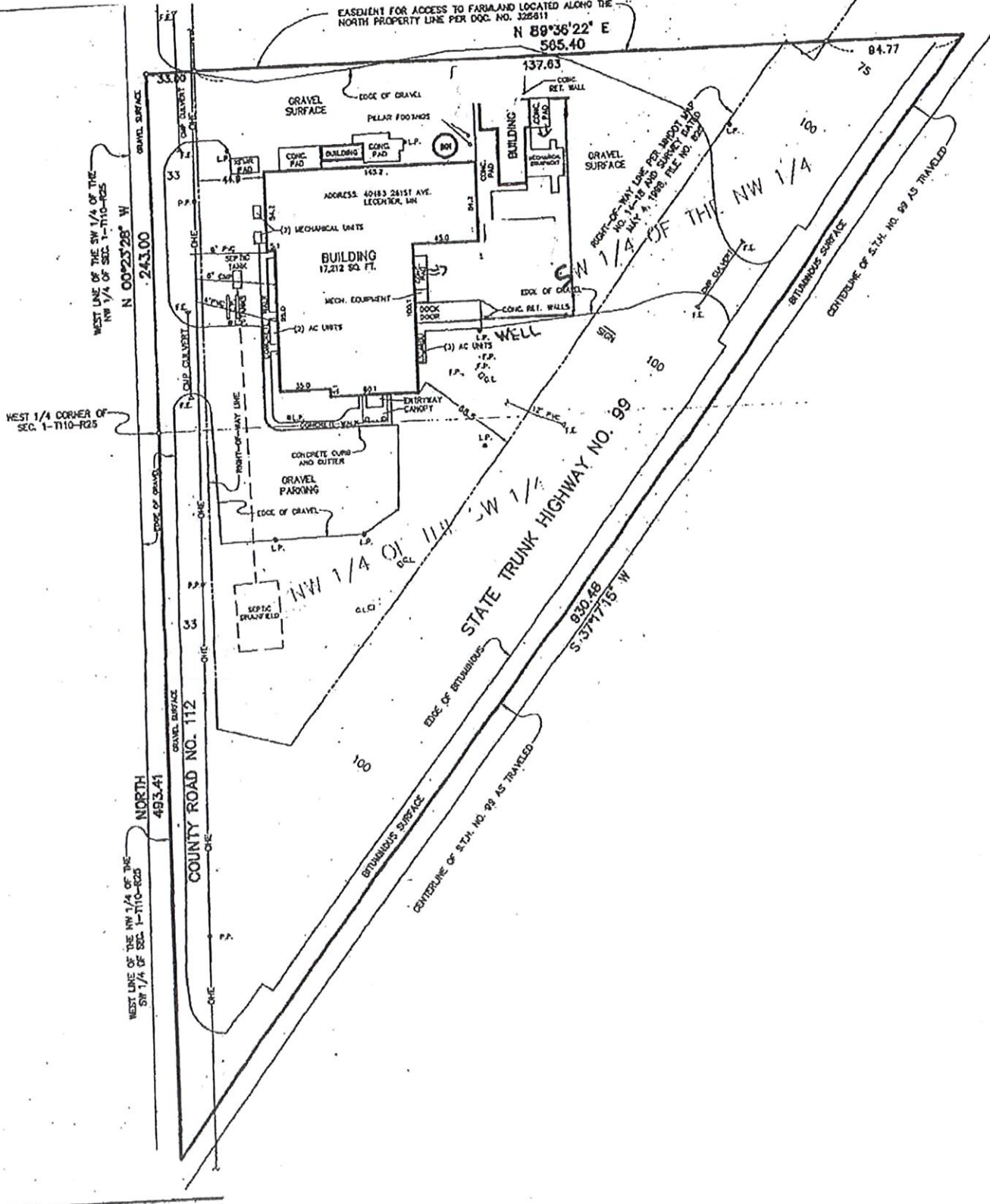


12. Emissions from the property will have no significant effect on neighboring properties. The processes used by Camas do not emit significant noise or vibration outside of the buildings. The only significant air emissions will be from heating the buildings. No unusually large electrical service will be required.

13. We do not anticipate significant change to the current floor plan of the buildings except for the removal and/or construction of non-bearing divider walls.

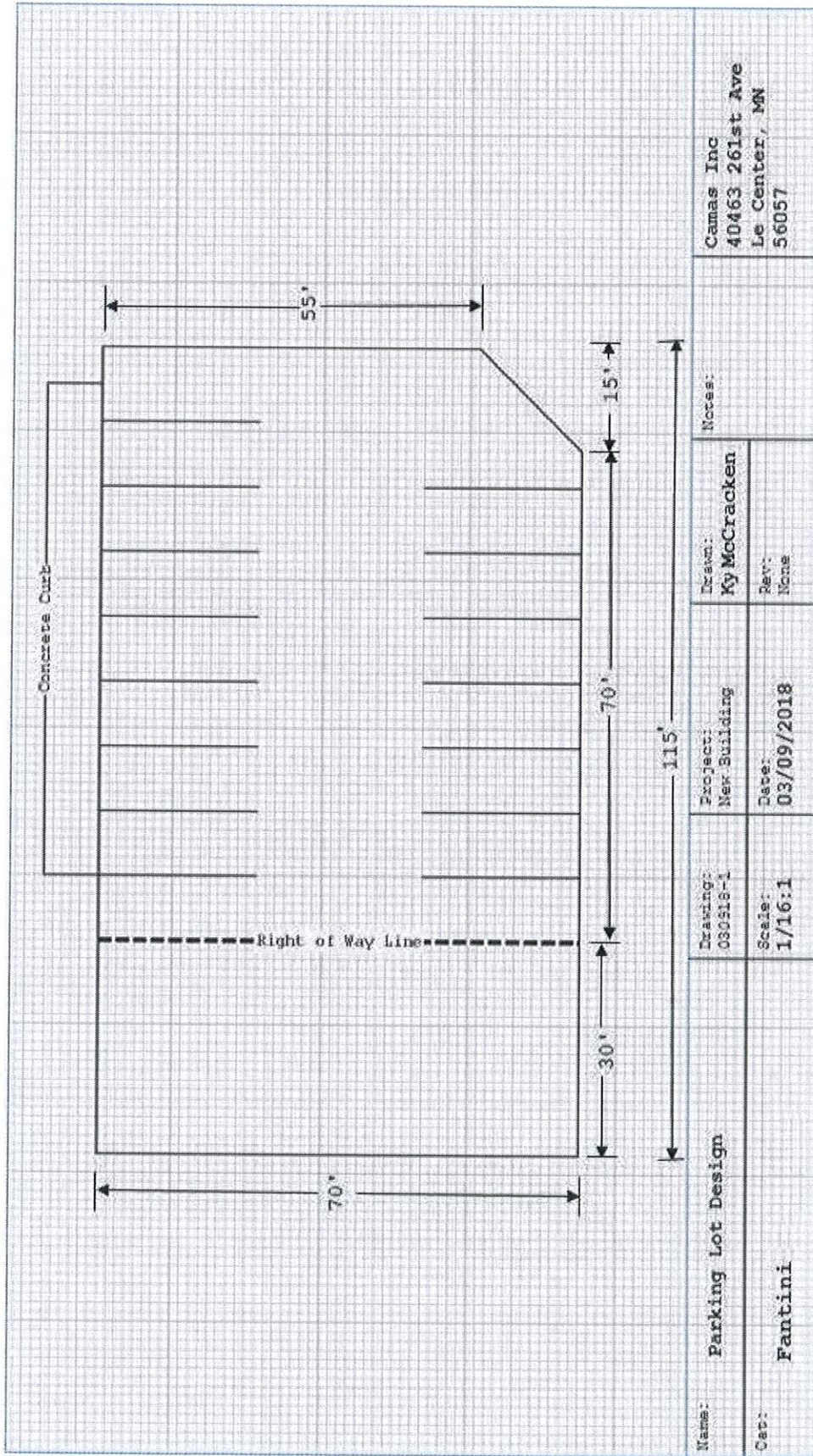


EASEMENT FOR ACCESS TO FARMLAND LOCATED ALONG THE NORTH PROPERTY LINE PER DQC. NO. 322611  
N 89°36'22" E  
565.40

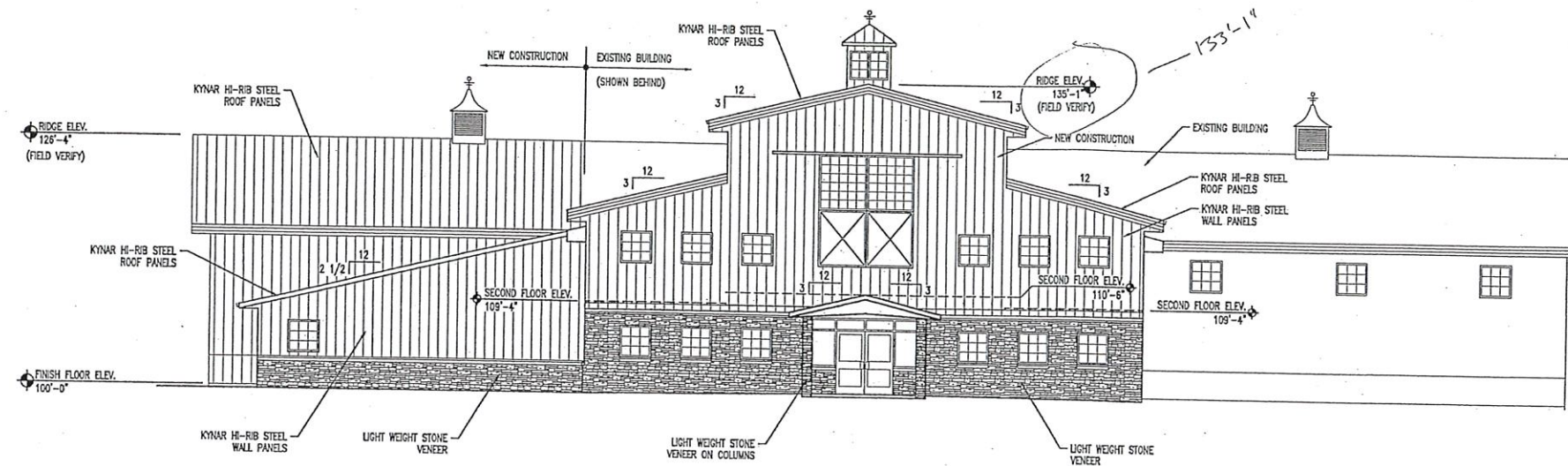


RECEIVED  
APR 09 2013  
BY: \_\_\_\_\_

**RECEIVED**  
 APR 06 2018  
 BY:

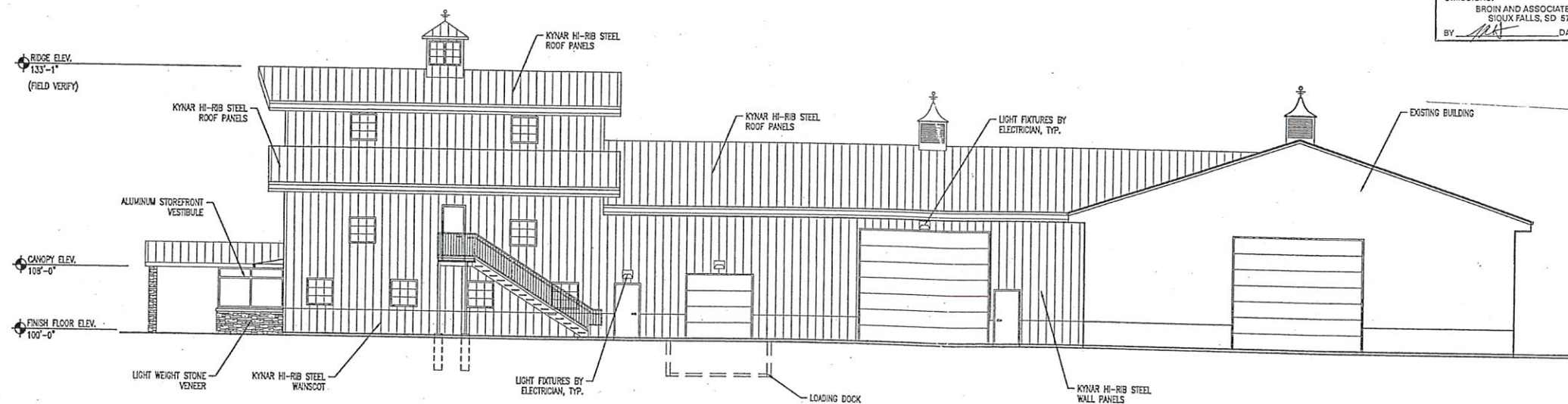






**1 SOUTH ELEVATION**  
 1/8" = 1'-0"

ACCEPTED  
 REJECTED  
 NOTED  
 REVIEWED FOR GENERAL REQUIREMENTS AND CONFORMANCE TO PROJECT SPECIFICATIONS AND DRAWINGS. THIS REVIEW SHALL NOT RELIEVE THE SUBCONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE TO CONTRACT DOCUMENTS OR FOR DEFECTIVE WORK RESULTING FROM ANY ERRORS OR OMISSIONS.  
 BROIN AND ASSOCIATES, INC.  
 SIOUX FALLS, SD 57104  
 BY *[Signature]* DATE 11-7-05



**2 EAST ELEVATION**  
 1/8" = 1'-0"

**KEY PLAN**

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE \_\_\_\_\_ LIC. NO. \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

COREY ALAN BRUNTON

*[Signature]*  
 DATE 09-07-05 LIC. NO. 26338

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**PROJECT**

**AGRI-POLYMERIX**  
 40463 261st AVE., LE CENTER, MN 56075

**ADDITION**

LE CENTER MINNESOTA

MARK	DATE	DESCRIPTION
▲		
▲		
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PROJECT NO. 05-8723  
 CAD FILE NAME 8723 2-11.dwg  
 DRAWN BY DTL  
 DESIGNED BY

PLOT DATE 09-07-05

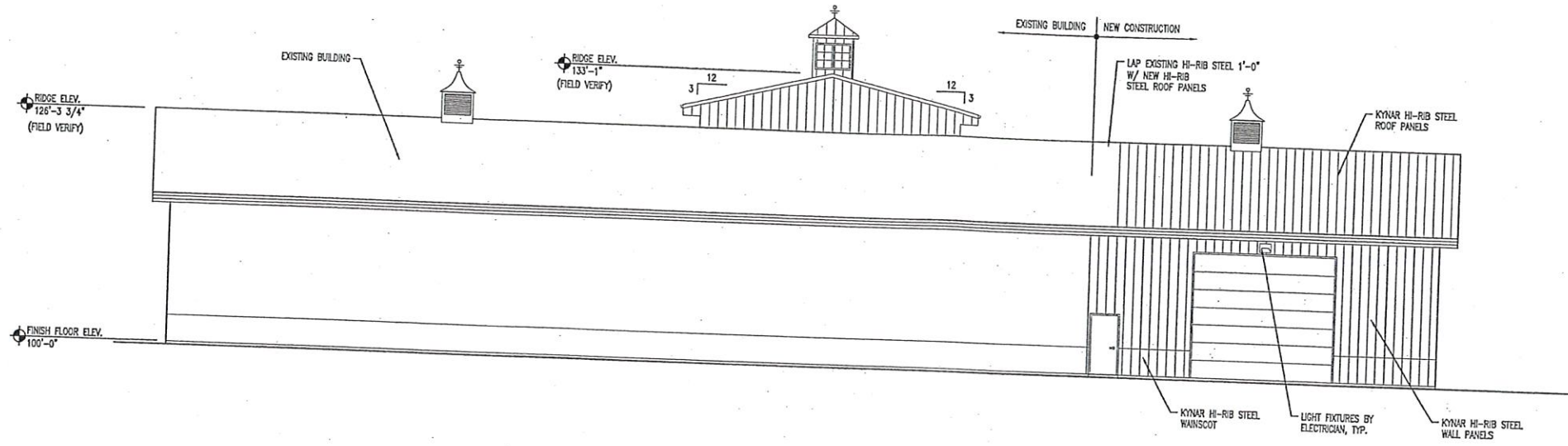
CLIENT PROJECT NO.

TITLE

**EXTERIOR ELEVATIONS**

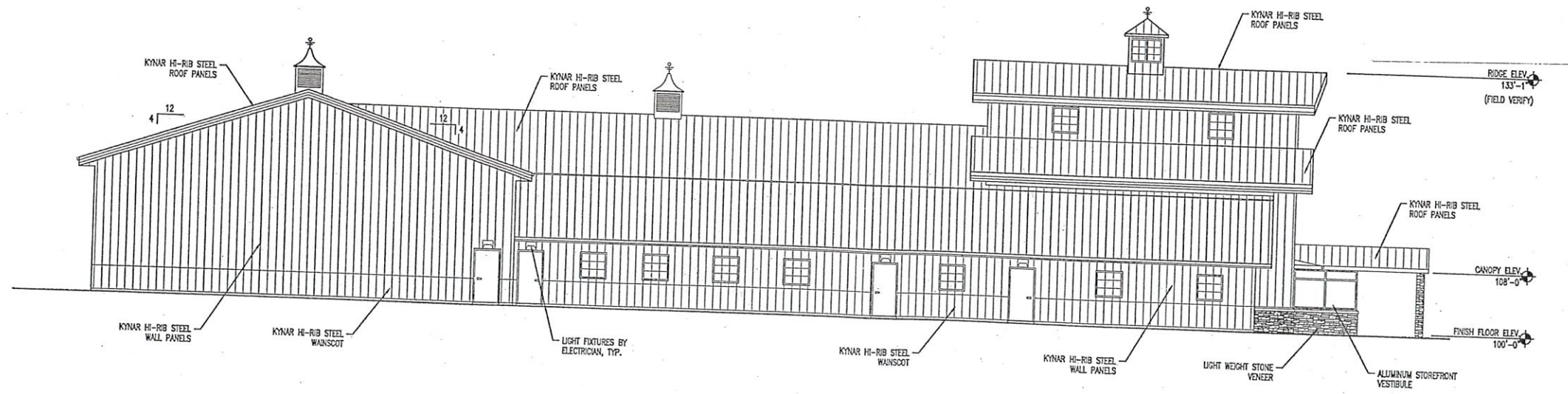
SHEET

**A2.11**



**1 NORTH ELEVATION**  
 1/8" = 1'-0"

ACCEPTED  REVISE AND RESUBMIT  
 REJECTED  MAKE CORRECTIONS  
 REVIEWED  NOTED  
 REVIEWED FOR GENERAL REQUIREMENTS AND CONFORMANCE TO PROJECT SPECIFICATIONS AND DRAWINGS. THIS REVIEW SHALL NOT RELIEVE THE SUBCONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE TO CONTRACT DOCUMENTS OR FOR DEFECTIVE WORK RESULTING FROM ANY ERRORS OR OMISSIONS.  
 BROIN AND ASSOCIATES, INC.  
 SIOUX FALLS, SD 57104  
 BY *[Signature]* DATE 11-7-05



**2 WEST ELEVATION**  
 1/8" = 1'-0"

**KEY PLAN**

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DATE \_\_\_\_\_ LIC. NO. \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

COREY ALAN BRUNTON

*[Signature]*

DATE 09-07-05 LIC. NO. 26338

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**PROJECT**

**AGRI-POLYMERIX**

40463 261st AVE, LE CENTER, MN 56075

**ADDITION**

LE CENTER MINNESOTA

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 CAD FILE NAME 8723 2-12.dwg  
 DRAWN BY DTL  
 DESIGNED BY

PLOT DATE 09-07-05

CLIENT PROJECT NO.

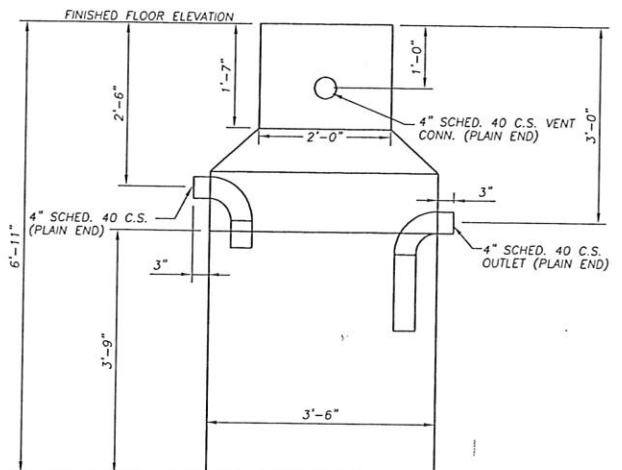
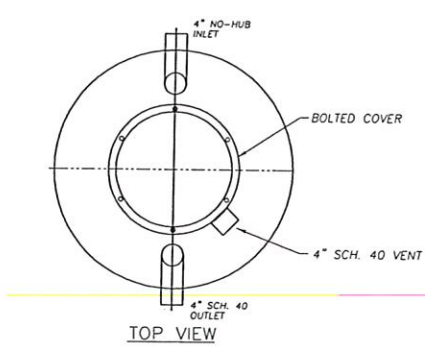
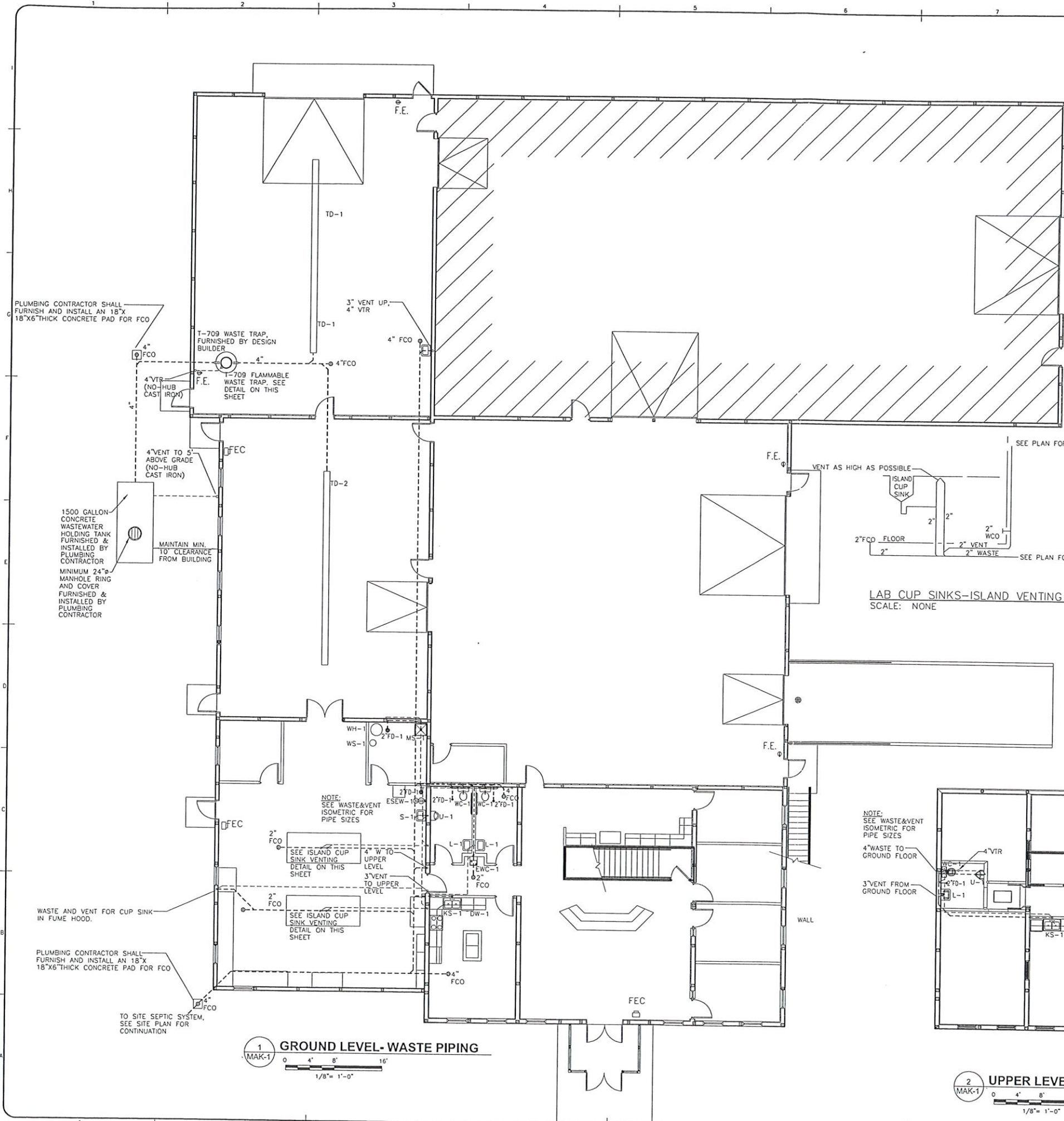
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**EXTERIOR ELEVATIONS**

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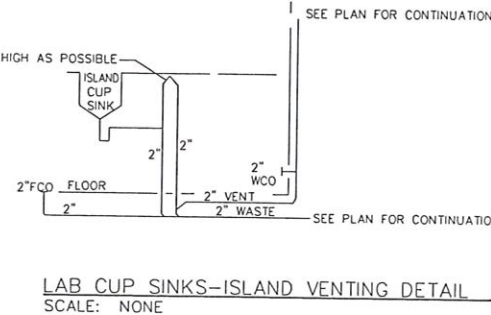
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Plot Date: Oct 11, 2005 Plot Time: 8:27am File Name: F:\ALL DRAWINGS\APX\Plumbing\APX-MAK1-4.dwg, Layout: MAK2 By: SRMECHDES



NOTES:  
 1. CONE & NECK WILL BE CONSTRUCTED FROM 1/4" CARBON STEEL  
 2. SHELL & BOTTOM WILL BE CONSTRUCTED FROM 3/16" CARBON STEEL  
 3. REFER TO B&A FURNISHED SHOP DRAWING PRIOR TO INSTALLATION  
 4. T-709 WILL BE FURNISHED BY DESIGN BUILDER INSTALLED BY PLUMBING CONTRACTOR

**3**  
**P-6** T-709 WASTE TRAP DETAIL  
 SCALE: NONE FURNISHED BY DESIGN BUILDER



**1**  
**MAK-1**  
 GROUND LEVEL- WASTE PIPING  
 0 4' 8' 16'  
 1/8" = 1'-0"

**2**  
**MAK-1**  
 UPPER LEVEL- WASTE PIPING  
 0 4' 8' 16'  
 1/8" = 1'-0"

**Brain & Associates**  
 2005 E. 7th Street N.  
 Shoreville, MN 55124  
 Tel: 656.652.2200 Fax: 656.656.2200

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Project Title: **AGRI-POLYMERIX 40463 261st AVE LeCENTER, MN 56057**

Sheet Title: **PLUMBING PLAN SEWER PIPING**

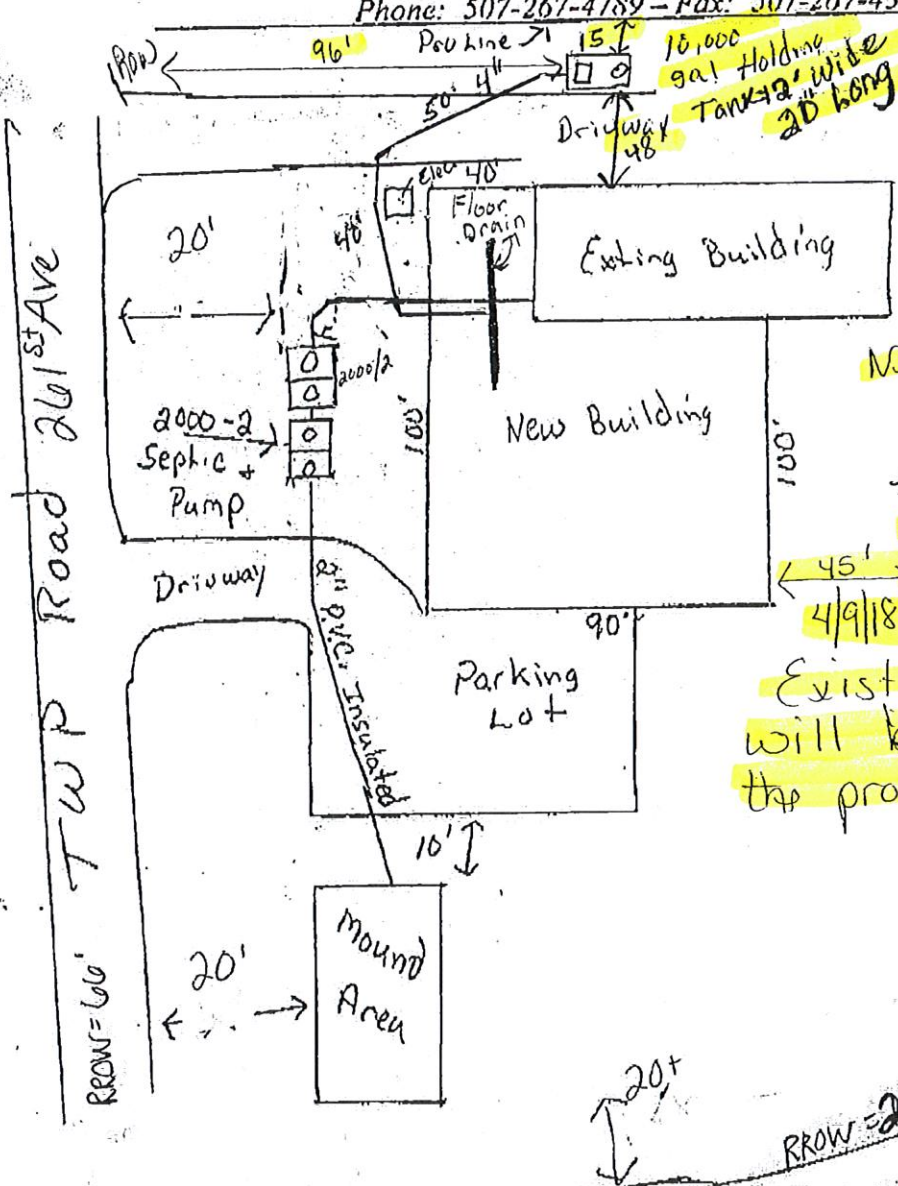
Rev. No. \_\_\_\_\_ Date \_\_\_\_\_ Description \_\_\_\_\_

MAK2

**JAMES BROS. CONSTRUCTION, INC.**  
**DESIGN FOR SEWAGE TREATMENT SYSTEM**

PO Box 59 - Elysian, MN 56028  
 Phone: 507-267-4789 - Fax: 507-267-4379

Name Camas  
 Address \_\_\_\_\_  
 \_\_\_\_\_



New proposal:  
 unhook Floor Drain  
 from Septic Hook to add  
 New 10,000 gal. holding tank,  
 4/9/18 - location

Existing septic system  
 will be sufficient to handle  
 the proposed operation  
 Wayne Ofner

**CERTIFICATION STATEMENT/AS-BUILT**  
 I hereby certify as a State of Minnesota Licensed Installer that the individual sewage treatment system diagrammed above was installed in accordance with all applicable requirements of Minnesota Rules Chapter 7080. The diagram of the installation is accurate as of the date at the bottom of this form for the site identified at the top of this form. No determination of future hydraulic performance can be made due to future water usage over the life of the system.

Jim Smith Date 9-2-05



# WIESER CONCRETE PRODUCTS, INC.

W3716 U.S. HWY 10 • MAIDEN ROCK, WI 54750  
(715) 647-2311 800-325-8456 Fax (715) 647-5181

Website: [www.wieserconcrete.com](http://www.wieserconcrete.com)

March 9, 2018

James Brothers

Attn: Wayne James

Re: Wieser Tanks for Commercial use

Mr. James,

Wieser Concrete manufactures all our tanks to meet ASTM 1227. You will find an attached copy of the spec. All tanks are also manufactured in NPCA (National Precast Concrete Association) certified plant.

Several models of tanks were shipped to 22 different states tank in 2017. They are used in just about every application imaginable. Commercial, residential, septic, grease interceptors, holding, dose, cisterns, manure storage, storm water, and fire suppression to just name of few.

Please let me know if you need anything else.

Thank you,

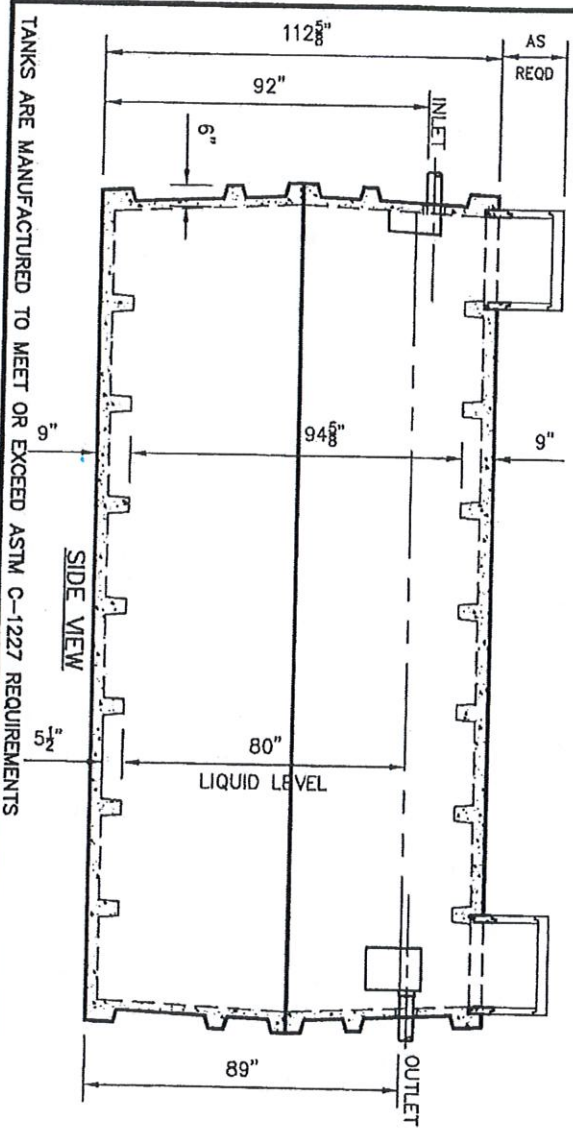


Andy Winkler

General Manager

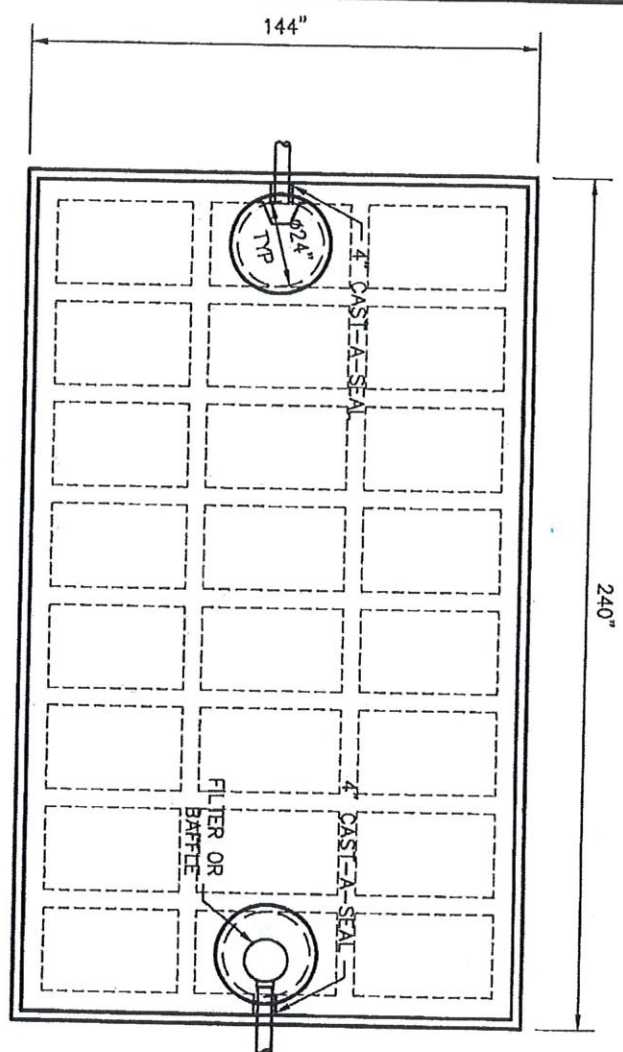
Wieser Concrete Products Inc.





SIDE VIEW

TANKS ARE MANUFACTURED TO MEET OR EXCEED ASTM C-1227 REQUIREMENTS



TOP VIEW

**W10000**  
**TANK SPECIFICATIONS**

**DIMENSIONS:**

- WALL: 6" RIBBED
- COVER: 9" RIBBED
- BOTTOM: 9"
- MANHOLE: 24" I.D. PRECAST RISER
- HEIGHT: 112-5/8" O.D.
- LENGTH: 240" O.D.
- WIDTH: 144" O.D.
- BELOW INLET: 92" O.D.
- LIQUID LEVEL: 80"
- WEIGHT: 29,000 LBS PER SECTION

**INLET AND OUTLET:**

4" CAST-A-SEAL BOOT OR EQUAL

**INLET AND OUTLET BAFFLE AND FILTER:**

WISCONSIN, SEE DETAIL #90 (OTHER STATES SEE CHART)

**LIQUID CAPACITY:**

127.43 GAL/IN

**HOLDING TANK:**

OUTLET HOLE PLUGGED

**LOADING DESIGN:**

8'-0" UNSATURATED SOIL

**TANK CAN BE USED AS:**

SEPTIC, HOLDING, PUMP OR SIPHON

**TANK: MIX DESIGN #9 (SMALL FIBER)**

CUSTOMIZED TANKS:  
FOR CUSTOM TANKS CONTACT  
WIESER CONCRETE

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APR 06 2018  
BY: \_\_\_\_\_

**DRAWINGS SUBMITTED FOR APPROVAL**

APPROVED BY: \_\_\_\_\_  
APPROVAL DATE: \_\_\_\_\_  
PRODUCTS NEEDED BY: \_\_\_\_\_

W10000 SEPTIC MANUAL SHEET NO. 1 OF 1	<b>WIESER CONCRETE</b> W3716 US HWY 10 MAIDEN ROCK, WI 54750 800-325-8456		DRAWN BY: WCP DATE: 00/00/00 FILE: W10000	SCALE: 1/4"=1'-0" REV. DATE:	PRE-POUR: POST-POUR:
	TANK CAN BE USED AS: SEPTIC, HOLDING, PUMP OR SIPHON TANK: MIX DESIGN #9 (SMALL FIBER) CUSTOMIZED TANKS: FOR CUSTOM TANKS CONTACT WIESER CONCRETE				



Designation: C1227 – 13



## Standard Specification for Precast Concrete Septic Tanks<sup>1</sup>

This standard is issued under the fixed designation C1227; the number immediately following the designation indicates the year of original adoption or, in the case of revision, the year of last revision. A number in parentheses indicates the year of last reapproval. A superscript epsilon ( $\epsilon$ ) indicates an editorial change since the last revision or reapproval.

### 1. Scope

1.1 This specification covers design requirements, manufacturing practices, and performance requirements for monolithic or sectional precast concrete septic tanks.

1.2 The values stated in inch-pound units are to be regarded as standard. The values given in parentheses are mathematical conversions to SI units that are provided for information only and are not considered standard.

1.3 *This standard does not purport to address all of the safety concerns, if any, associated with its use. It is the responsibility of the user of this standard to establish appropriate safety and health practices and determine the applicability of regulatory limitations prior to use.*

### 2. Referenced Documents

#### 2.1 ASTM Standards:<sup>2</sup>

- A82/A82M Specification for Steel Wire, Plain, for Concrete Reinforcement (Withdrawn 2013)<sup>3</sup>
- A185/A185M Specification for Steel Welded Wire Reinforcement, Plain, for Concrete (Withdrawn 2013)<sup>3</sup>
- A496/A496M Specification for Steel Wire, Deformed, for Concrete Reinforcement (Withdrawn 2013)<sup>3</sup>
- A497/A497M Specification for Steel Welded Wire Reinforcement, Deformed, for Concrete (Withdrawn 2013)<sup>3</sup>
- A615/A615M Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement
- A706/A706M Specification for Low-Alloy Steel Deformed and Plain Bars for Concrete Reinforcement
- A996/A996M Specification for Rail-Steel and Axle-Steel Deformed Bars for Concrete Reinforcement
- C33 Specification for Concrete Aggregates

- C39/C39M Test Method for Compressive Strength of Cylindrical Concrete Specimens
  - C94/C94M Specification for Ready-Mixed Concrete
  - C125 Terminology Relating to Concrete and Concrete Aggregates
  - C150 Specification for Portland Cement
  - C231 Test Method for Air Content of Freshly Mixed Concrete by the Pressure Method
  - C260 Specification for Air-Entraining Admixtures for Concrete
  - C330 Specification for Lightweight Aggregates for Structural Concrete
  - C494/C494M Specification for Chemical Admixtures for Concrete
  - C595 Specification for Blended Hydraulic Cements
  - C618 Specification for Coal Fly Ash and Raw or Calcined Natural Pozzolan for Use in Concrete
  - C685/C685M Specification for Concrete Made by Volumetric Batching and Continuous Mixing
  - C890 Practice for Minimum Structural Design Loading for Monolithic or Sectional Precast Concrete Water and Wastewater Structures
  - C990 Specification for Joints for Concrete Pipe, Manholes, and Precast Box Sections Using Preformed Flexible Joint Sealants
  - C1116/C1116M Specification for Fiber-Reinforced Concrete
  - C1644 Specification for Resilient Connectors Between Reinforced Concrete On-Site Wastewater Tanks and Pipes
- #### 2.2 ACI Standard:<sup>4</sup>
- ACI 318 Building Code Requirements for Reinforced Concrete
- #### 2.3 NSF/ANSI Standard:<sup>5</sup>
- NSF/ANSI 46–2005 Evaluation of Components and Devices used in Wastewater Treatment Systems

<sup>1</sup> This specification is under the jurisdiction of ASTM Committee C27 on Precast Concrete Products and is the direct responsibility of Subcommittee C27.30 on Water and Wastewater Containers.

Current edition approved Dec. 15, 2013. Published January 2014. Originally approved in 1993. Last previous edition approved in 2012 as C1227–12. DOI: 10.1520/C1227-13.

<sup>2</sup> For referenced ASTM standards, visit the ASTM website, [www.astm.org](http://www.astm.org), or contact ASTM Customer Service at [service@astm.org](mailto:service@astm.org). For *Annual Book of ASTM Standards* volume information, refer to the standard's Document Summary page on the ASTM website.

<sup>3</sup> The last approved version of this historical standard is referenced on [www.astm.org](http://www.astm.org).

### 3. Terminology

3.1 For definitions of terms relating to concrete, see Terminology C125.

#### 3.2 Definitions of Terms Specific to This Standard:

<sup>4</sup> Available from American Concrete Institute (ACI), P.O. Box 9094, Farmington Hills, MI 48333-9094, <http://www.aci-int.org>.

<sup>5</sup> Available from American National Standards Institute (ANSI), 25 W. 43rd St., 4th Floor, New York, NY 10036, <http://www.ansi.org>.

3.2.1 *access opening, n*—hole in the top slab used to gain access to the inside of the tank for the purpose of cleaning and removing sludge without a person actually having to enter the tank.

3.2.2 *air scum volume, n*—number of cubic inches (centimetres) in the space between the liquid surface and the underside of the top slab.

3.2.3 *baffle, n*—device placed in a tank to dissipate energy, direct flow, retain solids, and/or draw liquid off at a specific depth.

3.2.4 *baffle, inlet, n*—tee or wall segment at or near the inlet pipe of a tank designed to direct flow below the liquid surface.

3.2.5 *baffle, outlet, n*—tee or wall segment at or near the outlet pipe of a tank designed to collect flow from the liquid effluent layer.

3.2.6 *cement, n*—powdered substance of lime and clay mixed with water to make concrete.

3.2.7 *connector, n*—device that provides a flexible seal between a pipe and the precast concrete tank.

3.2.8 *corrosion-resistant, adj*—materials that are resistant to deterioration when in contact with the corrosive materials found in a septic tank.

3.2.9 *dead load, n*—mass of a structure and all permanent loads imposed on the structure (that is, soil).

3.2.10 *detention time, n*—average length of time a unit volume of liquid or a suspended particle remains in a tank; mathematically, it is the volume of liquid in the tank divided by the flow rate through the tank.

3.2.11 *effective volume, n*—maximum amount of liquid and solids that can be contained in a tank under normal operating conditions.

3.2.12 *effluent filter device, n*—device, made from corrosion-resistant materials, that separates solid material from tank liquid before the liquid exits the tank.

3.2.13 *grinder, n*—device for grinding and flushing cooking wastes; also known as a garbage disposal.

3.2.14 *inspection opening, n*—hole in the top slab used for the purpose of observing conditions inside the tank.

3.2.15 *joint, n*—physical separation where two pieces of precast concrete are in contact.

3.2.16 *liquid effluent layer, n*—area in a tank made up of liquids and semibuoyant waste particles after the sludge and scum waste have separated and settled.

3.2.17 *live load, n*—loads exerted on or above a structure when the source of the load is dynamic and transient.

3.2.18 *non-sealed joint, n*—joint in which sealant is not used but in which a machined fit will minimize the movement of liquid from one side of a precast concrete wall to the opposite side.

3.2.19 *owner, n*—is by definition, end user, customer, or purchaser.

3.2.20 *rated volume, n*—depth from the bottom of a septic tank to the invert of the outlet pipe.

3.2.21 *scum layer, n*—buoyant waste floating near the surface of liquid, consisting of lighter-than-water materials, such as greases and soaps.

3.2.22 *sealed joint, n*—joint that is sealed to prevent liquid passing from one side of a precast concrete wall to the opposite side.

3.2.23 *septic tank system, n*—anaerobic digestion chamber in which domestic sewage is received and retained, and from which the liquid effluent, which is comparatively free from settleable and floating solids, is then discharged.

3.2.24 *sludge layer, n*—heavier waste solids that separate and settle at the bottom of a tank.

3.2.25 *tee, n*—“T”-shaped pipe fitting made of corrosion-resistant materials used to connect horizontal piping with vertical piping and used to provide access for cleaning piping.

#### 4. Ordering Information

4.1 The purchaser shall include the following information in bidding documents and on the purchase order, as applicable to the units being ordered:

4.1.1 Reference to this specification and date of issue.

4.1.2 Quantity, that is, number of units ordered.

4.1.3 Capacity of tank in gallons or litres.

4.1.4 Special cement requirements including moderate sulfate-resisting cement, Specification C150 Type II, or highly sulfate-resisting cement, Specification C150, Type V. If the purchaser does not stipulate, the manufacturer shall use any cement meeting the requirements of Specification C150 or C595.

4.1.5 Acceptance will be based on a review of the calculations or on proof tests.

4.1.6 Design requirements such as depth of earth cover, live load applied at the surface, and ground water level.

4.1.7 Testing for water leakage shall not be required at the job site unless specifically required by the purchaser.

4.1.8 Manufacturer is permitted to require testing on site prior to backfill.

#### 5. Materials and Manufacture

5.1 *Cement*—Portland cement shall conform to the requirements of Specification C150 or shall be portland blast-furnace slag cement or portland-pozzolan cement conforming to the requirements of Specification C595.

5.2 *Aggregates*—Aggregates shall conform to Specification C33 and lightweight aggregates shall conform to Specification C330, except that the requirements for grading shall not apply.

5.3 *Water*—Water used in mixing concrete shall be clean and free of injurious amounts of oils, acids, alkalies, salts, organic materials, or other substances that will be incompatible with concrete or steel.

5.4 *Admixtures*—Admixtures, when used, shall conform to Specification C494/C494M or Specification C618 and shall not be injurious to other products used in the concrete.

5.4.1 *Air-Entraining Admixtures*—Air-entraining admixtures conforming to Specification C260 shall be used when there is a risk that the concrete will be exposed to freezing and



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thawing. Then the concrete mixture shall contain  $5.5 \pm 1.5$  % air by volume as determined by Test Method C231.

5.5 *Steel Reinforcement*—Steel reinforcement shall conform to Specification A82/A82M or A496/A496M for wire, Specification A185/A185M or A497/A497M for wire fabric, or Specifications A615/A615M, A706/A706M, or A996/A996M for steel reinforcement bars.

5.5.1 *Locating Reinforcement*—Reinforcement shall be placed in the forms as required by the design.

5.5.2 *Holding Reinforcement in Position During Pouring Placement*—Reinforcement shall be securely held in place by tying, clipping, or welding to maintain position during concrete placing operations. Welding procedures shall conform to the appropriate material specification. Chairs, bolsters, braces, and spacers in contact with forms shall have a corrosion-resistant surface.

5.6 *Concrete Mixtures*—The aggregates, cement, and water shall be proportioned and mixed to produce a homogeneous concrete meeting the requirements of this specification, and in accordance with Specification C94/C94M or Specification C685/C685M. The concrete shall have a maximum water cementitious materials ratio of 0.45.

5.7 *Forms*—The forms used in manufacture shall be sufficiently rigid and accurate to maintain the dimensions of the structure within the stated tolerances. All casting surfaces shall be of smooth nonporous material. Form releasing agents used shall not be injurious to the concrete.

5.8 *Concrete Placement*—Concrete shall be placed in the forms at a rate to allow the concrete to consolidate in all parts of the form, and around all reinforcement steel and embedded fixtures without segregation of materials.

5.9 *Curing*—The precast concrete sections shall be cured by any method or combination of methods that will develop the specified compressive strength at 28 days or less.

5.10 *Concrete Quality*—The quality of the concrete shall be in accordance with the chapter on concrete quality in ACI 318, except for frequency of tests, which shall be specified by the purchaser. Concrete compressive strength tests shall be conducted in accordance with Test Method C39/C39M.

5.11 *Fibers*—Polypropylene or polyolefin fibers are only permitted as a secondary reinforcing material, at the manufacturer's option, in precast concrete septic tanks. For the purposes of this specification, secondary reinforcing material is only used to resist temperature and shrinkage effects. Only Type III conforming to the requirements of Specification C1116/C1116M shall be accepted.

5.12 *Sealants*—Flexible sealants used in the manufacture and installation of tanks shall conform to Specification C990. Rigid (mortar) sealing of tank sections is not permitted.

5.13 *Pipe Connections*—Pipe-to-tank connections shall use flexible connectors conforming to the requirements of Specification C1644.

## 6. Structural Design Requirements

6.1 Structural design of septic tanks shall be by calculation or by performance.

6.1.1 Design by calculation shall be completed using the Strength Design Method (ultimate strength theory) or the Alternate Design Method (working stress theory) outlined in ACI 318. The Strength Design Method is outlined in Chapter 9 and the Alternate Design Method is in Appendix A.

6.1.2 Design by performance requires the manufacturer to demonstrate that failure will not occur by physically applying loads to the product. The load applied shall be 1.5 times the anticipated actual loads.

6.1.3 Tanks shall be designed so that they will not collapse or rupture when subjected to anticipated earth and hydrostatic pressures when the tanks are either full or empty.

6.1.4 The structural design of tanks will consider buoyancy effects, if applicable, and proportion the structure to ensure an adequate flotation safety factor.

6.1.5 All dead and live loads shall be considered in the design. For tanks located in residential lawn areas and not subject to loads greater than the minimum stated herein, the minimum live load shall be 100 lbf/ft<sup>2</sup> (5 kPa) or a concentrated load of 2250 lbs (10 kN) applied to a 10 by 10 in. (250 by 250 mm) area, which ever produces the greatest stress on the structure. Concentrated loads shall be distributed in accordance with provisions of Practice C890. Loading conditions other than described herein shall conform with provision of Practice C890.

6.1.6 After conditions are established, loads from Practice C890 shall be used for design. Unless heavier live loads are expected, the minimum live load at the surface for design shall be 300 lbf/ft<sup>2</sup> (14 kPa).

6.1.7 The live loads imposed at lifting points shall be considered in the design of the structure.

6.1.8 Inserts embedded in the concrete shall be designed for an ultimate load that is four times the working load (Factor of Safety = 4).

6.2 *Concrete Strength*—The minimum compressive strength (f<sub>c</sub>) for designs shall be 4000 psi (28 MPa) at 28 days of age.

6.3 *Reinforcing Steel Placement*—The concrete cover for reinforcing bars, mats, or fabric shall not be less than 1 in. (25 mm).

6.4 *Openings*—The structural design shall take into consideration the number, placement, and size of all openings.

6.5 Lift equipment shall be designed for an ultimate load that is five times the working load (Factor of Safety = 5).

## 7. Physical Design Requirements

7.1 *Capacity*—Sizes are generally specified by local regulations and they shall supersede the following guidelines. When local regulations are not available, the following minimum sizes will be required:

1-bedroom residence	750 gal (2800 L)
2 and 3-bedroom residence	1000 gal (3800 L)
4-bedroom residence	1200 gal (4500 L)
5-bedroom residence	1400 gal (5300 L)
Motels	100 gpd/unit (380 Lpd/unit)
Restaurant	70 gpd/seat (265 Lpd/seat)
Office building	20 gpd/seat (75 Lpd/seat)
Additional capacity is required when grinders are available	

7.2 *Shape*:

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7.2.1 There shall be a total of no less than 25 ft<sup>2</sup> (2.3 m<sup>2</sup>) of surface liquid area and a total inside length of at least 6 ft (2 m) between inlet and outlet of the tank.

7.2.2 The air scum volume above the liquid shall be at least 12½ % of the volume of liquid but not less than 9 in. (230 mm) high for entire surface above liquid.

7.2.3 Minimum water depth shall be 36 in. (900 mm) unless otherwise approved by local code or jurisdiction.

7.2.4 Maximum liquid depth shall be 72 in. (1800 mm) unless otherwise approved or required by local codes or jurisdiction.

**7.3 Compartments:**

7.3.1 The septic tank system shall include two compartments unless otherwise approved by local codes or jurisdiction. The two-compartment dividing wall is to be monolithically cast or placed secondarily utilizing a non-sealed joint with the tank body.

7.3.2 One double unit or two single compartment units in series are acceptable.

7.3.3 The first compartment shall have a liquid volume of approximately two thirds of the liquid volume of the entire contents of the system.

7.3.4 The transfer port between compartments shall be sized to maintain a low velocity as liquid moves between compartments. A minimum of 50 in.<sup>2</sup> (320 cm<sup>2</sup>) shall be used where local codes do not specify otherwise.

7.3.5 The transfer port shall be in the middle 25 % of the distance from the bottom of the tank to the water line.

7.3.6 No baffle, tee, outlet filter unit, or compartment wall shall extend to the interior roof without providing for venting. The cross-sectional area of a vent shall be at least equivalent to a 4-in. (100-mm) diameter pipe.

**7.4 Influent and Effluent Pipes:**

7.4.1 The influent pipe shall be no less than 4 in. (100 mm) in diameter.

7.4.2 The difference between the invert of the influent pipe and the invert of the effluent pipe shall be a minimum of 2 in. (50 mm) and a maximum of 4 in. (100 mm).

7.4.3 Inlet and outlet pipes shall be connected to the tank with a sealed flexible joint connector to accommodate tank movement.

**7.5 Baffles and Outlet Devices:**

7.5.1 Baffles or tees shall be placed at the influent pipe. Outlet filter devices shall be placed at the effluent pipe.

7.5.2 Baffles or tees are permitted to be precast monolithically with the tank. If baffles, tees, or outlet filters are added, they shall be made of noncorrosive materials and be permanently connected with noncorrosive fasteners to either the inside of the tank or the outlet pipe.

7.5.3 The inlet baffle or tee shall extend at least 8 in. (200 mm) below the liquid level and at least 5 in. (125 mm) above the liquid level.

7.5.4 The outlet filter shall extend below the liquid line at least 10 in. (250 mm) but not more than 40 % of the depth of the liquid. It shall extend a minimum of 5 in. (125 mm) above the liquid level line. The filter device shall be constructed to prevent the discharge of floating solids in the event the liquid

level in the tank overflows the top of the filter with the filter element in place. All filter devices must meet the performance criteria of NSF/ANSI Standard 46-2005 or most current revision.

7.5.5 Outlet filter device shall be maintained in accordance with manufacturer's recommendations or requirements of regulating agencies, or both.

7.5.6 Outlet filter devices shall be sized upon the estimated daily water use and the rated capacity of the filter per the manufacturer's specifications.

7.5.7 Specifications for baffles, tees, and outlet filter devices are for normal, low-flow conditions. High-flow conditions, created when liquid is pumped from another tank, will require consideration for other dimensions. Design by a qualified engineer is required for these cases.

7.5.8 Outlet solids deflectors may be used in conjunction with outlet filter devices to deflect suspended solids away from the outlet filter device and shall be installed per the manufacturer's instructions.

**7.6 Openings in Top Slab:**

7.6.1 An access opening shall be located over the influent pipe and the effluent pipe. Where an opening has any dimension greater than 12 in. (300 mm), the lid shall weigh a minimum of 59 lb (27 kg) or be provided with a lock system to prevent unauthorized entrance.

7.6.2 An access opening or openings shall be provided to permit pumping of all compartments.

7.6.3 An inspection hole, at least 4 in. (100 mm) in diameter, shall be located over an interior divider in a two-compartment tank.

7.6.4 Handles shall be provided when the top of a cover is flush with the top of the top slab. Handles shall be made of corrosion-resistant material and be capable of supporting the weight of the cover.

7.6.5 Handles are not required when the cover sits on top of the slab. The cover shall be prevented from moving laterally if sitting on top of the slab.

7.6.6 Where covers are flush with or above ground, they shall be provided with a lock system to prevent unauthorized entrance.

7.6.7 If cover is below grade, it shall have a minimum of 6 in. (150 mm) and a maximum of 12 in. (300 mm) of earth above.

7.6.8 If top slab is more than 12 in. (300 mm) below grade, risers will be required to make the top of the cover meet the requirements of 7.6.7.

**8. Quality Control and Sampling**

8.1 The manufacturer shall certify that the product meets three criteria: (1) water tightness, (2) physical dimensions, and (3) strength of structure.

NOTE 1—Installation to be in accordance with manufacturer's instructions.

8.2 When the purchaser specifies in the bidding documents and the purchase order, the manufacturer shall select at random 1 of every 20 septic tanks to determine compliance with the provisions of this specification.

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**9. Performance Test Methods**

9.1 Proof testing is used to demonstrate the strength of the tank to resist anticipated external and internal loads.

9.1.1 Proof testing, when required by the purchaser, shall be performed in such a way as to simulate the actual anticipated loads.

9.2 Testing for leakage is performed using either vacuum testing or water-pressure testing.

9.2.1 *Vacuum Testing*—Watertight integrity testing utilizing vacuum (negative air pressure).

9.2.1.1 Assemble the empty tank including temporary sealing of inlet and outlet pipes and all access openings.

9.2.1.2 Attach a vacuum device, which is capable of drawing a minimum vacuum pressure of 7 in. (175 mm)/Hg, to an opening at the tank so that air can be drawn from the tank. To measure the negative pressure drawn, the vacuum device shall utilize a calibrated gauge, mercury manometer, or water manometer accurate to within 0.2 in./HG. If a vacuum gauge is used, it shall have a range no greater than 0-10 in. (0-250 mm) Hg.

9.2.1.3 Utilizing the attached vacuum device, introduce negative pressure into the tank to a pressure level of 4 in. (100mm)/Hg. Once the vacuum pressure in the tank has stabilized at 4 in. (100 mm)/Hg the test time begins. The tank passes the test once it holds the negative pressure for 5 min without loss of pressure. Should the negative pressure fall below 4 in. (100 mm) during the test, the pressure shall be returned to 4 in. (100 mm)/Hg and the 5 min test period shall be restarted.

9.2.1.4 If the tank is unable to hold the required pressure for 5 min then the tank can be repaired per the manufacturer's recommendations and retested.

9.2.2 *Water-Pressure Testing*—Seal the tank, fill with water, and let stand for 24 h. Refill the tank. The tank is approved if water level is held for 1 h.

**10. Dimensions and Permissible Variations**

10.1 *Dimensional Tolerances*—The length, width, height, or diameter measurements of the structure when measured on the inside surface shall not deviate from the design dimensions more than the following:

Dimension	Tolerance
0 to 5 ft (0 to 1.5 m)	±¼ in. (±6 mm)
5 to 10 ft (1.5 to 3.0 m)	±¾ in. (±10 mm)
10 to 20 ft (3.0 to 6.1 m)	±½ in. (±13 mm)
20 ft (6.1 m) and over	as agreed upon between the manufacturer and the purchaser

10.2 *Squareness Tolerance*—The inside of the rectangular precast concrete component shall be square as determined by diagonal measurements. The difference between such measurements shall not exceed:

Measured Length	Allowance Difference
0 to 10 ft (0 to 3.0 m)	½ in. (13 mm)
10 to 20 ft (3.0 to 6.1 m)	¾ in. (19 mm)
20 ft (6.1 m) and over	as agreed upon between the manufacturer and the purchaser

10.3 *Joint Surfaces*—The following joint tolerances for water-retaining structures shall apply:

10.3.1 *Flexible Joint*—The sealed joint gap between two mating joint surfaces shall not exceed ¾ in. (10 mm) before the joint sealant is applied.

10.4 *Reinforcement Location*—With reference to thickness of wall or slab, reinforcement shall be within ±¼ in. (6 mm) of the design location, but in no case shall the cover be less than 1 in. (25 mm). The variation in reinforcement spacing shall not be more than one tenth of the designed bar spacing nor exceed 1½ in. (38 mm). The total number of bars shall not be less than that computed using the design spacing.

**11. Repairs**

11.1 Repairs of precast concrete structures, when required, shall be performed by the manufacturer in a manner ensuring that the repaired structure will conform to the requirements of this specification.

**12. Rejection**

12.1 Precast concrete structures or sections of structures shall be subject to rejection because of failure to conform to any of the requirements contained in this specification.

**13. Product Marking**

13.1 Each septic tank shall be clearly marked within 2 ft (0.6 m) of the inlet to the tank by indentation or other approved means with (1) date manufactured, (2) name or trademark of the manufacturer, and (3) tank capacity. The tank or tank cover shall also be marked within 2 ft (0.6 m) of the inlet either on the cover or on the tank with an indication of external loads for which the septic tank is designed to resist, including the number of feet of earth cover above top slab and surface load from Practice C890, that is, A-03, A-8, A-12, or A-16, unless required otherwise by local codes.


13.2 Each septic tank shall be clearly marked by indentation, or other approved means with (1) date of manufacture, (2) name or trademark of the manufacturer, and (3) indication of external loads for which the septic tank is designed to resist, including the number of feet of earth cover above top slab and surface load from Practice C890, that is, A-03, A-8, A-12, or A-16, unless required otherwise by local codes.

13.2.1 When all the requirements of this specification are met, the product shall be so stamped.

13.3 Where an access opening or an inspection opening has a dimension greater than 8 in. (200 mm), a label of noncorrosive material shall be placed in a prominent place to warn everyone that "Entrance into the tank could be fatal."

**14. Keywords**

14.1 anaerobic digestion; on-site wastewater treatment; sanitary waste; septic tank; sewer; sewer treatment

 C1227 – 13

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**From:** Smith, Brandon E (MPCA)  
**Sent:** Tuesday, March 27, 2018 3:19 PM  
**To:** Schnick, Emily (MPCA) <[emily.schnick@state.mn.us](mailto:emily.schnick@state.mn.us)>  
**Subject:** RE: Land Application of Industrial By-Product

I can take care of the review once we receive the permit application, and we'll have to send them approval to use it for IBP storage after the permit is issued. We won't be able to give them formal approval until then, but I've seen this tank used in other applications, and I don't expect there will be any issues with us being able to approve it once we get a little more info. They will have to obtain plans for the final tank that are signed by a professional engineer licensed in Minnesota (Wieser Concrete has been able to provide that info to us on past projects), and will also have to have certified plans for any piping associated with it.

If they have any further questions, go ahead and have them call or email me.

**Brandon E. Smith, P.E.**  
Minnesota Pollution Control Agency  
Engineer - Industrial Division  
[651-757-2740](tel:651-757-2740)  
[brandon.e.smith@state.mn.us](mailto:brandon.e.smith@state.mn.us)

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Change of Use

Form 1721 (6-25-2013)	Document Management System # _____
<b>m DEPARTMENT OF TRANSPORTATION</b>	District <u>7A</u> Permit # <u>79597</u>
<b>APPLICATION FOR ACCESS (DRIVEWAY) PERMIT</b>	C.S. <u>4808</u> T.H. <u>99</u>
	R.P. <u>MM 23.010</u>
	(THIS SECTION FOR MnDOT OFFICE USE ONLY.)

ATTACH A SKETCH OF THE PROPOSED WORK AREA AND RELATION TO TRUNK HIGHWAY. SUBMIT TO DISTRICT OFFICE OF MINNESOTA DEPARTMENT OF TRANSPORTATION.

APPLICANT Camas, Inc.	TELEPHONE 507-357-4929	ADDRESS (Street, City, State, Zip) 40463 261st Ave, Le Center, MN, 56057
PROPERTY OWNER SRS Properties, LLLP	TELEPHONE	ADDRESS (Street, City, State, Zip)

LOCATION OF PROPOSED WORK (City/Township) (County) (Distance) (N-S-E-W) SPECIFIC ROAD INTERSECTION OR LANDMARK  
 Highway 99 in Le Center Le Sueur 0.13 Miles East of County Road 112

WILL THIS ACCESS BE WITHIN TRIBAL LANDS?  Yes  No IF YES, WHICH ONE?

PURPOSE OF DRIVEWAY <input type="checkbox"/> Temporary <input type="checkbox"/> Field Entrance <input type="checkbox"/> Residential <input type="checkbox"/> Proposed Public Street <input checked="" type="checkbox"/> Commercial (Specify Type) <u>Animal Feed Ingredient Company</u>	REQUESTED ENTRANCE WIDTH _____ Feet	PROPERTY IS IN <input checked="" type="checkbox"/> Platted Area <input type="checkbox"/> Unplatted Area	ZONING FOR PROPERTY IS Commercial
IS BUILDING TO BE CONSTRUCTED <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (Specify Type)	WILL BUILDING BE <input type="checkbox"/> Temporary <input checked="" type="checkbox"/> Permanent	NUMBER OF PRESENT DRIVEWAYS TO PROPERTY 2- 1 on 99 1 on Cnty 112	

EXACT LOCATION OF PRESENT DRIVEWAY(S) Attached EXACT LOCATION OF PROPOSED DRIVEWAY(S) NA

LEGAL DESCRIPTION OF PROPERTY Attached

WORK TO START ON OR AFTER No Construction using existing DATE WORK TO BE COMPLETED BY Anticipated Move Date May 2018

**APPLICANT'S ACCEPTANCE, WAIVER AND INDEMNIFICATION**

The undersigned applicant hereby agrees to comply with applicable statutes, rules, and all the standard conditions and special provisions of this permit. The applicant understands and agrees that no work in connection with this application will be started until the application has been approved and the permit issued.

The applicant also understands that this permit may also be subject to the approval of local road authorities having joint supervision over said street or highway, and may be subject to applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and/or any other affected governmental agencies.

The applicant is aware of circumstances or hazards that may arise while performing the work associated with this application that could result in injury, loss, damage or death, and the applicant assumes the risk of such circumstances, dangers or hazards, whether reasonably foreseeable or not.

The undersigned applicant expressly agrees that except for negligent acts of the State, its agents and employees, the applicant or his/her agents or contractor shall assume all liability for, and save the State, its agents and employees, harmless from any and all claims for damages, actions or causes of action arising out of the work to be done in connection with this application and permit.

NAME AND TITLE Michelle Hawkins, Director of Operations	EMAIL ADDRESS mhawkins@camasinc.net
DATE <u>3/8/18</u>	SIGNATURE <u>Michelle Hawkins</u>

DO NOT WRITE BELOW THIS LINE PERMIT NOT VALID UNLESS BEARING SIGNATURE AND NUMBER

**AUTHORIZATION OF PERMIT**

In consideration of the applicant's agreement to comply in all respects with the applicable laws and the conditions of the Commissioner of Transportation pertaining to this permit, permission is hereby granted for the work to be performed as described in the above application, said work to be performed in accordance with the following standard conditions and special provisions:

SEE ATTACHED STANDARD CONDITIONS AND SPECIAL PROVISIONS

<u>March 12 2018</u> Date All Work To Be Completed By	<u>[Signature]</u> Authorized MnDOT Signature	<u>March 12 2018</u> Date of Authorized Signature
--	--	--

DISTRIBUTION Original to Area Maintenance Engineer Applicant Subarea Supervisor Roadway Regulations Supervisor	DEPOSIT REQUIREMENTS <input checked="" type="checkbox"/> No Deposit Required <input type="checkbox"/> Deposit Required in the Amount of \$ _____ Date Deposit Received _____ <i>Deposit to be returned upon satisfactory completion of all work</i>	DEPOSIT TYPE Cashier's Check # _____ Certified Check # _____ Money Order # _____ Bond # _____
--	---	---

DATE WORK COMPLETED (The date when the work is completed must be reported to the MnDOT District Permits Office)

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BY: \_\_\_\_\_



Michelle Hawkins <masa0009.mh@gmail.com>

Road Authority Approval Request-Camas

Schoeb, Steve (DOT) <steve.schoeb@state.mn.us>  
To: Michelle Hawkins <mhawkins@camasinc.net>

Fri, Mar 9, 2018 at 7:44 AM

That is correct. We believe that a turn lane onto MN Hwy 99 will not be needed at this time.

Please fill out the attached permit application and return it to me.

Steve Schoeb

District 7 East Permits

2151 Bassett Dr.

Mankato, MN.

56001

507-304-6180

From: masa0009.mh@gmail.com [mailto:masa0009.mh@gmail.com] On Behalf Of Michelle Hawkins  
Sent: Friday, March 09, 2018 7:34 AM  
To: Schoeb, Steve (DOT) <steve.schoeb@state.mn.us>

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## Mettler, Michelle

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**From:** Tiegs, David  
**Sent:** Tuesday, February 27, 2018 1:38 PM  
**To:** Mettler, Michelle  
**Cc:** 'mhawkins@camasinc.net'  
**Subject:** Entrance to Parcel 01.001.0400

Michelle, I was recently contacted by Michelle Hawkins of CAMAS Inc. regarding the entrances to parcel 01.001.0400 from County Road 112. Per Michelle Hawkins the proposed use of the entrances would be for employee and small vehicle traffic. The existing entrances from County Road 112 are adequate to accommodate this. Should anything else be needed please let me know.

Thanks,  
Dave Tiegs  
Le Sueur County  
Highway Engineer



MINNESOTA DEPARTMENT OF AGRICULTURE

COMMERCIAL FEED

CAMAS INCORPORATED  
304 NORTH 2ND ST  
MANKATO MN 56001



20135313	01/01/2018	12/31/2018
License Number	Effective date	Expiration date

CAMAS INCORPORATED  
PO BOX 10  
LE CENTER MN 56057

20135313	\$75.00	12/31/2018
License Number	License Fee Paid	Expiration date

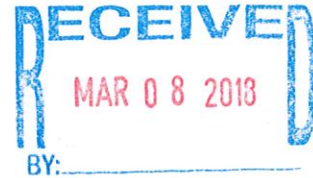




**SOUTH DAKOTA DEPARTMENT OF AGRICULTURE  
DIVISION OF AGRICULTURAL SERVICES**

523 East Capitol Ave., Foss Building  
Pierre, South Dakota 57501-3182  
Phone (605) 773-4432 / Fax (605) 773-3481  
<http://sdda.sd.gov/divisions/#agservices>

MICHELLE HAWKINS  
CAMAS INCORPORATED  
PO BOX 10  
LE CENTER MN 56057



**QUESTIONS REGARDING THIS LICENSE SHOULD  
BE DIRECTED TO THE ABOVE ADDRESS**

**SOUTH DAKOTA DEPARTMENT OF AGRICULTURE**

**FEED LICENSE**

**LICENSE TO MANUFACTURE AND / OR DISTRIBUTE COMMERCIAL FEED**

This is to certify that Camas Incorporated of LE CENTER MN 56057 is hereby licensed according to the provisions of SDCL 39-14, the South Dakota Commercial Feed Law, and is authorized to engage in the manufacturing and or distribution of animal feed in the state of South Dakota for the year ending

December 31, 2018

Company ID: 3602

Dated at Pierre, South Dakota

January 3, 2017

Secretary of Agriculture

Agriculture - South Dakota's #1 Industry

POST IN CONSPICUOUS PLACE

NONTRANSFERABLE

STATE OF IOWA

DEPARTMENT OF AGRICULTURE & LAND STEWARDSHIP

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DEPARTMENT OF  
AGRICULTURE  
FEED MANUFACTURER/DEALER LICENSE

CAMAS INCORPORATED  
PO BOX 10  
LE CENTER MN 56057-0010

THE AFORESAID, HAVING DEPOSITED THE REQUIRED FEE, IS HEREBY GRANTED THE ABOVE LICENSE PURSUANT TO CHAPTER 198, CODE OF IOWA. THIS LICENSE SHALL REMAIN IN FULL FORCE FROM THE DATE OF ISSUE UNTIL ITS EXPIRATION DATE, UNLESS REVOKED OR SUSPENDED FOR CAUSE BY THE SECRETARY OF AGRICULTURE FOR NONCOMPLIANCE WITH CHAPTER 198, CODE OF IOWA OR RULES PROMULGATED PURSUANT THERETO.

DATE OF ISSUE October 4, 2017  
EXPIRES June 30, 2019.



SECRETARY OF AGRICULTURE  
AND LAND STEWARDSHIP

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# CAMAS INCORPORATED

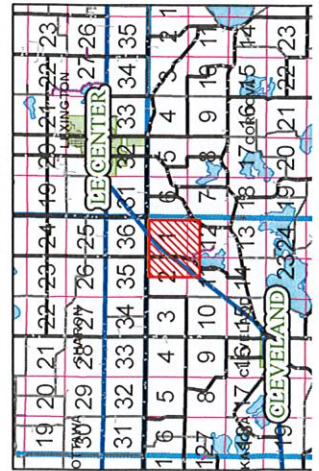
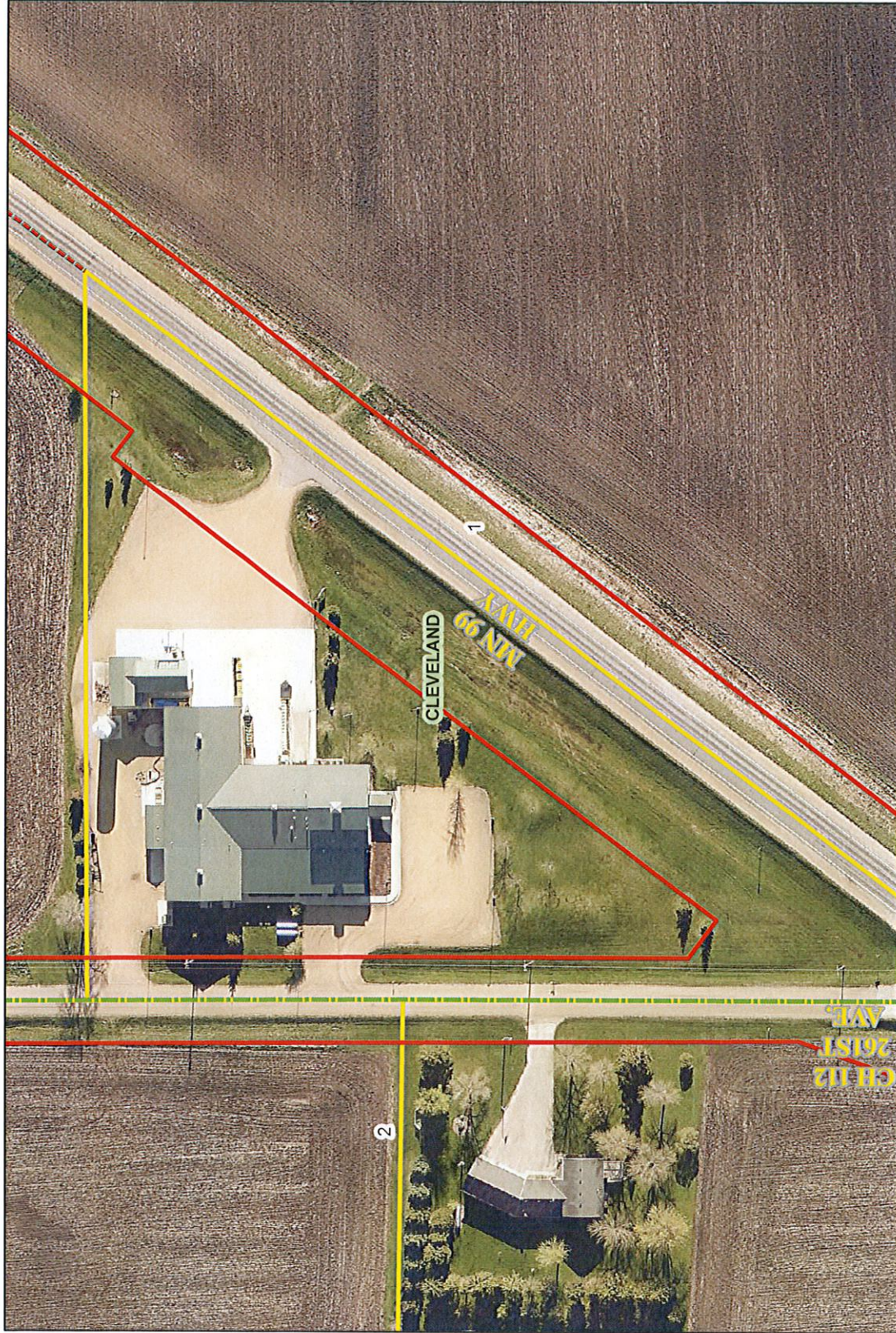
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*Natural Solutions for Animal Agriculture*



# LE SUEUR COUNTY ENVIRONMENTAL SERVICES

**NAME:** Camas  
**PID:** 01.001.0400  
**DATE:** 04-25-18  
**FIRM #:** 27079C0260D  
**F-Zone:** X-outside  
**RFPE:** na  
**District:** Agriculture



Map Disclaimer

\*Reasonable efforts have been made by the Le Sueur County GIS Department to verify that these maps accurately interpret the source data used in their preparation; however, a degree of error is inherent in all maps, and these maps may contain omissions and errors in scale, resolution, rectification, positional accuracy, development methodology, interpretation of source data, and other circumstances.  
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Coordinate System: NAD 1983 HARN Adj MN Le Sueur Feet

