



Le Sueur County, MN

Thursday, July 13, 2017

Regular session

Item 5

Mankato Landshapes-Boots Packet

Staff Contact: Kathy Brockway or Michelle Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT: MANKATO LANDSHAPES INC
OWNER: Steven and Elizabeth Boots
911 ADDRESS: 6106 Shamrock Dr. Madison Lake MN 56063

PROJECT DESCRIPTION: Allow grading, excavating, and filling of approximately 12.5 cubic yards of material within a bluff for a bluff stabilization project and stairs in the bluff in a Recreational Residential "RR" District, on a Recreational Development "RD" lake, Lake Washington.

ZONING ORDINANCE SECTIONS: 13.2, 18

DISTRICT PURPOSE:

The intent of the **Recreational Residential (RR) District** is to preserve areas which have natural characteristics suitable for both passive and active recreational usage. Also, it is the intent of this district to manage areas suitable for residential development of varying types, including permanent and seasonal housing. Some non-residential uses with minimal impacts on residential uses are allowed if properly managed under conditional use procedures.

GOALS AND POLICIES: The current Land Use Plan as adopted in 2007 references shoreland development.

Goal 2: Le Sueur County should adopt and enforce land use goals and policies that conserve and restore its natural resources, bring protections to the ecological systems of the natural environment, and prevent the premature development of natural resource areas.

Policy: Utilize shorelands on Recreational Development Lakes (RD) for housing, but with a focus on development design that protects the resource.

DEFINITIONS:

Bluff - A topographic feature such as a hill, cliff, or embankment in which the slope rises at least fifteen (15) feet from the toe of the bluff to the top of the bluff and the grade of the slope from the toe of the bluff to the top of the bluff averages 18 percent or greater. The percent of the slope is defined as the change in elevation (rise) over a distance (run).

SITE INFORMATION

LOCATION: Lot 4, Block 3, Connors Point Subdivision, Section 7, Washington Township.

ZONING: Recreational Residential "RR"

GENERAL SITE DESCRIPTION: Shoreland, residential

ACCESS: Existing access off Shamrock Drive

EXISTING LAND USE WITHIN ¼ MILE:

North:	Residential	South:	Residential/Lake Washington
East:	Residential/Lake Washington	West:	Lake Washington

TOWNSHIP BOARD NOTIFICATION

Applicant notified Robert Kaveny, Washington Township Board on June 9, 2017.

NATURAL RESOURCES INFORMATION

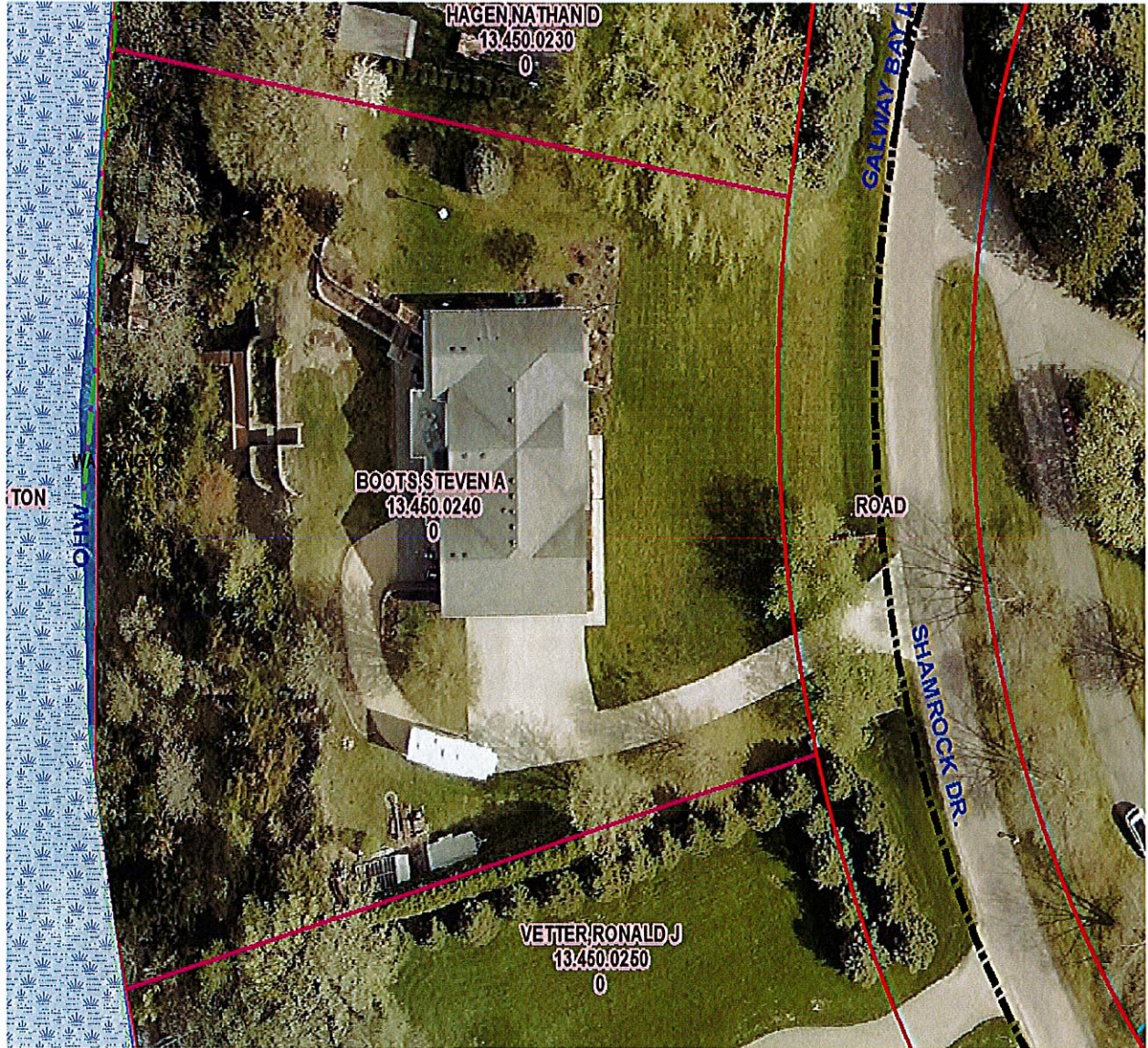
SHORELAND: The proposal is located within the Shoreland District.

WETLANDS: According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

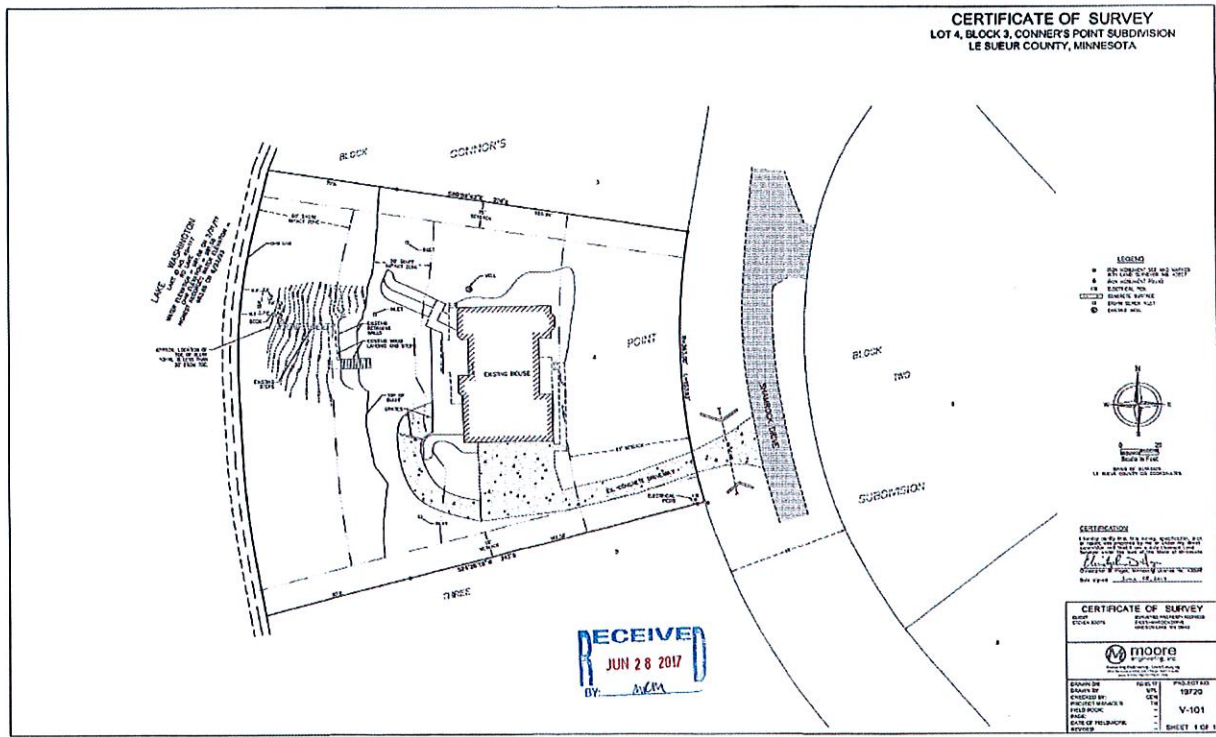
ATTACHMENTS

Application, Criteria Form, Letter Joshua Mankowski, Narrative, Erosion Control Plan, Photos

AERIAL PHOTO/SITE PLANS-EXISTING AND PROPOSED

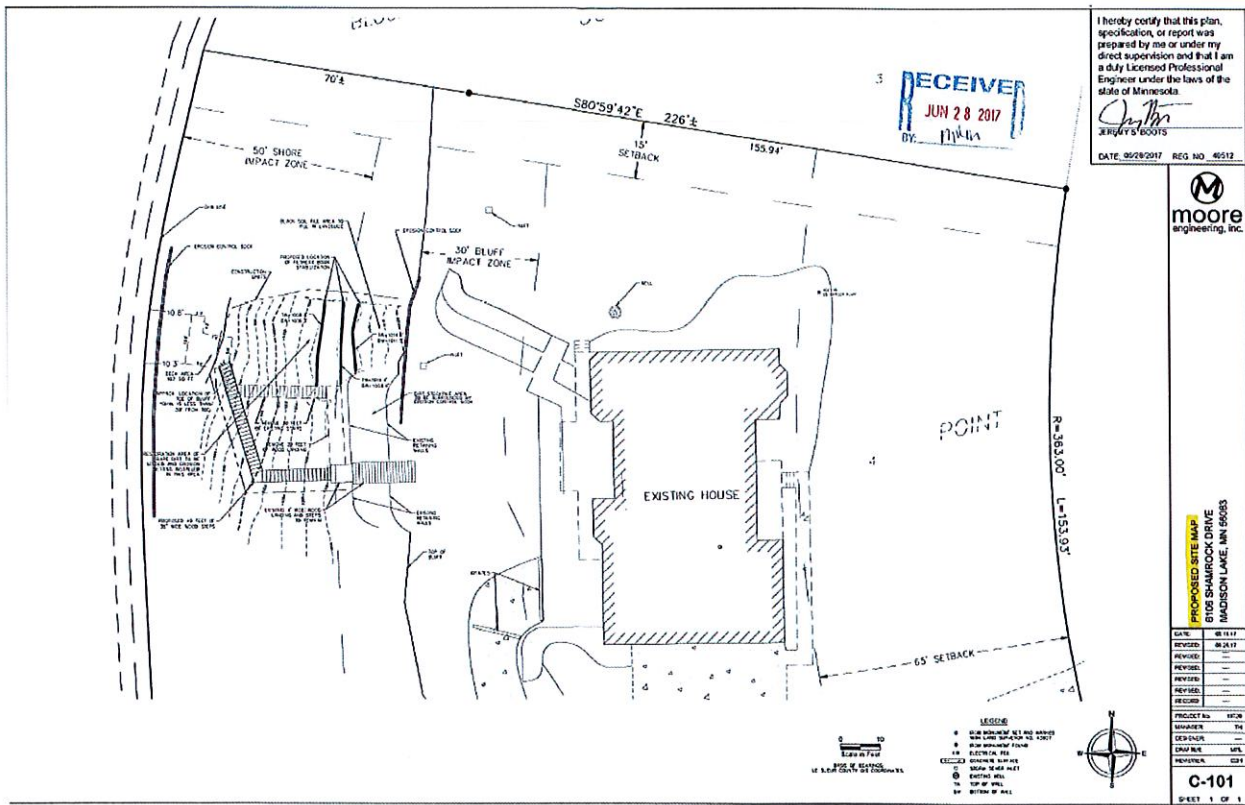


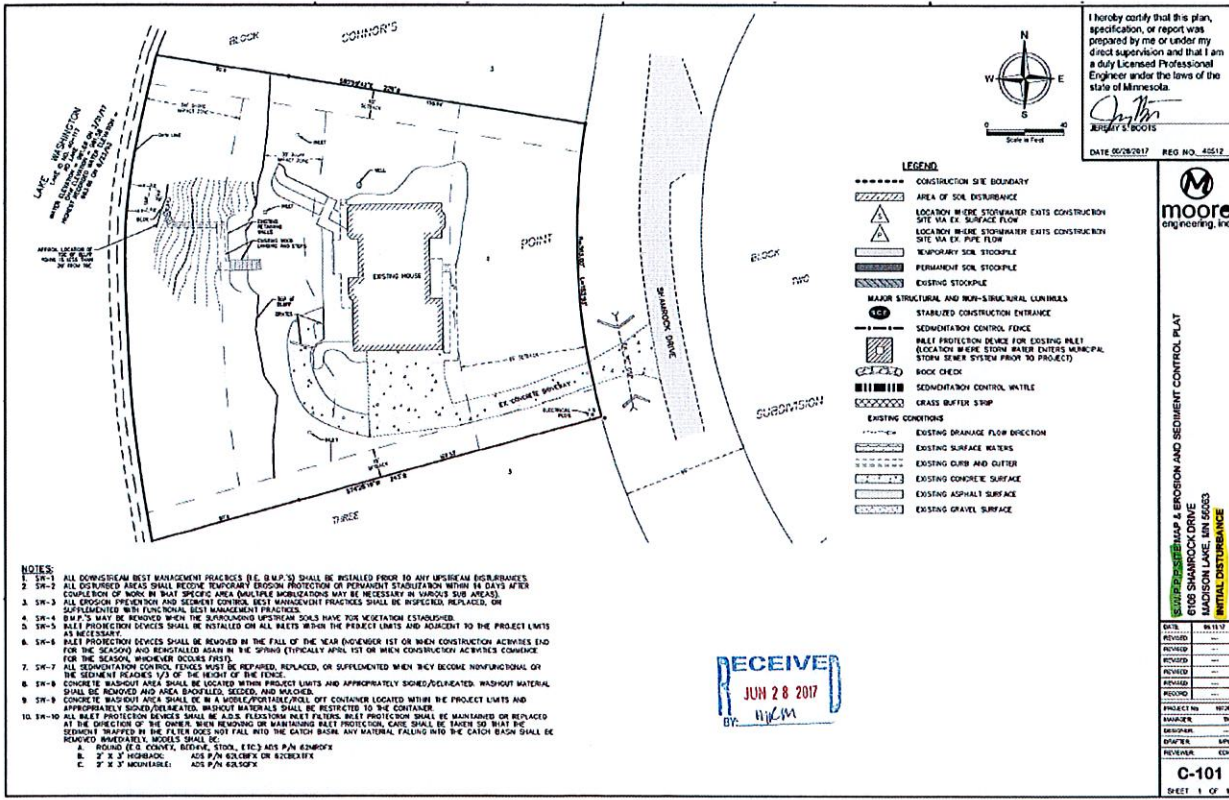
EXISTING CONDITIONS:



Existing Conditions

PROPOSED CONDITIONS:





I hereby certify that the plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature
JURBY & ROOTS

DATE: 05/28/2017 REG. NO. 45512

- LEGEND**
- CONSTRUCTION SITE BOUNDARY
 - AREA TO BE STABILIZED PER TOPSOIL REPLACEMENT AND STABILIZATION PLAN
 - PROPOSED SURFACE WATERS/SUBSURFACE FLOW
 - LOCATION WHERE STORMWATER ENITS CONSTRUCTION SITE VIA EX. SURFACE FLOW
 - LOCATION WHERE STORMWATER ENITS CONSTRUCTION SITE VIA EX. PIPE FLOW
 - PERMANENT SOIL STOCKPILE
 - EXISTING STOCKPILE
 - MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS
 - SEDIMENTATION CONTROL FENCE
 - INLET PROTECTION DEVICE FOR EXISTING INLET (LOCATION WHERE STORM WATER ENTERS MUNICIPAL STORM SEWER SYSTEM PRIOR TO PROJECT)
 - ROCK CHECK
 - SEDIMENTATION CONTROL WALL
 - GRASS BUFFER STRIP
 - EXISTING CONDITIONS
 - EXISTING DRAINAGE FLOW DIRECTION
 - EXISTING SURFACE WATERS
 - EXISTING CURB AND GUTTER
 - EXISTING CONCRETE SURFACE
 - EXISTING ASPHALT SURFACE
 - EXISTING GRAVEL SURFACE

moore engineering, inc.

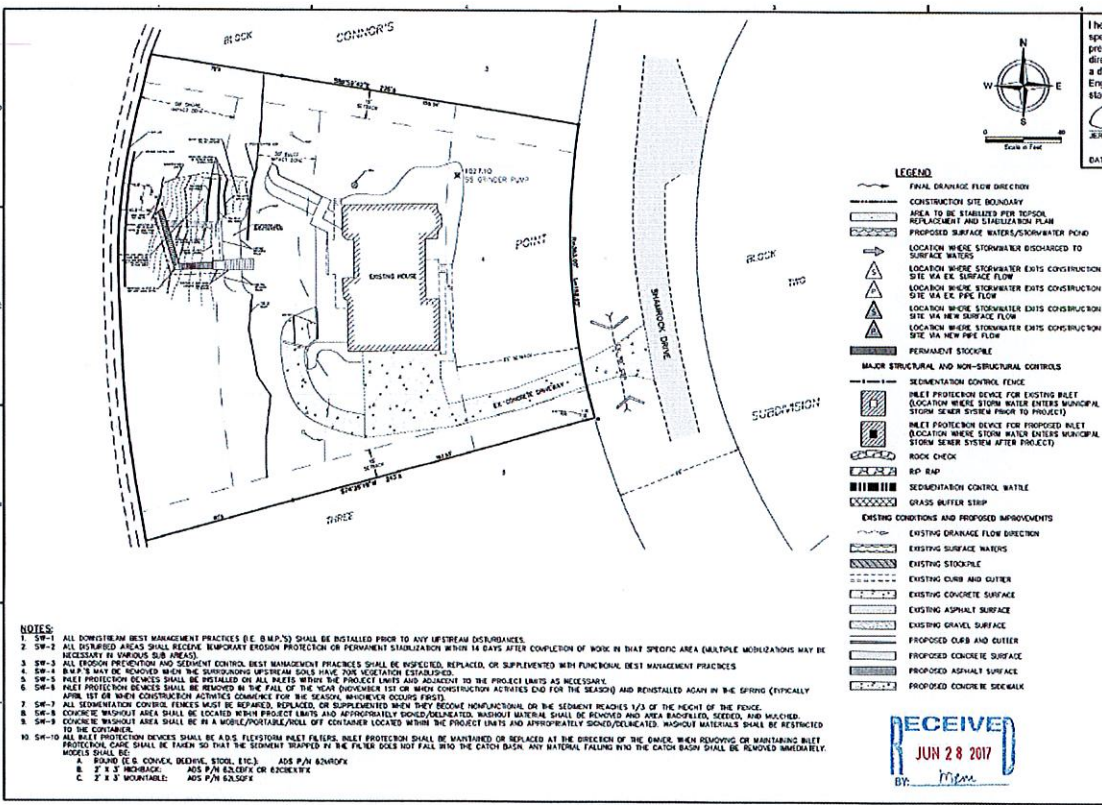
ENGINEERING SITE MAP & EROSION AND SEDIMENT CONTROL PLAN

8100 SHAMROCK DRIVE
MADISON LAKE, MN 56003
TEL: 507-345-1111

DATE	REV
REVISION	...
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REVISION	...
REVISION	...
REVISION	...
PROJECT NO.	1017
DRAWN BY	...
CHECKED BY	...
DATE	...
REVISION	...

C-101
SHEET 1 OF 1

RECEIVED
JUN 28 2017
BY: *Signature*



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature
JURBY & ROOTS

DATE: 05/29/2017 REG. NO. 45512

moore engineering, inc.

ENGINEERING SITE MAP & EROSION AND SEDIMENT CONTROL PLAN

8100 SHAMROCK DRIVE
MADISON LAKE, MN 56003
TEL: 507-345-1111

DATE	REV
REVISION	...
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REVISION	...
PROJECT NO.	1017
DRAWN BY	...
CHECKED BY	...
DATE	...
REVISION	...

C-101
SHEET 1 OF 1

RECEIVED
JUN 28 2017
BY: *Signature*

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.

4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety and welfare.

PLANNING AND ZONING COMMISSION CONDITIONS

The Planning Commission shall recommend such conditions relating to the granting of said Conditional Use Permit, as they deem necessary to carry out the intent and purpose of this Ordinance or recommend that the request be denied. Such recommendation shall be in writing. The conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimension.
2. Limiting the height, size, or location of the structures.
3. Controlling the location, size, and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking space.
6. Limiting the number, size, location, or lighting of signs.
7. Requiring diking, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.

PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request:

(Please circle one for each item: Agree, Disagree, Not Applicable.)

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Recommend (circle one) approval / denial / table / of Conditional Use Permit.

Name MIANKA LO LANDSHAPES, INC.
Mailing Address 60505 216th ST.
City EAGLE LAKE State MN Zip 56024
Phone # (507) 625-6044 Phone # (507) 317-8232 LUKE
(507) 381-2678 TODD

II. Landowner:

Name STEVEN & ELIZABETH BOOTS
Mailing Address 6106 SHAMROCK DR.
City MADISON LAKE State MN Zip 56063

Property Address 6106 SHAMROCK DR.
City MADISON LAKE State MN Zip 56063
Phone # (507) 382-4968 Phone # (507) 243-4231

III. Parcel Information:

Parcel Number 13.450.0240 Parcel Acreage 47,900 sqft.
1.09
Attach Full Legal Description (NOT abbreviated description from tax statement)
Township WASHINGTON Section 7 SE QUAD.
Subdivision CONNERS POINT Lot 4 Block 3

IV. Township Notification: Township must be notified of proposed use prior to application.

Washington Township notified on 6-9-17
(Township Name) (Date)

Board Member Robert Kavony regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- a. One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- b. Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- c. Electronic version of any supporting documents *if available*.
- c. Additional copies may be requested as deemed necessary by the Department.
- d. **Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- e. **Appointment is necessary.**
- f. **Applications will not be accepted by mail.**

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request: Grading, Excavating or Filling.

Non-Shoreland Cubic yards of material movement: _____
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____
TOTAL cubic yards of material movement: _____

Shoreland- Outside Shore Impact Zone Cubic yards of material movement: _____
 Within Shore Impact Zone Cubic yards of material movement: _____
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____
TOTAL cubic yards of material movement: _____

Assurance security shall be required for projects that are >1500 cubic yards.

VIII. Description of Request:

a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. ENVIRONMENTAL IMPACT: _____
2. ADVERSE IMPACT ON SURROUNDING AREAS: _____
3. STORMWATER RUNOFF: _____
4. DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL: _____
5. WETLAND IMPACT: _____
6. SLOPE STABILITY: _____
7. CERTIFICATE OF INSURANCE: see attached
8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS:
(For example additional licensing and/or permitting) _____

IX. Site Plan: Shall include but not limited to the following:

- **Parcels < 5 AC** = 2-foot contours depicting existing and proposed topography.
- **Parcels 5-20 AC** = 5-foot contours depicting existing and proposed topography.
- **Parcels >20 AC** = 10-foot contours depicting existing and proposed topography.
- Location of grading, excavating, and/or filling sites.
- Location of areas for obtaining fill or disposing of excavated materials.
- Tree inventory of all trees, indicating trees to be cut or removed.
(Caliper of 6 inches or greater measured 4.5 feet from ground level).

- | | | | |
|--------------------------------------|-----------|-----------------------|----------------------------|
| • North point | • Lake | • Existing Structures | • Septic system |
| • Setbacks | • River | • Proposed Structures | • Well |
| • Property Lines | • Wetland | • Lot Dimensions | • Access (size & location) |
| • Road Right-Of-Way | • Stream | • Ponds | • Easements |
| • Landscape, screening and buffering | | | • Drainage |

• Site plan & As-Built must be completed by a surveyor or professional engineer.

X. Restoration Plan: Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD)*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Distircts)*
 - Root zone of existing trees shall be preserved and protected during development.
 - Replace one tree for every tree that is removed.
 - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

XI. Attachments: Shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full Legal Description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection** N/A
- g. **Erosion Control Plan**-Attach completed and signed plan including map.
- h. **Restoration Plan**-See Part X for full details and requirements.
- i. **Approved Stormwater Pollution Prevention Plan**
-Must meet NPDES requirements and prepared by a licensed professional engineer.

XII. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.

XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Applicant signature

Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Property Owner signature

Date

Request: **GRADING, EXCAVATING & FILLING**

Non-Shoreland

- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: _____
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

Shoreland - Outside Shore Impact Zone

- Within Shore Impact Zone
- Within Bluff Impact Zone
- Within Bluff

Cubic yards of material movement: 13.1 *
 Cubic yards of material movement: 1.9 *
 Cubic yards of material movement: 0 *
 Cubic yards of material movement: 13.2

TOTAL cubic yards of material movement: 13.2

Pre-App Date 10-12-17
 Meeting Date 7-3-17
 60 Day 8-11-17
 Zoning District RL

Lake Classification RD
 Lake Washington
 FEMA Panel # 27079C0 245
 Flood Zone X-outside

Feedlot 500' 1000' N
 Wetland Type 1-2 3-8 N
 Water courses Y N
 Bluff Y N

- Request Description
- Site Plan
- Full Legal
- Ordinance
- Access Approval
- Erosion Control Plan
- Other _____
- Septic
- Meeting
- Fee \$ _____
- Penalty \$ _____

Comp Insp / Design -LK WASD
 Reg / ATF / Spec
 \$ 796.00

Application Complete Michelle R. Motta
 Planning & Zoning Department Signature

6-13-17 Date
17 Permit #

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 17177

Applicant: MANKATO LANDSHAPES INC

Land Owner: STEVEN & ELIZABETH BOOTS

Conditional Use Permit Request: TO ALLOW THE GRADING EXCAVATING AND FILLING OF APPROXIMATELY 13.2 CUBIC YARDS OF MATERIAL IN A BLUFF FOR THE CONSTRUCTION OF STAIRS AND DETACHED DECK IN THE BLUFF; AND FOR A BANK STABILIZATON PROJECT.

- The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

- The conditional use is consistent with the Comprehensive Land Use Plan.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

LE SUEUR COUNTY ENVIRONMENTAL SERVICES
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057-1600

Phone (507) 357-8540 (direct line)

Fax (507) 357-8541

Date: 06/30/2017

To: Le Sueur County Planning and Zoning Commission

From: Joshua Mankowski, Environmental Resources Specialist

Applicant:

Mankato Landshapes Inc.

Property owner:

Steven & Elizabeth Boots

Property:

13.450.0240

Description:

Application for a Conditional Use Permit (CUP) to allow the Grading, Excavating, and Filling of approximately 13.2 cubic yards of material in a Bluff for the construction of stairs and detached deck in the Bluff, and for a bank stabilization project.

Recommendation:

It would be my recommendation to approve this application with the condition(s) listed below. Where there are less intrusive means for installing uprights posts, installing concrete footings in an acceptable construction practice. The use of a Filtrexx Bank Stabilization system has been successful in similar situations and can provide a much more natural appearance than a traditional retaining wall. Once construction is completed, the Filtrexx system is seeded and will eventually be covered in native vegetation.

Condition(s):

1. Use special care to protect holes for footings, keep covered when not actively working on footings.
2. As stated in the narrative, plant disturbed areas and the Filtrexx Bank Stabilization with native vegetation.

Sincerely,



Joshua Mankowski
Le Sueur County
Environmental Resources Specialist

Mankato Landshapes, Inc.

60505 - 216th Street
Eagle Lake, MN 56024



Lic. # 20580092
Ph. (507) 625-6044 Fax (507) 257-3520

Le Sueur County
Conditional Use Application – Grading, Excavating & Filling

Landowner:

Steven & Elizabeth Boots
6106 Shamrock Dr.
Madison Lake, MN 56063
Parcel Number: 13.450.0240
(507) 243 – 4231
(507) 382 – 4968

VII. Type of Request: Grading, Excavating or Filling. CALCULATIONS

-Please note that all the different zones overlap each other in this project so you cannot simply add them all together for the exact total material movement.

A)	Non Shoreland	cubic yards of movement	<u>0</u>
	Within Bluff Impact Zone	cubic yards of movement	<u>0</u>
	Within Bluff	cubic yards of movement	<u>0</u>
	Total cubic yards of material movement		<u>0</u>

B)	Shoreland (1000' from OHWL of the lake)		
	Outside Shore Impact Zone	cubic yards of movement	<u>11.10</u>

-Black dirt fill soil for the Filtrexx Bank Stabilization. This replaces some of the soil from the landslide. This is located between the erosion sock shown on the plan at the top of the bluff, and the bottom existing concrete block retaining wall on the bluff.

30' length x 6' width x 2' depth = 360 / 2 for slope = 180 / 27 = **6.66 cubic yards**
20' length x 6' wide x 2' depth = 240 / 2 for slope = 120 / 27 = **4.44 cubic yards**
6.66 cubic yards + 4.44 cubic yards = **11.10 Total Cubic Yards**

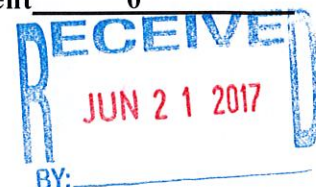
Within Shore Impact Zone cubic yards of movement 1.40

(50' up from OHWL)

-Auger (14) 10" dia. x 48" deep holes for step/landings posts. This soil will then be raked out next to the augured holes, and native perennial seed mix will be broadcasted over the soil.

.833" length x .833" width x 4' depth = 2.77 / 27 = .10 cubic yards per post x 14 posts = **1.40 cubic yards**

Within Bluff Impact Zone cubic yards of movement 0



Within Bluff cubic yards of movement 12.50

(slopes with 18% or greater)

-Auger (14) 10" dia. x 42" deep holes for steps/landings posts. This soil will then be raked out next to the augured holes, and native perennial seed mix will broad casted over the soil.

.833" length x .833" width x 4' depth = $2.77 / 27 = .10$ cubic yards per post x 14 posts
= **1.40 cubic yards**

-Black dirt fill soil for the Filtrexx Bank Stabilization. This replaces some of the soil from the landslide.

30' length x 6' width x 2' depth = $360 / 2$ for slope = $180 / 27 = 6.66$ cubic yards

20' length x 6' wide x 2' depth = $240 / 2$ for slope = $120 / 27 = 4.44$ cubic yards

1.40 cubic yards + 6.66 cubic yards + 4.44 cubic yards = **12.50 Total Cubic Yards for within bluff**

These zones all overlap, so the actual total cubic yards of movement 12.50

VIII. Description of Request

a.

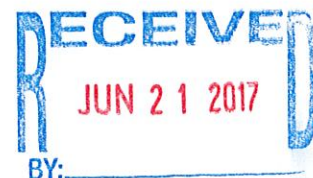
In 2016 rain caused a landslide on the properties bluff. Due to the landslide the existing wood steps and landings were damaged beyond repair, the motorized chair system was damaged beyond repair, and the bluffs stability was compromised in some areas.

We propose to install new wood steps and wood landings near the damaged steps and landings going down the hillside to the lake shore for access. All construction will follow the documentation in SUBDIVISION 5. Design Criteria, Shoreland Alterations and Special Provisions there is a portion **6. Stairways, Lifts, Landings, and Paths** listing the criteria we must follow to install the steps and landings. Equipment and materials used for installing the steps and landings would be standard hand tools needed for this type of carpentry construction. Such as, hammers, drills, circular saws, levels, tape measures, lumber, concrete, brackets, screws, etc. After construction we will install a native perennial seed mix MN State DOT 35-241 & MN State DOT 36-211 over any disturbed areas. See steps and landings layout plan, and seed mixes document.

The existing steps and landings will be removed and disposed of at a landfill. Once the material is hauled away we will restore the space by installing a native perennial seed mix MN State DOT 35-241 & MN State DOT 36-211 with erosion blankets over the seeded areas. This will help stabilize the eroded bank. See

The area that had the motorized chair lift will also have a native perennial seed mix MN State DOT 35-241 & MN State DOT 36-211 installed with erosion blankets installed over the seeded areas. This will help stabilize the eroded bank.

Due to the landslide we need to stabilize a portion of the bluff that is severely eroding. We propose to take a natural approach to solving this problem by using the **Filtrexx Bank Stabilization** method. This will create three tiers, and new soil will be filled between



the tiers replacing some of the soil lost. Native seed mix MN State DOT 35-241 & MN State DOT 36-211 and erosion netting will be installed over the area. The 1st tier is 50' long x 2' tall, 2nd tier is 30' long x 24" tall, and the 3rd tier is 20' long x 24" tall. Equipment and materials needed are erosion grow socks, wood mulch, native seed mix, black dirt, hammers, stakes, erosion netting, and anchors. See included documentation for Filtrexx bank stabilization and seed mixes.

b.

1. ENVIRONMENTAL IMPACT:

-This includes the space under the proposed steps and landings (320 sqft).

The steps and landings will be built over ground that currently has perennial plant cover. Some of these plants may not survive due to construction. After construction we will install a native perennial seed mix over any disturbed areas.

-The Filtrexx Bank Stabilization will increase the current plant growth on the bluff, and stabilize the bluff's existing unstable condition.

-Once the existing steps are removed we will install native perennial seed mix with erosion blankets over that area.

-We will install a native perennial seed mix over the area that used to have the motorized chair lift.

2. ADVERSE IMPACT ON SURROUNDING AREAS: This project will not affect the surrounding areas. The only impact would be the actual areas of installation.

3. STORMWATER RUNOFF: This project will help manage storm water runoff by establishing native vegetation over an existing eroded bluff / hillside, and installing the Filtrexx bank stabilization. If nothing was done here then rain will continue to compromise the stability / erode the area.

4. DOES ANY PART OF THE PROJECT EXTEND BELOW THE OHWL: No.

5. WETLAND IMPACT: The area of construction does not include any wetlands.

6. SLOPE STABILITY: The existing slopes stability is compromised due to the 2016 landslide. The new steps and landings are proposed to be moved away from the landslide area as shown on the layout. Installation of the Filtrexx Bank Stabilization will increase stability with the Filtrexx GroSocks, anchor system, native plant material, and fill soil. We also will install a native perennial seed mix with erosion blankets over the area of the existing steps & landings and the motorized chair system.

7. CERTIFICATE OF INSURANCE: See attached Property Owners, and Contractors certificate of insurance.

8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: We will follow all the county, state, and federal regulations.



Mankato Landshapes, Inc.

60505 - 216th Street
Eagle Lake, MN 56024



Lic. # BC580092
Ph. (507) 625-6044 Fax (507) 257-3520

June 6, 2017

Steve Boots
6106 Shamrock Dr
Madison Lake, MN 56063

Cell Phone: 507 -382 - 4968
Email: steveboots2003@yahoo.com

Please note that this project has potential unknown problems due to the unstable hillside, so we are offering our best estimate for a COST ALLOWANCE. Some portions may be slightly more or less in cost on the final invoice.

-Please note that we will not need any major equipment on the lawn, but any amount of foot traffic for construction can damage turf. We can assess any damage at the end of construction and offer pricing for lawn restoration if needed.

1. This portion is for the stairways and landings as shown on the design.

- Includes removal and disposal of the existing steps and landings.
- Does not include any work on the lowest existing deck landing that we understand is already supported and usable.
- Includes installation of framing, steps and railing.
- Pressure Treated Lumber
- Stairs from the existing upper platform to the lower deck.
- Support posts to be 4x4 treated, set below frost line with 10" poured footings to be 4' into the ground.
- Treated boards to be 5/4" x 6" pressure treated lumber (2 x 12 treated stringers)
- Tread boards to be fastened with premium exterior wood screws.
- Handrail to be 36" tall with vertical handrail
- Spindles to be 2" x 2" x 42" , on both sides of steps
- Deck steps to be 4 foot wide
- Owner is responsible for building permit

Total cost of materials and labor (including tax)	\$13,523.00
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2. This portion is for hillside restoration as shown on the design.

- We propose to install filtrex Bank Stabilization where needed between the block retaining walls, and the tree line to the North.

Mankato Landshapes, Inc.

60505 – 216th Street
Eagle Lake, MN 56024



Lic. # 20580092
Ph. (507) 625-6044 Fax (507) 257-3520

Le Sueur County
Conditional Use Application – Grading, Excavating & Filling

Landowner:

Steven & Elizabeth Boots
6106 Shamrock Dr.
Madison Lake, MN 56063
Parcel Number: 13.450.0240
(507) 243 – 4231
(507) 382 – 4968

X. Restoration Plan: We will follow the required restoration procedures as listed in the Conditional Use Application.

The existing steps and landings will be removed and disposed of at a landfill. Once the material is hauled away we will restore the space by installing a native perennial seed mix MN State DOT 35-241 & MN State DOT 36-211 with erosion blankets over the seeded areas. This will help stabilize the eroded bank. See included documentation on the seed mixes.

The area that had the motorized chair lift will have a native perennial seed mix MN State DOT 35-241 & MN State DOT 36-211 installed with erosion blankets installed over the seeded areas. This will help stabilize the eroded bank. See included documentation on the seed mixes.

Due to the landslide we need to stabilize a portion of the bluff that is severely eroding. We propose to take a natural approach to solving this problem by using the Filtrexx Bank Stabilization method. This will create three tiers, and new black soil will be filled between the tiers that native seed mix MN State DOT 35-241 & MN State DOT 36-211 will be installed over. See included documentation on the Filtrexx Bank Stabilization method, and seed mixes.

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XI. c. Full Legal Description (not abbreviated description from tax statement).

Washington Township, Section 7 SE quadrant
Lot 4, Block 3 Conner's Point Subdivision, Le Sueur County, MN.
The area of the lot is 47,900 square feet. or 1.09 Acres

LE SUEUR COUNTY ENVIRONMENTAL SERVICES
88 SOUTH PARK AVE.
LE CENTER, MINNESOTA 56057-1620
(507) 357-2251
FAX (507) 357-8541

Erosion and Sediment Control Plan

Goal: To control erosion and prevent sediment and other pollutants from entering the lakes, streams, wetlands, and storm drain systems during construction.

Property Owner: STEVEN & ELIZABETH BOOTS PID: 13.450.0240
Mailing Address: 6106 SHAMROCK DR, MADISON LAKE, MN 56063
Property Address: 6106 SHAMROCK DR, MADISON LAKE, MN 56063
Phone: (507) 243-4231 Mobile/Cell: (507) 382-4968

Responsible party for Implementation/Inspection: MANKATO LANDSHAPES INC.
Address: 60505 26th ST. EAGLE LAKE, MN 56024
Phone: (507) 625-6044 Mobile/Cell: (507) 317-8232

Erosion & Sediment Control Measures

1. Maintain existing vegetation whenever possible and minimize the area of disturbance. Retain and protect trees to enhance future landscaping efforts and to reduce raindrop impact. (Vegetation is the best and most cost-effective erosion control practice).
2. Install all erosion and sediment control practices prior to any soil disturbing activities, when applicable.
3. Phase construction activities to minimize the areas disturbed at one time. This will also allow completed areas to be stabilized and re-vegetated before disturbing adjacent sites.
4. Maintain and protect all natural waterways. Retain at least a 20-foot wide strip of natural vegetation along all waterways to filter out sediment and other pollutants.
5. Minimize the use of impermeable surfaces such as roofs, driveways, parking lots and roads. The Environmental Resources staff must approve all storm water runoff plans.
6. Use rock rip-rap at both the outlet and inlet ends of culverts to prevent scour erosion.
7. Limit construction equipment to designated areas to control soil compaction.
8. Install silt fence on the down-slope perimeter of all disturbed areas according to the attached installation instructions. Sensitive areas such as wetlands, drainage swales and shoreland areas should also be protected with silt fence.
9. Install straw bale checks or rock check dams in areas of concentrated flow .
10. Cover any stockpiled topsoil with plastic or other impervious covering. Use stockpiled topsoil as earthen berms to serve as temporary sediment basins.



- Mulch all disturbed areas at the rate of one 50-pound bale of straw per 500 square feet. On slopes 4:1 or steeper use the following erosion control blankets that have been pinned to the slope according to the manufacturer's instructions:

2:1 slopes or steeper	Straw/Coconut Blanket or High Velocity Wood Blanket
3:1 slopes or steeper	Wood or Straw Blanket with net on both sides
4:1 slopes or steeper	Wood or Straw Mulch blanket with net on one side
Flat areas	Straw Mulch w/disc anchoring

- Seed all disturbed areas within seven days of final grading and temporary seed/mulch all areas that will be left inactive for more than seven days. Do not seed later than September 1st. Areas that need to be seeded after this date should be dormant seeded in late October or early November. See the attached instruction sheet for recommended mixtures and rates. The use of native plant materials, including trees and shrubs, is encouraged. Native species will provide good vegetative cover that is adapted to our soils and climate.
- Apply fertilizer according to soil test recommendations.
- Install water bars on access roads to prevent concentrated water from flowing down the road and eroding gravel.
- Attach a site map showing the location of all erosion control practices, property lines, roads, lakes, watercourses, wetlands, on-site systems and building locations.

Note: To reduce mud transported onto paved roads, a rock construction entrance may be required. This will require a six-inch layer of 1-2 inch diameter washed rock a minimum of 50 feet in length.

Inspection and Maintenance

- Inspect the construction site every 7 days and within 24 hours after every rain event to ensure the practices are working properly (i.e. silt fences, water bars).
- Clean out the silt fences when they are 1/3 full of sediment or replace with functional silt fences within 24 hours.
- Clean out sediment basins on a regular basis to maintain capacity.

I agree to install, inspect and maintain the above practices to accomplish the goal of preventing erosion.

Steve Beets
(Property Owner)

6/13/2017
(Date)

[Signature]
(Person Responsible for Implementation)

6/9/2017
(Date)

If you have any questions, please contact Environmental Services, at 507-357-8538.

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Mankato Landshapes, Inc.

60505 – 216th Street
Eagle Lake, MN 56024



Lic. # 20580092
Ph. (507) 625-6044 Fax (507) 257-3520

Le Sueur County
Conditional Use Application – Grading, Excavating & Filling

Landowner:

Steven & Elizabeth Boots
6106 Shamrock Dr.
Madison Lake, MN 56063
Parcel Number: 13.450.0240
(507) 243 – 4231
(507) 382 – 4968

Erosion and Sediment Control Plan: We will follow the required restoration procedures as listed in the Conditional Use Application.

- Install erosion control sock along the lake shore past the entire construction area.
- Install erosion control sock along the top of the bluff line past the entire construction area.
- No black dirt will be staged on site. We will haul in the fill soil needed and immediately install that soil.
- All bare dirt in the areas listed in the project’s description will be covered with a native perennial seed mix and erosion blankets. This will establish a solid plant cover that will stabilize the bank, and prevent further erosion.
- Filtrexx Bank Stabilization will be installed where listed in the project’s description. This will help stabilize the bluff and prevent further erosion.
- See included plan for the location of the erosion control measures described above.





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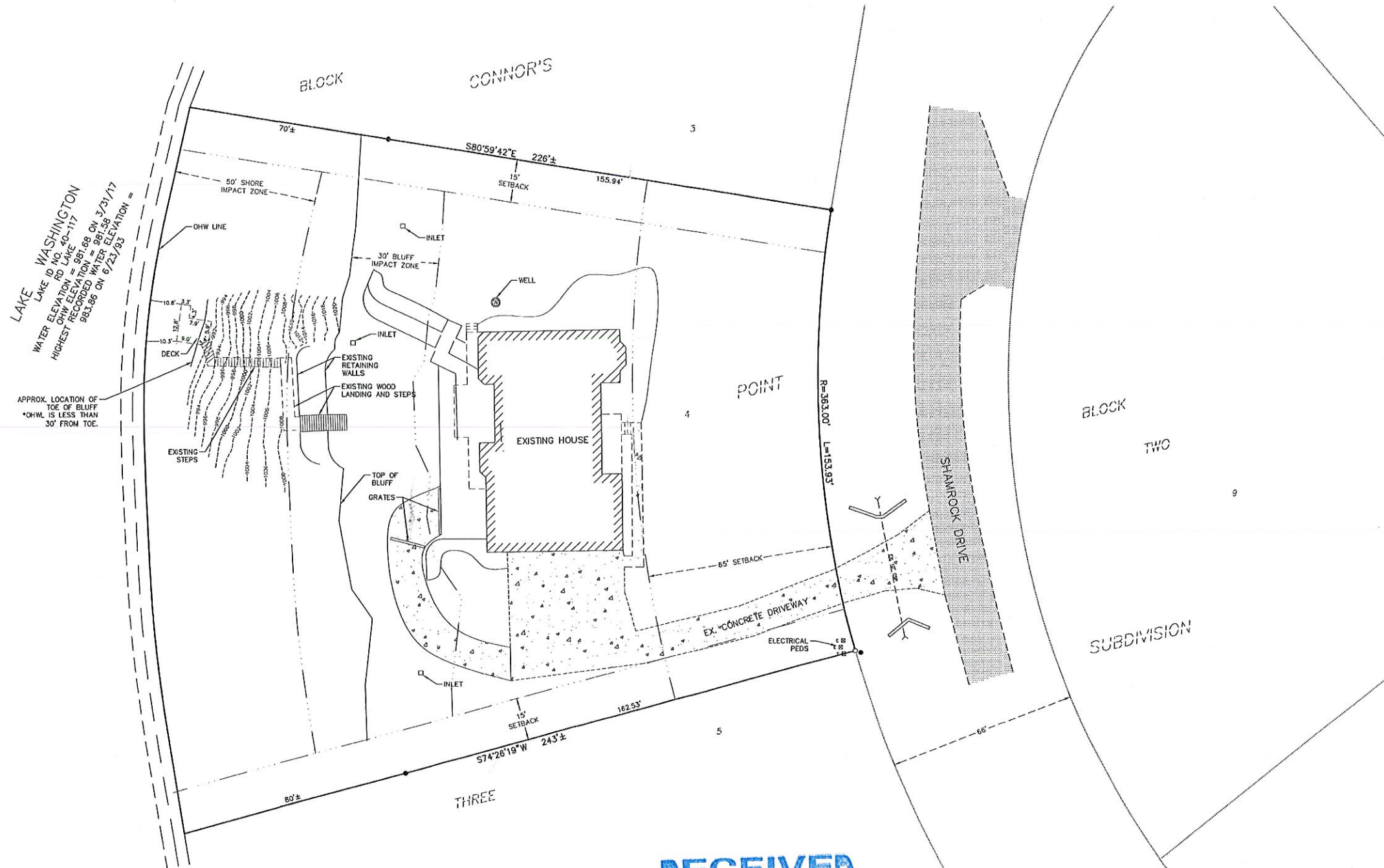
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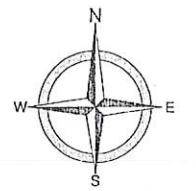
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BY: *mbly*

FILE LOCATION: R:\CIV 3D Projects\19720\SURVEY\DWG\MS19720 Jeremy Boats 05-27-17.dwg

CERTIFICATE OF SURVEY
 LOT 4, BLOCK 3, CONNOR'S POINT SUBDIVISION
 LE SUEUR COUNTY, MINNESOTA



- LEGEND**
- IRON MONUMENT SET AND MARKED WITH LAND SURVEYOR NO. 43807
 - IRON MONUMENT FOUND
 - ⊕ ELECTRICAL PED.
 - ▭ CONCRETE SURFACE
 - STORM SEWER INLET
 - ⊗ EXISTING WELL



0 20
 Scale in Feet

BASIS OF BEARINGS:
 LE SUEUR COUNTY GIS COORDINATES.

CERTIFICATION

I hereby certify that this survey, specification, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

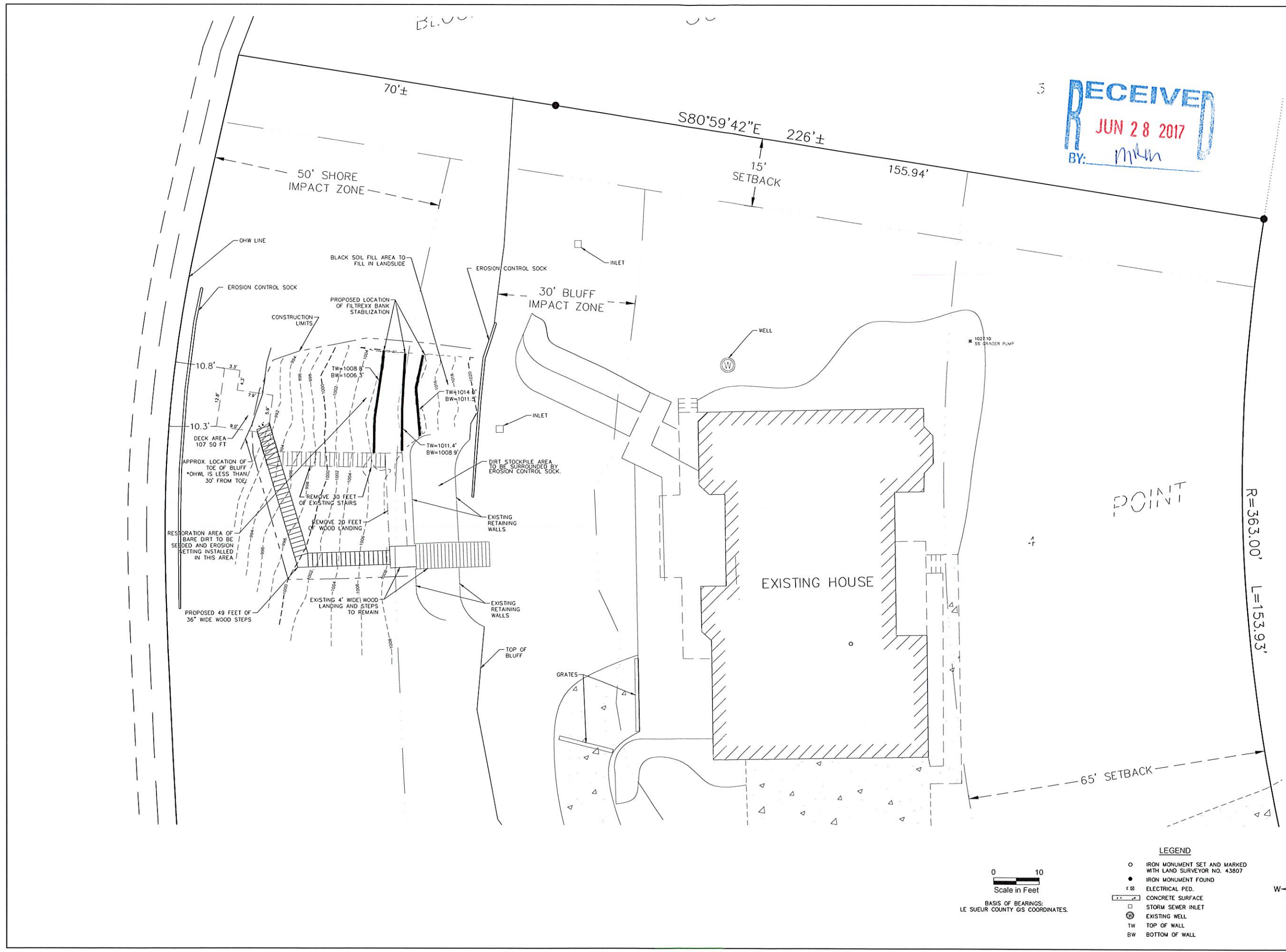
Christopher D. Hoyer
 Christopher D. Hoyer, Minnesota License No. 43807
 Date signed: June 28, 2017

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 BY: *mem*

CERTIFICATE OF SURVEY	
CLIENT: STEVEN BOOTS	SURVEYED PROPERTY ADDRESS: 6166 SHAMROCK DRIVE MADISON LAKE, MN 56063
DRAWN ON: 05.05.17	PROJECT NO. 19720
DRAWN BY: MPL	
CHECKED BY: CDH	
PROJECT MANAGER: TH	
FIELD BOOK: --	V-101
PAGE: --	
DATE OF FIELDWORK: --	
REVISED: --	SHEET 1 OF 1

Existing Conditions

FILE LOCATION: R:\LOW 3D Projects\19720\SURVEY\DRAWINGS\19720 Jeremy Boots proposed site 06-21-17.dwg



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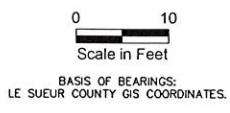
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Jeremy S. Boots
 JEREMY S. BOOTS
 DATE: 06/28/2017 REG. NO. 40512



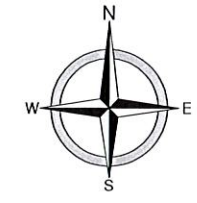
PROPOSED SITE MAP
 6106 SHAMROCK DRIVE
 MADISON LAKE, MN 56063

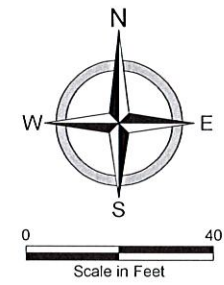
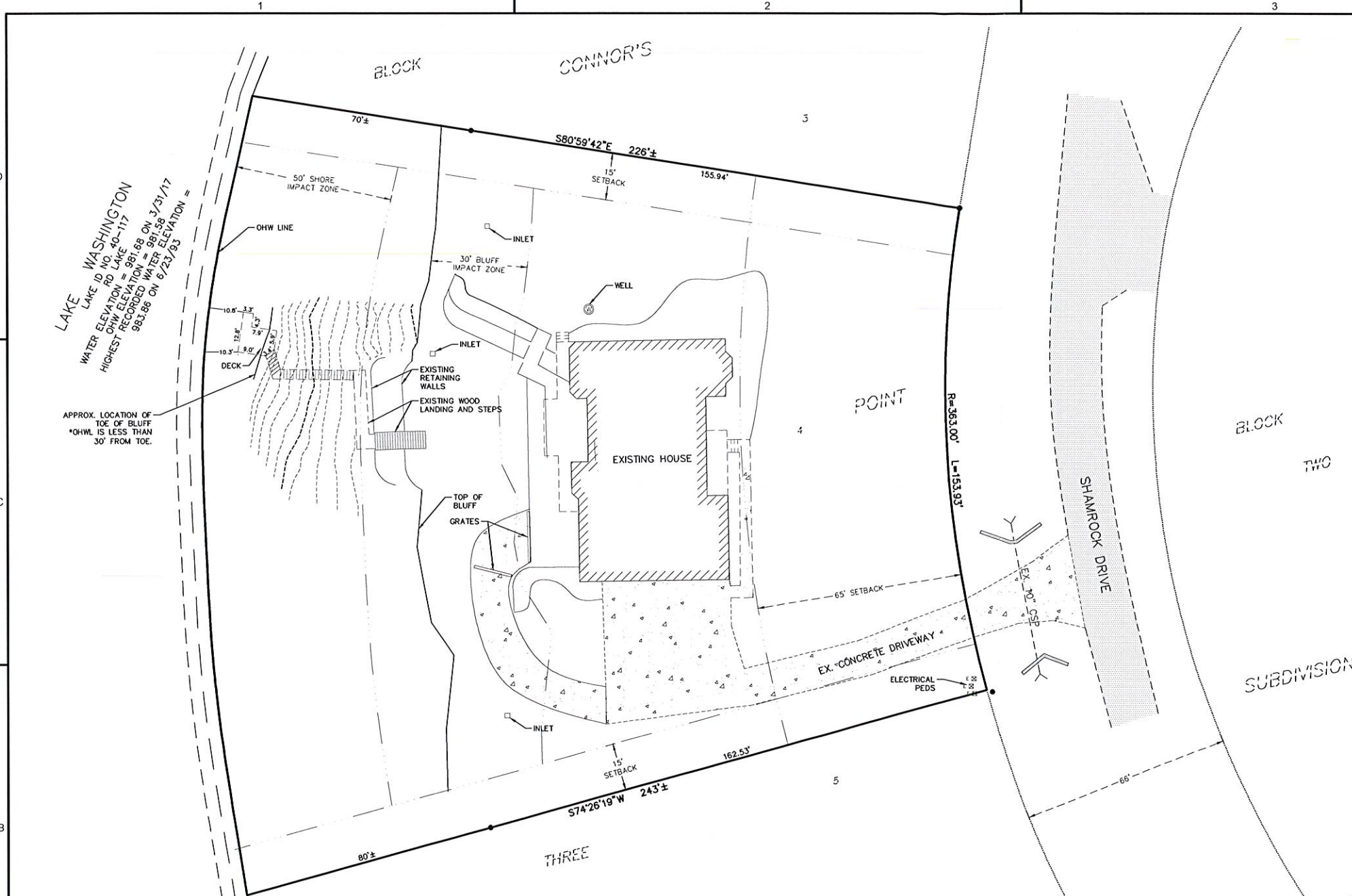
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PROJECT No.:	19720
MANAGER:	TH
DESIGNER:	---
DRAFTER:	MPL
REVIEWER:	CDH

C-101
 SHEET 1 OF 1



- LEGEND**
- IRON MONUMENT SET AND MARKED WITH LAND SURVEYOR NO. 43807
 - IRON MONUMENT FOUND
 - ⊕ ELECTRICAL PED.
 - ▭ CONCRETE SURFACE
 - STORM SEWER INLET
 - ⊙ EXISTING WELL
 - TW TOP OF WALL
 - BW BOTTOM OF WALL





I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Jeremy S. Boots
 JEREMY S. BOOTS
 DATE: 06/28/2017 REG. NO. 40512

- LEGEND**
- CONSTRUCTION SITE BOUNDARY
 - [Hatched Box] AREA OF SOIL DISTURBANCE
 - [Triangle with S] LOCATION WHERE STORMWATER EXITS CONSTRUCTION SITE VIA EX. SURFACE FLOW
 - [Triangle with P] LOCATION WHERE STORMWATER EXITS CONSTRUCTION SITE VIA EX. PIPE FLOW
 - [Light Gray Box] TEMPORARY SOIL STOCKPILE
 - [Dark Gray Box] PERMANENT SOIL STOCKPILE
 - [Diagonal Lines Box] EXISTING STOCKPILE
- MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS**
- [Circle with S.C.E.] STABILIZED CONSTRUCTION ENTRANCE
 - [Dashed Line] SEDIMENTATION CONTROL FENCE
 - [Square with X] INLET PROTECTION DEVICE FOR EXISTING INLET (LOCATION WHERE STORM WATER ENTERS MUNICIPAL STORM SEWER SYSTEM PRIOR TO PROJECT)
 - [Circle with Dots] ROCK CHECK
 - [Vertical Lines] SEDIMENTATION CONTROL WATTLE
 - [Cross-hatch Box] GRASS BUFFER STRIP
- EXISTING CONDITIONS**
- [Arrow] EXISTING DRAINAGE FLOW DIRECTION
 - [Wavy Line] EXISTING SURFACE WATERS
 - [Dashed Line] EXISTING CURB AND GUTTER
 - [Dotted Box] EXISTING CONCRETE SURFACE
 - [Horizontal Lines Box] EXISTING ASPHALT SURFACE
 - [Vertical Lines Box] EXISTING GRAVEL SURFACE

- NOTES:**
1. SW-1 ALL DOWNSTREAM BEST MANAGEMENT PRACTICES (I.E. B.M.P.'S) SHALL BE INSTALLED PRIOR TO ANY UPSTREAM DISTURBANCES.
 2. SW-2 ALL DISTURBED AREAS SHALL RECEIVE TEMPORARY EROSION PROTECTION OR PERMANENT STABILIZATION WITHIN 14 DAYS AFTER COMPLETION OF WORK IN THAT SPECIFIC AREA (MULTIPLE MOBILIZATIONS MAY BE NECESSARY IN VARIOUS SUB AREAS).
 3. SW-3 ALL EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BEST MANAGEMENT PRACTICES.
 4. SW-4 B.M.P.'S MAY BE REMOVED WHEN THE SURROUNDING UPSTREAM SOILS HAVE 70% VEGETATION ESTABLISHED.
 5. SW-5 INLET PROTECTION DEVICES SHALL BE INSTALLED ON ALL INLETS WITHIN THE PROJECT LIMITS AND ADJACENT TO THE PROJECT LIMITS AS NECESSARY.
 6. SW-6 INLET PROTECTION DEVICES SHALL BE REMOVED IN THE FALL OF THE YEAR (NOVEMBER 1ST OR WHEN CONSTRUCTION ACTIVITIES END FOR THE SEASON) AND REINSTALLED AGAIN IN THE SPRING (TYPICALLY APRIL 1ST OR WHEN CONSTRUCTION ACTIVITIES COMMENCE FOR THE SEASON, WHICHEVER OCCURS FIRST).
 7. SW-7 ALL SEDIMENTATION CONTROL FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE.
 8. SW-8 CONCRETE WASHOUT AREA SHALL BE LOCATED WITHIN PROJECT LIMITS AND APPROPRIATELY SIGNED/DELINEATED. WASHOUT MATERIAL SHALL BE REMOVED AND AREA BACKFILLED, SEEDED, AND MULCHED.
 9. SW-9 CONCRETE WASHOUT AREA SHALL BE IN A MOBILE/PORTABLE/ROLL OFF CONTAINER LOCATED WITHIN THE PROJECT LIMITS AND APPROPRIATELY SIGNED/DELINEATED. WASHOUT MATERIALS SHALL BE RESTRICTED TO THE CONTAINER.
 10. SW-10 ALL INLET PROTECTION DEVICES SHALL BE A.D.S. FLEXSTORM INLET FILTERS. INLET PROTECTION SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE OWNER. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FILTER DOES NOT FALL INTO THE CATCH BASIN. ANY MATERIAL FALLING INTO THE CATCH BASIN SHALL BE REMOVED IMMEDIATELY. MODELS SHALL BE:
 - A. ROUND (E.G. CONVEX, BEEHIVE, STOOL, ETC.): ADS P/N 62MRDFX
 - B. 2' X 3' HIGHBACK: ADS P/N 62LCBFX OR 62CBEXTFX
 - C. 2' X 3' MOUNTABLE: ADS P/N 62LSQFX

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S.W.P.P. SITE MAP & EROSION AND SEDIMENT CONTROL PLAN
 6106 SHAMROCK DRIVE
 MADISON LAKE, MN 56063
 INITIAL DISTURBANCE

DATE:	05.11.17
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PROJECT No.	19720
MANAGER:	TH
DESIGNER:	---
DRAFTER:	MPL
REVIEWER:	CDH

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 SHEET 1 OF 1

