

# **City of Scottsbluff, Nebraska**

**Monday, December 11, 2023**

**Regular Meeting**

## **Item Pub Hear1**

**Planning Commission to conduct a Public Hearing to consider the Preliminary Plat and Final Plat of Lots 1-4, Block 1, Triple Peaks Subdivision**

**Staff Contact:**



**City of Scottsbluff  
Subdivision Application**  
Permit Identifier 2023-8SD

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Type: Final Plat

Applicant Name Brenda Anderson Applicant Address 3311 Ave B Scottsbluff, NE  
Applicant Email brenda@haunnelson.com Applicant Phone 3086315840

Contact Name Jack Baker Contact Address 120 E 16TH ST STE A Scottsbluff, NE 69361, NE  
Contact Email jack@baker-eng.com Contact Phone 3086323123

Subdivision Information

Proposed Name of Subdivision Lots 1-3, Block 1, Triple Peaks Subdivision

General Location/Address East 27th Street

Legal Description N 350' OF PT N 1/2 NE 24 22 55 (10.49)  
UNPL LANDS

Current Zoning District(s) O & P

Total Area (square feet or acre) 18.22 acres

Number of Past Replat/Plat Amendments 0

Describe the reason for the subdivision

Development of farmland for offices and professional use, including a recreational facility

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# PRELIMINARY PLAT

LOTS 1-3, BLOCK 1, TRIPLE PEAKS SUBDIVISION, SCOTTS BLUFF COUNTY, NEBRASKA  
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE  
6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA

## Sheet Revisions

Date	Description	Initials
10-06-23	PRELIMINARY PLAT	KLJ
10-23-23	PRELIMINARY PLAT	BAS
10-26-23	REVISE UTILITIES	BAS
11-3-23	ADD SEWER EASEMENT NOTE	BEG



## PRELIMINARY PLAT SURVEY

COVER PAGE			
Baker Project Number: 5186-002-23			
Project Location: CITY OF SCOTTSBLUFF (SCOTTS BLUFF COUNTY, NEBRASKA)			
Project Code	Last Mod. Date	Subset	Sheet No.
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### TRIPLE PEAKS SUBDIVISION

A TRACT OF LAND SITUATED IN SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA, MORE PARTICULAR DESCRIBED AS FOLLOWS:

REFERRING TO THE NORTH-WEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24; THENCE S 02°07'49" W (ASSUMED BEARING), A DISTANCE OF 60.00 TO THE NORTHEAST CORNER OF BLOCK 2A, SYKES ADDITION, AND THE POINT OF BEGINNING; THENCE S 88°31'12" E ON THE SOUTH RIGHT OF WAY LINE OF 27TH STREET, A DISTANCE OF 305.93 FEET; THENCE S 2°07'44" W A DISTANCE OF 629.04 FEET; THENCE S 87°52'16" E A DISTANCE OF 487.50 FEET; THENCE S 2°07'44" W A DISTANCE OF 533.01 FEET TO THE CENTERLINE OF WINTER CREEK CANAL; THENCE S85°23'05" W ON SAID CENTERLINE A DISTANCE OF 160.05 FEET; THENCE N 78°29'55" W CONTINUING ON SAID CENTERLINE, A DISTANCE OF 219.08 FEET; THENCE N 77°13'56" W CONTINUING ON SAID CENTERLINE A DISTANCE OF 114.37 FEET; THENCE S 2°07'44" W, A DISTANCE OF 158.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A 300.00 FOOT RADIUS CURVE TO THE RIGHT, AN ARC DISTANCE OF 186.91 FEET, THE CHORD OF SAID CURVE BEARS S 19°58'38" W, A DISTANCE OF 183.90 FEET; THENCE S 37°49'32" W, A DISTANCE OF 363.58 FEET TO THE NORTH LINE OF QUINDT COMMERCIAL TRACTS; THENCE N 52°10'28" W ON SAID NORTH LINE, A DISTANCE OF 277.14 FEET, TO A POINT ON THE EASTERLY LINE OF TRACT 2, OF SAID QUINDT COMMERCIAL TRACTS; THENCE N 37°49'32" E ON SAID EASTERLY LINE, A DISTANCE OF 240.00 FEET; THENCE N 1°30'21" E CONTINUING ON SAID EAST LINE, A DISTANCE OF 318.04 FEET TO THE NORTHEAST CORNER OF SAID TRACT 2; THENCE S 86°05'51" E ON SAID CENTERLINE, A DISTANCE OF 51.13 FEET TO THE SOUTHEAST CORNER OF BLOCK 4, OF SYKES ADDITION; THENCE N 2°07'30" E ON THE EAST LINE OF SAID BLOCK 4, A DISTANCE OF 225.96 FEET TO THE SOUTHEAST CORNER OF BLOCK 2A, OF SAID SYKES ADDITION, A REPLAT OF BLOCKS 2 AND 3, SYKES ADDITION; THENCE CONTINUING N 2°07'30" E ON THE EAST LINE OF SAID BLOCKS 2 AND 3, A DISTANCE OF 550.50 FEET; THENCE N 2°08'11" E, CONTINUING ON SAID EAST LINE, A DISTANCE OF 299.58 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINING 793,679.99 SQUARE FEET, OR 18.22 ACRES, MORE OR LESS.

### SYMBOL LEGEND

- ◆ INDICATES FOUND SECTION CORNER
- INDICATES FOUND QUARTER CORNER
- INDICATES FOUND BOUNDARY EVIDENCE AS DESCRIBED
- INDICATES SET BAKER & ASSOCIATES PROPERTY CORNER BEING A 1-5/8" DIAMETER ORANGE PLASTIC CAP ON A #5 REBAR, STAMPED "BAKER LS 731"
- (M) INDICATES MEASURED DISTANCE BY BAKER AND ASSOCIATES
- (R) INDICATES RECORDED DISTANCE FROM ORIGINAL RECORDS
- INDICATES FOUND NDOR CONCRETE RIGHT OF WAY MARKER
- ▽ INDICATES FLARED END SECTION
- INDICATES STORM SEWER INLET
- ⊙ INDICATES SEWER MANHOLE
- ⊙ INDICATES STORM SEWER MANHOLE
- ⊗ INDICATES GAS METER
- ⊞ INDICATES ELECTRICAL JUNCTION BOX
- ⊞ INDICATES ELECTRICAL SERVICE PEDESTAL
- ▲ INDICATES ELECTRICAL TRANSFORMER
- ⊛ INDICATES LIGHT POLE
- ⊛ INDICATES POWER POLE
- ▲ INDICATES SURVEY CONTROL MONUMENT
- INDICATES WATER FIRE HYDRANT
- INDICATES WATER VALVE
- INDICATES WATER WELL
- INDICATES LIGHT POLE

### LINETYPE LEGEND

- UGP — INDICATES UNDERGROUND ELECTRIC LINE
- OGP — INDICATES OVERHEAD ELECTRIC LINE
- W — INDICATES UNDERGROUND WATER LINE
- FO — INDICATES UNDERGROUND FIBER OPTIC LINE
- Gas — INDICATES UNDERGROUND GAS LINE
- UGTalk — INDICATES UNDERGROUND TELEPHONE LINE
- — INDICATES EDGE OF PAVEMENT
- — INDICATES STORM PIPE (SEE SIZE AS DETAIL)
- San — INDICATES SEWER PIPE (SEE SIZE AS DETAIL)
- 3965 — INDICATES CONTOUR LINE
- — INDICATES UTILITY EASEMENT
- — INDICATES EXISTING CORPORATION LIMITS
- — INDICATES EXISTING PROPERTY LINE
- — INDICATES PROPOSED PROPERTY LINE

### ABBREVIATIONS

FH	FIRE HYDRANT	PCC	PORTLAND CEMENT CONCRETE
RSWV	RESILIENT SEAT WEDGE VALVE	CL	CENTERLINE
MH	MANHOLE	EL	ELEVATION
STA	STATION	PROP	PROPOSED
ELEV	ELEVATION ABOVE SEA LEVEL	EX	EXISTING
INV	INVERT	BCR	BEGIN CURB RETURN
BOC	BACK OF CURB	ECR	END CURB RETURN
TOC	TOP OF CURB	PC	POINT OF CURVATURE
EOR	EDGE OF ROAD	PT	POINT OF TANGENT
FL	FLOW LINE	PRC	POINT OF REVERSE CURVE
FG	FINISH GRADE	POB	POINT OF BEGINNING
GL	GUTTER LINE	POE	POINT OF END
L.F.	LINEAL FEET	PI	POINT OF INTERSECTION
PVC	POLYVINYL CHLORIDE MATERIAL	PVI	POINT OF VERTICAL INTERSECTION
VCP	VITRIFIED CLAY PIPE	GB	GRADE BREAK
RCP	REINFORCED CONCRETE PIPE	HP	HIGH POINT
CMP	CORRUGATED METAL PIPE	LP	LOW POINT
HDPE	HIGH DENSITY POLYETHYLENE	SF	SQUARE FEET
DIP	DUCTILE IRON PIPE	(R)	RECORDED DISTANCE
T-BLK	CONCRETE THRUST BLOCK	(M)	MEASURED DISTANCE



VICINITY MAP  
NOT TO SCALE

### INDEX OF SHEETS

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## Sheet Revisions

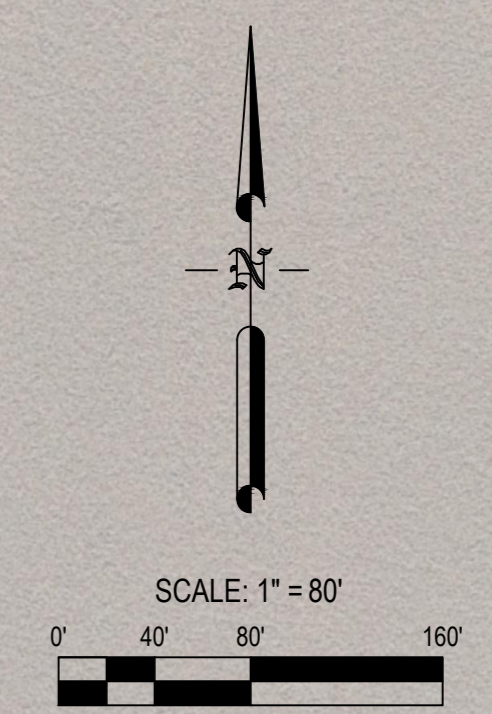
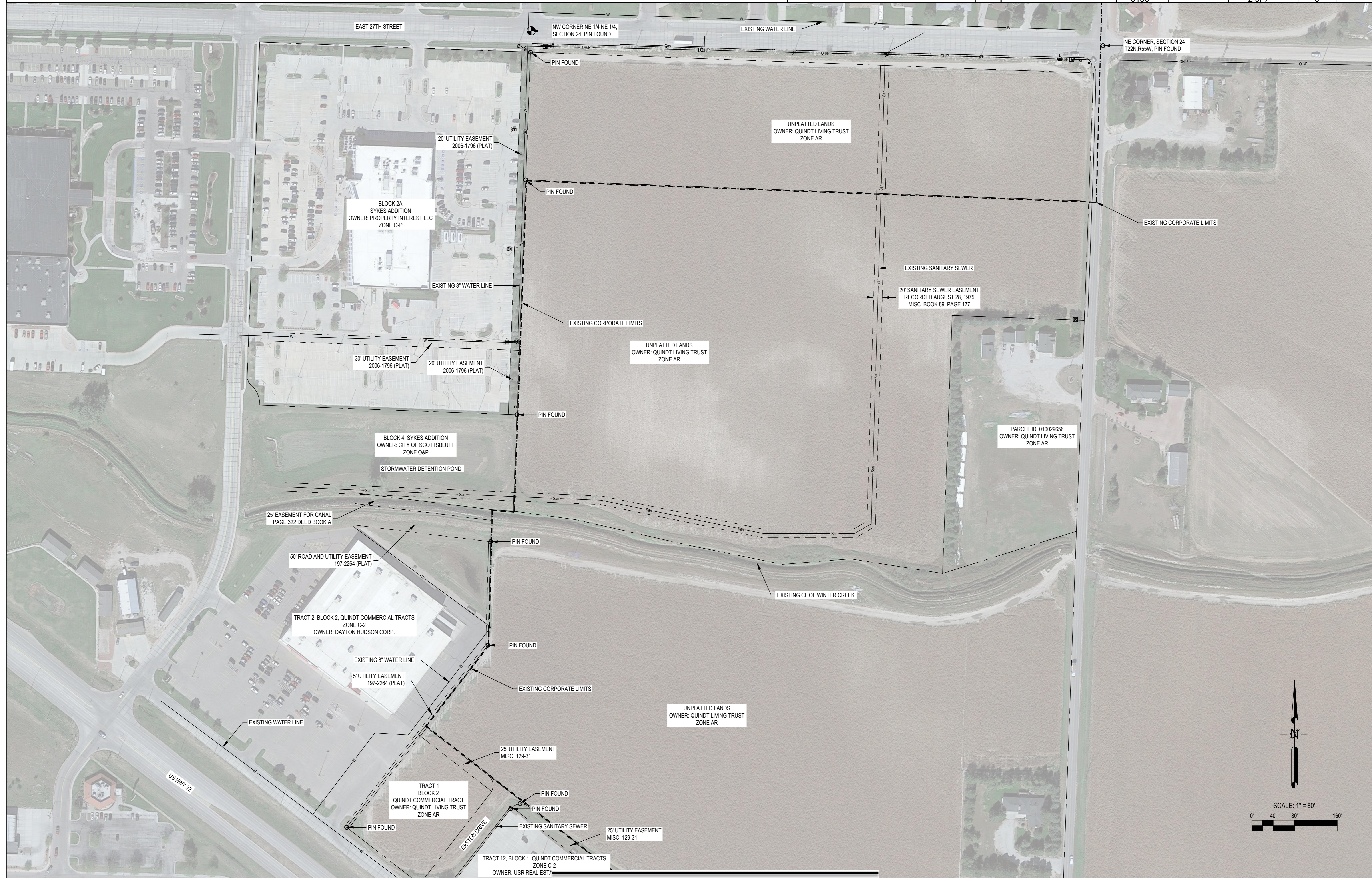
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## PRELIMINARY PLAT SURVEY

### EXISTING SITE PLAN

Baker Project Number: 5186-002-23			
Project Location: CITY OF SCOTTSBLUFF (SCOTTS BLUFF COUNTY, NEBRASKA)			
Project Code	Last Mod. Date	Subset	Sheet No.
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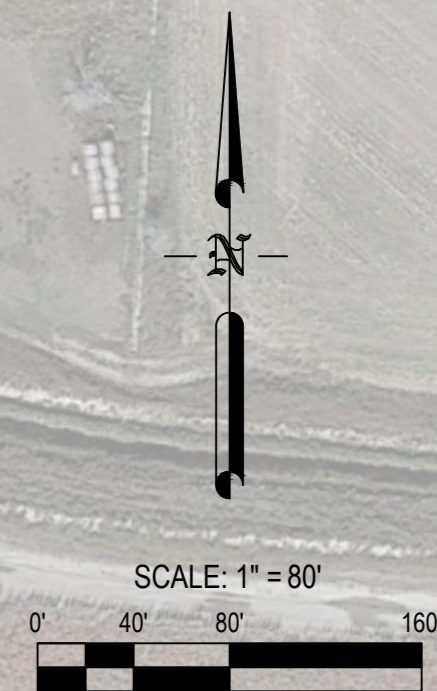
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PROPOSED SITE PLAN		
Baker Project Number: 5186-002-23		
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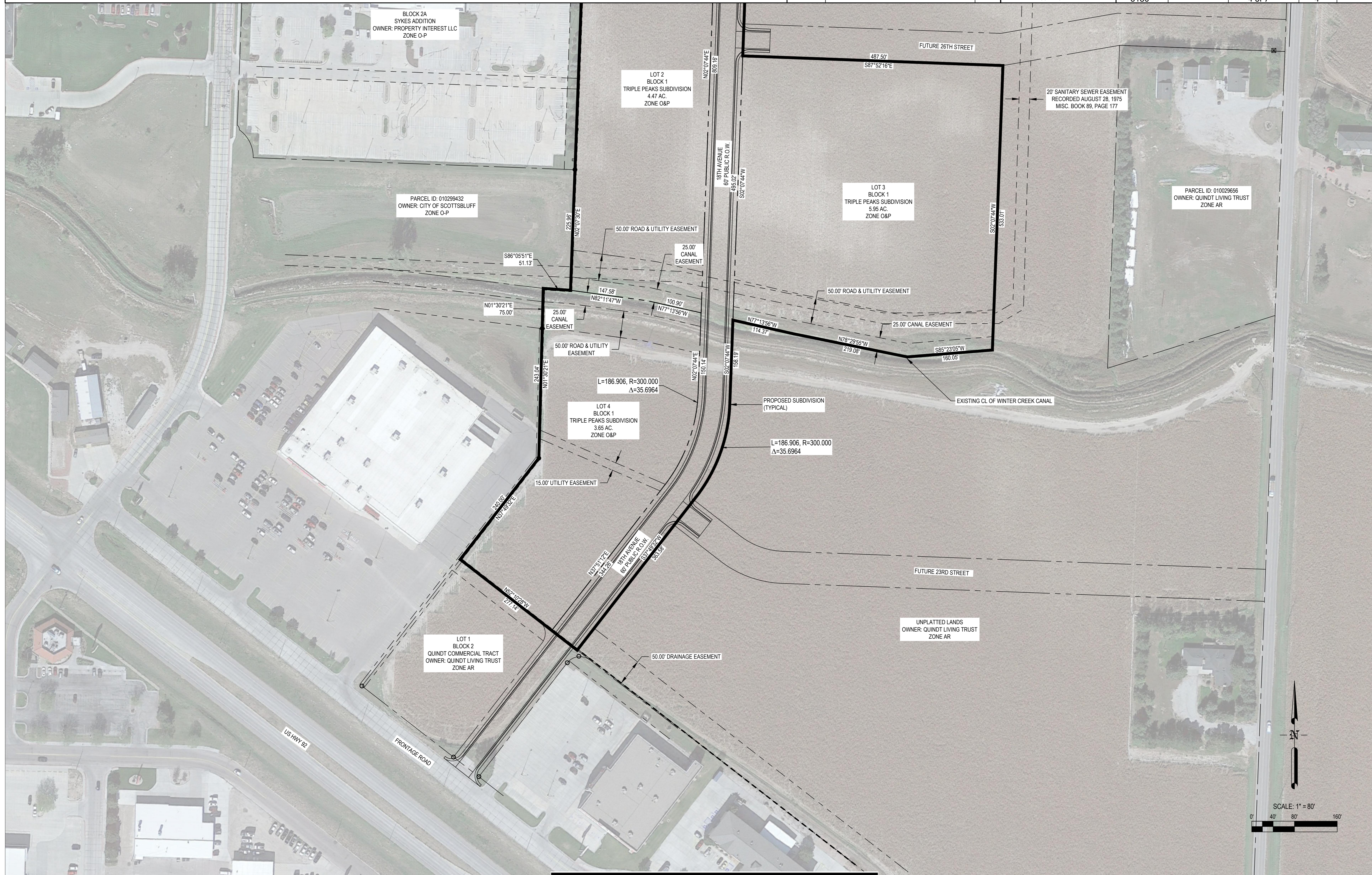
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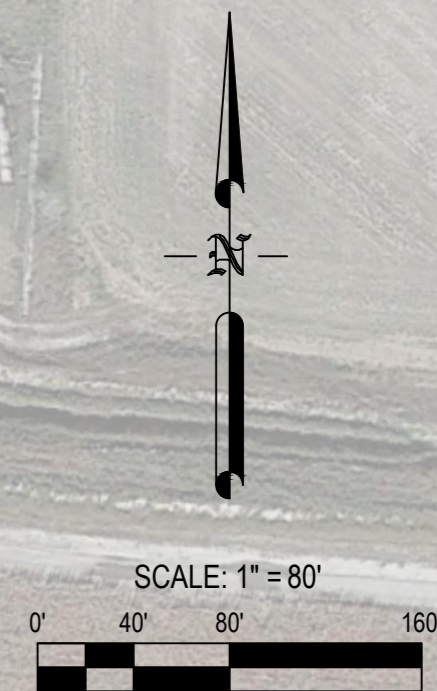
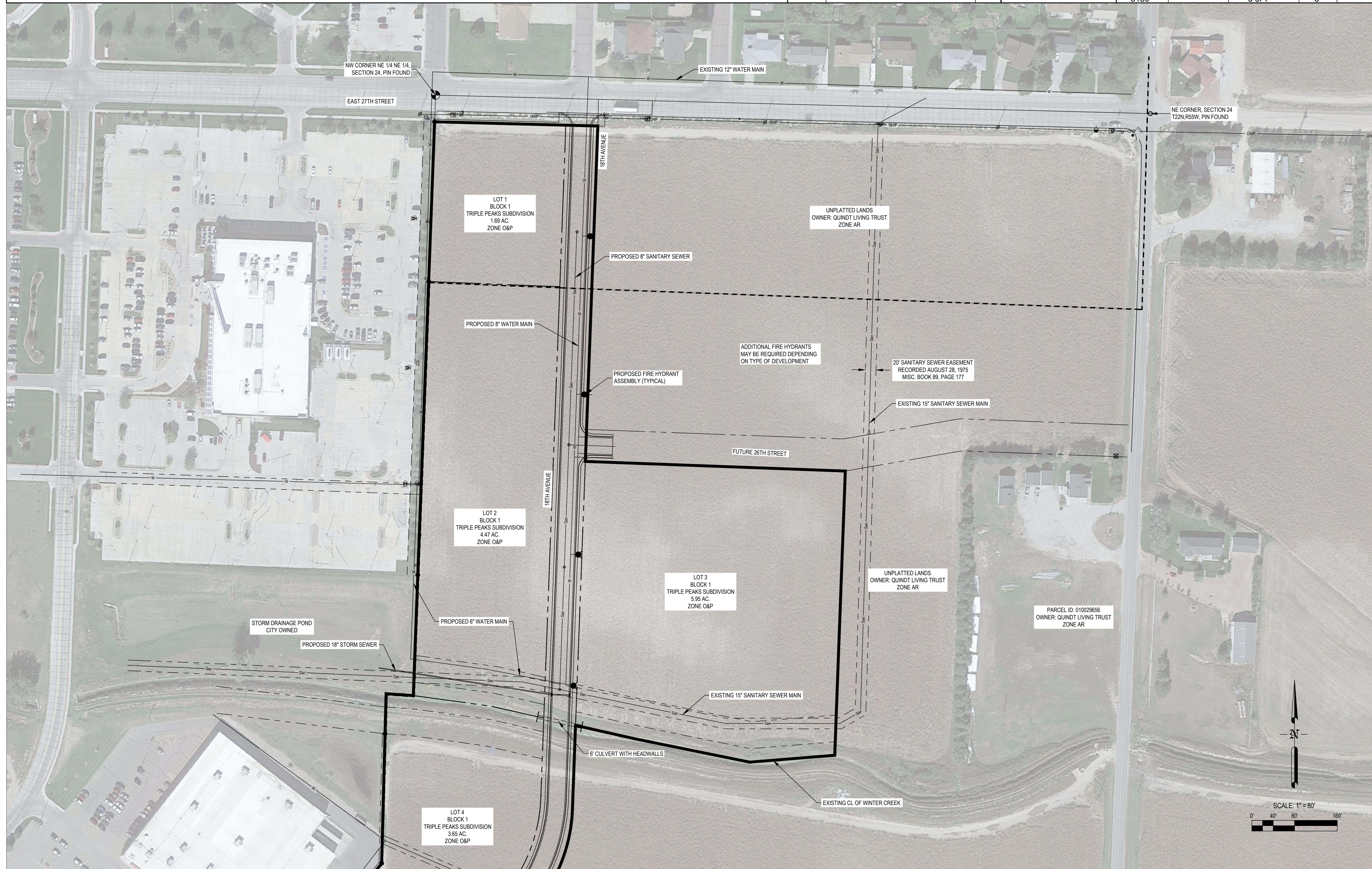
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## PRELIMINARY PLAT SURVEY

### UTILITY PLAN

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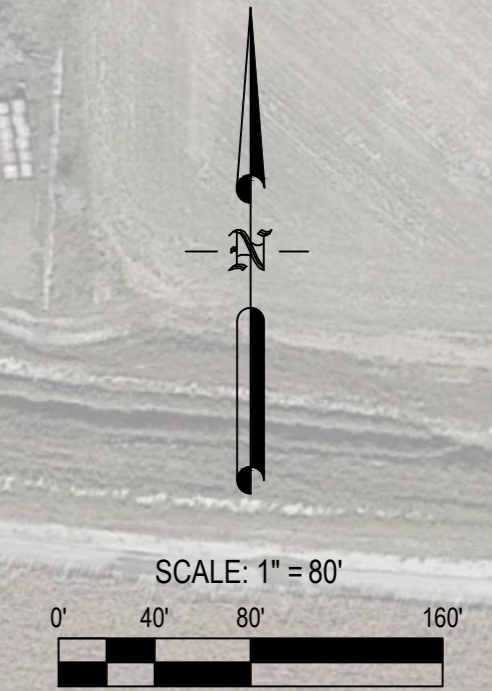
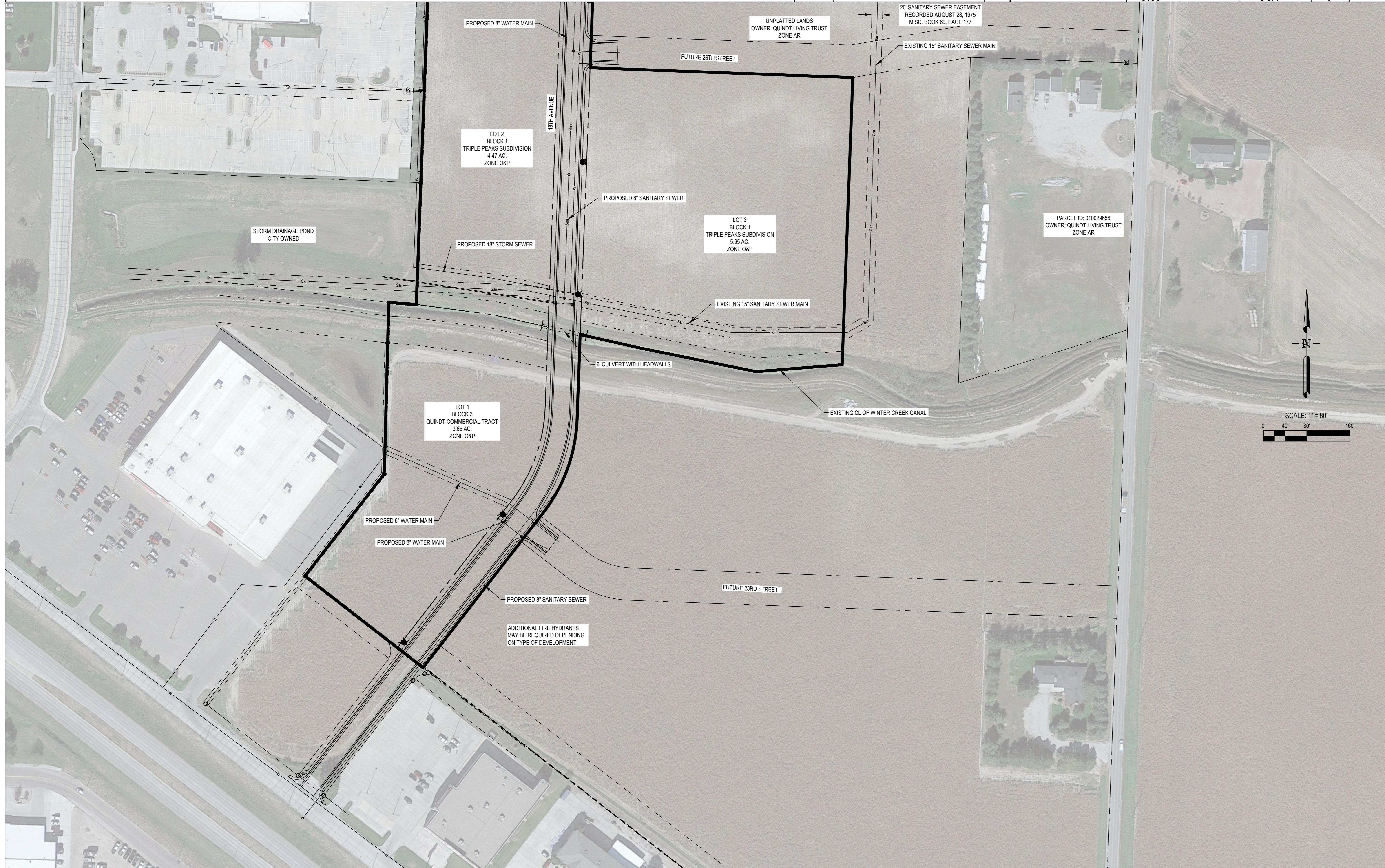
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## PRELIMINARY PLAT SURVEY

### UTILITY PLAN

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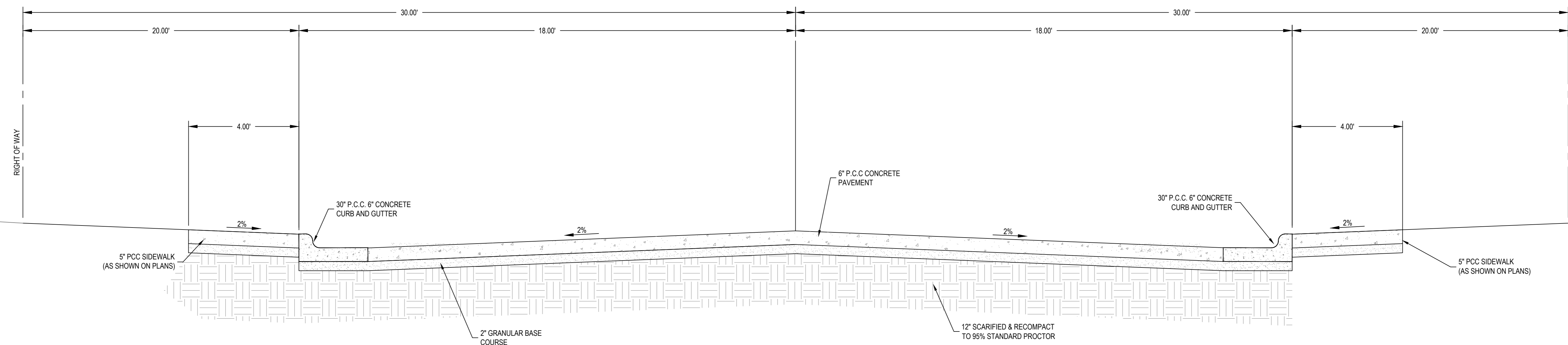
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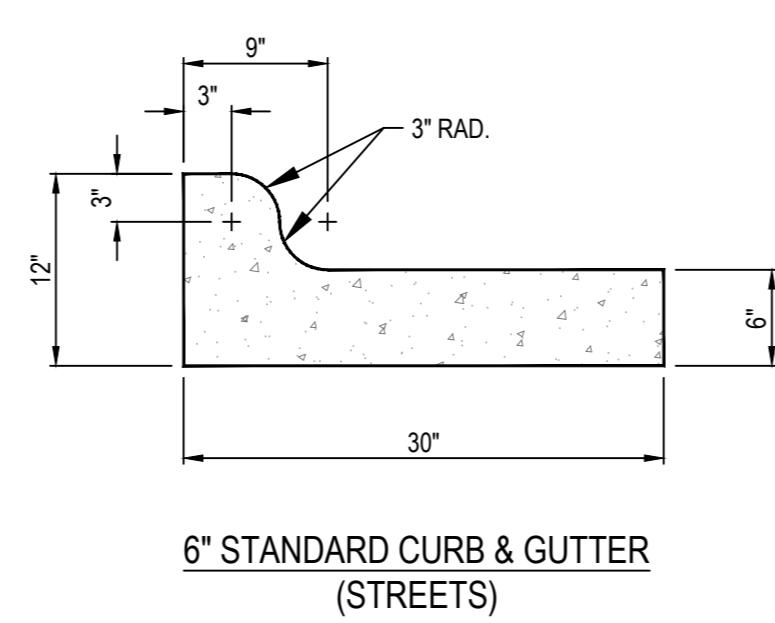
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TYPICAL 60.00' R.O.W. CROSS SECTION



6' STANDARD CURB & GUTTER (STREETS)

# Triple Peaks Subdivision

## Drainage Report

For:  
Bruner Family

Prepared by:

Baker & Associates  
120 E 16<sup>th</sup> Street, Suite A  
Scottsbluff, NE 69361

November 2023





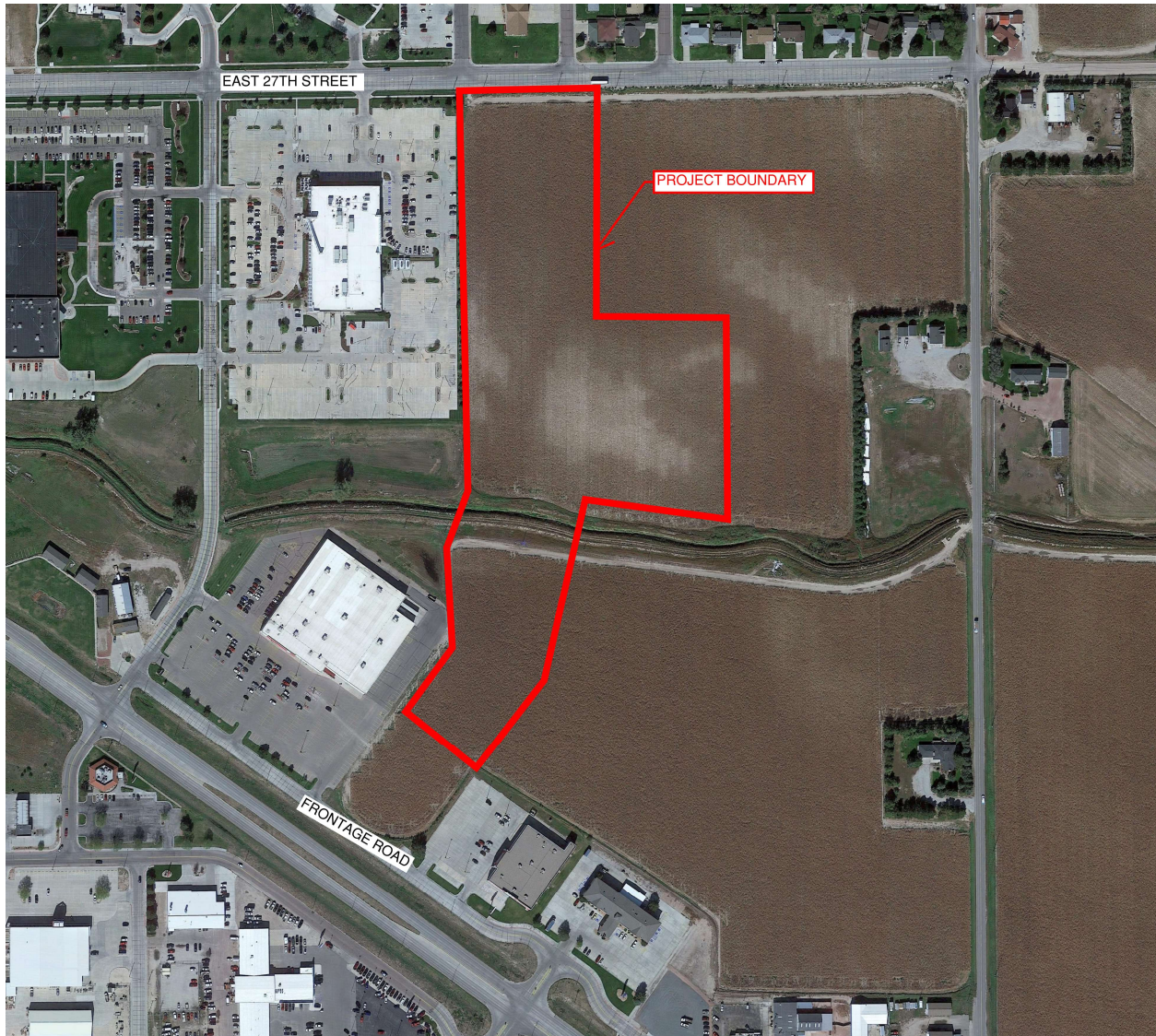
## VICINITY MAP

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**Introduction:**

This report outlines the design concept for grading and drainage facilities for the Triple Peaks Subdivision Preliminary Plat which is a new plat of unplatted lands in the City of Scottsbluff. This project includes the development of an area of approximately 18.22 acres. The site will consist of 4 commercial lots with an average lot size of 3.94 acres. This report addresses the potential impacts of the site with the plan that all lots within the proposed development will provide their own storm water management plan in accordance with the City of Scottsbluff requirements.



## **Design Criteria**

The design standards for drainage are based on the City of Scottsbluff standards. The City of Scottsbluff Drainage Ordinance is attached in Appendix C. The City's regulations essentially require limited or controlling peak runoff levels from a new development to the pre-existing 5-year storm peak flow. Any new development must detain or retain the balance of runoff that exceeds this pre-developed 5-year peak flow.

The drainage calculations are based on the TR-55 Urban Hydrology for Small Watersheds developed by the United States Department of Agriculture, NRCS, Conservation Engineering Division.

## **Existing Site:**

The existing site is currently cultivated farm-land. The site slopes generally from the north to the south. The average slope of the site is approximately 1.6%. Runoff from the site currently flows to the south and into a dedicated canal easement. The existing canal easement is a 25.0' easement from the centerline of the canal on each side.

The portion of the site to be platted and developed at this point consists of the south and west portion or approximately 18 acres of land from Frontage Road on the south to 27<sup>th</sup> Street North and SWBC commercial building to the west.

The site is surrounded by existing developments including the Sykes development on the west, Quindt Commercial Tracts to the south, and 27<sup>th</sup> Street ROW on the north.

The existing site plan is shown in Appendix B.

## **Off-site Drainage**

The site currently receives little or no offsite drainage. Drainage for the north is currently stopped by curb and gutter on 27<sup>th</sup> street. To the west is an existing commercial lot which controls all its own runoff and generally slopes from the north to south. To the east will remain unplatted agricultural farm ground. There is no evidence of any significant off-site drainage flowing onto this property.

## **Proposed Site and Design:**

### Overview:

The proposed development includes the construction of street, water, sewer and storm drain infrastructure for the purpose of supporting the commercial subdivision. The development will consist of 4 commercial lots with an average lot size of 3.94 acres.

The commercial lots are speculative as to the exact type of development but are planned to be marketed as neighborhood friendly business such as light commercial centers, professional offices, restaurants and or other similar type developments.

### Runoff and Detention:

The intent of the design is to reduce the amount of runoff from the site and limit the peak flow levels of any storm up to a 25-year storm, to at or below the pre-existing 5-year storm levels. The topography of the site allows for all runoff to be directed to the south and to discharge in a collection system into Block 4, Sykes Addition which is a regional storm water retention basin.

Each individual lot is to require onsite detention. The sites would be required to meet all of the City of Scottsbluff requirements for storm water runoff and each lot would act as an independent property with privately controlled, maintained measures to hold and release storm water according to City requirement.

We calculated the storage volume the proposed Street ROW will contribute to the regional retention basin to hold the flow for the approximate duration of a typical storm. In this case, the calculated volumes were for peak flows levels for a post development 25-year storm.

The area south of the canal is included in all calculations. The street right-of-way in this area will drain south into a new regional retention basin north of Tract 12, Block 1, Quindt Commercial Tract. The intent of this regional retention basin is to be expanded as future expansion occurs within the unplatted lands north of the basin. This includes the unplatted lands south of the canal, and east of this platted area to 21<sup>st</sup> Avenue.

The existing retention area described in the proposed design has been sized for a regional retention for the City of Scottsbluff, the proposed development will contribute an additional 12,200 cf of storage volume. These calculations are shown in Appendix A.

**Conclusions:**

All of the proposed improvements will adequately control the storm water runoff for up to a 25-year storm. The regional retention facilities typically can handle most storms but do on occasion reach capacity. As part of this development, it is proposed to expand the regional facility to accommodate the added flow from 18<sup>th</sup> Avenue. The proposed development only contributes 12,200 cf of volume in the post development 25-year storm event. All proposed improvements have taken into consideration of future construction of the remaining nearby property.

**Attached Documentation:**

Appendix A - Drainage Calculations and Summary

Appendix B – Storm Drain Exhibit Map

Appendix C – Reference Documentation



# APPENDIX A - DRAINAGE CALCUATIONS & SUMMARY

**CURVE NUMBER RUNOFF AND STORAGE CALCULATIONS**



Project: Site Drainage Calculations  
Triple Peaks Subdivision

Engineers - Architects - Surveyors  
Since 1977

Date: 11/9/2023

**SCS Runoff Curve Number Method**

**Pre- Developed - Entire Site**

**Known Variables**

CN = 78 \* Table 2-2c Type B Soil  
 Ia = 0.564 \* Table 4-1  
 S = 2.8205 Eq. 2.4  
 A(acres) = 18.22 \*  
 Am = 0.02847 Area - sq. miles  
 q(u) = Varies \* Exhibit 4-II  
 V (ft/s) = 2 \* Figure 3-1  
 Tc = 0.15417 \* T = L/(3600\*V), Figure 3-1, V = 2.0 ft/s, L =1110  
 P Varies Figures B-4,5,6 (app B)

Type II rainfall

Return Time (Storm - yrs)	CN	Ia	S	P (inches)	Ia/P	Am (area- miles)	Q (inches)	V (ft/sec)	Tc (hr)	q(u) (csm/in)	q(p) (cfs)	Vr (acre-ft)	q(o) (cfs)	q(o)/q(l) (Fig 6-1)	Vs/Vr (Fig 6-1)	Vs (cf)
5 Yr	78	0.564	2.8205	2.8	0.2014	0.0284688	0.99	2	0.1542	850	23.92					
10 Yr	78	0.564	2.8205	3.3	0.1735	0.0284688	1.31	2	0.1542	860	32.08					
25 Yr	78	0.564	2.8205	4.3	0.1327	0.0284688	2.09	2	0.1542	875	52.01					

CN= Curve Number  
 Ia= Initial Abstraction  
 S= Potential max retention  
 P= Rainfall (inches, Appendix B)  
 Am= Area (miles)  
 Q= runoff (inches)  
 V= velocity (ft/sec, Figure 3-1)  
 Tc= time of concentration (hr, chapter 3)  
 q(u)= unit peak discharge (csm/in)  
 q(p)= peak discharge (cfs)  
 Vr= volume of total runoff (acre-ft)  
 Runoff = volume of total runoff (cf)  
 q(o) = discharge from storage

$Q = (P-0.2S)^2 / (P+0.8S)$  Eq. 2-3  
 $S = 1000 / CN - 10$  Eq. 2-4  
 $q(p) = q(u) * Am * Q$  Eq. 4-1  
 $Vr = 53.33 * Q * Am$  Eq. 6-1  
 $Vs = Vr(Vs/Vr)$  Eq. 6-2

**CURVE NUMBER RUNOFF AND STORAGE CALCULATIONS**



Project: Site Drainage Calculations  
Triple Peaks Subdivision

Engineers - Architects - Surveyors  
Since 1977

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**SCS Runoff Curve Number Method**

**Pre- Developed - Street ROW**

Known Variables

CN = 78 \* Table 2-2c Type B Soil  
 Ia = 0.564 \* Table 4-1  
 S = 2.8205 Eq. 2.4  
 A(acres) = 1.94 \*  
 Am = 0.00303 Area - sq. miles  
 q(u) = Varies \* Exhibit 4-II  
 V (ft/s) = 2 \* Figure 3-1  
 Tc = 0.15417 \* T = L/(3600\*V), Figure 3-1, V = 2.0 ft/s, L =1110  
 P Varies Figures B-4,5,6 (app B)  
 Type II rainfall

Return Time (Storm - yrs)	CN	Ia	S	P (inches)	Ia/P	Am (area- miles)	Q (inches)	V (ft/sec)	Tc (hr)	q(u) (csm/in)	q(p) (cfs)	Vr (acre-ft)	q(o) (cfs)	q(o)/q(l)	Vs/Vr (Fig 6-1)	Vs (cf)
5 Yr	78	0.564	2.8205	2.8	0.2014	0.0030313	0.99	2	0.1542	850	2.55					
10 Yr	78	0.564	2.8205	3.3	0.1735	0.0030313	1.31	2	0.1542	860	3.42					
25 Yr	78	0.564	2.8205	4.3	0.1327	0.0030313	2.09	2	0.1542	875	5.54					

CN= Curve Number  
 Ia= Initial Abstraction  
 S= Potential max retention  
 P= Rainfall (inches, Appendix B)  
 Am= Area (miles)  
 Q= runoff (inches)  
 V= velocity (ft/sec, Figure 3-1)  
 Tc= time of concentration (hr, chapter 3)  
 q(u)= unit peak discharge (csm/in)  
 q(p)= peak discharge (cfs)  
 Vr= volume of total runoff (acre-ft)  
 Runoff = volume of total runoff (cf)  
 q(o) = discharge from storage

$Q = (P-0.2S)^2 / (P+0.8S)$  Eq. 2-3  
 $S = 1000 / CN - 10$  Eq. 2-4  
 $q(p) = q(u) * Am * Q$  Eq. 4-1  
 $Vr = 53.33 * Q * Am$  Eq. 6-1  
 $Vs = Vr / (Vs/Vr)$  Eq. 6-2

**CURVE NUMBER RUNOFF AND STORAGE CALCULATIONS**



Project: Site Drainage Calculations  
Triple Peaks Subdivision

Engineers - Architects - Surveyors  
Since 1977

Date: 11/9/2023

**SCS Runoff Curve Number Method**

**Post Development - Street ROW**

**Known Variables**

CN = 98 \* Table 2-2a Type B Soil  
 Ia = 0.041 \* Table 4-1  
 S = 0.20408 Eq. 2.4  
 Area Basin A = 1.94 \* (acres)  
 Am (A)= 0.00303 Area (Sq miles)  
 q(u) = Varies \* Exhibit 4-II  
 V (ft/s)= 2.6 \* Figure 3-1  
 Tc (A) = 0.14 \* T = L/(3600\*V), Figure 3-1, V = 2.6 ft/s, L = 1110  
 P Varies Figures B-4,5,6 (app B)  
 Type II rainfall

Return Time (Storm - yrs)	CN	Ia	S	P (inches)	Ia/P	Am (area- miles)	Q (inches)	V (ft/sec)	Tc (hr)	q(u) (csm/in)	q(p) (cfs)	Vr (acre-ft)	q(o) (cfs)	q(o)/q(l)	Vs/Vr (Fig 6-1)	Vs (cf)
5 Yr	98	0.041	0.2041	2.8	0.0146	0.0030281	2.57	2.6	0.1442	900	7.00	0.41	2.547	0.36	0.34	6,144.73
10 Yr	98	0.041	0.2041	3.3	0.0126	0.0030281	3.02	2.6	0.1442	910	8.31	0.49	2.547	0.31	0.37	7,853.33
25 Yr	98	0.041	0.2041	4.3	0.0096	0.0030281	4.01	2.6	0.1442	920	11.18	0.65	2.547	0.23	0.43	12,143.32

CN= Curve Number  
 Ia= Initial Abstraction  
 S= Potential max retention  
 P= Rainfall (inches, Appendix B)  
 Am= Area (miles)  
 Q= runoff (inches)  
 V= velocity (ft/sec, Figure 3-1)  
 Tc= time of concentration (hr, chapter 3)  
 q(u)= unit peak discharge (csm/in)  
 q(p)= peak discharge (cfs)  
 Vr= volume of total runoff (acre-ft)  
 Runoff = volume of total runoff (cf)  
 q(o) = discharge from storage  
 Vs = Volume of storage needed

$Q = (P-0.2S)^2 / (P+0.8S)$  Eq. 2-3  
 $S = 1000 / CN - 10$  Eq. 2-4  
 $q(p) = q(u) * Am * Q$  Eq. 4-1  
 $Vr = 53.33 * Q * Am$  Eq. 6-1  
 $T = L / (3600 * V)$ , Figure 3-1, V = 4.1ft/s, L = 1850  
 $Vs = Vr(Vs/Vr)$  Eq. 6-2

\*Storage needed from the following storms. Regional Basin would need expanded at minimum 12,500 cf.

# APPENDIX B – EXISTING & PROPOSED SITE PLAN

Triple Peaks Subdivision  
Drainage Report

Baker & Associates, Inc.  
November 2023

# PRELIMINARY PLAT

LOTS 1-3, BLOCK 1, TRIPLE PEAKS SUBDIVISION, SCOTTS BLUFF COUNTY, NEBRASKA  
 SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE  
 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA

## Sheet Revisions

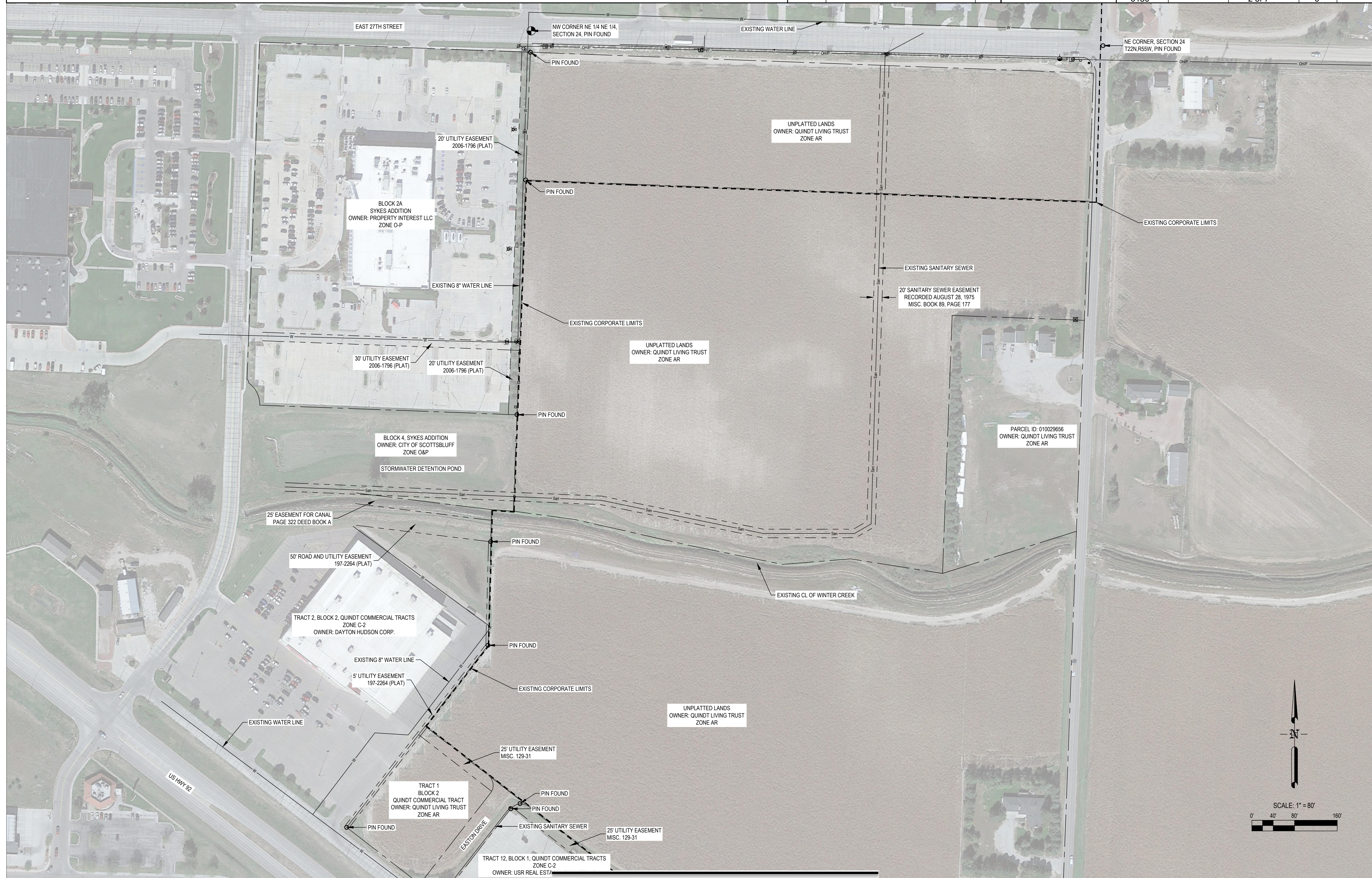
Date	Description	Initials
10-06-23	PRELIMINARY PLAT	KLJ
10-23-23	PRELIMINARY PLAT	BAS
10-26-23	REVISE UTILITIES	BAS
11-3-23	ADD SEWER EASEMENT NOTE	BEG

**Baker & Associates Inc.**  
 www.baker-eng.com  
 Engineers \* Architects \* Surveyors  
 COPYRIGHT

## PRELIMINARY PLAT SURVEY

### EXISTING SITE PLAN

Baker Project Number: 5186-002-23			
Project Location: CITY OF SCOTTSBLUFF (SCOTTS BLUFF COUNTY, NEBRASKA)			
Project Code	Last Mod. Date	Subset	Sheet No.
5186		2 of 7	6



# PRELIMINARY PLAT

LOTS 1-3, BLOCK 1, TRIPLE PEAKS SUBDIVISION, SCOTTS BLUFF COUNTY, NEBRASKA  
 SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE  
 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA

## Sheet Revisions

Date	Description	Initials
10-06-23	PRELIMINARY PLAT	KLJ
10-23-23	PRELIMINARY PLAT	BAS
10-26-23	REVISE UTILITIES	BAS
11-3-23	ADD SEWER EASEMENT NOTE	BEG

**Baker & Associates Inc.**  
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 Engineers \* Architects \* Surveyors  
 COPYRIGHT

## PRELIMINARY PLAT SURVEY

PROPOSED SITE PLAN		
Baker Project Number: 5186-002-23		
Project Location: CITY OF SCOTTSBLUFF (SCOTTS BLUFF COUNTY, NEBRASKA)		
Project Code	Last Mod. Date	Subset
5186		3 of 7
		Sheet No.
		3



# PRELIMINARY PLAT

LOTS 1-3, BLOCK 1, TRIPLE PEAKS SUBDIVISION, SCOTTS BLUFF COUNTY, NEBRASKA  
 SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE  
 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA

## Sheet Revisions

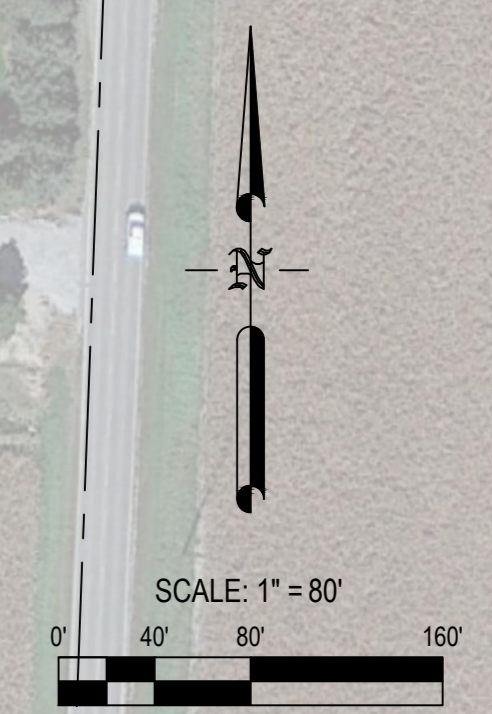
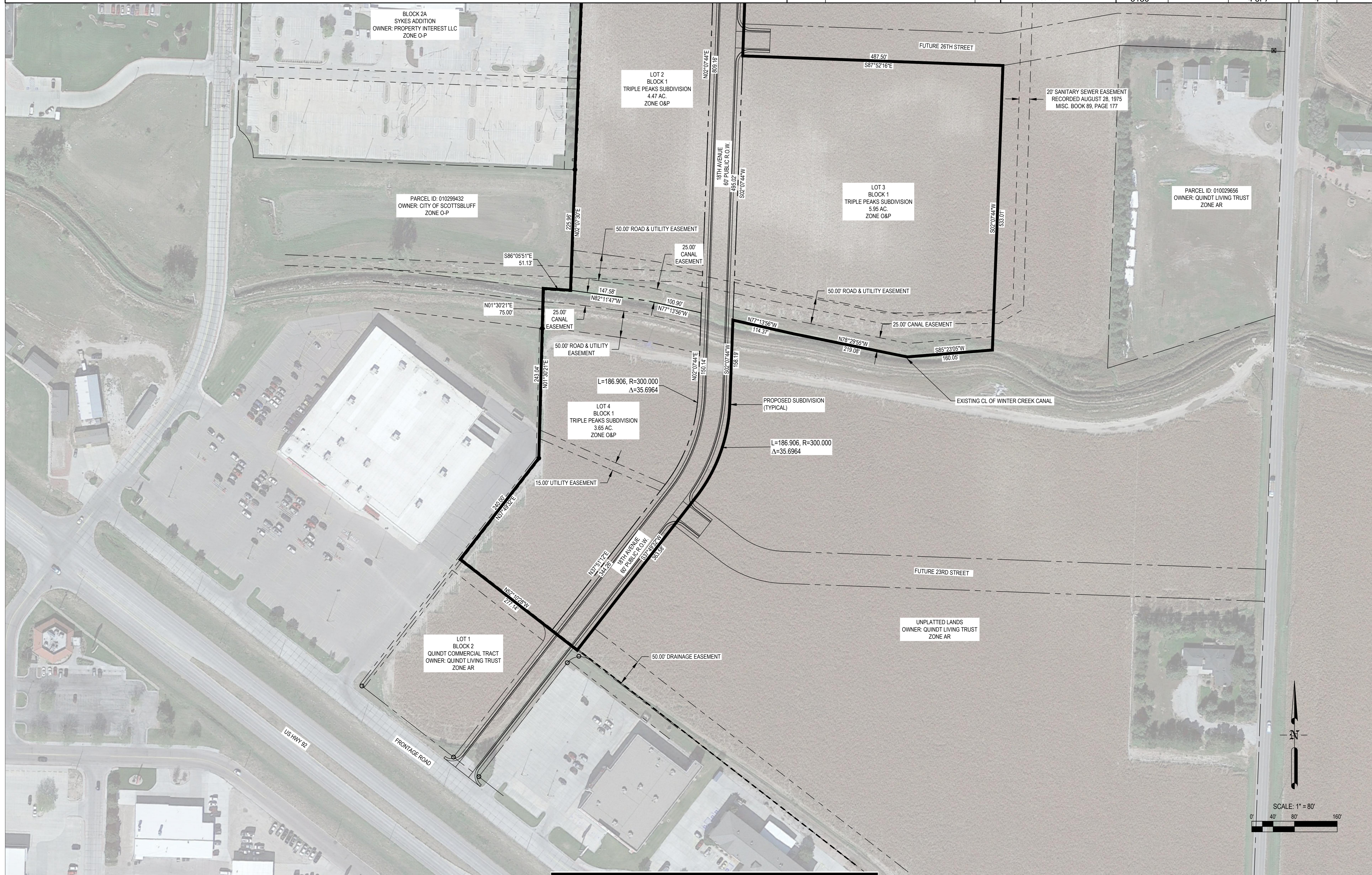
Date	Description	Initials
10-06-23	PRELIMINARY PLAT	KLJ
10-23-23	PRELIMINARY PLAT	BAS
10-26-23	REVISE UTILITIES	BAS
11-3-23	ADD SEWER EASEMENT NOTE	BEG

**Baker & Associates Inc.**  
 www.baker-eng.com  
 Engineers \* Architects \* Surveyors  
 COPYRIGHT

## PRELIMINARY PLAT SURVEY

### PROPOSED SITE PLAN

Baker Project Number: 5186-002-23			
Project Location: CITY OF SCOTTSBLUFF (SCOTTS BLUFF COUNTY, NEBRASKA)			
Project Code	Last Mod. Date	Subset	Sheet No.
5186		4 of 7	4





## **APPENDIX C - REFERENCE DOCUMENTATION**

Triple Peaks Subdivision  
Drainage Report

Baker & Associates, Inc.  
November 2023

#### **§ 21-1-39 DRAINAGE SYSTEM; REQUIRED; STANDARDS.**

(A) An adequate system to control the adverse impacts associated with increased stormwater runoff shall be constructed.

(B) The minimum stormwater controls shall require that all developments provide management measures necessary to maintain the post-developed peak discharge at a level that is equal to or less than the pre-developed peak discharge for the design storm. The (m) year storm is defined as a storm event which, over a long period of time, will be equaled or exceeded on the average of once every (m) years.

(C) Site specific facilities shall be designed to restrict stormwater discharge to that generated from the pre-developed site during a five-year storm. The facilities shall be designed to limit the Q5 discharge up through the ten-year storm event. The facility shall be designed to prevent uncontrolled overflow for storms having a frequency of 25 years or less.

(D) Regional facilities shall be designed to allow a maximum controlled discharge of Q5 pre-development through the 25-year storm. The minimum uncontrolled overflow should be based on the 100-year storm.

(E) Site grading and drainage for all sites shall be designed to prevent stormwater from outside of the design area from entering the area.

(F) All conveyance systems for proposed projects shall be analyzed, designed, and constructed for existing tributary off-site runoff and developed on-site runoff from the proposed project. Conveyance systems in residential areas shall be designed to carry a two-year intensity storm. A ten-year intensity storm shall be used to check the hydraulic grade of the pipe system. The hydraulic grade line shall be limited to five inches of water in the gutter.

(G) In commercial and industrial areas, the design storm intensity shall be a storm of five-year frequency, the check intensity for hydraulic grade calculations shall be a ten-year frequency with the hydraulic grade limited to the gutter elevation.

(Ord. 3669, passed - -2001)

#### **§ 21-1-40 PLANNED UNIT DEVELOPMENT; WAIVER; MODIFICATION.**

Anything in the preceding sections of this article to the contrary notwithstanding, if a proposed subdivision comprises, or is wholly comprised within, an area with respect to which the Planning Commission shall have issued a special permit authorizing a planned unit development as provided in Article 9 of Chapter 25 of this code, the City Council may, with respect to such subdivision, or a part thereof, waive or modify the requirements in this article concerning the design of streets, street right-of-way width, width of construction of streets, length of streets, length or width of blocks, design of cul-de-sacs, necessity or location of curb, gutter and sidewalks, type of construction of streets and sidewalks, utilities design, and public facilities design.

(Ord. 1116, passed 2-25-1957; Ord. 2489, passed - -1979)

#### **§ 21-1-41 ADDITIONAL REGULATIONS; CITY COUNCIL AUTHORITY; CONFORMANCE REQUIRED.**

The City Council, prior to approving a proposed subdivision, may impose requirements set forth in the foregoing sections of this article, and compliance with such additional requirements shall also be necessary to warrant approval of the subdivision. Provided, notwithstanding the fact that a proposed subdivision may comply with the requirements set forth in the foregoing sections of this article, the City Council may refuse to approve it if, in the judgment of the City Council, platting and development of the site for the purposes or in the manner proposed, or for other reasons, would not be in the public interest.

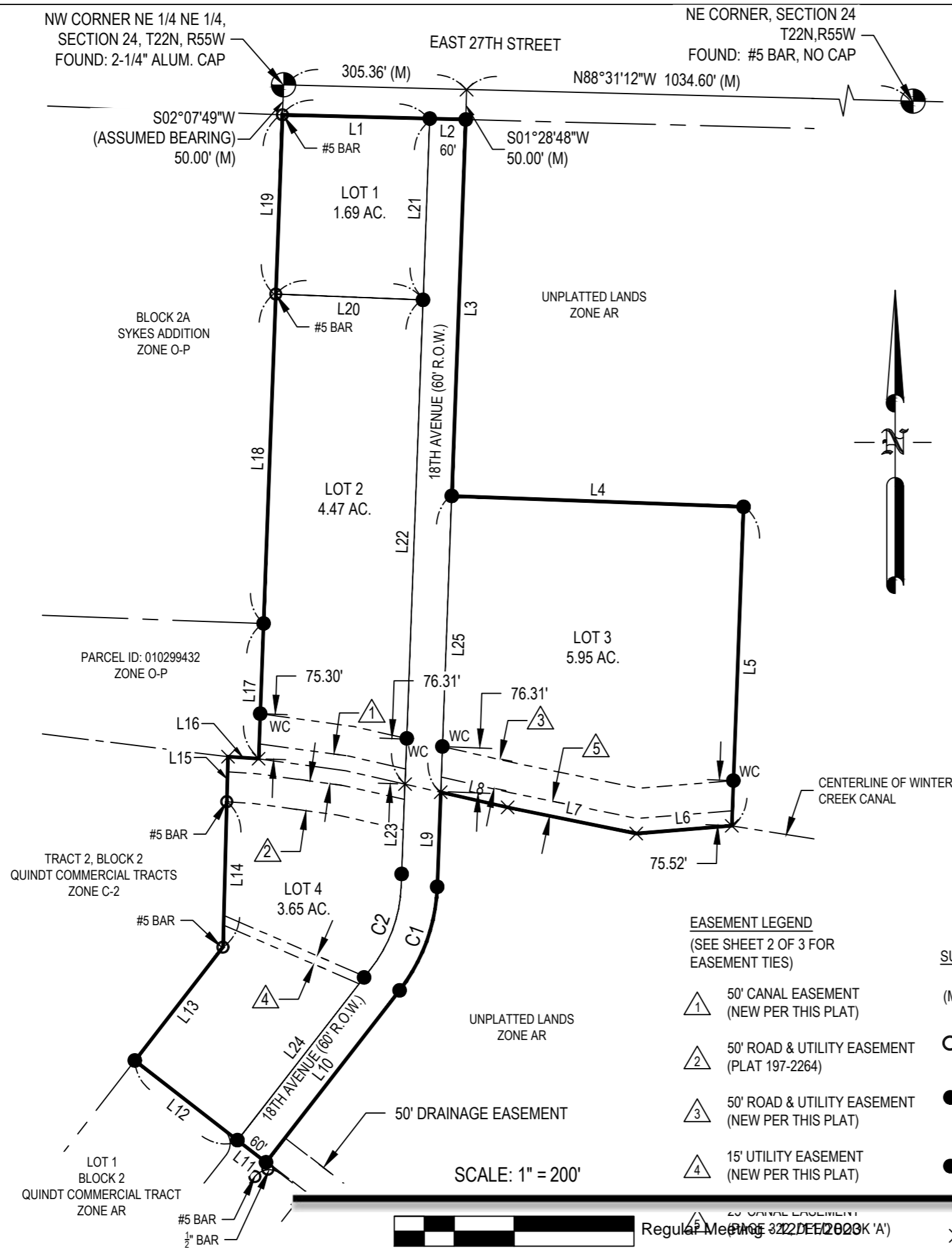
(Ord. 1116, passed 2-25-1957; Ord. 1225, passed - -1959)



NW CORNER NE 1/4 NE 1/4,  
SECTION 24, T22N, R55W  
FOUND: 2-1/4" ALUM. CAP

NE CORNER, SECTION 24  
T22N, R55W  
FOUND: #5 BAR, NO CAP

**LOTS 1-4, BLOCK 1, TRIPLE PEAKS SUBDIVISION** SHEET 1 OF 3  
**AN ADDITION TO THE CITY OF SCOTTSBLUFF,**  
**SCOTTS BLUFF COUNTY, NEBRASKA**  
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE  
55 WEST OF THE 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA



Parcel Line Table		
Line #	Length	Direction
L1	245.93	N88° 31' 12"W
L2	60.00	N88° 31' 12"W
L3	629.04	N2° 07' 44"E
L4	487.50	N87° 52' 16"W
L5	533.01	N2° 07' 44"E
L6	160.05	N85° 23' 05"E
L7	219.08	S78° 29' 55"E
L8	114.37	S77° 13' 56"E
L9	158.19	N2° 07' 44"E
L10	363.58	N37° 49' 32"E
L11	60.17	S52° 10' 28"E
L12	216.98	S52° 10' 28"E
L13	240.00	S37° 49' 32"W

Parcel Line Table		
Line #	Length	Direction
L14	243.04	S1° 30' 21"W
L15	75.00	S1° 30' 21"W
L16	51.13	N86° 05' 51"W
L17	225.96	S2° 07' 30"W
L18	550.50	S2° 07' 30"W
L19	299.58	S2° 08' 11"W
L20	245.95	N87° 44' 01"W
L21	302.95	N2° 07' 45"E
L22	809.16	N2° 07' 44"E
L23	169.46	N2° 07' 46"E
L24	363.58	N37° 51' 05"E
L25	495.02	S2° 07' 44"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	186.91	300.00	35.70	N19° 58' 38"E	183.90
C2	149.52	240.00	35.70	N19° 58' 38"E	147.12

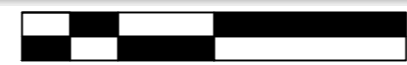
**EASEMENT LEGEND**  
(SEE SHEET 2 OF 3 FOR EASEMENT TIES)

- ① 50' CANAL EASEMENT (NEW PER THIS PLAT)
- ② 50' ROAD & UTILITY EASEMENT (PLAT 197-2264)
- ③ 50' ROAD & UTILITY EASEMENT (NEW PER THIS PLAT)
- ④ 15' UTILITY EASEMENT (NEW PER THIS PLAT)

**SURVEY LEGEND**

- (M) = MEASURED DISTANCE
- = FOUND PROPERTY CORNER (AS NOTED)
- = SET PROPERTY CORNER 5/8" x 24" REBAR WITH PLASTIC CAP STAMPED "BORCHERS 766"
- = SET WITNESS CORNER 5/8" x 24" REBAR WITH PLASTIC CAP
- × = TEMPORARY POINT

SCALE: 1" = 200'



Regular Meeting 322 DECEMBER 2020



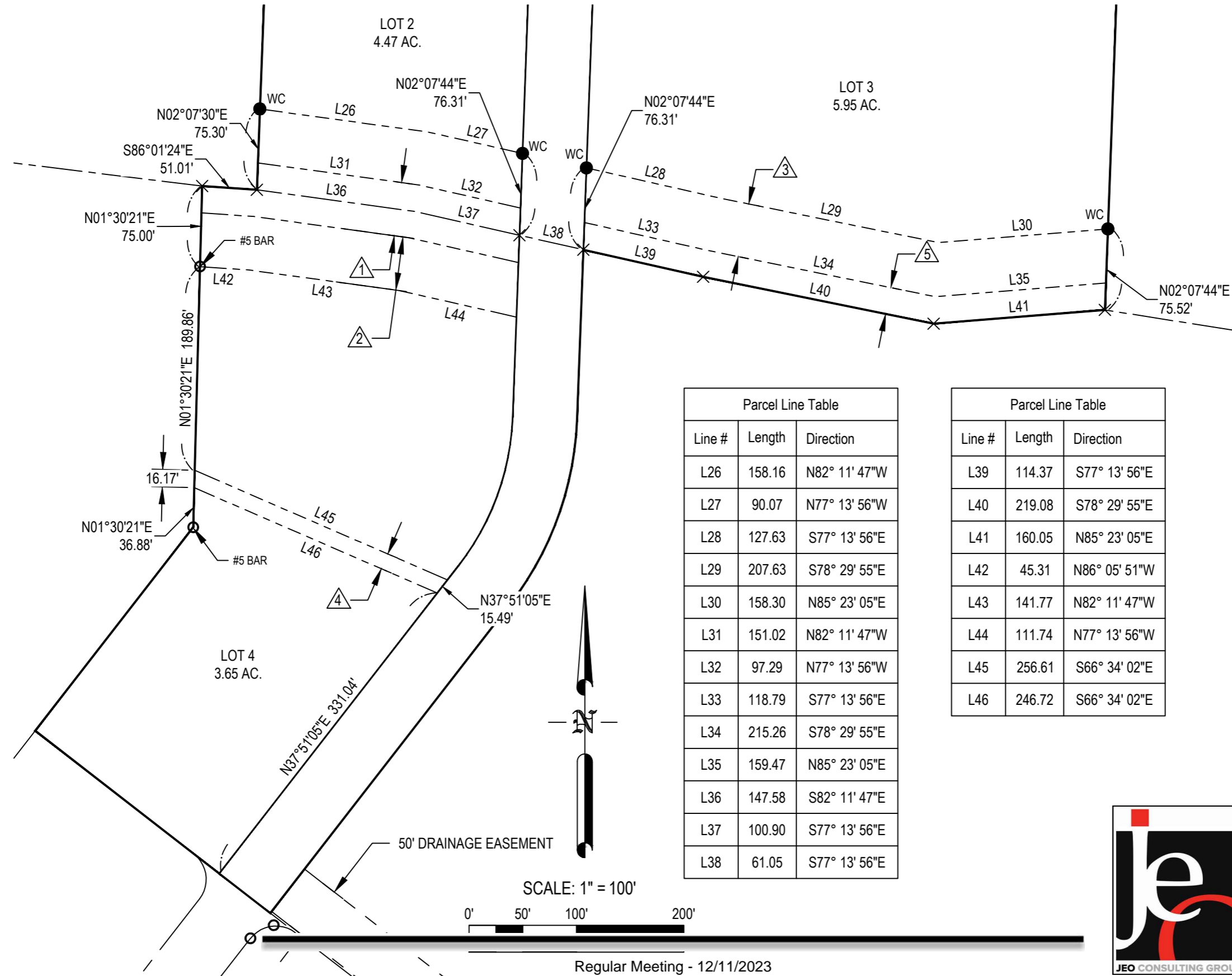
120 EAST 16TH STREET, SUITE 'A'  
SCOTTSBLUFF, NEBRASKA 69361

PHONE: (308) 632-3123

DECEMBER 1, 2023

SHEET 2 OF 3

**LOTS 1-4, BLOCK 1, TRIPLE PEAKS SUBDIVISION**  
**AN ADDITION TO THE CITY OF SCOTTSBLUFF,**  
**SCOTTS BLUFF COUNTY, NEBRASKA**  
 SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE  
 55 WEST OF THE 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA



**EASEMENT LEGEND**

- 50' CANAL EASEMENT (NEW PER THIS PLAT)
- 50' ROAD & UTILITY EASEMENT (PLAT 197-2264)
- 50' ROAD & UTILITY EASEMENT (NEW PER THIS PLAT)
- 15' UTILITY EASEMENT (NEW PER THIS PLAT)
- 25' CANAL EASEMENT (PAGE 322, DEED BOOK 'A')
- 20' SANITARY SEWER EASEMENT (MISC. BOOK 89, PAGE 177)

**SURVEY LEGEND**

- (M) = MEASURED DISTANCE
- = FOUND PROPERTY CORNER (AS NOTED)
- = SET PROPERTY CORNER 5/8" x 24" REBAR WITH PLASTIC CAP STAMPED "BORCHERS 766"
- = SET WITNESS CORNER 5/8" x 24" REBAR WITH PLASTIC CAP STAMPED "BORCHERS 766"
- = TEMPORARY POINT

Parcel Line Table		
Line #	Length	Direction
L26	158.16	N82° 11' 47"W
L27	90.07	N77° 13' 56"W
L28	127.63	S77° 13' 56"E
L29	207.63	S78° 29' 55"E
L30	158.30	N85° 23' 05"E
L31	151.02	N82° 11' 47"W
L32	97.29	N77° 13' 56"W
L33	118.79	S77° 13' 56"E
L34	215.26	S78° 29' 55"E
L35	159.47	N85° 23' 05"E
L36	147.58	S82° 11' 47"E
L37	100.90	S77° 13' 56"E
L38	61.05	S77° 13' 56"E

Parcel Line Table		
Line #	Length	Direction
L39	114.37	S77° 13' 56"E
L40	219.08	S78° 29' 55"E
L41	160.05	N85° 23' 05"E
L42	45.31	N86° 05' 51"W
L43	141.77	N82° 11' 47"W
L44	111.74	N77° 13' 56"W
L45	256.61	S66° 34' 02"E
L46	246.72	S66° 34' 02"E



120 EAST 16TH STREET, SUITE 'A'  
 SCOTTSBLUFF, NEBRASKA 69361

PHONE: (308) 632-3123

DECEMBER 1, 2023

**LEGAL DESCRIPTION - TRIPLE PEAKS SUBDIVISION**

A TRACT OF LAND SITUATED IN SECTION 24, TOWNSHIP 22 NORTH, RANGE 55 WEST OF THE 6<sup>TH</sup> P.M., SCOTTS BLUFF COUNTY, NEBRASKA, MORE PARTICULAR DESCRIBED AS FOLLOWS:

REFERRING TO THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24; THENCE S 02°07'49" W (ASSUMED BEARING), A DISTANCE OF 50.00 TO THE NORTHEAST CORNER OF BLOCK 2A, SYKES ADDITION, AND THE POINT OF BEGINNING; THENCE S 88°31'12" E ON THE SOUTH RIGHT OF WAY LINE OF 27<sup>TH</sup> STREET, A DISTANCE OF 305.93 FEET; THENCE S 2°07'44" W A DISTANCE OF 629.04 FEET; THENCE S 87°52'16" E A DISTANCE OF 487.50 FEET; THENCE S 2°07'44" W A DISTANCE OF 533.01 FEET TO THE CENTERLINE OF WINTER CREEK CANAL; THENCE S85°23'05" W ON SAID CENTERLINE A DISTANCE OF 160.05 FEET; THENCE N 78°29'55" W CONTINUING ON SAID CENTERLINE, A DISTANCE OF 219.08 FEET; THENCE N 77°13'56" W CONTINUING ON SAID CENTERLINE A DISTANCE OF 114.37 FEET; THENCE S 2°07'44" W, A DISTANCE OF 158.19 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ON A 300.00 FOOT RADIUS CURVE TO THE RIGHT, AN ARC DISTANCE OF 186.91 FEET, THE CHORD OF SAID CURVE BEARS S 19°58'38" W, A DISTANCE OF 183.90 FEET; THENCE S 37°49'32" W, A DISTANCE OF 363.58 FEET TO THE NORTH LINE OF QUINDT COMMERCIAL TRACTS; THENCE N 52°10'28" W ON SAID NORTH LINE, A DISTANCE OF 277.14 FEET, TO A POINT ON THE EASTERLY LINE OF TRACT 2, OF SAID QUINDT COMMERCIAL TRACTS; THENCE N 37°49'32" E ON SAID EASTERLY LINE, A DISTANCE OF 240.00 FEET; THENCE N 1°30'21" E CONTINUING ON SAID EAST LINE, A DISTANCE OF 318.04 FEET TO THE NORTHEAST CORNER OF SAID TRACT 2; THENCE S 86°05'51" E ON SAID CENTERLINE, A DISTANCE OF 51.13 FEET TO THE SOUTHEAST CORNER OF BLOCK 4, OF SYKES ADDITION; THENCE N 2°07'30" E ON THE EAST LINE OF SAID BLOCK 4, A DISTANCE OF 225.96 FEET TO THE SOUTHEAST CORNER OF BLOCK 2A, OF SAID SYKES ADDITION, A REPLAT OF BLOCKS 2 AND 3, SYKES ADDITION; THENCE CONTINUING N 2°07'30" E ON THE EAST LINE OF SAID BLOCKS 2 AND 3, A DISTANCE OF 550.50 FEET; THENCE N 2°08'11" E, CONTINUING ON SAID EAST LINE, A DISTANCE OF 299.58 FEET TO THE POINT OF BEGINNING; SAID TRACT OF LAND CONTAINING 793,679.99 SQUARE FEET, OR 18.22 ACRES, MORE OR LESS.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA; THAT THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE LAND SURVEYORS REGULATION ACT IN EFFECT AT THE TIME OF THIS SURVEY; THAT THIS SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

\_\_\_\_\_  
JOSHUA D. BORCHERS, LS 766

**OWNER'S STATEMENT AND DEDICATION**

I, THE UNDERSIGNED, BEING THE OWNER OF THE PROPERTY TO BE PLATTED AS LOTS 1, 2 AND 3, BLOCK 1, TRIPLE PEAKS SUBDIVISION TO THE CITY OF SCOTTSBLUFF, SCOTTS BLUFF COUNTY, NEBRASKA, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE UNDERSIGNED OWNER AND THAT THE UTILITY AND ACCESS EASEMENTS ARE HEREBY DEDICATED FOR THE USE AND BENEFIT OF THE PUBLIC AS SHOWN ON THE FOREGOING PLAT.

BY: \_\_\_\_\_  
DEIDRA BRUNER

**ACKNOWLEDGEMENT:**

STATE OF NEBRASKA                    )  
  )SS  
COUNTY OF SCOTTS BLUFF        )

BEFORE ME, A NOTARY PUBLIC, QUALIFIED AND ACTING IN SAID COUNTY, PERSONALLY CAME DEIDRA BRUNER, KNOWN TO ME TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED TO THE FOREGOING "OWNER'S STATEMENT" AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE THEIR VOLUNTARY ACT AND DEED.

WITNESS MY NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

**LOTS 1-4, BLOCK 1, TRIPLE PEAKS SUBDIVISION  
AN ADDITION TO THE CITY OF SCOTTSBLUFF,  
SCOTTS BLUFF COUNTY, NEBRASKA  
SITUATED IN THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 22 NORTH, RANGE  
55 WEST OF THE 6TH PRINCIPAL MERIDIAN, SCOTTS BLUFF COUNTY, NEBRASKA**

**OWNER'S STATEMENT AND DEDICATION**

I, THE UNDERSIGNED, BEING THE OWNER OF THE PROPERTY TO BE PLATTED AS LOT 4, BLOCK 1, TRIPLE PEAKS SUBDIVISION TO THE CITY OF SCOTTSBLUFF, SCOTTS BLUFF COUNTY, NEBRASKA, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE UNDERSIGNED OWNER AND THAT THE UTILITY AND ACCESS EASEMENTS ARE HEREBY DEDICATED FOR THE USE AND BENEFIT OF THE PUBLIC AS SHOWN ON THE FOREGOING PLAT.

BY: \_\_\_\_\_  
WILBER L. QUINDT

**ACKNOWLEDGEMENT:**

STATE OF NEBRASKA                    )  
  )SS  
COUNTY OF SCOTTS BLUFF        )

BEFORE ME, A NOTARY PUBLIC, QUALIFIED AND ACTING IN SAID COUNTY, PERSONALLY CAME WILBER L. QUINDT, KNOWN TO ME TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED TO THE FOREGOING "OWNER'S STATEMENT" AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE THEIR VOLUNTARY ACT AND DEED.

WITNESS MY NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC


MY COMMISSION EXPIRES: \_\_\_\_\_

**APPROVAL AND ACCEPTANCE**

THE FOREGOING PLAT OF LOTS 1-4, BLOCK 1, TRIPLE PEAKS SUBDIVISION TO THE CITY OF SCOTTSBLUFF, SCOTTS BLUFF COUNTY, NEBRASKA, WAS APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA, BY RESOLUTION DULY PASSED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

BY: \_\_\_\_\_  
JEANNE MCKERRIGAN, MAYOR

ATTESTED: \_\_\_\_\_  
CITY CLERK

	120 EAST 16TH STREET, SUITE 'A' SCOTTSBLUFF, NEBRASKA 69361
	PHONE: (308) 632-3123
	DECEMBER 1, 2023

# City of Scottsbluff Planning Commission

Development Services Staff Report – Zachary Glaubius

Prepared on: December 5, 2023

For Hearing of: December 11, 2023



## I. GENERAL INFORMATION

- A. **Applicant:** Deidra Bruner  
3302 Verbena Place  
Scottsbluff, NE 69361
  
- B. **Property**
  - Owner: Wilbert Quindt Living Trust & Vicki Quindt Trust  
429 W Lakeshore Drive  
Lincoln, NE 68528
  
- C. **Proposal:** Preliminary Plat and Final, Lots 1-4, Block 1, Triple Peaks Subdivision
  
- D. **Legal Description:** See Preliminary Plat
  
- E. **Location:** Tract of land south of E. 27<sup>th</sup> Street and east of SWBC building
  
- F. **Existing Zoning & Land Use:** AR Agricultural Residential – Farmland

Size of Site: Approximately 18.22 Acres

## II. BACKGROUND INFORMATION

### A. General Neighborhood/Area Land Uses and Zoning:

Direction From Subject Site	Future Land Use Designation	Current Zoning Designation	Surrounding Development
North	Residential	R-1A Single Family Residential	Church and Single-Family Dwellings
East	Residential	A - Agricultural	Farmland
South	Highway 26 Commercial	AR – Agricultural Residential	Farmland
West	WNCC and Surrounding Area	O-P Office and Professional / C-2 Neighborhood and Retail Commercial	Commercial Buildings (SWBC Building and Target)

### B. Relevant Case History

1. Planning Commission made a positive recommendation on Approval of Rezone to O-P District on November 13, 2023

2. Planning Commission tabled the preliminary plat on November 13, 2023 in order for staff to further review stormwater drainage in the subdivision (south of the canal)

### III. **ANALYSIS**

**A. Comprehensive Plan:** The Future Land Use Map of the Comprehensive Plan currently shows the site as WNCC and Surrounding Area.

**B. Traffic & Access:**

1. Access to the subdivision will be via 27<sup>th</sup> Street and the newly proposed 18<sup>th</sup> Avenue.
2. Intersections for 26<sup>th</sup> Street and 23<sup>rd</sup> Street are shown.
3. A cross-section of 18<sup>th</sup> Avenue is included in the plat.

**C. Utilities:**

1. Water mains will be located in 18<sup>th</sup> Avenue Right-of-Way and Utility Easements on Lot 2 and Lot 4.
2. Sewer mains will be/ is located in 18<sup>th</sup> Avenue Right-of-Way and Canal Utility/Access Easement
3. A Stormwater Main will be located in the Canal Utility/Access Easement on Lot 4 which will drain 18<sup>th</sup> Avenue (north of the canal) into the City-owned retention pond south of the SWBC building.
4. A stormwater easement will be dedicated on the unplatted land northeast of Staples which 18<sup>th</sup> Avenue (south of the canal) will drain into.

### IV. **STAFF COMMENTS**

- A. A Developer's Agreement/Contract for Public Improvements will be necessary as part of the Final Plat. Staff and the Applicant are currently working on this
- B. The drainage study for the subdivision is included with the preliminary plat.
- C. A letter of understanding is included which states the Winters Creek Canal Company will allow 18<sup>th</sup> Avenue to cross the Winters Creek Canal.
- D. The subdivision will be annexed into the corporate limits of the City.
- E. An ordinance will be necessary to change the name of Easton Drive to 18<sup>th</sup> Avenue. The City requested the street be named 18<sup>th</sup> Avenue.
- F. The subdivision will be annexed into the City of Scottsbluff.

### V. **FINDINGS OF FACT**

**A. Findings of Fact to Recommend Its Approval May Include:**

1. The Comprehensive Plan identifies the area as WNCC and Surrounding Areas and the proposed subdivision is intended to be commercial which aligns with the future land use map.
2. The minimum lot size requirement for the O-P zoning district is 7,000 square feet, and the smallest proposed lot is 1.69 acres.

**B. Findings of Fact to Not Recommend Approval May Include:**

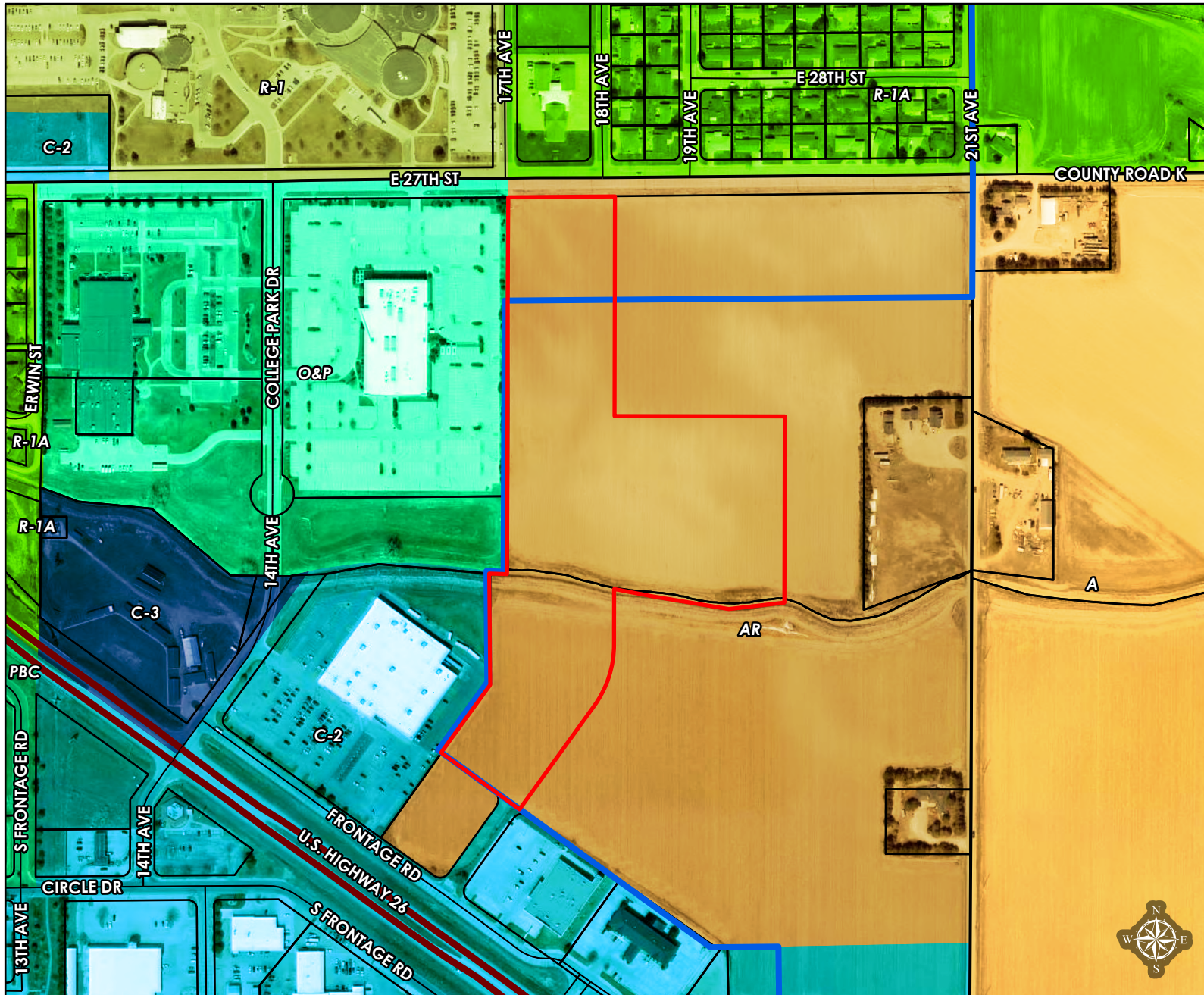
1. None



**VI. STAFF RECCOMENDATION**

- A.** Staff recommends Planning Commission make a positive recommendation on approval of the preliminary plat and final plat for Lots 1-4, Block 1, Triple Peaks Subdivision, on the condition the City Council finds the contract for public improvements acceptable.





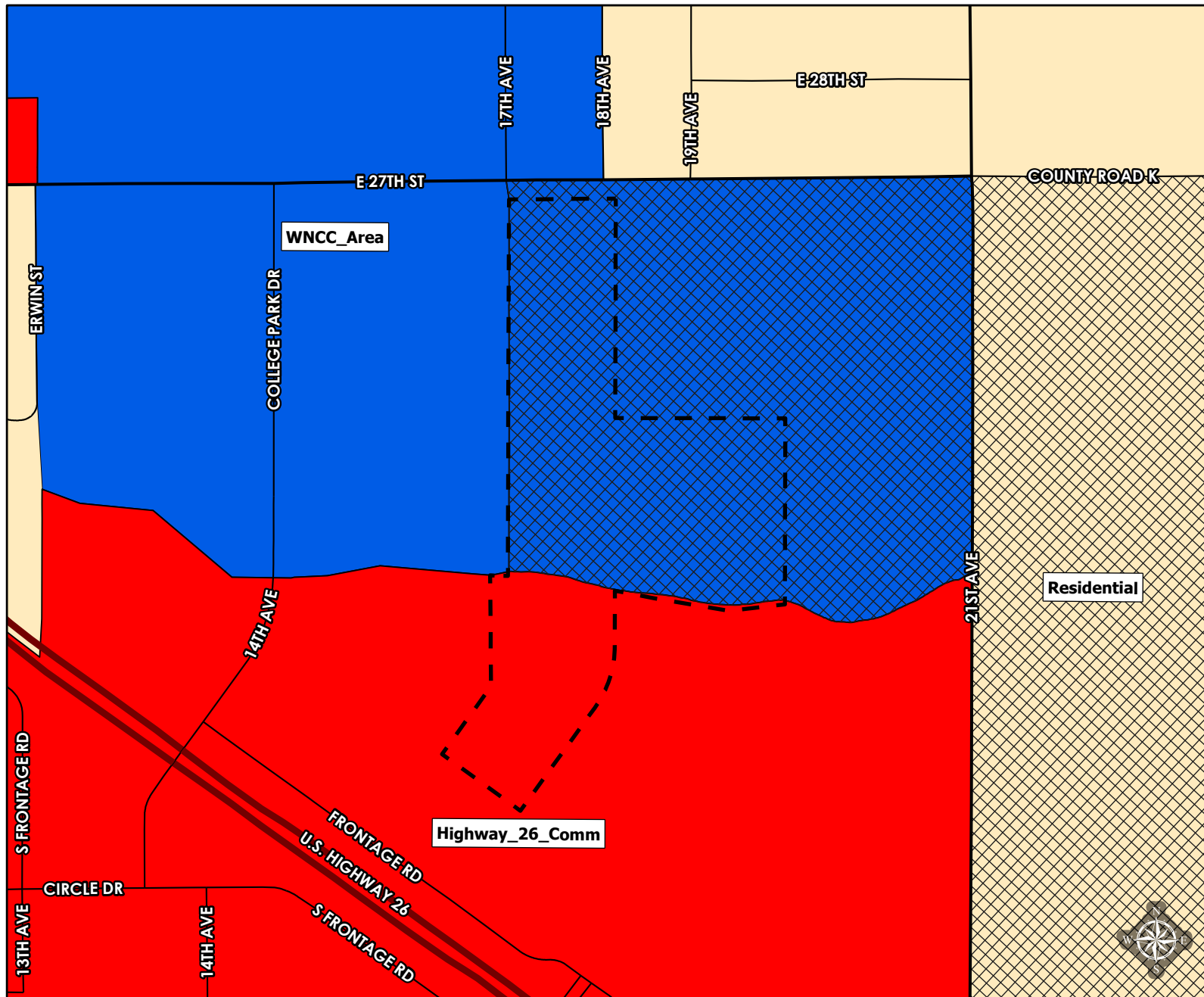
- Property Location(s)
  - Corporate Limits
  - Extended Jurisdiction
- City Zoning**
- (A)Agriculture
  - (AR)Ag Residential
  - (C-1)Central Business District
  - (C-2)Neighborhood Com
  - (C-3)Heavy Com
  - (M-1)Light Man & Ind
  - (M-2)Heavy Man & Ind
  - (O-P)Office and Professional
  - (PBC) Planned Bussiness
  - (R-1)Single Family
  - (R-1A)Single Family Med Dens
  - (R-1B)Rural Residential
  - (R-4)Heavy Dens Multiple
  - (R-6)Mobile Home
- Street Centerlines**
- Highway
  - Main Road
  - Residential/Rural
  - Parcels



Taylor Stephens  
 City of Scottsbluff GIS  
 Created on 10/25/2023  
 Coordinate System: NAD 1983 (2011)  
 StatePlane Nebraska FIPS 2600 Feet  
 Lambert Conformal Conic

The City makes no representation or warranty as to the accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement or location of any map features thereon.

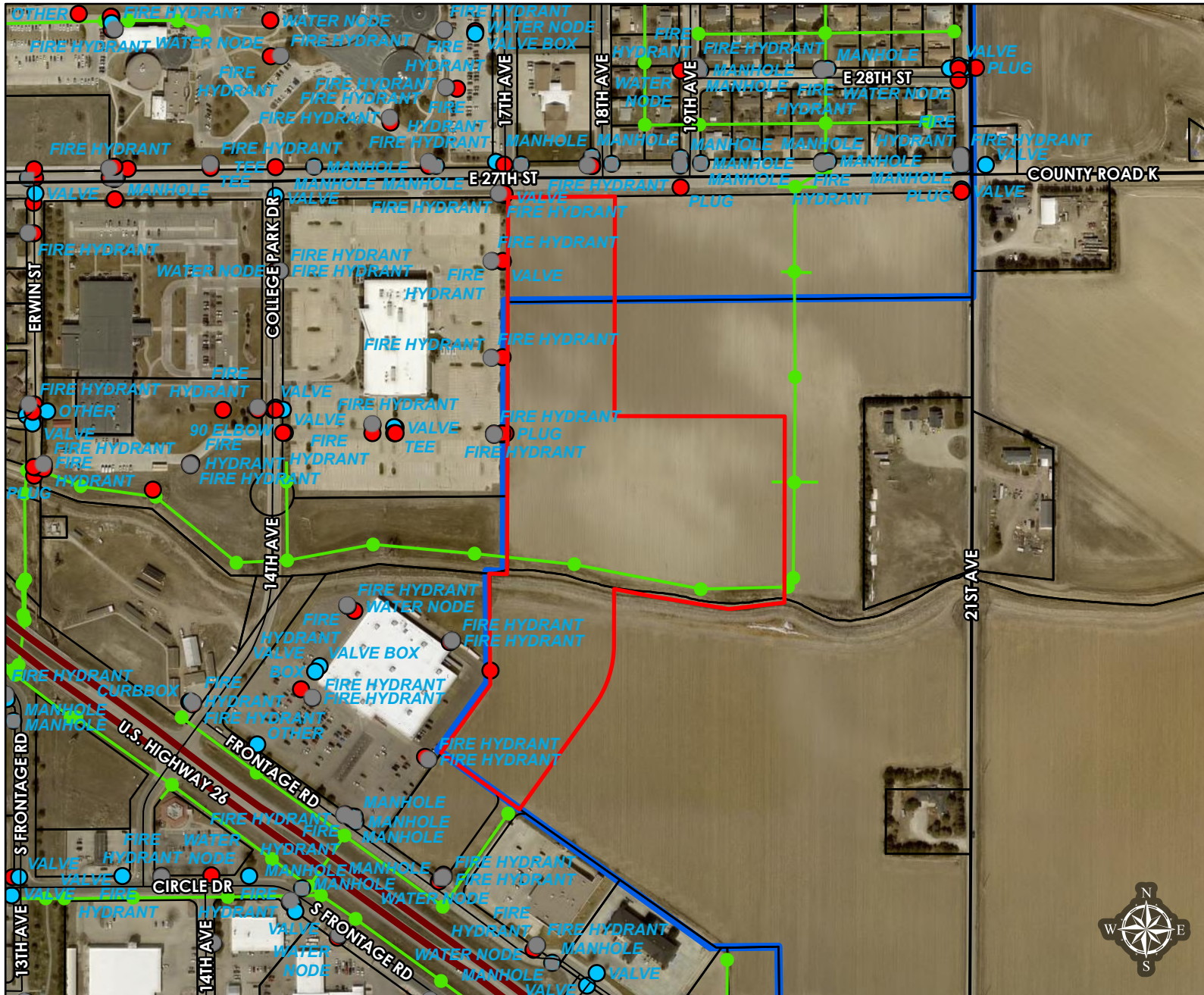
# Proposed Rezone from AG to O&P



- Proposed Changes
- 2016 Comp. Plan Land Use**
  - Automobile Commercial
  - Avenue B and Hospital Campus
  - Central Business District
  - East Overland
  - Highway 26 Commercial
  - Northwest Commercial
  - Residential
  - Rural
  - Rural Residential
  - SE Industrial and Commercial
  - South Broadway
  - WNCC and Surrounding Area
- Street Centerlines**
  - Highway
  - Main Road
  - Residential/Rural
- 2016 Comp. Plan Development**
  - LTD (10 - 20 yrs)
  - NTD (Less than 5 yrs)
  - STD (5 - 10 yrs)

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- Highway
  - Main Road
  - Residential/Rural
  - Wastewater MH
  - Wastewater Lines
  - Proposed Property
  - Parcels
  - GEODATA.GISMGR.Corporate\_Limits
- Waterline\_Points
- No
  - Yes
  - UNKNOWN
- Water Manhole
- No
  - Yes
  - UNKNOWN
- Water Curbstop
- ◆ No
  - ◆ Yes
  - UNKNOWN
- Fire Hydrants
- No
  - Yes
  - UNKNOWN
- Easement\_Poly



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