



Le Sueur County, MN

Thursday, September 14, 2017

Regular session

Item 5

ISG, Brian Welch, Applicant- M. Bartlett, Owner

Staff Contact: Kathy Brockway or Michelle Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT: ISG, Brian Welch

OWNER: MARVIN BARTLETT

911 ADDRESS: 1408 SHOREWAY DRIVE, KASOTA MN 56050

PROJECT DESCRIPTION: ATF grading excavating and filling within the bluff and bluff impact zone for the construction of retaining wall and patio, and also GEF within the bluff and bluff impact zone for a bluff restoration project and construction of a water-oriented accessory structure.

Variance granted by the Board of Adjustment on August 21, 2017 in or to construct a structure within the bluff.

ZONING DISTRICT PURPOSE: A District, adjacent to Recreational Development (RD) and Natural Environment (NE) lakes, to preserve areas which have natural characteristics suitable for both passive and active recreational usage. Also, it is the intent of this District to manage areas suitable for residential development of varying types, including permanent and seasonal housing. Some non-residential uses with minimal impacts on residential uses may be allowed.

DEFINITIONS:

SHORELAND - The land located within the following distances from public waters:

1. One thousand (1,000) feet from the ordinary high water level of a lake, pond, or flowage.

SHORE IMPACT ZONE - Land located between the ordinary high water level of public waters and a line parallel to it at a setback of fifty (50) percent of the structure setback.

BLUFF - A topographic feature such as a hill, cliff, or embankment in which the slope rises at least fifteen (15) feet from the toe of the bluff to the top of the bluff and the grade of the slope from the toe of the bluff to the top of the bluff averages 18 percent or greater. The percent of the slope is defined as the change in elevation (rise) over a distance (run).

BLUFF IMPACT ZONE - Land located within 30 feet from the top or toe of a bluff.

BLUFF, TOE - The toe of the bluff shall be determined to be the lower end of the lowest ten (10) foot segment that exceeds eighteen (18) percent slope.

BLUFF, TOP - The top of the bluff shall be determined to the upper end of the highest ten (10) foot segment that exceeds eighteen (18) percent.

ZONING ORDINANCE SECTIONS: Sections 13 (pages 13-13) (13-16-20), Section 13.2, Section 18, Subdivision 2 and 3 (pages 18-2-6)

GOALS AND POLICIES:

The current Land Use Plan as adopted in 2007 makes reference to development design of natural resource areas that protects the resource and preservation of significant bluff areas.

Goal #2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource needs.

Objective 1: The County should continue its preservation of significant bluff areas and river valley through its use of a Conservancy Zone.

Action 3: Require all structures to meet 30' minimum setback from the top of a bluff.

SITE INFORMATION

LOCATION: Lot 7, Block 4, La Hamm's Subdivision, Section 7, Kasota Township

ZONING: Recreational Residential "RR" District on a Recreational Development "RD" lake, Washington

GENERAL SITE DESCRIPTION: platted subdivision

ACCESS: Existing access off Shoreway Drive

EXISTING LAND USE WITHIN ¼ MILE:

North: Lake Washington
East: Residential

South: Residential
West: Residential

TOWNSHIP BOARD NOTIFICATION

The applicant notified Daren Barfknecht, Washington Township Board member on August 7, 2017.

NATURAL RESOURCES INFORMATION

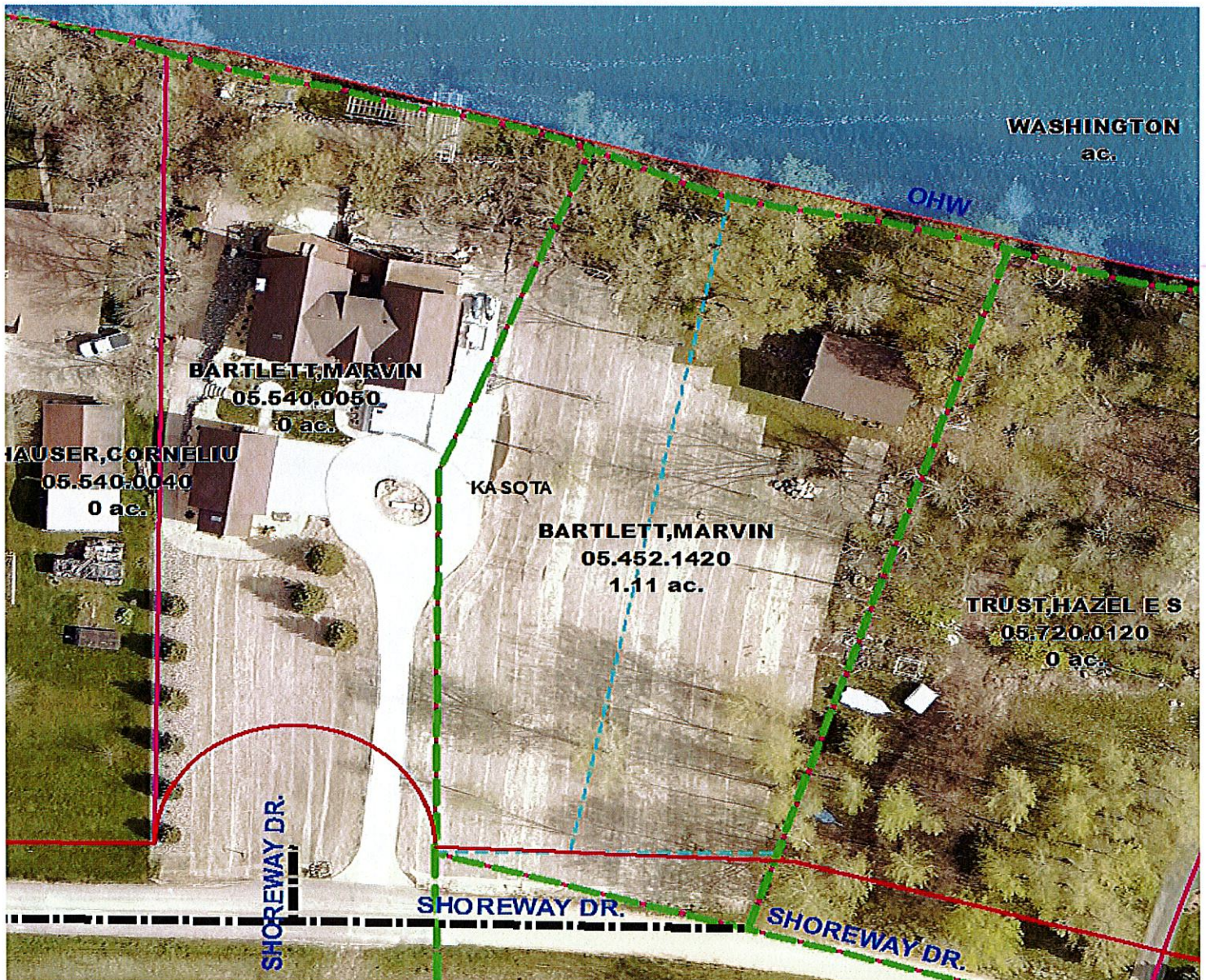
SHORELAND: The proposal is located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

SITE PLAN

See attached documents

AERIAL PHOTO



ATTACHMENTS

Application, Criteria Form, Letter from Joshua Mankowski, LSC Resource Specialist, Narrative, Surveys, Photos

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety, and welfare.

PLANNING AND ZONING COMMISSION CONDITIONS

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

Shoreland District. The following additional evaluation criteria and conditions apply within the Shoreland Districts of the County.

1. **Evaluation criteria.** A thorough evaluation of the water body and the topographic, vegetation, and soils conditions on the site must be made to ensure:
 - a. The prevention of soil erosion or other possible pollution of public waters, both during and after construction.
 - b. The visibility of structures and other facilities as viewed from public waters is limited.
 - c. The site is adequate for water supply and on-site sewage treatment.
 - d. The types, uses, and numbers of watercraft that the project will generate are compatible in relation to the suitability of public waters to safely accommodate this watercraft.
2. **Conditions attached to Conditional Use Permits in Shoreland Districts.** The Board of County Commissioners, upon consideration of the criteria listed above and the purposes of this Ordinance, shall attach such conditions to the issuance of the conditional use permits, as it deems necessary to fulfill the purposes of this Ordinance. Such conditions may include, but are not limited to, the following:
 - a. Increased setbacks from the ordinary high water level.
 - b. Limitations on the natural vegetation to be removed or the requirement that additional vegetation be planted.
 - c. Special provisions for the location, design, and use of structures, sewage treatment system, watercraft, launching and docking areas, and vehicle parking areas.

PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request: (*Agree, Disagree, Not Applicable*)

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities are being provided.*
4. *Adequate measures will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 17296

Applicant: ISG INC BRIAN WELCH

Land Owner: MARVIN BARTLETT

Conditional Use Permit Request: ATF GRADING EXCAVATING AND FILLING WITHIN THE BLUFF AND BLUFF IMPACT ZONE FOR THE CONSTRUCTION OF RETAINING WALL AND PATIO, AND ALSO GEF WITHIN THE BLUFF AND BLUFF IMPACT ZONE FOR A BLUFF RESTORATION PROJECT AND CONSTRUCTION OF A WOAS

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

AI	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application-Grading, Excavating & Filling

Activities that involve topographic alterations in all districts shall conform to the standards in Section 18 of the Le Sueur County Zoning Ordinance. Activities within a shoreland district shall conform to the standards in Section 13 of the Le Sueur County Zoning Ordinance.

In addition any activities in any type wetland shall be evaluated in accordance with the Wetland Conservation Act (WCA) regulations, as administered by the Le Sueur County Soil & Water Conservation District (SWCD).

I. Applicant:

Name ISG, Inc. - Brian Welch
Mailing Address 1415 Town Square Lane
City Faribault State MN Zip 55021
Phone # 507.331.1500 Phone # _____

II. Landowner:

Name Marvin Bartlett
Mailing Address 1408 Shoreway Drive
City Kasota State MN Zip 56050

Property Address 1408 Shoreway Drive
City Kasota State MN Zip 56050
Phone # 612.756.3650 Phone # _____

III. Parcel Information: 65,542,1420

Parcel Number 05.540.0050 Parcel Acreage 1.85
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township Kasota Township Section SW 1/4 of SEC 7 T109 R25
Subdivision Lahanns Lot 4 Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Kasota Township notified on 8/7/2017
(Township Name) (Date)

Board Member Daren Barfknecht regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**



1

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request: Grading, Excavating or Filling.

Non-Shoreland Cubic yards of material movement: _____
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____
TOTAL cubic yards of material movement: _____

Shoreland- Outside Shore Impact Zone Cubic yards of material movement: 0
 Within Shore Impact Zone Cubic yards of material movement: 173
 Within Bluff Impact Zone Cubic yards of material movement: 186
 Within Bluff Cubic yards of material movement: 182
TOTAL cubic yards of material movement: 541

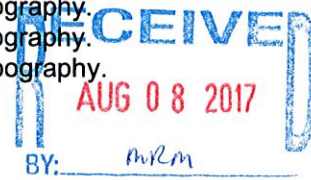
Assurance security shall be required for projects that are >1500 cubic yards.

VIII. Description of Request:

- a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.
- b. Complete the following in relationship to the proposed Conditional Use Permit.
 - 1. **ENVIRONMENTAL IMPACT:** Project will not create any adverse environmental impacts. Refer to attached narrative.
 - 2. **ADVERSE IMPACT ON SURROUNDING AREAS:** No adverse impacts to adjacent or surrounding areas. Refer to attached narrative.
 - 3. **STORMWATER RUNOFF:** A rain garden will be utilized for management of stormwater runoff.
 - 4. **DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL:** No
 - 5. **WETLAND IMPACT:** No wetlands are located in or adjacent to project area.
 - 6. **SLOPE STABILITY:** Slopes will be adequately stabilized with erosion control blanket and seeding.
 - 7. **CERTIFICATE OF INSURANCE:** Provided upon request.
 - 8. **MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:**
(For example additional licensing and/or permitting) Project will meet all applicable county, state, and federal regulations.

IX. Site Plan: Shall include but not limited to the following:

- **Parcels < 5 AC =** 2-foot contours depicting existing and proposed topography.
- **Parcels 5-20 AC =** 5-foot contours depicting existing and proposed topography.
- **Parcels >20 AC =** 10-foot contours depicting existing and proposed topography.
- Location of grading, excavating, and/or filling sites.
- Location of areas for obtaining fill or disposing of excavated materials.
- Tree inventory of all trees, indicating trees to be cut or removed.
(Caliper of 6 inches or greater measured 4.5 feet from ground level).



- North point
- Lake
- Existing Structures
- Septic system
- Setbacks
- River
- Proposed Structures
- Well
- Property Lines
- Wetland
- Lot Dimensions
- Access (size & location)
- Road Right-Of-Way
- Stream
- Ponds
- Easements
- Landscape, screening and buffering
- Drainage

Site plan & As-Built must be completed by a surveyor or professional engineer.

X. Restoration Plan: Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD)*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Distircts)*
 - Root zone of existing trees shall be preserved and protected during development.
 - Replace one tree for every tree that is removed.
 - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

XI. Attachments: Shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full Legal Description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion Control Plan**-Attach completed and signed plan including map.
- h. **Restoration Plan**-See Part X for full details and requirements.
- i. **Approved Stormwater Pollution Prevention Plan**
-Must meet NPDES requirements and prepared by a licensed professional engineer.

XII. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.



XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Ben M. Willh
Applicant signature

07/10/2017
Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

M. B. Suttley
Property Owner signature

7-11-17
Date

Request: **GRADING, EXCAVATING & FILLING**

Non-Shoreland Cubic yards of material movement: _____
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

Shoreland - Outside Shore Impact Zone Cubic yards of material movement: 0
 Within Shore Impact Zone Cubic yards of material movement: 173
 Within Bluff Impact Zone Cubic yards of material movement: 180
 Within Bluff Cubic yards of material movement: 182

TOTAL cubic yards of material movement: 541

Pre-App Date 8-8-17 - 15 Day Lake Classification EO Feedlot 500' 1000' N
Meeting Date 8-17-17 Lake WA Wetland Type 1-2 3-8 N
60 Day 10-16-17 FEMA Panel # 27079C0 245 D Water courses Y N
Zoning District RR Flood Zone X-outside Bluff Y N

Request Description Access Approval Septic **Comp Insp / Design**
 Site Plan Erosion Control Plan Meeting **Reg / ATF / Spec**
 Full Legal Fee \$ 796-
 Ordinance Other _____ Penalty \$ _____

LKWA SD

Application Complete Michelle R. Mittler 8-17-17 17296
Planning & Zoning Department Signature Date Permit #

RECEIVED
AUG 08 2017
BY: mfn

August 14, 2017

Michelle Mettler
 Planning and Zoning
 Le Sueur County Courthouse
 88 South Park Avenue
 Le Center, MN 56057

**RE: Project Description and Application Narrative for Marvin Bartlett Property
 1408 Shoreway Drive, Kasota Township, Kasota, Minnesota**

Michelle,

Please consider the following project description and application narrative during the review process for the attached Conditional Use Application for Grading, Excavating, & Filing. All supplemental information required by the application has also been attached to provide a comprehensive review.

The Bartlett property is located at 1408 Shoreway Drive in Le Seuer County, Kasota, Minnesota. The property is described as Lot 4 of Lahanns Subdivision and is currently zoned as RR – Recreational Residential. The proposed use would remain RR – Recreational Residential which is consistent with the County's Comprehensive Land Use Plan.

The attached application and supplemental information are being submitted as part of a request for after-the-fact consideration for material moving activities that took place within the bluff and to continue construction of a partially complete patio and retaining walls.

The property owners were in the process of constructing a new patio and retaining walls on the north side of subject property, which included the associated grading activities, when construction was halted per Le Sueur County due to a lack of required permitting. Material movement had taken place within the bluff during the associated grading and excavating activities, and portions of the partially completed patio and retaining walls were also constructed within the bluff at that time.

An approximate 56 square foot portion of the patio, and an approximate 20 foot length section of the 1.1 foot tall retaining wall located on the north side of the patio, that were constructed within the bluff will be removed and the area of the bluff where grading and excavating activities took place will be restored per Le Sueur County requirements. All removal and restoration will be completed using the appropriate construction/earth moving equipment. After removal of these portions of the patio and retaining wall that were constructed within the bluff, the following will remain outside of the bluff (approximate dimensions):

- Patio: 9.2' W x 31.2' L
- Retaining wall (northeast of patio): 8' L x 1.1' H
- Retaining wall (south of patio): 45' L x 2.25' H

An additional retaining wall is proposed at the bluff line (between the patio and bluff) as an added support measure. This retaining wall is approximately 30' L x 1' H.

In addition, the property owners are also requesting approval of the attached CUP application as part of a request to perform additional material movement within the bluff (approximately 170 cubic yards) for grading, excavating, and filling activities associated with a proposed future re-build of the existing water orientated accessory structure (WOAS) that is currently located within the bluff. The approximate quantities of material movement (excavating and filling) per zone are outlined below.



1415 Town Square Lane + Faribault, MN 55021
 507.331.1500 + www.is-grp.com

ARCHITECTURE + ENGINEERING + ENVIRONMENTAL + PLANNING



Bluff Impact Zone (features included surface grading, patio, retaining walls, and rain garden)

	Cut (CY)	Fill (CY)	Total (CY)
Surface Grading	117	13	130
Patio	12	12	24
Retaining Walls	4	4	8
Rain Garden	24	0	24
Bluff Impact Zone – All Features	157	29	186

Shore Impact Zone (features included WOAS and bluff restoration)

	Cut (CY)	Fill (CY)	Total (CY)
WOAS	89.7	82.5	172.2
Bluff Restoration	0.3	0.5	.08
Shore Impact Zone – All Features	90	83	173

Bluff Region (features included WOAS and bluff restoration)

	Cut (CY)	Fill (CY)	Total (CY)
WOAS	89.7	82.5	172.2
Bluff Restoration	7.3	2.5	9.8
Bluff Impact Zone – All Features	97	85	182

To ensure compliance moving forward, on behalf of the property owner, ISG, Inc. is requesting approval of a Conditional Use Permit consistent with the attached application.

All proposed grading and material movement will be contained on site, and a minimum of 10 feet from the Ordinary High Water Line (OHWL). Per the proposed restoration plan, all exposed soils including slopes, will be stabilized through the use of erosion control blanket in conjunction with seeding to achieve turf establishment. Rip Rap will also be placed along the existing outlet in the bluff to prevent erosion of the bluff line.

A rain garden, planted with native seed, is proposed to be utilized for stormwater runoff management to reduce the runoff rate and provide some treatment of the stormwater prior to entering the lake. The top of the rain garden is approximately 9.3'x19.4'. Drain tile will be utilized to ensure adequate drainage due to the presence of poor draining soils onsite according to the USGS Websoil Survey.

No trees will be removed to accommodate the proposed project, and no grading or material moving activities will take place within close proximity to any existing onsite trees. There are no wetlands located in or adjacent to the project area.

Based on the information outlined above along with implementation of the proposed design measures, no adverse effects to adjacent or other nearby properties are expected; in addition, the proposed project will not create any adverse impacts to the health, safety, or welfare of neighboring properties or the general public, and no pollution or adverse impacts to the environment are anticipated. Should any unforeseen conditions arise, the necessary reasonable measures will be taken to mitigate identified impacts.





No special privileges will result from approval of the requested conditional use permit application. Rather, granting the requested conditional use permit will allow for the bluff to be restored, the property owners to continue construction of the partially complete patio and retaining walls, and ensure compliance moving forward with the proposed future improvements and WOAS construction.

These considerations along with the supplemental information provided within this submittal support approval the attached application. Please contact me at 507.331.1500 if there is any additional information we can provide in support of this request on behalf of the property owners.

Respectfully Submitted,

Brian M. Welch, PE
Civil Engineer
Civil Engineering Group

BMW/jrc

RECEIVED
AUG 15 2017
BY: _____

**LE SUEUR COUNTY ENVIRONMENTAL SERVICES
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057-1600**

Phone (507) 357-8540 (direct line)

Fax (507) 357-8541

Date: 08/22/17

To: Le Sueur County Planning and Zoning Commission

From: Joshua Mankowski, Environmental Resources Specialist

Applicant:

Brian Welch

Property owner:

Marvin Bartlett

Property:

05.540.0050

Description:

An application for After the Fact Grading, Excavating, and Filling within the Bluff and the Bluff Impact Zone (BIZ) for the construction of retaining wall and patio, and also Grading, Excavating, and Filling within the Bluff and Bluff Impact Zone for a Bluff restoration project.

Recommendation:

It would be my recommendation to approve the application with the conditions listed below.

Condition(s):

1. Bluff area will be replanted with Minnesota Native, deep-rooted vegetation to ensure continued bluff stability.
2. Plant Minnesota Native, deep-rooted vegetation to provide screening for the retaining wall.
3. Special consideration be taken in final construction of the water orientated accessory structure to provide proper drainage to ensure the longevity of the new structure and prevent future erosion issues on the site.
4. Direct runoff from pervious surface to the rain garden to provide additional treatment.

Sincerely,

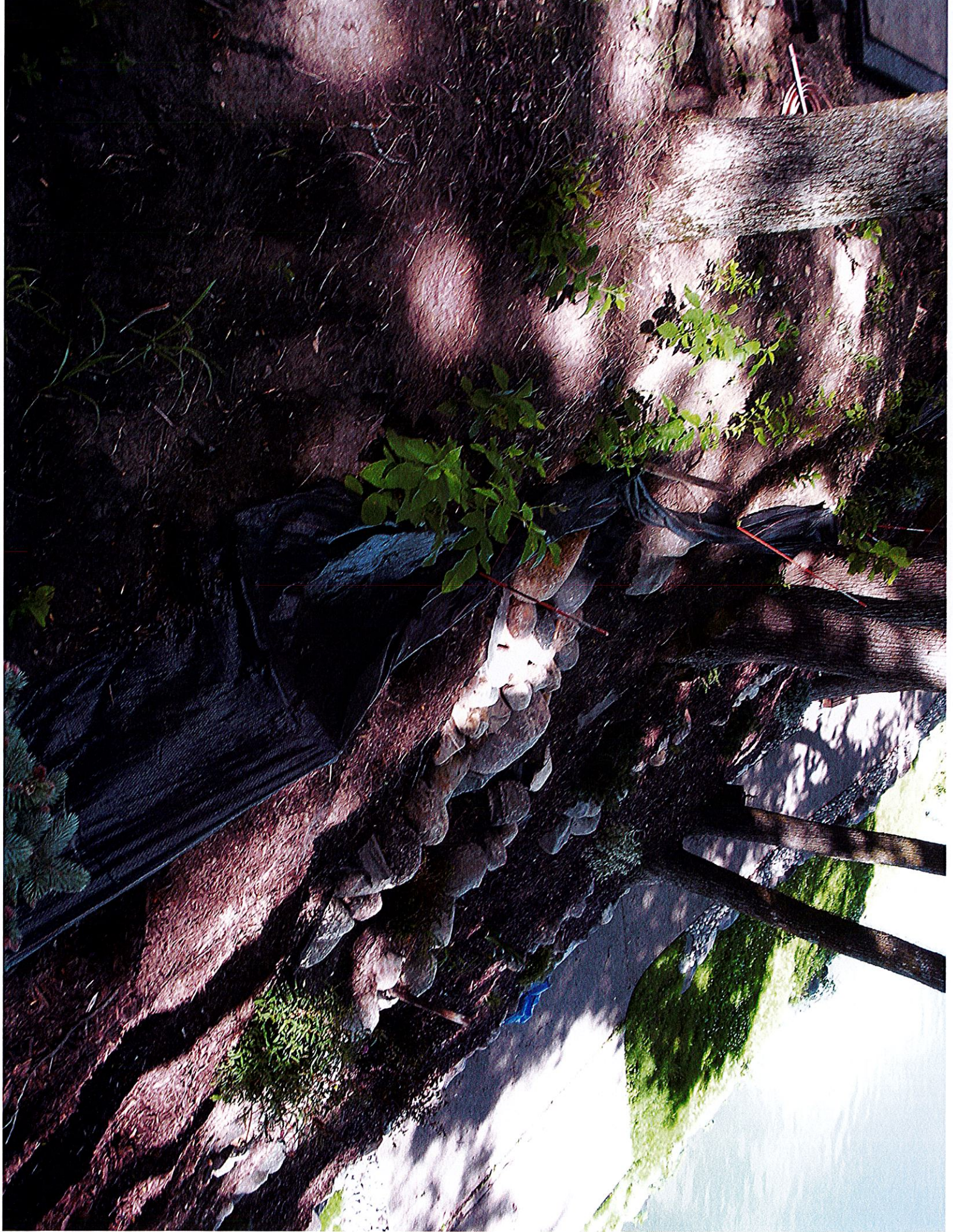


Joshua Mankowski
Le Sueur County
Environmental Resources Specialist











MARVIN BARTLETT RESIDENCE



KASOTA, MINNESOTA

PRELIMINARY PLANS FOR: CONDITIONAL USE PERMIT APPLICATION

ISG PROJECT # 16-18902

LEGEND

EXISTING	
	CITY LIMITS
	SECTION LINE
	QUARTER SECTION LINE
	RIGHT OF WAY LINE
	PROPERTY / LOTLINE
	EASEMENT LINE
	ACCESS CONTROL
	WATER EDGE
	WETLAND BOUNDARY
	WETLAND / MARSH
	FENCE LINE
	CULVERT
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCEMAIN
	WATER
	GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND TV
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UNDERGROUND FIBER OPTIC
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE LINE
	MANHOLE/STRUCTURE
	CATCH BASIN
	HYDRANT
	VALVE
	CURB STOP
	POWER POLE
	UTILITY PEDESTAL / CABINET
PROPOSED	
	LOT LINE
	RIGHT OF WAY
	EASEMENT
	CULVERT
	STORM SEWER
	STORM SEWER (PIPE WIDTH)
	SANITARY SEWER
	SANITARY SEWER (PIPE WIDTH)
	WATER
	GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	CONTOUR
	MANHOLE
	CATCH BASIN
	HYDRANT
	VALVE



LOCATION MAP
0 1000 2000'

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER.
2. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
7. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
8. THE LOCATION AND TYPE OF ALL INPLACE UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS AND ELEVATIONS OF ALL INPLACE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
9. THE CONTRACTOR IS TO CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS, MINIMUM 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-252-1166).

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Brian M. Welch
Brian M. Welch

DATE: 08/07/17 LIC. NO. 51.802

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DATE: _____ LIC. NO. _____

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PROJECT

MARVIN BARTLETT RESIDENCE

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	16-18902
CAD FILE NAME	18902 ZONING-GRADING SITE PLAN
DRAWN BY	EJR
DESIGNED BY	EJR
REVIEWED BY	BMW
ORIGINAL ISSUE DATE	
CLIENT PROJECT NO.	

PROJECT INDEX:

OWNER:
MARVIN BARTLETT
1408 SHOREWAY DRIVE
KASOTA, MINNESOTA

PROJECT ADDRESS / LOCATION:
1408 SHOREWAY DRIVE
KASOTA, MINNESOTA

MANAGING OFFICE:

FARIBAULT OFFICE
1415 TOWN SQUARE LANE
FARIBAULT, MN 55021
PHONE: 507.331.1500
FAX: 507.331.1501

PROJECT MANAGER: BRIAN WELCH
EMAIL: brian.welch@is-grp.com

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE COUNTY OF LE SUEUR REQUIREMENTS AND MnDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2016 EDITION, AND THE STANDARD SPECIFICATIONS FOR SANITARY SEWER, STORM DRAIN AND WATERMAIN AS PROPOSED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA 2013, UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 1995 ADJUSTMENT (NAD83(1996)) ON THE LE SUEUR COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED ON JULY 2016 BY ISG, INC.

TITLE

TITLE SHEET

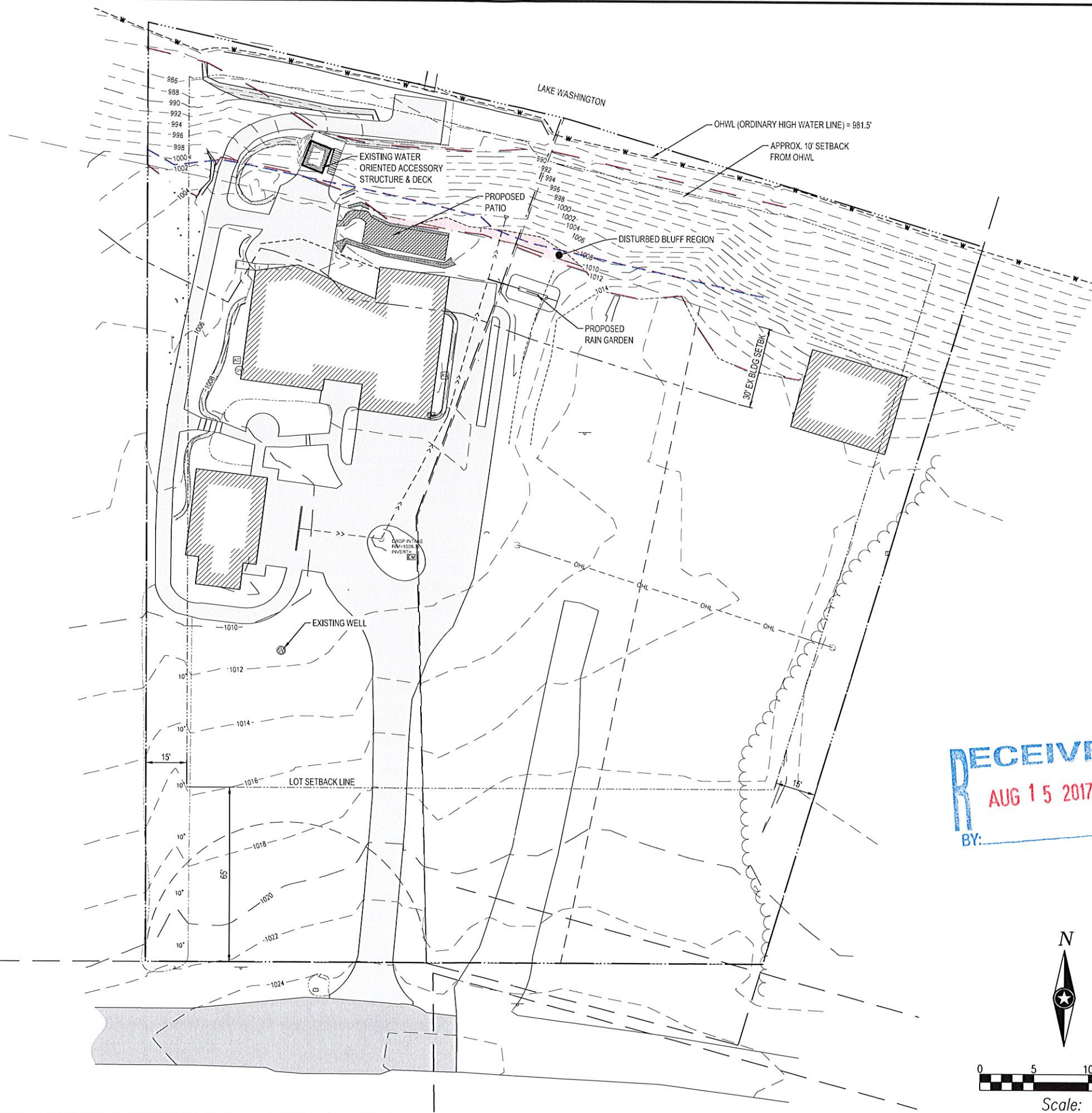
SHEET

1

LEGEND		
EXISTING		PROPOSED
->>-	STORM DRAIN	->>-
->-	SANITARY SEWER	->-
- ->	SANITARY SEWER FORCEMAIN	- ->
-I-	WATER	-I-
-UT-	UNDERGROUND TELEPHONE	-UT-
-OE-	OVERHEAD ELECTRIC	-OE-
-UE-	UNDERGROUND ELECTRIC	-UE-
-UTV-	UNDERGROUND TV	-UTV-
-G-	GAS	-G-
-WET-	WETLAND	-WET-
-W-	WATER SHORELINE	-W-
-X-X-X-	FENCE LINE	-X-X-X-
-1015-	CONTOURS (MAJOR)	-1015-
-1012-	CONTOURS (MINOR)	-1012-
- - - -	PROPERTY LINE	- - - -
*1012.32	SPOT ELEVATION	⊗ 95.25
	TOP OF CURB SPOT ELEVATION	● 95.75

NOTE: CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

IMPERVIOUS CALCULATIONS	
TOTAL LOT SIZE	80691
EXISTING IMPERVIOUS AREA	19258
EXISTING % IMPERVIOUS	24%
PROPOSED IMPERVIOUS	
BUILDINGS	5550
ATTACHED DECK	485
GRAVEL SURFACE	2219
CONCRETE SURFACE	10948
TOTAL IMPERVIOUS	19202
PROPOSED % IMPERVIOUS	24%



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Brian M. Welch
Brian M. Welch
 DATE 08/07/17 LIC. NO. 51,802

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PROJECT
MARVIN BARTLETT RESIDENCE

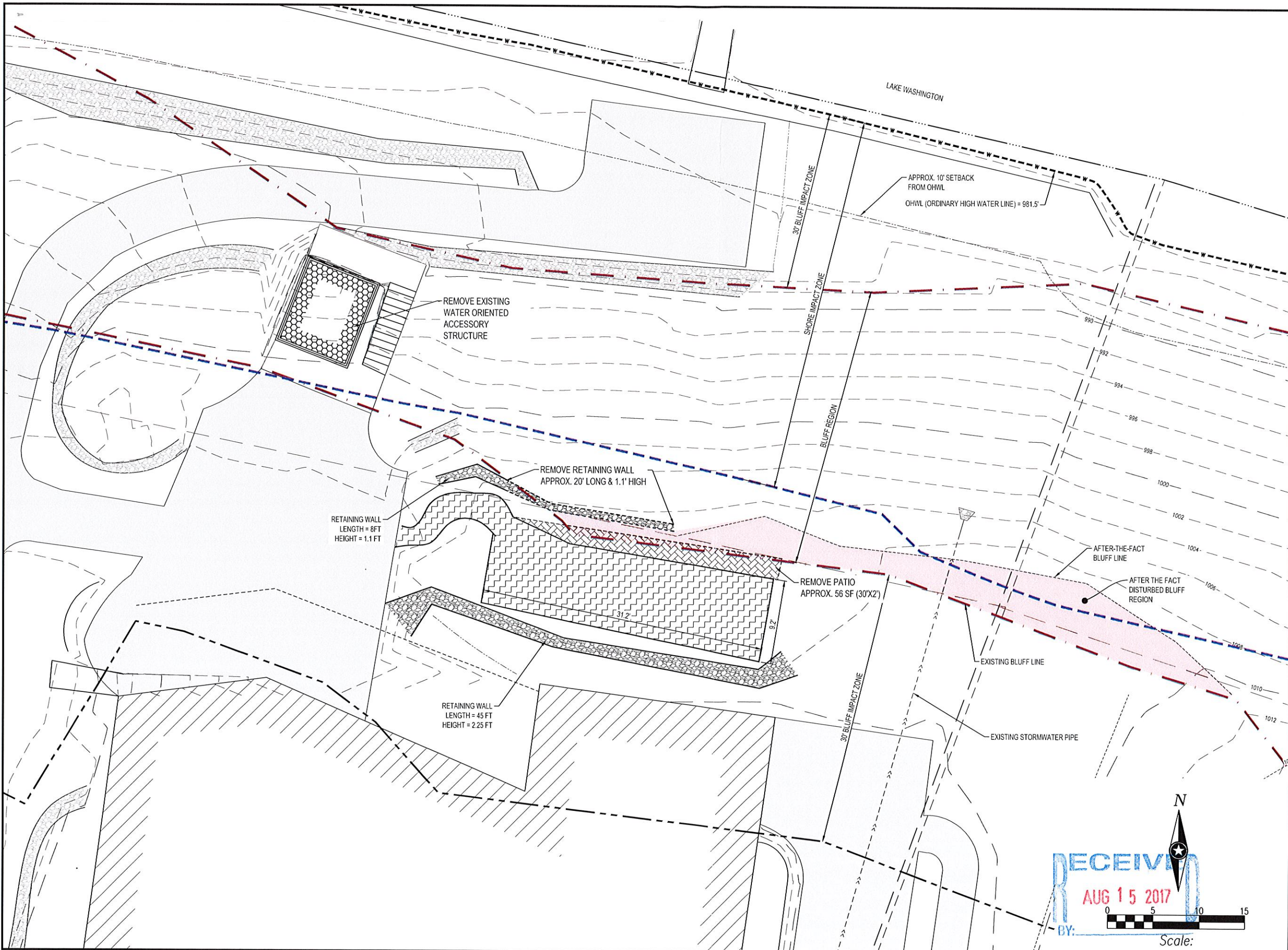
KASOTA MINNESOTA

NO	DATE	REVISION SCHEDULE DESCRIPTION

PROJECT NO. 18902
 FILE NAME 18902 ZONING-GRADING SITE PLAN
 DRAWN BY EJR
 DESIGNED BY EJR
 REVIEWED BY BMW
 ISSUE DATE
 CLIENT PROJECT NO. -

TITLE
OVERALL SITE PLAN

SHEET
2



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PROJECT
MARVIN BARTLETT RESIDENCE

KASOTA MINNESOTA

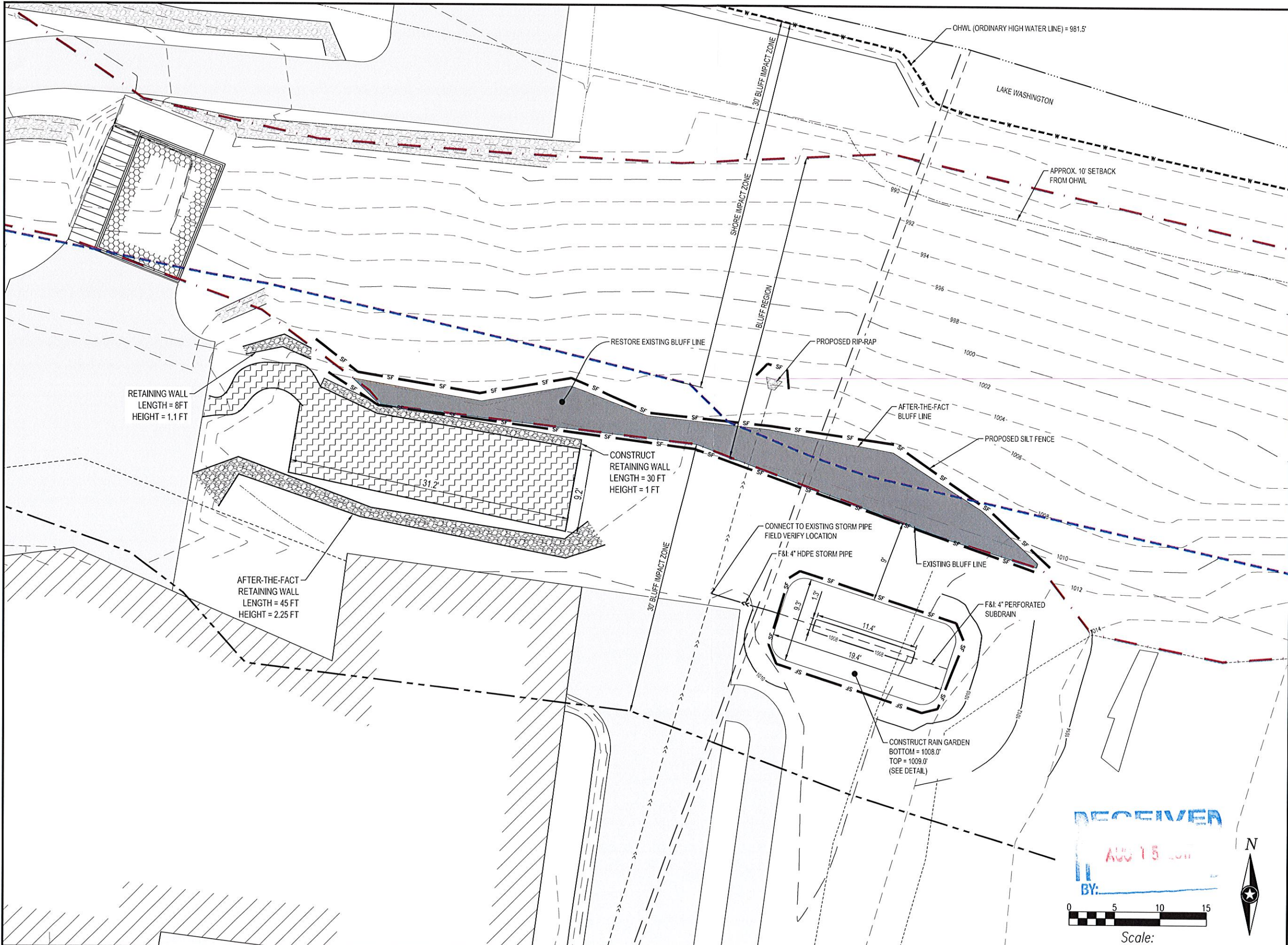
REVISION SCHEDULE		
NO	DATE	DESCRIPTION

PROJECT NO. 18902
 FILE NAME 18902 ZONING-GRADING SITE PLAN
 DRAWN BY EJH
 DESIGNED BY EJH
 REVIEWED BY BMW
 ISSUE DATE
 CLIENT PROJECT NO.

TITLE
SITE REMOVAL PLAN

SHEET
3





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MARVIN BARTLETT RESIDENCE

KASOTA MINNESOTA	
REVISION SCHEDULE	
NO	DATE DESCRIPTION

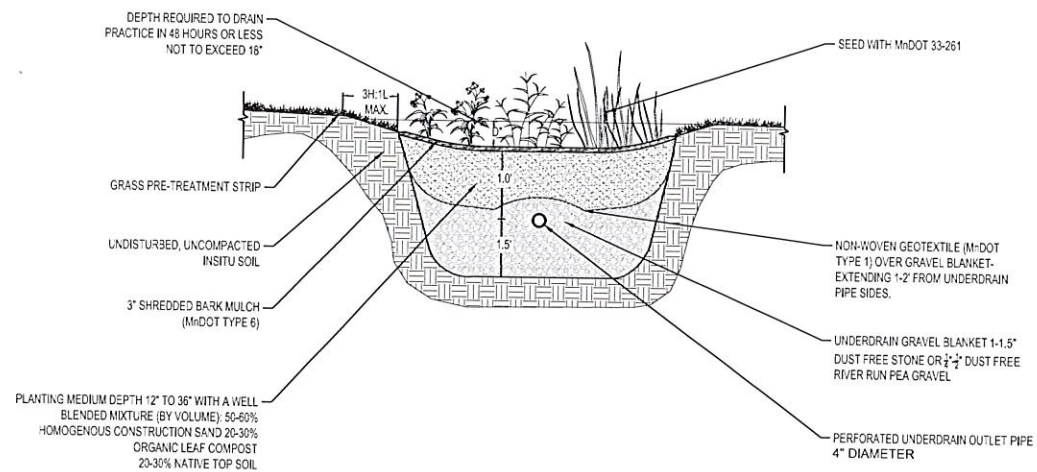
PROJECT NO. 18902
FILE NAME 18902 ZONING-GRADING SITE PLAN
DRAWN BY EJR
DESIGNED BY EJR
REVIEWED BY BMW
ISSUE DATE
CLIENT PROJECT NO.

SITE & EROSION CONTROL PLAN

SHEET **4**

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Scale: 0 5 10 15

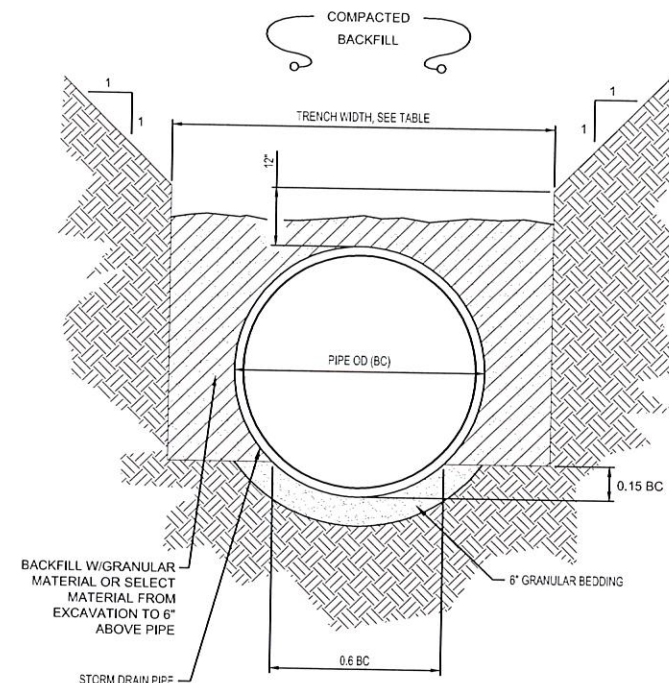




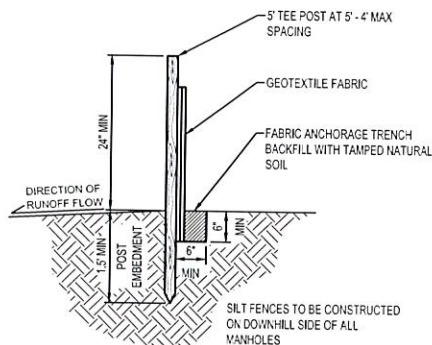
RAIN GARDEN
NTS SD750

TRENCH WIDTH	
PIPE DIAM	TRENCH WIDTH
36" OR LESS	BC + 24"
42" TO 54"	1.5 x B C
60" OR OVER	BC + 36"

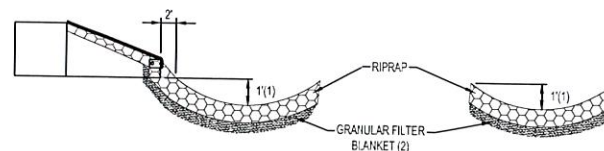
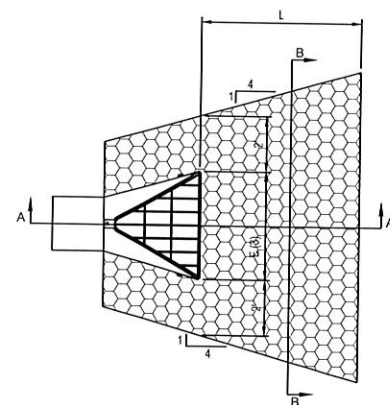
NOTE:
GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION.



NON-CONCRETE STORM DRAIN PIPE BEDDING
NTS SD600



SILT FENCE
NTS EC100



SECTION A-A

SECTION B-B

DIMENSIONS	
PIPE DIA.	L
12" & 15"	12
18" & 21"	15
24" & 27"	20
30"	20
36"	25
42"	35
48"	45

NOTES:

- REQUIREMENTS FOR RIPRAP SIZE AND THICKNESS WILL BE DESIGNATED IN THE PLANS
- (1) FOR PIPES GREATER THAN OR EQUAL TO 30", USE 1.5'-2'
- (2) THE CONTRACTOR, AT HIS OPTION, MAY SUBSTITUTE A GEOTEXTILE FABRIC, SPEC. 3601 FOR THE GRANULAR FILTER BLANKET. THE FABRIC SHOULD COVER THE AREA OF THE RIPRAP AND EXTEND UNDER THE CULVERT APRON BY 3'.
- (3) DIMENSION E IS GIVEN ON M&DOT STANDARD PLATES 3100 AND 3110

RIPRAP AT OUTLET
NTS EC400

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PROJECT

MARVIN BARTLETT RESIDENCE

KASOTA MINNESOTA

REVISION SCHEDULE

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REVIEWED BY BMW
ISSUE DATE

CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET

6