



Le Sueur County, MN

Thursday, July 13, 2017

Regular session

Item 2

Lone Oak Farm Inc-Schwartz, Grading, Excavating and filling Packet

Staff Contact: Kathy Brockway or Michelle Mettler

STAFF REPORT

GENERAL INFORMATION

APPLICANT/OWNER: Lone Oak Farm Inc. Greg & Joan Schwartz
911 ADDRESS: 28678 354th St. Le Sueur MN 56058
PROJECT DESCRIPTION: Grading, Excavating and Filling of approximately 18,997 cubic yards of material in an Agricultural District.

ZONING ORDINANCE SECTIONS: Sections 8 and 18

AG DISTRICT PURPOSE: The Agriculture (A) District is established for areas where agriculture uses are seen as the best and highest long term use of the land. The land itself needs to be preserved for primarily agricultural activities. These areas should avoid existing cities, residential zones and subdivisions. They should be large contiguous land areas with mostly prime soils. Rezoning should only be considered on the zone's borders in order to maintain the Zoning integrity of the District. Dwellings that are allowed should be on the edges of the open farmland where possible or utilize existing abandoned farm sites. The total number of Dwellings shall not exceed sixteen (16) per section of land with the exception of Transfer of Development Right and lots of record. Transfer of development rights may be utilized to exceed the permitted housing density of one dwelling per quarter-quarter section (40 acres), provided that the density does not exceed four dwellings per quarter-quarter section in the receiving quarter-quarter section. Lots of Record, shall be exempt from density standards.

GOALS AND POLICIES:

Goal #1: Le Sueur County contains some of the most productive agricultural soils in Minnesota and should adopt and enforce land use goals and policies that conserve and protect agricultural resources and uses.

- **Objective 1:** The County will protect the best of its agricultural land as a resource for long term agricultural use.
- **Action 1:** The County will continue using an Agricultural District with the ultimate aim being to preserve large contiguous agricultural land tracts for agricultural use.

SITE INFORMATION

LOCATION: Property is located in the NE 1/4 SE 1/4, Section 4 & 9, Sharon Township.
ZONING: Agricultural "A" District
GENERAL SITE DESCRIPTION: Ag land
ACCESS: Existing Access
EXISTING LAND USE WITHIN ¼ MILE:
North: Ag South: Ag
East: Ag West: Ag

TOWNSHIP BOARD NOTIFICATION

The applicant contacted Ronda Schleeve, Sharon Township Board member on May 9, 2017.

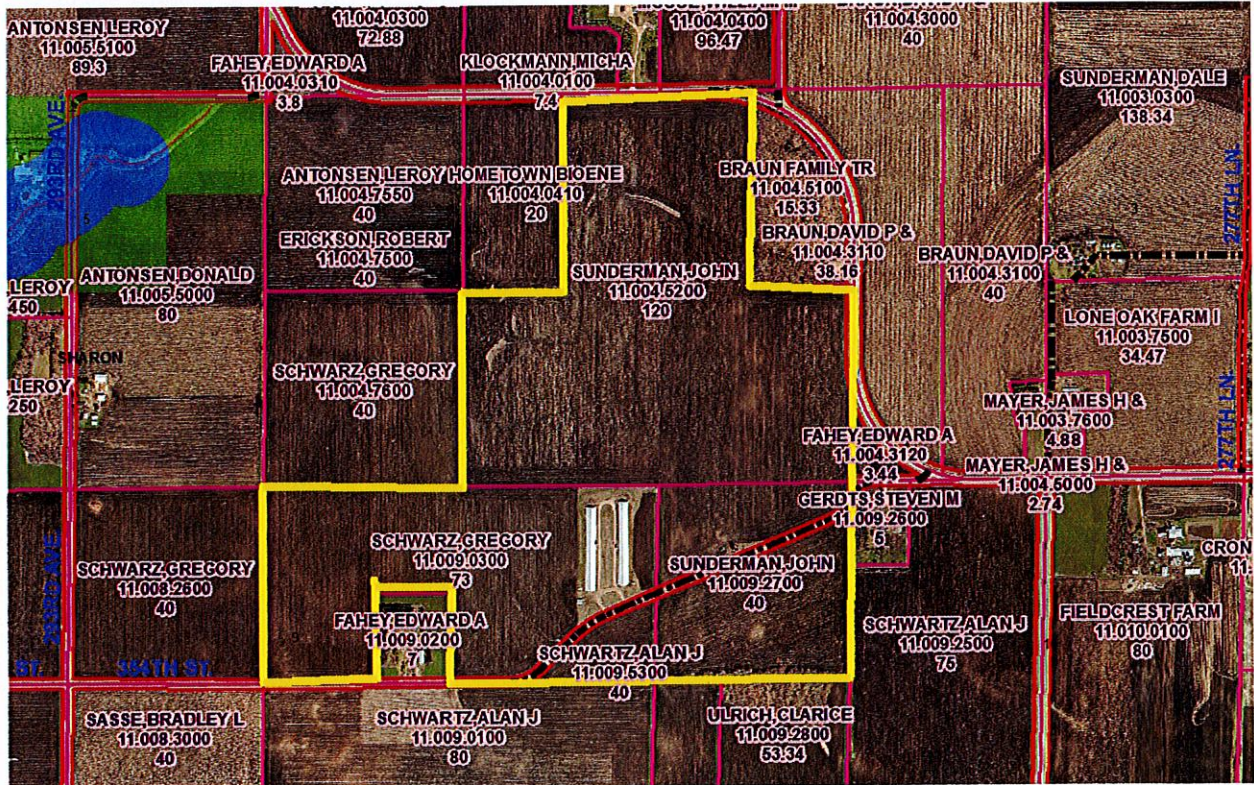
NATURAL RESOURCES INFORMATION

SHORELAND: The proposal is not located within the Shoreland District.
WETLANDS: According to the National Wetlands Inventory, No wetlands located in the quarter-quarter section where the project is proposed.

ATTACHMENTS

Application, Criteria Form, Narrative, Surveys, Insurance on file with the Department.

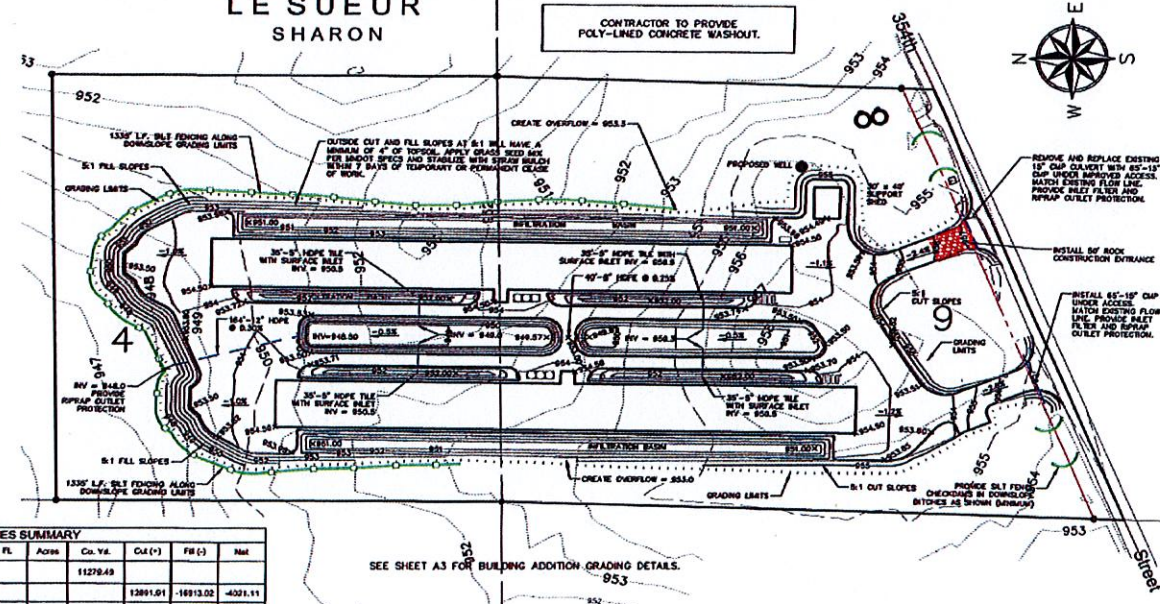
SITE PLAN/AERIAL PHOTO



EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROLS (SILT FENCING AND ROCK CONSTRUCTION ENTRANCES) SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK.
2. THE CONTRACTOR SHALL ADVISE THE PERMITS OFFICE OF ANY CHANGES TO THE INSTALLATION OF THE SILT CHECK DAMS AS NECESSARY.
3. CONTRACTOR SHALL PROVIDE A CONCRETE SLOTTED PILE LINED WITH 6" DIA. POLYETHYLENE IF CONCRETE IS TO BE UTILIZED ON-SITE. THE SLOTTED PILE AND SLOTTED CONCRETE SHALL BE REMOVED UPON THE COMPLETION OF ALL CONCRETE WORK AND PROPERLY DISPOSED OF.
4. TRACKED SOIL ONTO EXISTING PUBLIC STREETS SHALL BE CLEANED IMMEDIATELY.
5. PERMITS OFFICE SHALL BE INSTALLED DOWNSTREAM OF ALL TOPSOIL STOCKPILES. ALL TOPSOIL STOCKPILES SHALL BE TEMPORARILY COVERED WITH 7 DAYS.
6. ALL EXPOSED SOIL SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
7. A MINIMUM OF 4 INCHES TOPSOIL AND SEED SHALL BE INSTALLED FOR ALL BURNED AREAS NOT PROPOSED AS IMPERVIOUS SURFACES.
8. PERMITS OFFICE SHALL BE INSTALLED FOR ALL LUMPY AREAS. SHALL BE COMMERCIAL "RIMP" MIX #25-121 APPLIED AT 225 LBS/AC. SEED MIX AND APPLICATION SHALL COMPLY WITH THE RIMP OUT SPECIFICATIONS, 2014 EDITION.
9. IF THE CONTRACTOR RESPONSIBILITY TO INSTALL AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL BMP'S ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
10. THE DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCH IN 24 HOURS MUST BE DOCUMENTED. RAINFALL AMOUNTS MUST BE OBTAINED FROM A PROPERLY MAINTAINED RAIN GAUGE LOCATED ON SITE. A RECORDING STATION WITHIN 1/2 MILE OF THE SITE OR A WEATHER REPORTING STATION THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM NEARBY STATIONS.

LE SUEUR SHARON



VOLUMES SUMMARY							
Name	Factor	Sq. Ft.	Acres	Co. Yr.	Out (+)	Fill (-)	Net
Topsoil Stockpile (assumes 12")	1.80		11278.49				
Grading Volumes				12891.01	-16913.02	-4021.11	
Cut Factor	1.80						
Fill Factor	1.20						
4" Compacted Class V below buildings			1916.67			1016.67	
2" Fill on Road base on gravel			964.52			964.52	
6" - Class V on roads			9068.24			1068.04	
Total grading area		304543.88	6.99				
Area of cut/soil gravel area		25749.48	0.59				
building area		82362.29	1.89				
Area of interior infiltration basins		68816.29	1.58				
Total gravel area		188826.11	2.64				
Total topsoil/soil/gravel area		115863.77	2.66				
Totals			92248.64			-51.88	

SITE SOILS

1. J88 Wetland loam, 2 to 8 percent slopes 34.28
2. J109 Organic clay loam, 0 to 2 percent slopes 47.88
3. J109 Organic clay loam, 1 to 3 percent slopes 16.26

INFILTRATION AREA CALCULATIONS

1. TOTAL CAPACITY REQUIRED @ 1" OVER IMPERVIOUS SURFACE = 15,723 cubic feet
2. TOTAL INFILTRATION BASIN CAPACITY @ 1' OF DEPTH = 36,191 cubic feet



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

BIDDING/PERMITTING ONLY

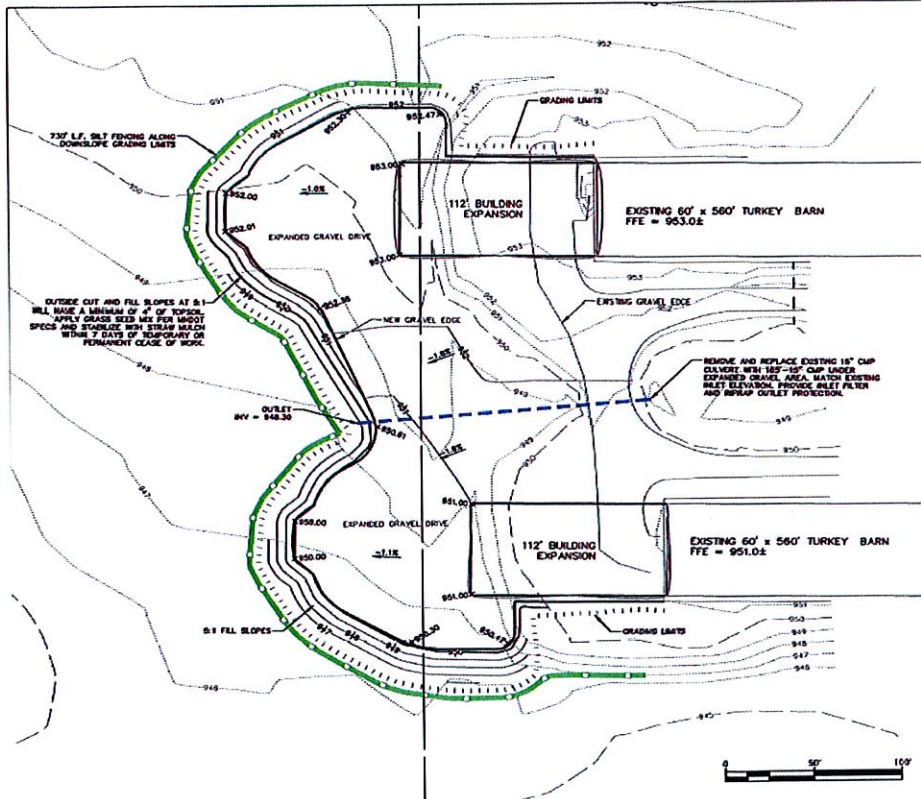
Signature: Greg Schwarz
 Title: Professional Engineer
 Registration No: 25482

Date: My Registration Expires June 30, 2018

1300 Technology Drive NE
 Suite 120
 15000 1st Avenue
 Le Sueur, MN 56051-1819

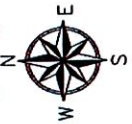
Jennie-O Turkey Store
 Greg Schwarz
GRADING PLAN
 SEC. 9, T18N, 111W, R. 25W
 LE SUEUR COUNTY, MINN.

1" = 100'
 5/22/17
 2/2/2018



EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROLS (SILT FENCING AND ROCK CONSTRUCTION ENTRANCE) SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK.
2. THE CONTRACTOR SHALL ADJUST THE PERMETER SILT FENCING TO ACCOMMODATE THE INSTALLATION OF THE DITCH CHECK DAMS AS NECESSARY.
3. CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT PIT LINED WITH 4" M.P. POLYETHYLENE IF CONCRETE IS TO BE UTILIZED ON-SITE. THE WASH PIT AND SLOTTED CURBS SHALL BE REMOVED UPON THE COMPLETION OF ALL CONCRETE WORK AND PROPERLY DISPOSED OF.
4. TRACKED SOIL ONTO EXISTING PUBLIC STREETS SHALL BE CLEANED IMMEDIATELY.
5. PERMETER SILT FENCE SHALL BE INSTALLED DOWNSTREAM OF ALL TOPSOIL STOCKPILES. ALL TOPSOIL STOCKPILES SHALL BE TEMPORARILY COVERED AFTER 7 DAYS.
6. ALL EXPOSED SOIL SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
7. A MINIMUM OF 4 INCHES TOPSOIL AND SEED SHALL BE INSTALLED FOR ALL DISTURBED AREAS NOT PROPOSED AS IMPERVIOUS SURFACES.
8. PERMANENT SEED MIX FOR ALL LAWN AREAS SHALL BE COMMERCIAL TYPE MIX #25-111 APPLIED AT 250 LB/AC. SEED MIX AND APPLICATION SHALL COMPLY WITH THE MN DOT SEEDING MANUAL, 2014 EDITION.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROLS. BMP'S IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
10. THE DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 1/2" INCH IN 24 HOURS MUST BE DOCUMENTED. RAINFALL AMOUNTS MUST BE OBTAINED FROM A PROPERLY MAINTAINED RAIN GAGE INSTALLED ON SITE. A WEATHER STATION WITHIN 1 MILE OF THE SITE, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM REMOTE SENSORS.



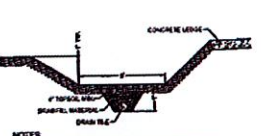
BUILDING ADDITION VOLUMES SUMMARY						
Name	Factor	Sq. Ft.	Acres	Cu. Yds.	Cut (+)	Fill (-)
Topsoil Stockpile (Assumes 12")	1.00			2998.45		
Grading Volumes					56.21	-9256.15
Cut Factor	1.00					
Fill Factor	1.20					
4" Compacted Class V below Paving				165.76		165.76
3" Plan-Run Road base on potholes				361.07		361.07
6" - Class V on roads				722.15		722.15
Total grading area		67485.00	1.55			
Area of outside gravel line		36998.07	0.85			
Building area		13440.00	0.31			
Area of interior infiltration basins		8.00	0.00			
Total gravel area		36998.07	0.85			
Total Impervious/Inch area		20498.99	0.47			
Total				3748.43		-4607.17

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Anez
1700 Technology Drive NE
Suite 150
Winsted, MN 56494
612.525-1979

Signature: **BIDDING/PERMITTING ONLY**
Alan O. Larson, PE
Registration No. 25452
Date: My Registration Expires June 30, 2018

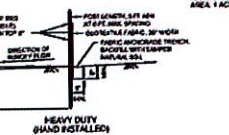
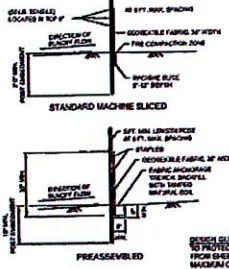
Jennie-O Turkey Store
Greg Schwarz
GRADING PLAN - ADDITION
SEC. 9, TWP. 11N. R. 25W
LE SUEUR COUNTY, MN
Sheet 2 of 2



DRYFILL NOTES:
1. DRYFILL MATERIALS SHALL BE SAND, GRAVEL, OR 3/4" TO 1" SIZED CRUSHED GRANITE. THE MATERIAL SHALL BE CLEAN, FREE FROM ORGANIC MATTER OR OTHER CONTAMINANTS, AND SHALL BE PLACED IN LAYERS NOT THICKER THAN 18" PER LAYER.
2. LAYERS SHALL BE PLACED IN RANDOM LAYERS NOT MORE THAN 18" TO 18" IN THICKNESS.
3. THE DRYFILL SHALL BE PLACED TO A MINIMUM TO AVOID SETTLEMENT OF PARTICLES. NO TOP OR BOTTOM LAYERS SHALL BE ALLOWED TO REMAIN UNCOVERED BY AN OVERLAPPING CONCRETE SURFACE.

NOTES:
1. CONCRETE SHALL BE CONSTRUCTED PER PLAN CONTOURS.
2. CONCRETE SHALL BE OVERLAPPED TO ACCOMMODATE THE PLACEMENT OF A 4" LAYER OF TOPSOIL AND EROSION CONTROL MEASURES.
3. ALL EXPOSED CONCRETE SURFACES SHALL BE PROTECTED WITH A CURING COMPOUND OR TOPSOIL AND SEEDING MEASURES.

BUILDING SHALES CROSS SECTION DETAIL
A.1.A



NOTES:
1. FENCE SEGMENT WITH ACCUMULATED DEBRIS TO BE ABOVE GROUND HEIGHT OF THE FENCE.

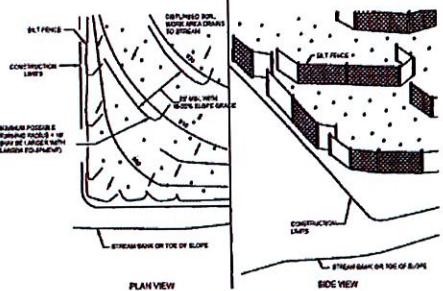
SILT FENCE DETAILS
A.1.A

SPECIFICATIONS FOR SEEDING AND STABILIZATION

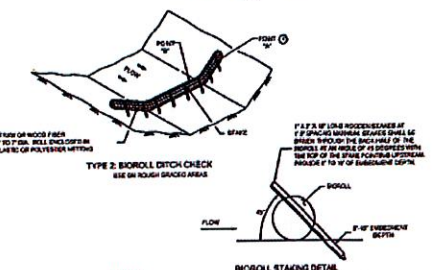
TEMPORARY SEEDING	PERMANENT SEEDING
SEED MIX : 25-112	SEED MIX : 25-111
APPLICATION RATE : 250 LB/AC	APPLICATION RATE : 250 LB/AC
PREPARATION TYPE : PER MANUFACTURER RECOMMENDATION	PREPARATION TYPE : PER MANUFACTURER RECOMMENDATION
SEEDING RATE : PER MANUFACTURER RECOMMENDATION	SEEDING RATE : PER MANUFACTURER RECOMMENDATION
WATER RATE : 2.0 GPM/AC	WATER RATE : 2.0 GPM/AC
SEEDING RATE : 25-113	SEEDING RATE : 25-113
APPLICATION RATE : 250 LB/AC	APPLICATION RATE : 250 LB/AC
PREPARATION TYPE : PER MANUFACTURER RECOMMENDATION	PREPARATION TYPE : PER MANUFACTURER RECOMMENDATION
SEEDING RATE : PER MANUFACTURER RECOMMENDATION	SEEDING RATE : PER MANUFACTURER RECOMMENDATION
WATER RATE : 2.0 GPM/AC	WATER RATE : 2.0 GPM/AC

NON-IMPERVIOUS SURFACE STABILIZATION MATH
TEMPORARY SEEDING TYPE : 25-112
APPLICATION RATE : 250 LB/AC
WATER RATE : 2.0 GPM/AC
SEEDING RATE : PER MANUFACTURER RECOMMENDATION

NOTES:
1. THE SLOSH APPLICATION RATE FOR DITCHES AND D1 SLOPES SHALL BE 3 TONS PER ACRE AS INDICATED ON THE PLAN.
2. SEED MIX AND APPLICATION SHALL COMPLY WITH THE MN DOT SEEDING MANUAL, 2014 EDITION.



SILT FENCE DETAILS - J-HOOK INSTALLATION
A.1.A



NOTES:
1. THE TOP SURFACE OF THE BIOREACTOR SHALL BE COVERED WITH A 4" LAYER OF TOPSOIL AND SEEDING MEASURES.
2. THE BIOREACTOR SHALL BE MAINTAINED AT ALL TIMES TO PREVENT OVERFLOW.

TEMP. SEDIMENT CONTROL TYPE 2 DITCH CHECKS
A.1.A

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Anez
1700 Technology Drive NE
Suite 150
Winsted, MN 56494
612.525-1979

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Jennie-O Turkey Store
Greg Schwarz
CONSTRUCTION DETAILS
SEC. 9, TWP. 11N. R. 25W
LE SUEUR COUNTY, MN
Sheet 2 of 2

PLANNING AND ZONING COMMISSION CONSIDERATIONS

The Planning Commission and staff shall consider possible adverse effects of the proposed conditional use and what additional requirements may be necessary to reduce such adverse effects. Its judgment shall be based upon the following factors to include, but not limited to:

1. Relationship to County plans.
2. The geographical area involved.
3. Whether such use will negatively affect surrounding properties in the area in which it is proposed.
4. The character of the surrounding area.
5. The demonstrated need for such use.
6. Whether the proposed use would cause odors, dust, flies, vermin, smoke, gas, noise, or vibration or would impose hazards to life or property in the neighborhood.
7. Whether such use would inherently lead to or encourage disturbing influences in the neighborhood.
8. Whether stored equipment or materials would be screened and whether there would be continuous operation within the visible range of surrounding residences.
9. Abatement of Environmental Hazards as regulated in this Ordinance
10. Other factors impacting the public health, safety and welfare.

PLANNING AND ZONING COMMISSION FINDINGS

Based on the information submitted by the applicant, contained in this report, and as required by the Le Sueur County Zoning Ordinance, the following findings have been developed for this request:
(Please circle one for each item: *Agree, Disagree, Not Applicable.*)

1. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.*
3. *Adequate utilities, access roads, drainage and other facilities have been or are being provided.*
4. *Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to serve the proposed use.*
5. *Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.*
6. *Is the Conditional Use Permit consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance?*
7. *Is the Conditional Use Permit consistent with the Comprehensive Land Use Plan?*

Recommend (circle one) approval / denial / table / of Conditional Use Permit.

LE SUEUR COUNTY CONDITIONAL USE PERMIT CRITERIA

Conditional Use Permit #: 17169

Applicant: LONE OAK FARM INC

Land Owner: GREGORY & JOAN SCHWARZ

Conditional Use Permit Request: GRADING EXCAVATING AND FILLING OF APPROXIMATELY 18,0997.07 CY

1. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminishes and impairs property values within the immediate vicinity.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

2. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

3. Adequate utilities, access roads, drainage and other facilities have been or are being provided.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

4. Adequate measures have been or will be taken to provide sufficient off-street parking and loading space to service the proposed use.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

5. Adequate measures have been or will be taken to prevent and control offensive odor, fumes, dust, noise and vibration, so that none of these will constitute a nuisance, and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

6. The conditional use is consistent with and supported by the statement of purposes, policies, goals and objectives in the Ordinance.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

7. The conditional use is consistent with the Comprehensive Land Use Plan.

Al	Don Rk	Don Ry	Jeanne	Doug	Shirley	Pam	TOTAL

Explain _____

If all answers are "YES" by a majority of the Planning Commission, the criteria for granting of the Conditional Use Permit request have been met. The Conditional Use Permit will meet the goals of safety, health and the general welfare of the public.

Date: _____ APPROVED _____ DENIED _____ PZ Chairperson _____

COUNTY BOARD MEETING DATE _____

Le Sueur County

Conditional Use Application-Grading, Excavating & Filling

Activities that involve topographic alterations in all districts shall conform to the standards in Section 18 of the Le Sueur County Zoning Ordinance. Activities within a shoreland district shall conform to the standards in Section 13 of the Le Sueur County Zoning Ordinance.

In addition any activities in any type wetland shall be evaluated in accordance with the Wetland Conservation Act (WCA) regulations, as administered by the Le Sueur County Soil & Water Conservation District (SWCD).

I. Applicant:

Name Lone Oak Farm, Inc
Mailing Address 30012 Lexington Rd
City Le Sueur State MN Zip 56058
Phone # 507-665-2777 Phone # _____

II. Landowner:

Name Gregory & Joan Schwarz
Mailing Address 30012 Lexington Rd
City Le Sueur State MN Zip 56058

Property Address 28678 354th St
City Le Sueur State MN Zip 56058
Phone # 507-665-2777 Phone # _____

III. Parcel Information:

Parcel Number 11.009.0300 11.009.2700 11.004.5200 Parcel Acreage 73, 40, 120
Attach Full Legal Description (**NOT** abbreviated description from tax statement)
Township Sharon Section 9, 4 *mem*
Subdivision _____ Lot _____ Block _____

IV. Township Notification: Township must be notified of proposed use prior to application.

Sharon Township notified on May 9, 2017
(Township Name) (Date)

Board Member Ronda Schleeve regarding the proposed use.
(Name)

V. Quantities and Submittal Formats:

- One (1) reproducible 8.5" x 11" copy of the request and all other supporting documents.
- Twenty Three (23) copies must be submitted, if any documents are in color, an aerial, or larger than 8.5" x 11" in size.
- Electronic version of any supporting documents *if available*.
- Additional copies may be requested as deemed necessary by the Department.
- Application must be made in person** by the applicant and/or landowner no later than 12 P.M. on the date of application deadline.
- Appointment is necessary.**
- Applications will not be accepted by mail.**



1

VI. Fees: Must be paid at the time of application.

Conditional Use Permit \$ 750 After-The-Fact fee is **doubled.**
Filing Fee \$ 46

Additional Fees:

Special Meeting \$ 2,000
After-The-Fact Penalty \$ 1,500 OR 10% of improvement, whichever is greater

VII. Type of Request: Grading, Excavating or Filling.

Non-Shoreland Cubic yards of material movement: 18,997.07
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____
TOTAL cubic yards of material movement: 18,997.07

Shoreland- Outside Shore Impact Zone Cubic yards of material movement: _____
 Within Shore Impact Zone Cubic yards of material movement: _____
 Within Bluff Impact Zone Cubic yards of material movement: _____
 Within Bluff Cubic yards of material movement: _____
TOTAL cubic yards of material movement: _____

Assurance security shall be required for projects that are >1500 cubic yards.

VIII. Description of Request:

a. A full description of request with detailed information including what operations are to occur and what general types of equipment may be used in the operation must be attached.

b. Complete the following in relationship to the proposed Conditional Use Permit.

1. ENVIRONMENTAL IMPACT: No environmental impact is anticipated
2. ADVERSE IMPACT ON SURROUNDING AREAS: See Description of Request
3. STORMWATER RUNOFF: There will be no change to existing stormwater run-off patterns
4. DOES ANY PART OF THE PROJECT EXTEND BELOW OHWL: NO
5. WETLAND IMPACT: No wetland impacts
6. SLOPE STABILITY: Grading will occur to avoid steep slopes when possible
7. CERTIFICATE OF INSURANCE: see attached
8. MEET ALL APPLICABLE COUNTY STATE & FEDERAL REGULATIONS: Meets all county, state and federal regulations
(For example additional licensing and/or permitting)

IX. Site Plan: Shall include but not limited to the following:

- **Parcels < 5 AC** = 2-foot contours depicting existing and proposed topography.
- **Parcels 5-20 AC** = 5-foot contours depicting existing and proposed topography.
- **Parcels >20 AC** = 10-foot contours depicting existing and proposed topography.
- Location of grading, excavating, and/or filling sites.
- Location of areas for obtaining fill or disposing of excavated materials.
- Tree inventory of all trees, indicating trees to be cut or removed.
(Caliper of 6 inches or greater measured 4.5 feet from ground level)



- North point
- Setbacks
- Property Lines
- Road Right-Of-Way
- Landscape, screening and buffering
- Lake
- River
- Wetland
- Stream
- Existing Structures
- Proposed Structures
- Lot Dimensions
- Ponds
- Septic system
- Well
- Access (size & location)
- Easements
- Drainage

Site plan & As-Built must be completed by a surveyor or professional engineer.

X. Restoration Plan: Shall include but not limited to the following:

- Areas of restoration shall include the application of a minimum of 4 inches of topsoil or similar material that will support plant growth. *(Must be included in cubic yards calculation of material.)*
- Reseeded areas indicated with type of vegetation. *(Shall meet minimum standards by the SWCD)*
- Tree replacement plan. *(Areas located within the Bluff Impact Zone, Bluff, Shoreland & Conservancy Districts)*
 - Root zone of existing trees shall be preserved and protected during development.
 - Replace one tree for every tree that is removed.
 - Replacement trees shall have a minimum caliper of 2 inches at 4.5 feet from ground level.

XI. Attachments: Shall include but not limited to:

- a. **Description of Request**-See Part VIII for full details and requirements.
- b. **Site Plan**-See Part IX for full details and requirements.
- c. **Full Legal Description**-Not abbreviated description from tax statement.
- d. **Access approval**-Attach approval in writing from proper road authority.
- e. **Township Notification**-See Part IV for details and requirements.
- f. **Septic System Compliance Inspection**
- g. **Erosion Control Plan**-Attach completed and signed plan including map.
- h. **Restoration Plan**-See Part X for full details and requirements.
- i. **Approved Stormwater Pollution Prevention Plan**
-Must meet NPDES requirements and prepared by a licensed professional engineer.

XII. Procedure:

The Planning & Zoning Commission shall hold a public hearing on the proposed Conditional Use Permit at a scheduled Planning and Zoning Commission meeting.

The Planning and Zoning Commission is an advisory board to the County Board of Commissioners and will make a recommendation to the County Board.

The Department shall report the findings and recommendations of the Planning Commission to the County Board for final decision.

Action by the County Board shall be a majority vote of its members.

The Department shall notify the applicant and/or landowner in writing of the County Board decision.

A certified copy of the Conditional Use Permit shall be filed with the Le Sueur County Recorder by the Department.



XIII. Signatures:

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Gregory G. Schwary
Applicant signature

6-7-2017
Date

I hereby certify with my signature that all data contained herein as well as all supporting data are true and correct to the best of my knowledge.

Gregory G. Schwary
Property Owner signature

6-7-2017
Date

OFFICE USE ONLY

Request: **GRADING, EXCAVATING & FILLING**

- Non-Shoreland
 - Within Bluff Impact Zone
 - Within Bluff

Cubic yards of material movement: 18,997.07
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____

TOTAL cubic yards of material movement: 18,997.07

- Shoreland - Outside Shore Impact Zone
 - Within Shore Impact Zone
 - Within Bluff Impact Zone
 - Within Bluff

Cubic yards of material movement: _____
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____
 Cubic yards of material movement: _____

TOTAL cubic yards of material movement: _____

Pre-App Date 6-7-17
 Meeting Date 7-13-17
 60 Day 8-7-17
 Zoning District A

Lake Classification NA
 Lake NA
 FEMA Panel # 27079C0 130 D
 Flood Zone A-Outside

Feedlot 500' 1000' N
 Wetland Type 1-2 3-8 N
 Water courses Y N CP #50
 Bluff Y N

- | | | | |
|---|--|---|-------------------------|
| <input type="checkbox"/> Request Description | <input checked="" type="checkbox"/> Access Approval | <input checked="" type="checkbox"/> Septic | Comp Insp / Design |
| <input checked="" type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Erosion Control Plan | <input checked="" type="checkbox"/> Meeting | <u>Reg</u> / ATF / Spec |
| <input type="checkbox"/> Full Legal | <input checked="" type="checkbox"/> Bond/LOC | <input type="checkbox"/> Fee | \$ <u>7910</u> |
| <input checked="" type="checkbox"/> Ordinance | <input type="checkbox"/> Other _____ | <input type="checkbox"/> Penalty | \$ _____ |

Application Complete Michelle R Mitt 6-7-17 17169
 Planning & Zoning Department Signature Date Permit #



DESCRIPTION OF REQUEST

Lone Oak Farm, Inc, 30012 Lexington Rd, Le Sueur, MN is applying for a Conditional Use Permit for Grading, Excavation and Filling during construction of additions of 60' x 112' to the existing barns on the site locate in the NE ¼ of the NW ¼, Section 9, Sharon Township and for the construction of two 60' x 672' total confinement turkey barns located in the NW ¼ of the NE ¼, Section 9, Sharon Township. The site is located at 28678 354th St, Le Sueur, MN.

The total area disturbed is approximately 8.54 acres and requires coverage under the Minnesota Construction Storm Water General Permit (MNR100001). Coverage has been applied for and is in effect as of May 19, 2017.

The total impervious area after construction will be approximately 5.44 acres and will consist of the proposed turkey barns and the gravel drives and parking areas. Stormwater run-off will be routed to infiltration areas between and outside the barns. These infiltration areas have been designed to hold greater than 1" of stormwater run-off for the entire impervious area. Culverts installed in the east end of the infiltration areas will allow a timed-release of the stormwater that does not immediately infiltrate

Le Sueur County GIS data shows County Ditch No 56 lies approximately 400 feet to the west of the site. It is unknown if this had been an open drainage ditch at one time. The land is currently farmed. The grading design maintains the overall drainage pattern of the site.

Construction is expected to begin in fall 2017 with the installation of stormwater erosion prevention and sediment control Best Management Practices (BMPs), including silt fence and top soil stripping and stockpiling. Soils excavated during mass grading of the site will be transported and placed for fill during construction of the drives, parking areas and building pads. The project would include the movement of approximately 18,997.07 cubic yards of material. Excess dirt from the site will be excavated and used to supply fill for the southern side of the site and the southwest entrance drive and mortality dumpster pad. It is anticipated that all fill material will originate from the leveling and excavation activities done on site. No off-site material will be needed for construction. Refer to the Grading and Erosion Plan for excavation and fill locations.

Equipment used for grading will include excavators, graders, dozers and scrapers. Final grading may be performed with skid-steers and utility vehicles.

Concrete construction will include placement of the concrete for the barn footings, perimeter walls and floors. The project will conclude with the construction of the buildings and final grading which will coincide with stormwater treatment provisions and establishment of a permanent vegetative cover.

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Adverse Impacts

No adverse impacts are expected from the grading, excavating and filling of the site. Silt fencing will be placed on the downslope of the site at the time of construction to reduce or eliminate any soil erosion. Riprap will be used to provide outlet protection. Rock will be used on any new driveway entrances to reduce potential soil erosion. After construction of the site is complete a grass seed mix stabilized with straw mulch will be planted to create an infiltration area for water runoff in the infiltration basins and on the perimeter of the site.



Minnesota Pollution Control Agency

01-Jun-17

Jennie-O Turkey Store, Steve Fladeboe
2505 Willmar Ave SW
Willmar, MN 562012711

RE: NPDES/SDS General Stormwater Permit for Construction Activity (MNR100001) Application
Permit ID Number: C00046213
Project Name: JOTS - Schwarz Site

The JOTS - Schwarz Site Protection CSW project has been granted coverage by the Minnesota Pollution Control Agency (MPCA) under the National Pollutant Discharge Elimination System (NPDES)/State Disposal System (SDS) Stormwater Permit (Permit) for Construction Activity. Permit coverage is effective for this project on Fri May 19, 2017.

You are required to comply with the terms of the Permit to prevent erosion and control sediment from your site with the procedures established in your Stormwater Pollution Prevention Plan (SWPPP). You are also required to upgrade your SWPPP and erosion prevention and sediment control Best Management Practices (BMPs) as site and weather conditions dictate throughout the entire term of the project.

Once all construction activity has been completed at this project, you must submit a Notice of Termination (NOT) form to the MPCA within 30 days of meeting the conditions outlined in Part II (C) of the permit. Please check the MPCA website (<http://www.pca.state.mn.us/water/stormwater>) or call to request an NOT form and fact sheet.

Please save this letter for your records. If you have any questions about permit coverage for this project, please contact the Construction Stormwater Program at 651-757-2119 or toll free at 800-657-3804.

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JUN 07 2017
BY: _____



Minnesota Pollution Control Agency

01-Jun-17

Greg Schwarz, Landowner
30012 Lexington Rd. Le Sueur
Sharon Township, MN 56058

RE: NPDES/SDS General Stormwater Permit for Construction Activity (MNR100001) Application
Permit ID Number: C00046213
Project Name: JOTS - Schwarz Site

The JOTS - Schwarz Site Protection CSW project has been granted coverage by the Minnesota Pollution Control Agency (MPCA) under the National Pollutant Discharge Elimination System (NPDES)/State Disposal System (SDS) Stormwater Permit (Permit) for Construction Activity. Permit coverage is effective for this project on Fri May 19, 2017.

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Once all construction activity has been completed at this project, you must submit a Notice of Termination (NOT) form to the MPCA within 30 days of meeting the conditions outlined in Part II (C) of the permit. Please check the MPCA website (<http://www.pca.state.mn.us/water/stormwater>) or call to request an NOT form and fact sheet.

Please save this letter for your records. If you have any questions about permit coverage for this project, please contact the Construction Stormwater Program at 651-757-2119 or toll free at 800-657-3804.

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BY: _____



Minnesota Pollution Control Agency

COVERAGE CARD

Construction Stormwater National Pollutant Discharge Elimination System/State Disposal System General Permit MNR100001

The Construction site identified below is covered under the National Pollutant Discharge Elimination System/State Disposal System General Permit MNR100001 and is authorized by the Minnesota Pollution Control Agency (MPCA) to discharge stormwater associated with construction activities.

Permit ID Number: C00046213

Owner: Landowner

General Contractor: Jennie-O Turkey Store

Project Name: JOTS - Schwarz Site

Permit Coverage Date: 05/19/2017

If you have questions regarding the stormwater program for construction activity, please access the MPCA Stormwater website at <http://www.pca.state.mn.us/stormwater>, or call the Construction Stormwater Program at 651-757-2119 or toll free at 800-657-3804.





SWPPP Template for Feedlot Construction Activities
Stormwater Pollution Prevention Plan (SWPPP)

Doc Type: Stormwater Pollution Prevention Plan

Instructions: All feedlot construction that disturbs one or more acres must develop a SWPPP. This Stormwater Pollution Prevention Plan (SWPPP) Template is intended to provide a means for feedlot construction sites to comply with the General Stormwater Permit for Construction Activity.

Construction at my feedlot does not include land disturbing activities, or disturbs less than one acre of land; therefore, a SWPPP is not required.

Note: Applications for NPDES feedlot permits using the online application system require the inclusion of a SWPPP even though it may not technically be required.

I. General construction activity information

Project name: Jennie-O Turkey Store - Greg Schwarz Registration Number:

Project location:

County: Le Sueur Township: Sharon Section: 9 1/4 Sect.: NE

Total number of acres to be disturbed: 8.5 (tenths of an acre)

Estimated construction start date: 5/22/2017 Estimated construction end date: 10/1/2017

Pre-construction acres of impervious surface: 0 Post-construction acres of impervious surface: 5.5 Total new impervious surface acres (Post - Pre): 5.5

- Examples of impervious surface include: Parking lots, Rooftops, Driveways, Other concrete, asphalt, or gravel areas

II. Receiving waters

List all waters within one mile (nearest straight line distance) that are likely to receive stormwater runoff from the project site either during or after construction:

Receiving waters within one mile of project property edge:

Table with 5 columns: Water body ID, Name of water body, Type, Special water?, Impaired Water?. Row 1: Unnamed intermittent stream, Ditch, Yes/No checkboxes.

1 Water body ID and special and impaired waters information can be obtained with the Construction Stormwater Special Waters search tool available on the MPCA website at: http://pca-gis02.pca.state.mn.us/CSW/index.html.
2 Impaired water for the following pollutant(s) or stressor(s): phosphorus, turbidity, dissolved oxygen, or biotic impairment

Wetland impacts:

Will construction result in any potential adverse impacts to wetlands, including excavation, degradation of water quality, draining, filling, permanent inundation or flooding, conversion to a stormwater pond? Yes/No

If yes, describe below impacts and mitigation measures that will be taken to address the impacts and attach to this SWPPP, copies of permits or approvals from an official state wide wetland program issued specifically for this project or site:

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III. Project plans and maps

Attach to this SWPPP site maps and/or plan sheets that depict the following features:

- The project location and construction limits.
- Location and type of all receiving waters, including wetlands, drainage ditches, stormwater ponds or basins, etc. that will receive runoff from the project. Use arrows showing the direction of flow and distance to the water body.
- Existing and final grades, including dividing lines and direction of flow for all pre and post-construction stormwater runoff drainage areas located within the project limits.
- Soil types at the site.
- Locations of impervious surfaces.
- Locations of areas not to be disturbed (e.g., buffer zones, wetlands, etc.).
- Steep slope locations.
- Locations of areas where construction will be phased to minimize duration of exposed soils.
- Locations of all temporary and permanent erosion and sediment controls.
- Standard details for erosion and sediment control Best Management Practices (BMPs) to be installed at the site.
- Portions of the site that drain to a public water with Minnesota Department of Natural Resources (DNR) work in water restrictions for fish spawning timeframes.
- Locations of Buffer zones.
- Locations of potential pollution-generating activities.

IV. Temporary erosion prevention practices

Indicate/describe the types of temporary erosion prevention BMPs expected to be implemented on this site during construction:

- Check dams Rip rap Construction phasing Vegetative buffers
 Terracing Erosion blankets Minimize soil disturbance
 Other (Describe): _____

Describe below installation techniques, procedures, and timelines for implementation of erosion prevention practices (Include estimated quantity of materials):

Erosion prevention practices will include minimizing the area of disturbance, construction scheduling and duration, and minimizing the entrance of stormwater run-off generated off-site. Grading practices, including the use of earthen berms and swales, and the installation of filter logs and silt fencing will direct and control storm water on site and prevent off-site run-off from entering the site.

V. Temporary sediment control practices

Indicate/describe the methods of sediment control BMPs to be implemented at this site during construction to minimize sediment impacts to surface waters, including tile intakes:

- Silt fence Rock construction entrance Vegetative buffers
 Fiber logs Construction phasing Minimize soil disturbance/compaction
 Other (Describe): _____

Describe below installation techniques, procedures, and timelines for implementation of temporary sediment control practices (Include estimated quantity of materials):

Filter logs and silt fencing will be utilized at the site as temporary sediment control. Silt fencing shall be installed, at a minimum, at the grading limits. fiber logs will be installed in low areas, swales and at culvert outlets to serve as energy dissipators. Trapped sediment must be removed from all silt fencing before the deposit reaches 1/3 of the above ground fence height. Operation of equipment on areas that have been final graded and/or stabilized will be prohibited to avoid excessive soil compaction. A rock construction entrance shall be installed to prevent tracking sediment on public roads.

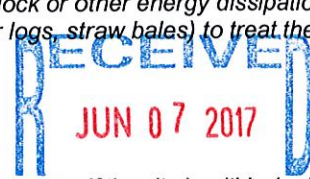
Dewatering:

Describe below measures to be used to treat/dispose of turbid or sediment-laden water and method to prevent erosion or scour of discharge points when dewatering is required at the site:

Dewatering activities, if necessary, will direct sediment-laden water to a splash-block or other energy dissipation system and settling basin or ponding area surrounded by filtration material (ie. silt fence, fiber logs, straw bales) to treat the water prior to discharge to a grassed or vegetated ditch.

Temporary sediment basin:

When the project includes 10 or more acres draining to a common location (5 acres or more if the site is within 1 mile of a special or impaired water) a temporary sediment basin required. Attach to this SWPPP plans for design and construction of the basin.



VI. Permanent stormwater management system

When the project results in one acre or more acres of new impervious surfaces a permanent stormwater management system is required. Indicate which option will be employed at the facility:

Option 1: A water quality volume of **one inch of runoff** from the cumulative new impervious surfaces will be collected and contained within a permitted feedlot component such as a liquid manure storage area or vegetated infiltration area.

Option 2: A separate stormwater management system will be constructed and will account for the following:

- a water quality volume of **one inch of runoff** from the cumulative new impervious surfaces must be retained on site through infiltration unless site specific circumstances are not favorable for the use of infiltration.

Common instances when infiltration is not favorable include:

- Karst susceptibility
- High water table
- Soils with large clay content (i.e., 60%+)
- Soils in hydrologic group D

- If infiltration of stormwater is not favorable, identify the alternative method to handle stormwater:

Sedimentation Basin Filtration Combination of Practices

Other (Describe): _____

- Attach design parameters for the planned permanent stormwater management system, including

- location
- basin depth
- volume calculations
- design of pre-treatment devices
- outlet configurations
- discharge rate calculation
- timing of installation

For more design information consult the Minnesota Stormwater Manual on the MPCA website at http://stormwater.pca.state.mn.us/index.php/Main_Page.

- For infiltration or filtration systems attach information about soil type and distance to the seasonal water table or bedrock (from bottom of the basin) in the location of the infiltration or filtration system.
- For projects that discharge to trout streams, including tributaries to trout streams, attach a method of incorporating temperature controls into the permanent stormwater management system:

VII. Additional considerations (as applicable)

Impaired waters:

Attach to this SWPPP any additional BMPs or other specific construction related implementation activities identified in an approved Total Maximum Daily Load and Waste Load Allocations.

Special waters:

Describe below any additional stormwater mitigation measures that will be implemented when discharge is to special waters:

Not applicable

Environmental review:

Describe below any stormwater mitigation measures that will be implemented, as a result of an environmental review, endangered or threatened species review or archeological site review:

Not applicable

Karst:

Describe below any additional (or different) stormwater management measures required for karst or drinking water supply management areas to protect groundwater standards:

Not applicable



VIII. Pollution prevention management measures

Indicate/describe practices for storage and disposal of the following to minimize exposure to stormwater:

- solid waste
- pesticides, herbicides, insecticides, fertilizers, treatment chemical, and landscape materials
- hazardous materials or toxic waste (e.g., oil, fuel, hydraulic fluids, paint solvents, petroleum-based products, wood preservative, additives, curing compounds, and acids)
- building products with a potential to leach pollutants

Store in areas protected from precipitation and dispose of materials in accordance with applicable rules and regulations

Other (Describe): _____

Sanitary wastes

Indicate/describe management of sanitary wastes:

Temporary facilities will be used and waste disposed of in accordance with applicable rules and regulations and the facilities will be located away from the active construction area to minimize accidental tipping by equipment.

Existing permanent facilities currently exist at/near the construction site and will be available to construction personnel

Other (Describe): _____

Vehicle Wastes

Wastes related to vehicles will be handled as follows:

- Materials will be on hand to minimize effects from spills related to re-fueling of equipment. Spills will be cleaned up promptly and reported to the Minnesota Duty Officer as required.
- Runoff from exterior vehicle washing will be routed to in-place control structures. No engine de-greasing will take place.

Concrete washout

Concrete washout will take place in accordance with the guidance provided in the MPCA's concrete, paint, stucco, and other washout guidance factsheet available at <http://www.pca.state.mn.us/index.php/view-document.html?gid=7397>.

IX. Inspections and Records

Construction BMPs:

Identify the trained* individual(s) responsible for installing, supervising, repairing, inspecting, and maintaining erosion prevention and sediment control BMPs at the site:

Company name: _____ Site contact: _____

Phone: _____ Email: _____

* Attach training documentation

Permanent stormwater management system:

Identify individual(s) responsible for operation and maintenance of permanent stormwater controls at the site:

Feedlot operator Other:

Company name: LONE OAK FARM INC. Site contact: Greg Schwarz

Phone: (612) 756-2148 Email: loneoak12@gmail.com

Inspections procedures and recordkeeping

All inspections and record keeping procedures will follow the requirements specified in the Minnesota General Stormwater Permit for Construction Activity (MN R100001).

X. Final Stabilization

Indicate/describe the methods of final stabilization to be implemented following completion of construction activities:

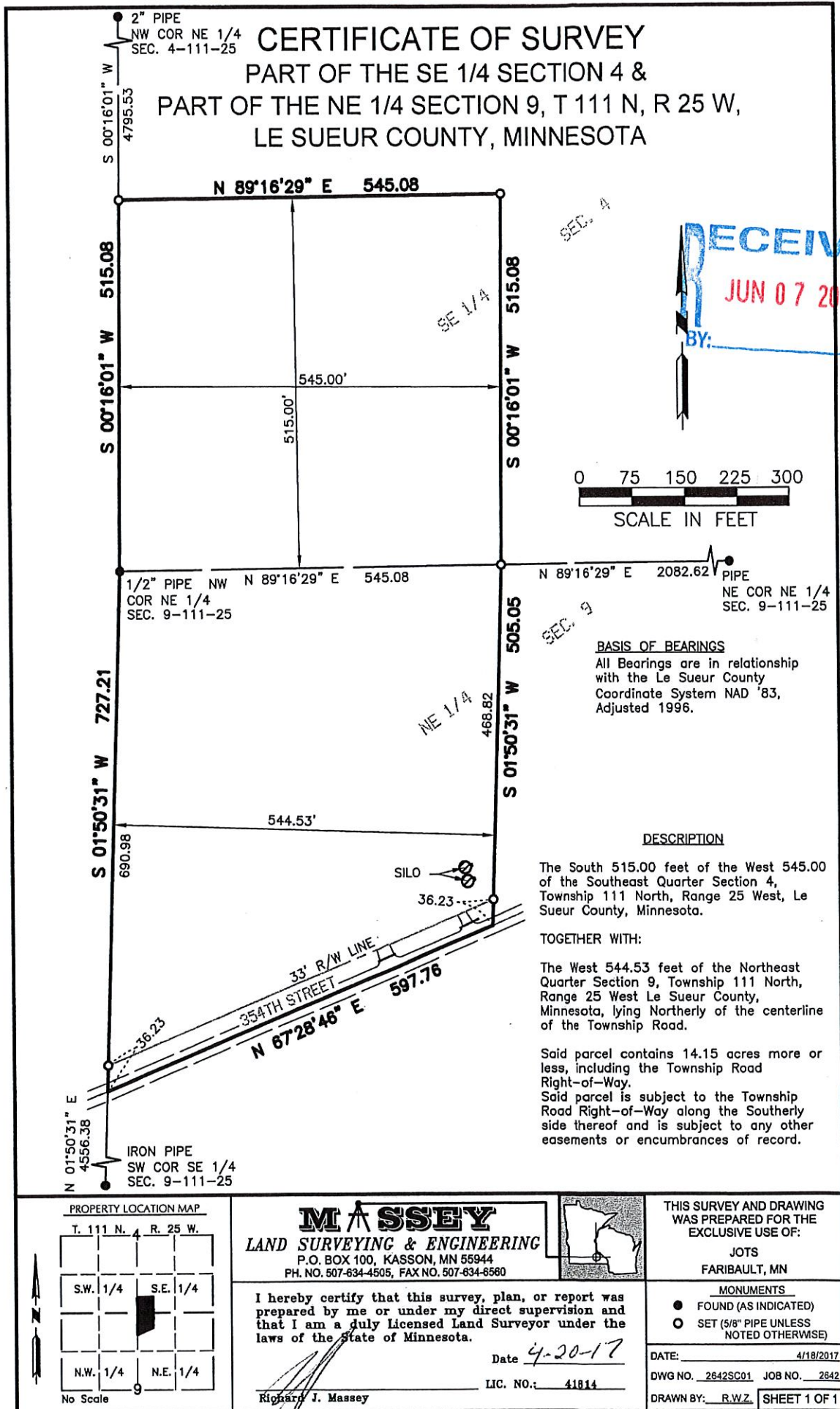
Uniform perennial vegetative cover (70% of expected final growth before removal of temporary measures)

Permanent stormwater controls are installed and functional (if system is required)

Other (Describe): _____

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BY: _____

New barn location.



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JUN 07 2017

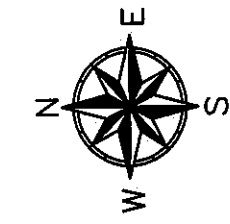
BY: _____

Greg Schwarz has permission to continue to use access driveways for his turkey barn site located on 354th St near Le Sueur

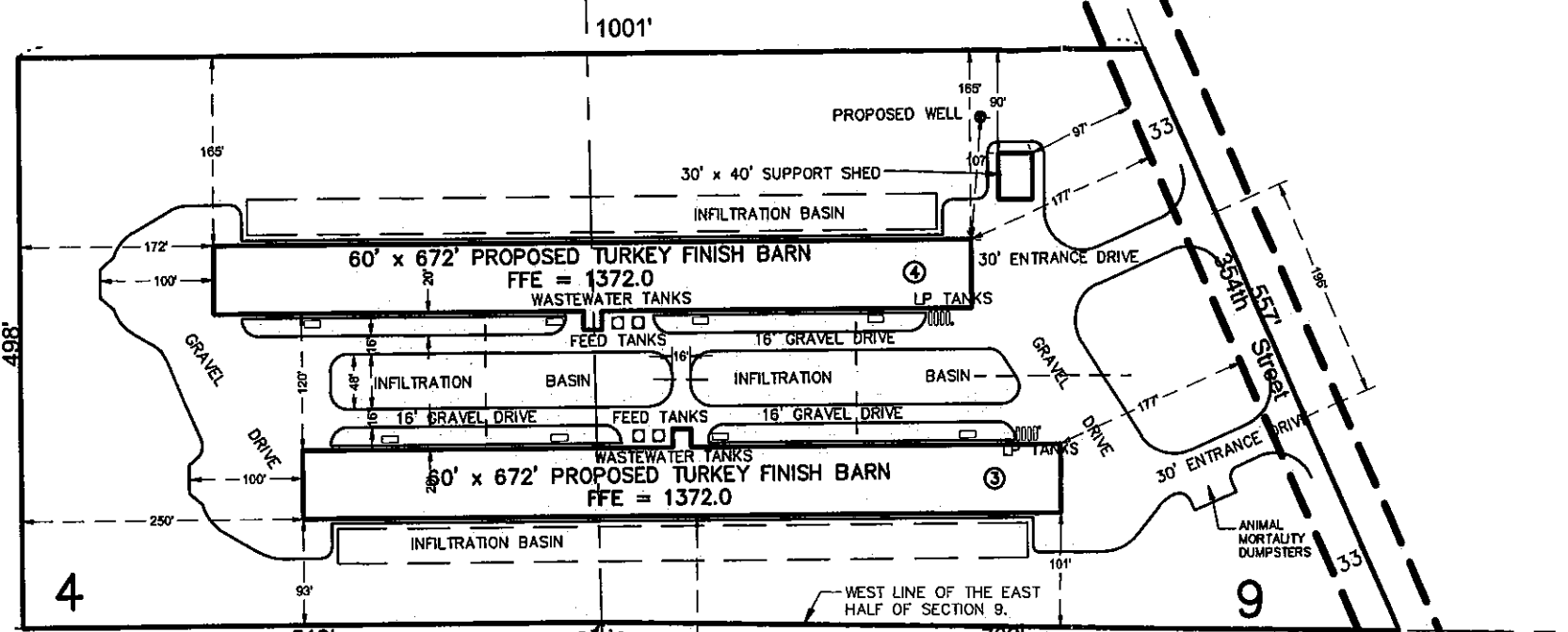
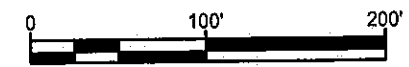
Sharon Township Supervisor

Sharon D. Meyer

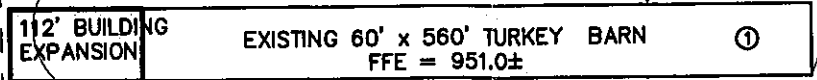
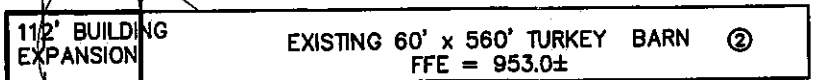
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BY _____



PROPERTY LINES SHOWN ARE APPROXIMATE.



LE SUEUR
SHARON



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JUN 12 2017
BY: *mlm*

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Signature: PERMITTING PURPOSES ONLY
Alan D. Larsen, PE
Registration No. 25402

Date: My Registration Expires June 30, 2018

Anez Consulting, Inc.
1700 Technology Drive NE
Suite 130
Willmar, MN 56201
(320) 235-1970

JENNIE-O TURKEY STORE
Greg Schwarz Site
672' SITE PLAN
SEC. 4 & 9, TWP. 111N, R. 25W
LE SUEUR COUNTY, MN.

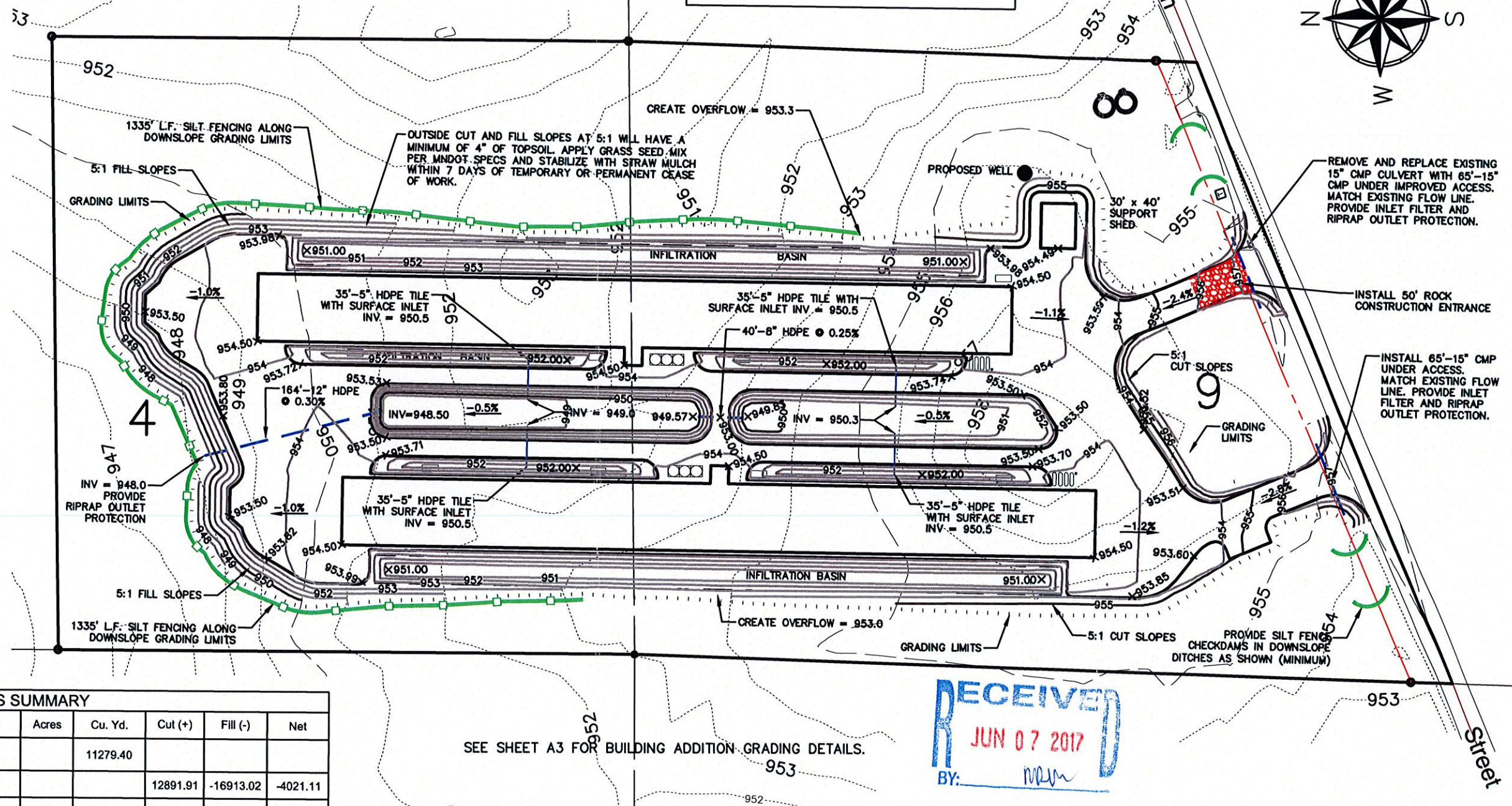
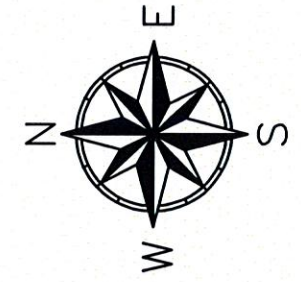
Scale 1" = 150'	Date 6/1/2017
Project Number	Sheet Number A1

EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROLS (SILT FENCING AND ROCK CONSTRUCTION ENTRANCE) SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK.
2. THE CONTRACTOR SHALL ADJUST THE PERIMETER SILT FENCING TO ACCOMMODATE THE INSTALLATION OF THE DITCH CHECK DAMS AS NECESSARY.
3. CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT PIT LINED WITH 6" MIL POLYETHYLENE IF CONCRETE IS TO BE UTILIZED ON-SITE. THE WASH PIT AND DRIED CONTENTS SHALL BE REMOVED UPON THE COMPLETION OF ALL CONCRETE WORK AND PROPERLY DISPOSED OF.
4. TRACKED SOIL ONTO EXISTING PUBLIC STREETS SHALL BE CLEANED IMMEDIATELY.
5. PERIMETER SILT FENCE SHALL BE INSTALLED DOWNSTREAM OF ALL TOPSOIL STOCKPILES. ALL TOPSOIL STOCKPILES SHALL BE TEMPORARILY COVERED AFTER 7 DAYS.
6. ALL EXPOSED SOIL SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
7. A MINIMUM OF 4 INCHES TOPSOIL AND SEED SHALL BE INSTALLED FOR ALL DISTURBED AREAS NOT PROPOSED AS IMPERVIOUS SURFACES.
8. PERMANENT SEED MIX FOR ALL LAWN AREAS SHALL BE COMMERCIAL TURF MIX #25-131 APPLIED AT 220 LB/ACRE. SEED MIX AND APPLICATION SHALL COMPLY WITH THE MN DOT SEEDING MANUAL 2014 EDITION.
9. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL BMP'S IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
10. THE DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCH IN 24 HOURS MUST BE DOCUMENTED. RAINFALL AMOUNTS MUST BE OBTAINED FROM A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON SITE, A WEATHER STATION WITHIN 1 MILE OF THE SITE, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES.

**LE SUEUR
SHARON**

CONTRACTOR TO PROVIDE
POLY-LINED CONCRETE WASHOUT.



SEE SHEET A3 FOR BUILDING ADDITION GRADING DETAILS.

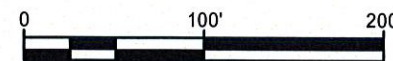
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JUN 07 2017
BY: *[Signature]*

SITE SOILS

- | | | |
|---------|--|-------|
| 1. 39B | Wadena loam, 2 to 6 percent slopes | 34.2% |
| 2. 109 | Cordova clay loam, 0 to 2 percent slopes | 47.6% |
| 3. 239B | Le Sueur loam, 1 to 3 percent slopes | 18.3% |

INFILTRATION AREA CALCULATIONS

1. TOTAL CAPACITY REQUIRED @ 1" OVER IMPERVIOUS SURFACE = 15,723 cubic feet
2. TOTAL INFILTRATION BASIN CAPACITY @ 1.0' DEPTH = 38,181 cubic feet



VOLUMES SUMMARY							
Name	Factor	Sq. Ft.	Acres	Cu. Yd.	Cut (+)	Fill (-)	Net
Topsoil Stockpile (assumes 12")	1.00			11279.40			
Grading Volumes					12891.91	-16913.02	-4021.11
Cut Factor	1.00						
Fill Factor	1.20						
4" Compacted Class V below buildings				1015.67			1015.67
3" Pit-run Road base on geotextile				984.52			984.52
6" - Class V on roads				1969.04			1969.04
Total grading area		304543.88	6.99				
Area of outside gravel line		257496.40	5.91				
Building area		82352.00	1.89				
Area of interior infiltration basins		68816.29	1.58				
Total gravel area		106328.11	2.44				
Total topsoil/seed/mulch area		115863.77	2.66				
Totals				15248.64			-51.88

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

1700 Technology Drive NE
Suite 130
Willmar, MN 56201
(320) 235-1970

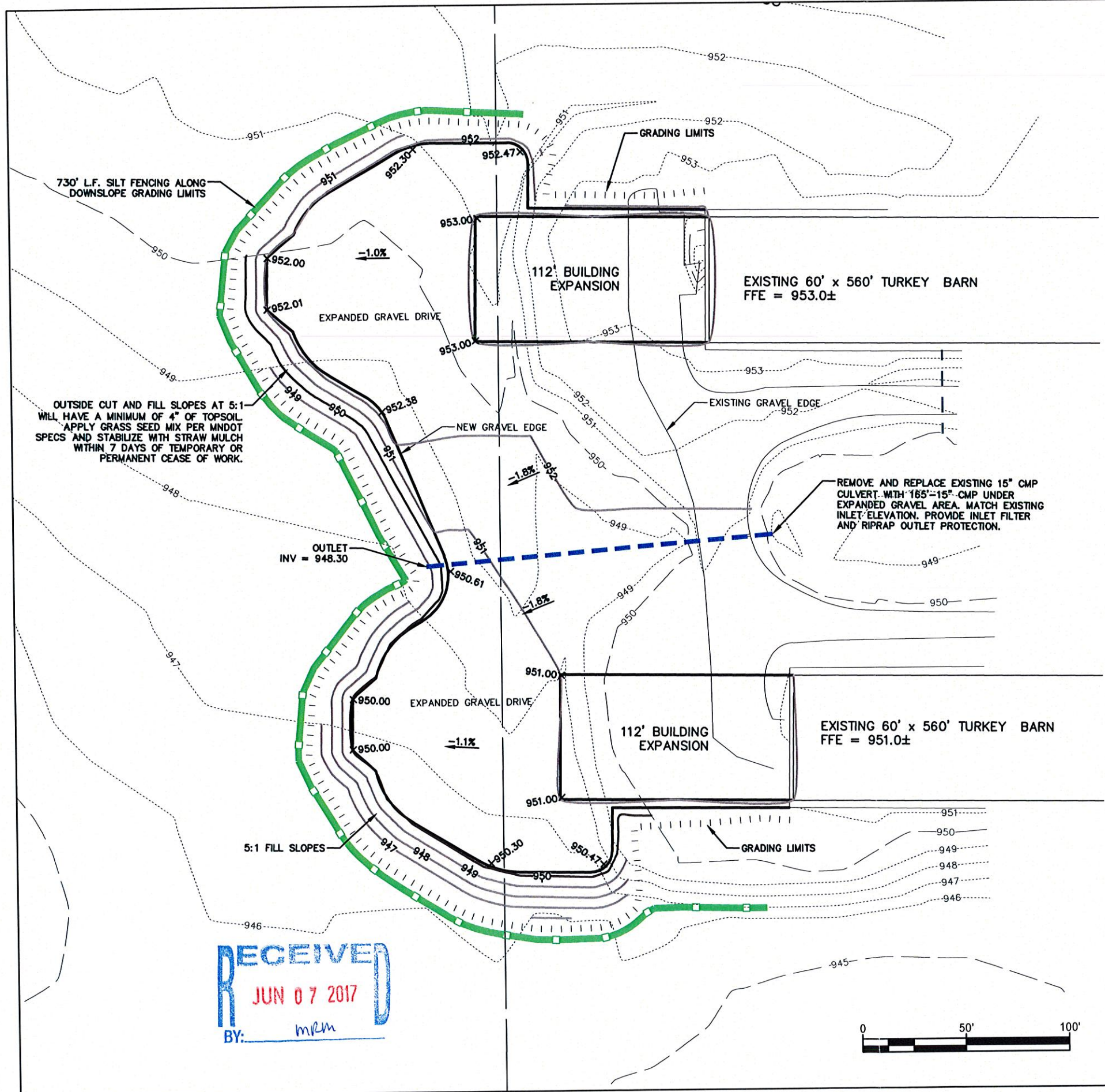
**Jennie-O Turkey Store
Greg Schwarz
GRADING PLAN**

SEC. 9, TWP. 111N, R. 25W
LE SUEUR COUNTY, MN.

Signature: BIDDING/PERMITTING ONLY
Alan D. Larsen, PE
Registration No. 25402

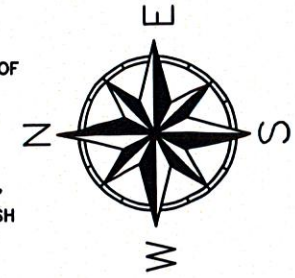
Date: _____
My Registration Expires June 30, 2018

Scale: 1" = 120'
Date: 5/8/2017
Project Number: _____
Sheet Number: A2



EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROLS (SILT FENCING AND ROCK CONSTRUCTION ENTRANCE) SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK.
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BUILDING ADDITION VOLUMES SUMMARY							
Name	Factor	Sq. Ft.	Acres	Cu. Yd.	Cut (+)	Fill (-)	Net
Topsoil Stockpile (assumes 12")	1.00			2499.45			
Grading Volumes					56.21	-5312.36	-5256.15
Cut Factor	1.00						
Fill Factor	1.20						
4" Compacted Class V below Buildings				165.76			165.76
3" Pit-run Road base on geotextile				361.07			361.07
6" - Class V on roads				722.15			722.15
Total grading area		67485.06	1.55				
Area of outside gravel line		38996.07	0.90				
Building area		13440.00	0.31				
Area of interior infiltration basins		0.00	0.00				
Total gravel area		38996.07	0.90				
Total topsoil/seed/mulch area		28488.99	0.65				
Totals				3748.43			-4007.15

RECEIVED
JUN 07 2017
BY: *mrh*

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Signature: BIDDING/PERMITTING ONLY
Alan D. Larsen, PE
Registration No. 25402

Date: My Registration Expires June 30, 2018

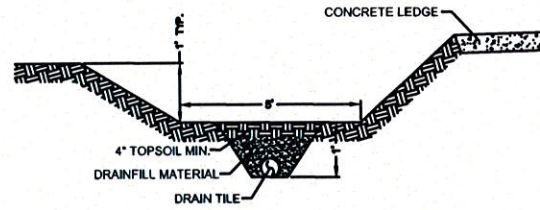
1700 Technology Dr
Suite 130
Willmar, MN 56201
(320) 235-1970

Anez
Consulting Inc.

Jennie-O Turkey Store
Greg Schwarz
GRADING PLAN - ADDITION

SEC. 9, TWP. 111N, R. 25W
LE SUEUR COUNTY, MN.

Scale: 1" = 50'
Date: 5/8/2017
Project Number: _____
Sheet Number: A3



NOTES:

1. CHANNEL SLOPES SHALL BE CONSTRUCTED PER PLAN CONTOURS.
2. CHANNELS SHALL BE OVEREXCAVATED TO ACCOMMODATE THE PLACEMENT OF A 4" LAYER OF TOPSOIL AND EROSION CONTROL MEASURES.
3. INSTALL EROSION CONTROL MEASURES (MULCHING OR MATTING) IMMEDIATELY UPON PLACEMENT OF TOPSOIL AND SEEDING AMENDMENTS.

**BUILDING SWALES
CROSS SECTION DETAIL**
N.T.S.

DRAINFILL NOTES:

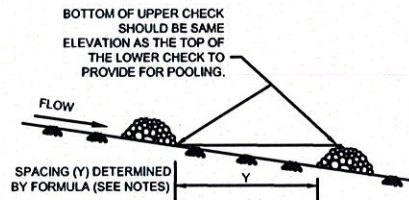
1. DRAINFILL MATERIALS SHALL BE SAND, GRAVEL, CRUSHED STONE, OR MIXTURES THEREOF. THE MATERIAL SHALL BE CLEAN, HARD, DURABLE PARTICLES FREE FROM ORGANIC MATTER OR OTHER DELETERIOUS SUBSTANCES THAT WOULD INTERFERE WITH FREE-DRAINING PROPERTIES.
2. DRAINFILL MATERIAL SHALL BE A REASONABLY WELL GRADED SAND-GRAVEL MIXTURE WITH 50 TO 85 PERCENT PASSING A NO. 4 SIEVE. THE MAXIMUM SIZE OF THE MATERIAL SHALL BE 3 INCHES, NO MORE THAN 5 PERCENT BY WEIGHT SHALL PASS A NO. 200 SIEVE.
3. UNLESS OTHERWISE SPECIFIED, NOT MORE THAN 5 PERCENT BY WEIGHT OF THE MATERIAL FINER THAN A NO. 4 SIEVE SHALL BE CRUSHED LIMESTONE OR DOLOMITE.
4. FOUNDATION SURFACES AND TRENCHES SHALL BE CLEAN AND FREE OF ORGANIC MATTER, LOOSE SOIL, FOREIGN SUBSTANCES, AND STANDING WATER WHEN THE DRAINFILL IS PLACED. EARTH SURFACES UPON OR AGAINST WHICH DRAINFILL WILL BE PLACED SHALL NOT BE SCARIFIED.
5. DRAINFILL SHALL BE PLACED IN UNIFORM LAYERS NOT MORE THAN 12 INCHES IN THICKNESS.
6. THE DRAINFILL SHALL BE PLACED IN A MANNER TO AVOID SEGREGATION OF PARTICLE SIZES. NO FOREIGN MATERIALS WILL BE ALLOWED TO BECOME INTERMIXED WITH OR OTHERWISE CONTAMINATE THE MATERIAL.

GENERAL DESIGN GUIDELINES						
DITCH CHECK TYPE	SILT FENCE	BIOROLL	BIOROLL BLANKET	TRIANGULAR DIKE	ROCK WEEPER	ROCK CHECK
STORM FREQUENCY:	2 YR. - 24 HR.	2 YR. - 24 HR.	2 YR. - 24 HR.	2 YR. - 24 HR.	5 YR. - 24 HR.	5 YR. - 24 HR.
MAX. FLOW VELOCITY:	0% - .5%	1.5% - 3%	1.5% - 3%	1.5% - 2.0%	12 FT./SEC	12 FT./SEC
MAX. DITCH GRADE:	0% - .5%	1.5% - 3%	1.5% - 3%	1.5% - 2.0%	3% - 5%	3% - 5%
MAX. DRAINAGE AREA:	1 ACRE	2 ACRE	2 ACRE	4 ACRE	4+ ACRE	4+ ACRE

NOTES

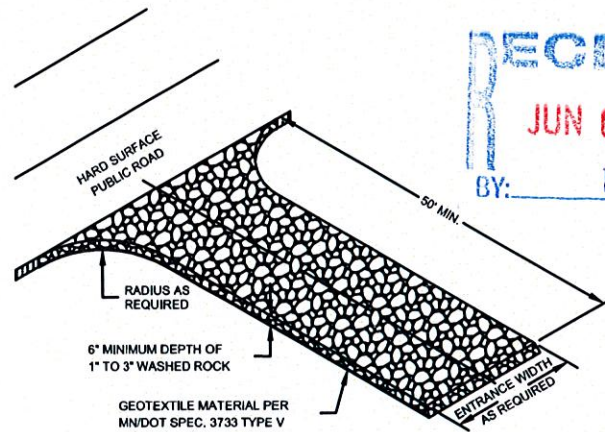
SEE SPECS. 2573, 3601, 3733, 3885, 3886 & 3889.
APPROXIMATE SPACING BETWEEN EACH DITCH CHECK SHOULD BE DETERMINED FROM SPACING FORMULA:
 $(FT.) = Y = \frac{DITCH CHECK HEIGHT (FT)}{\% CHANNEL SLOPE} \times 100$

1. PERMANENT DITCH CHECKS PLACED WITHIN THE CLEAR ZONE WILL NEED TO BE 18" OR LESS IN HEIGHT. A 1:6 APPROACH AND DEPARTURE SLOPE SHALL BE PROVIDED.



DITCH CHECK SPACING ①

**TEMP. SEDIMENT CONTROL
DITCH CHECKS/BARRIERS**
N.T.S.



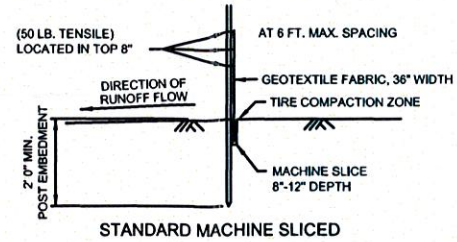
MAINTENANCE (INCIDENTAL)
THE ROCK PAD SHALL BE MAINTAINED TO PREVENT THE TRACKING OF MUD ONTO PAVED ROADS, INCLUDING PERIODIC TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE PAD AS NECESSARY.

**TEMPORARY ROCK
CONSTRUCTION ENTRANCE**
N.T.S.

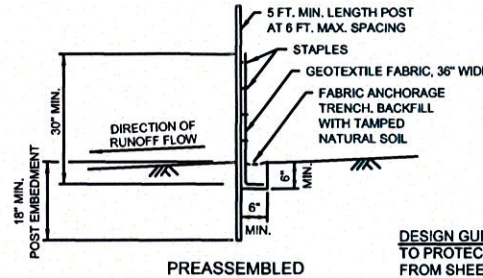
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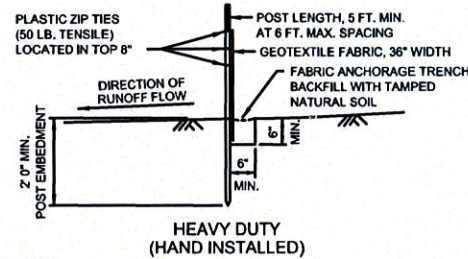
BY: *mkh*



STANDARD MACHINE SLICED



PREASSEMBLED



**HEAVY DUTY
(HAND INSTALLED)**

NOTES

1. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE FENCE.

SILT FENCE DETAILS
N.T.S.

**SPECIFICATIONS FOR SEEDING
AND STABILIZATION**

TEMPORARY SEEDING:

FALL SEED MIX : 21-112
APPLICATION RATE : 100 LBS/ACRE
SEEDING PERIOD : 8/1 TO 10/1
FERTILIZER TYPE : PER MANUFACTURES RECOMMENDATION
FERTILIZER :
APPLICATION RATE : PER MANUFACTURES RECOMMENDATION
MULCH TYPE : HAY OR STRAW
MULCH RATE : 2 TONS/ACRE

SPRING/SUMMER SEED MIX : 21-111
APPLICATION RATE : 50 LBS/ACRE
SEEDING PERIOD : 5/1 TO 8/1
FERTILIZER TYPE : PER MANUFACTURES RECOMMENDATION
FERTILIZER :
APPLICATION RATE : PER MANUFACTURES RECOMMENDATION
MULCH TYPE : HAY OR STRAW
MULCH RATE : 2 TONS/ACRE

PERMANANT SEEDING: SEED MIX 25-131

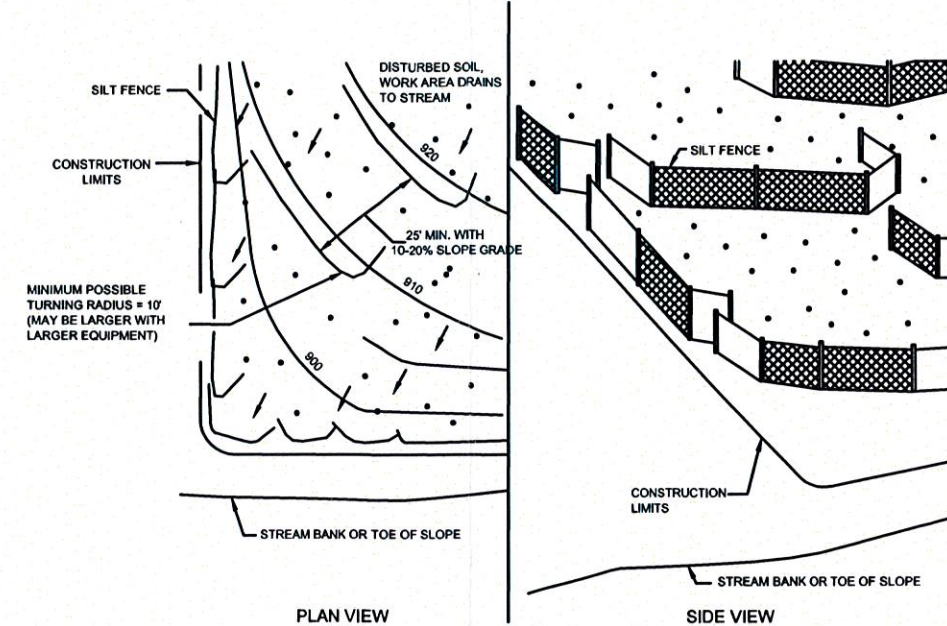
APPLICATION RATE : 220 LBS/ACRE
SEEDING PERIODS : 4/1 TO 6/1, 7/20 TO 10/20
FERTILIZER TYPE : PER MANUFACTURES RECOMMENDATION
FERTILIZER :
APPLICATION RATE : PER MANUFACTURES RECOMMENDATION
LIMING RATE : 2 TONS/ACRE
MULCH TYPE : HAY OR STRAW
MULCH RATE : 2 TONS/ACRE

NON-VEGETATIVE SURFACE STABILIZATION: MULCH

TEMPORARY MULCH TYPE : HAY OR STRAW
APPLICATION RATE : 3 TONS/ACRE
ANCHOR MATERIAL : WOOD CELLULOSE/HYDROSEED
APPLICATION RATE : 800 LBS/ACRE

NOTES:

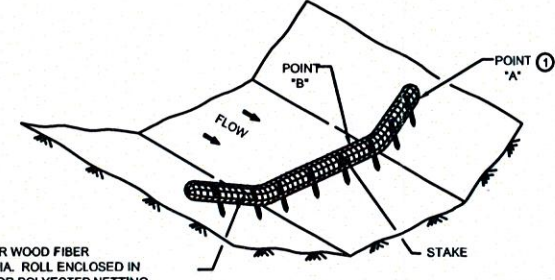
1. THE MULCH APPLICATION RATE FOR CHANNELS AND 3:1 SLOPES SHALL BE 3 TONS PER ACRE AS INDICATED ON THE PLAN.
2. STRAW AND HAY MULCH SHALL BE DISC ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
3. SEED MIX AND APPLICATION SHALL COMPLY WITH THE MN DOT SEEDING MANUAL 2014 EDITION.



PLAN VIEW

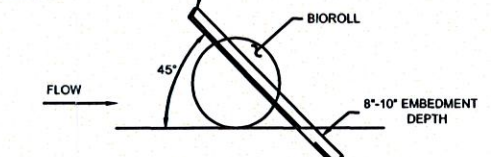
SIDE VIEW

**SILT FENCE DETAILS-
J-HOOK INSTALLATION**
N.T.S.



TYPE 2: BIOROLL DITCH CHECK
USE ON ROUGH GRADED AREAS

1" X 2" X 18" LONG WOODEN STAKES AT 1' 0" SPACING MAXIMUM. STAKES SHALL BE DRIVEN THROUGH THE BACK HALF OF THE BIOROLL AT AN ANGLE OF 45 DEGREES WITH THE TOP OF THE STAKE POINTING UPSTREAM. PROVIDE 8" TO 10" OF EMBEDMENT DEPTH.



BIOROLL STAKING DETAIL

NOTES

1. SEE TEMP. SEDIMENT CONTROL DITCH CHECKS/BARRIERS DETAIL FOR DITCH CHECK SPACING.
 2. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT DITCH CHECK DAM.
- ① POINT "A" MUST BE A MINIMUM OF 6 INCHES HIGHER THAN POINT "B" TO ENSURE THAT WATER FLOWS OVER THE DIKE AND NOT AROUND THE ENDS.

**TEMP. SEDIMENT CONTROL
TYPE 2 DITCH CHECKS**
N.T.S.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

1700 Technology Drive NE
Suite 130
Willmar, MN 56201
(320) 235-1970

**Jennie-O Turkey Store
Greg Schwarz**

CONSTRUCTION DETAILS
SEC. 9, TWP. 111N, R. 25W
LE SUEUR COUNTY, MN.

Signature: BIDDING/PERMITTING ONLY
Alan D. Larsen, PE
Registration No. 25402

Date: _____
My Registration Expires June 30, 2018

Scale AS SHOWN	Date 5/8/2017
Project Number	Sheet Number A4