

CITY OF SCOTTSBLUFF
Scottsbluff City Hall Council Chambers
2525 Circle Drive, Scottsbluff, NE 69361
CITY COUNCIL AGENDA

Regular Meeting
February 4, 2019
6:00 PM

1. Roll Call
2. Pledge of Allegiance.
3. **For public information, a copy of the Nebraska Open Meetings Act is available for review.**
4. Notice of changes in the agenda by the city clerk (Additions may not be made to this agenda less than 24 hours before the beginning of the meeting unless added under Item 5 of this agenda.)
5. Citizens with business not scheduled on the agenda (As required by state law, no matter may be considered under this item unless council determines that the matter requires emergency action.)
6. Closed Session
 - a) Council reserves the right to enter into closed session if deemed necessary if the item is on the agenda as per Section 84-1410 of the Nebraska Revised Statutes.
7. Consent Calendar: (Items in the consent calendar are proposed for adoption by one action for all items unless any member of the council requests that an item be considered separately.)
 - a) Approve the minutes of the January 22, 2019 Regular Meeting.
 - b) Council to set a public hearing for February 19, 2019 at 6:05 p.m. to submit question of whether property generally described as land bounded by US Highway 26 on the northeast, East Overland Drive on the south, and 21st Avenue on the west is blighted and substandard.
 - i) To planning commission for review and recommendation.
 - c) Council to approve the bid specifications for the purchase of a new or demonstrator compact backhoe/loader-tool carrier and authorize the city clerk to advertise for bids to be received by March 1, 2019 at 2:00 p.m.
8. Claims
 - a) Regular claims
9. Public Hearings:
 - a) Council to conduct a Public Hearing at 6:05 p.m. to consider the One and Six Year Street Improvement Plan.
10. Petitions, Communications, Public Input:

- a) Council to consider a Business Promotional Event Permit for the United Way of Western Nebraska for a Leprechaun Leap Fun Run, March 16, 2019 from 10:30 a.m. to 12:30 p.m.
- 11. Resolution & Ordinances:
 - a) Council to approve the 2019 One and Six Year Street Plan Resolution.
- 12. Reports from Staff, Boards & Commissions:
 - a) Council to consider a letter documenting match commitment to the Nebraska Department of Economic Development in regards to grant funding for the 23 Club revitalization efforts.
 - b) Council to consider approving the Work Change Order Agreement from TriHydro Corporation for Step 1, site assessments/investigations of potential sites for a new landfill, to extend the completion date from March 1, 2019 to December 31, 2019.
- 13. Public Comments: The purpose of this agenda item is to allow for public comment of items for potential discussion at a future Council Meeting. Comments brought to the Council are for information only. The Council will not take any action on the item except for referring it to staff to address or placement on a future Council Agenda. This comment period will be limited to three (3) minutes per person
- 14. Council reports (informational only):
- 15. Adjournment.

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Closed1

Council reserves the right to enter into closed session if deemed necessary if the item is on the agenda as per Section 84-1410 of the Nebraska Revised Statutes.

Staff Contact:

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Consent1

Approve the minutes of the January 22, 2019 Regular Meeting.

Staff Contact: City Council

The Scottsbluff City Council met in a regular meeting on January 22, 2019 at 6:00 p.m. in the Council Chambers of City Hall, 2525 Circle Drive, Scottsbluff. Since the regular meeting would fall on a City recognized holiday according to 6-1-12, a notice of the meeting had been published on January 18, 2019, in the Star Herald, a newspaper published and of general circulation in the City. The notice stated the date, hour and place of the meeting, that the meeting would be open to the public, that anyone with a disability desiring reasonable accommodations to attend the Council meeting should contact the City Clerk's Office, and that an agenda of the meeting kept continuously current was available for public inspection at the office of the City Clerk in City Hall; provided, the City Council could modify the agenda at the meeting if it determined that an emergency so required. A similar notice, together with a copy of the agenda, also had been emailed to each council member, made available to radio stations KNEB, KMOR, KOAQ, and television stations KSTF and NBC Nebraska, and the Star Herald. The notice was also available on the city's website on January 18, 2019.

Mayor Gonzales presided and City Clerk Wright recorded the proceedings. The Pledge of Allegiance was recited. Mayor Gonzales welcomed everyone in attendance and encouraged all citizens to participate in the Council meeting asking those wishing to speak to come to the microphone and state their name and who they are representing for the record. Mayor Gonzales informed those in attendance that a copy of the Nebraska open meetings act is posted in the back of the room on the west wall for the public's review. The following Council Members were present: Raymond Gonzales, Scott Shaver, Jeanne McKerrigan, Nathan Green and Terry Schaub. Also present were City Manager Johnson and City Attorney Kent Hadenfeldt. Absent: None.

Mayor Gonzales asked if there were any changes to the agenda. City Clerk Wright asked that consent item 7d, approving the appointment of Nate Merrigan to the LB840 Application Review Committee, be moved off consent agenda. City Manager Johnson added we need to identify Mr. Merrigan as an alternate member as required by the LB840 Economic Development Plan. Council Member Shaver made the motion, seconded by Council Member McKerrigan "to move item 7d, approving the appointment of Nate Merrigan to the LB840 Application Review Committee off consent agenda to item 9b on the agenda," "YEAS," McKerrigan, Shaver, Green, Schaub, and Gonzales. "NAYS," None. Absent: None.

Mayor Gonzales asked if any citizens with business not scheduled on the agenda wished to include an item providing the City Council determines the item requires emergency action. There were none.

Moved by Council Member McKerrigan, seconded by Council Member Green that,

- a) "The minutes of the January 7, 2019 Regular Meeting be approved,"
- b) "The minutes of the January 7, 2019 Goal Setting/Strategy Session Meeting be approved,"
- c) "Set a public hearing for February 4, 2019, 6:05 p.m. for the One and Six Year Street Improvement Plan," "YEAS," Green, Schaub, Gonzales, and McKerrigan. "NAYS," Shaver. Absent: None.

Moved by Council Member Schaub, seconded by Council Member McKerrigan, "that the following claims be approved and paid as provided by law out of the respective funds designated in the list of claims dated January 22, 2019, as on file with the City Clerk and submitted to the City Council," "YEAS", Shaver, Green, Schaub, McKerrigan, and Green. "NAYS", None. Absent: None.

CLAIMS

ACTION COMMUNICATIONS INC., DEPT SUPP, 931.46; AMERICAN PUBLIC WORKS ASSOCIATION, MEMBERSHIPS, 340; ASSURITY LIFE INSURANCE CO, LIFE INS, 32.95; AUTOZONE STORES, INC, DEPT SUPP, 83.13; B&C STEEL CORPORATION, EQUIP MAINT, 231.33; BAILEY POTTERY EQUIPMENT CORP, ROD CLAUSE - LB840 GRANT, 1347.79; BLR, FAIR LABOR STANDARDS HANDBOOK UPDATES, 536.99; BLUFFS SANITARY SUPPLY INC., DEPT SUPP, 328.99; CAPITAL BUSINESS SYSTEMS INC., CONT. SRVCS, 295.51; CARLSON, DEBRA, BSN. TRVL., 50; CARR- TRUMBULL LUMBER CO, INC., SUPP - SCREWS, 150.34; CELLCO PARTNERSHIP, CELL PHONES, 182.79; CITIBANK, N.A., BOLTS AND NUTS TO MOUNT PUMP TO BRUSH TRUCK, 10.4; CITY OF GERING, DISPOSAL FEES, 37745.06; CITY OF SCB, PETTY CASH, 34.21; CLARK PRINTING LLC, DEPT SUPP, 306; COAST TO COAST PRODUCTS, DEP. SUP, 44.99; COMPUTER CONNECTION INC, CONTRACTUAL-PD, 44; CONDRAD FIRE EQUIPMENT, INC., PUMP HOUSING AND GASKET KIT FOR BRUSH 1, 887.5; CONSOLIDATED MANAGEMENT COMPANY, SCHOOLS & CONF-PD, 63.51; CORE & MAIN LP, METERS, 2481.27; CREDIT BUREAU OF COUNCIL BLUFFS, DECEMBER FEES & EMPLOYMENT SCREEN, 61; CROELL INC, DEPT SUP, 585.83; CYNTHIA GREEN, FOLDER FILE/MANILLA ENVELOPES, 42.76; DALE'S TIRE & RETREADING, INC., EQUIP MTNC, 116; DIVE RESCUE, INC, BREATHING CONECTORS AND WEIGHTS- DIVE RESCUE, 623.75; DUANE E. WOHLERS, DISPOSAL FEES, 800; DXP ENTERPRISES INC, SENSOR FOR 4-GAS MONITOR, 254.45; EMBLEM'S INC, UNIFORMS-PD, 382; E-ONE INC, EQUIP MTNC, 663.01; FAT BOYS TIRE AND AUTO, EQUIP MTNC, 265.4; FLOYD'S TRUCK CENTER, INC, EQUIP MTNC, 332.04; FREMONT MOTOR SCOTTSBLUFF, LLC, EQUIP MTNC, 390.08; GALLS INC, UNIFORMS-PD, 68.93; GENERAL ELECTRIC CAPITAL CORPORATION, DEPT SUPPL-PD, 24.86; GENERAL TRAFFIC CONTROLS, INC, TRAF. SIGNAL EQUIP. - MONITORS, BUS INTRFACE UNITS, 2938.66; GRAY TELEVISION GROUP INC, CONTRACTUAL SVC, 1390; HAWKINS, INC., CHEMICALS, 1712.4; HD SUPPLY FACILITIES MAINTENANCE LTD, DEPT SUP, 3268.53; HOA SOLUTIONS, INC, EQUIP MAINT, 1258.77; HOBBY LOBBY STORES INC, VELCRO FOR WASHING PPE, MARKERS/SCALE MAT, 31.26; HULLINGER GLASS & LOCKS INC., BLDG MAINT, 67.6; IDEAL LAUNDRY AND CLEANERS, INC., UNIFORMS-PD, 910.31; INGRAM LIBRARY SERVICES INC, BKS., 1338.93; INTERNAL REVENUE SERVICE, WITHHOLDINGS, 60100.45; INTRALINKS, INC, DELL POWER EDGE T440 SERVER - LIBRARY, 14160.18; KIESLER POLICE SUPPLY INC, CIP-PO-PATROL CARS, 96; KNOW HOW LLC, VEH MAINT, 1021.69; KOIS BROTHERS EQUIPMENT CO INC, DEPT SUPPLIES, 3633.7; LEAGUE OF NEBRASKA MUNICIPALITIES, REGISTRATION - SCOTT SHAVER, 2262; LEXISNEXIS RISK DATA MANAGEMENT, CONSULTING-PD, 100; M.C. SCHAFF & ASSOCIATES, INC, ENGINEERING, 4355; MADISON NATIONAL LIFE, LIFE/DISABILITY INS, 1828.27; MARKETING CONSULTANTS, DEPT SUPPLIES, 225; MATHESON TRI-GAS INC, HYDROSTATIC TEST- HAZMAT TRAILER CASCADE, 100; MENARDS, INC, BLDG MAINT, 548.37; MICHAEL B KEMBEL, BUILDING MTNC, 2986.16; MIDLANDS NEWSPAPERS, INC, LEGAL PUBLISHING, 2183.8; MIDWEST MACHINERY & SUPPLY CO, SUPP - CABLE POST FOR GUARD RAIL REPAIRS, 638; MONUMENT CAR WASH INC, VEH MAINT, 5.32; MUNICIPAL EMERGENCY SERVICES INC, FIRE HELMETS- RED FOR LIEUTENANTS, 776.82; NE CHILD SUPPORT PAYMENT CENTER, NE CHILD SUPPORT PYBLE, 1350.55; NE DEPT OF REVENUE, TAXES, 21899.36; NEBRASKA MACHINERY CO, EQUIP MTNC, 67.37; NEBRASKA PUBLIC POWER DISTRICT, ELECTRIC, 40342.29; NEBRASKA RURAL RADIO

ASSOCIATION, CONTRACTUAL SVC, 232.5; NETWORKFLEET, INC, CONTRACTUAL SERVICES, 109.75; NORTHWEST PIPE FITTINGS, INC. OF SCOTTSBLUFF, GALVANIZED NIPPLE FOR BRUSH TRUCK, 12.63; OCLC ONLINE COMPUTER LIBRARY CENTER, INC, CONT. SRVCS., 364.49; PANHANDLE COLLECTIONS INC, WAGE ATTACHMENT, 194.92; PANHANDLE COOPERATIVE ASSOCIATION, OTHER FUEL, 18057.05; PLATTE VALLEY BANK, HEALTH SAVINGS ACCOUNT, 36589.26; POSTMASTER, POSTAGE, 877.07; POWERPLAN, EQUIP MTNC, 200; QUILL CORPORATION, DEPT SUPPL-PD, 153.65; REGIONAL CARE INC, FLEX FUNDING, 2849.6; REGIONAL WEST MEDICAL CENTER, LANCETS FOR GLUCOMETER, 13.92; REGISTER OF DEEDS, LEGAL, 32; RUSSELL INDUSTRIES INC, EQUIP MAINT, 1261.5; S M E C, EMPLOYEE DEDUCTION, 224; SALES MIDWEST, INC, EQUIP MAINT, 558.32; SANDBERG IMPLEMENT, INC, DEPT SUPP, 744.7; SCB COUNTY, DEPT CNTRCL SRVCS, 125; SCB FIREFIGHTERS UNION LOCAL 1454, FIRE EE DUES, 225; SCOTTS BLUFF COUNTY COURT, LEGAL FEES-PD, 261; SCOTTSBLUFF POLICE OFFICERS ASSOCIATION, POLICE EE DUES, 576; SCOTTSBLUFF SCREENPRINTING & EMBROIDERY, LLC, UNIFORMS, 672; SCOTTSBLUFF SENIOR CENTER, QUARTERLY INSTALLMENT 1/1/2019, 5750; SHERIFF'S OFFICE, LEGAL FEES-PD, 333.72; SIMMONS OLSEN LAW FIRM, P.C., CONTRACTUAL-PD, 8334.36; SIMON CONTRACTORS, DEPT SUPP, 67.3; SOCIETY FOR HUMAN RESOURCE MANAGEMENT, MEMBERSHIP - CAMI KITE (3/1/19 - 2/29/20), 209; SOUNDSLEEPER SECURITY INC., CONTRACTUAL-PD, 14.95; THE PEAVEY CORP, INVEST SUPPL-PD, 65.75; THE WESTERN SUGAR COOPERATIVE, VEH MAINT, 162; TRANS IOWA EQUIPMENT LLC, DEPT SUPPLIES, 903.33; TRI-TECH FORENSICS INC., INVEST SUPPL-PD, 77.71; TWIN CITY AUTO, INC, NEW SNOW PLOW BLADE, 5574.88; TYLER TECHNOLOGIES, INC, UB TRANSACTION FEES 10/1/18 - 12/31/18, 2578.75; UNION BANK & TRUST, RETIREMENT, 39396.99; UNIQUE MANAGEMENT SERVICES, INC, CONT. SRVCS, 152.15; UNL-PANHANDLE RESEARCH, SCHOOLS & CONF, 35; US BANK, REGISTRATION - TYLER CONNECT - LIZ HILYARD, 1692.1; WATSON MACKENZIE, BSN. TRVL., 50; WESTERN NEBRASKA HUMAN RESOURCE MANAGEMENT, 2019 MEMBERSHIP - JANA BODE, 60; WESTERN TRAVEL TERMINAL, LLC, VEH MAINT-PD, 351; WOODS & AITKEN LLP, PROF. SERVICES CIR CASE 1464-IBEW 1597, 2110.83; WYOMING CHILD SUPPORT ENFORCEMENT, CHILD SUPPORT, 738.08; YOUNG MEN'S CHRISTIAN ASSOCIATION OF SCOTTSBLUFF, NE, YMCA, 753;

City Manager Johnson presented the December 2018 Financial Report to the City Council explaining we are through the 1st quarter of the fiscal year with about 75% of the budget remaining; this includes monies spent and revenues. Council Member Green asked when we expect to see some of the internet tax, with Mr. Johnson stating we are waiting for the State Legislature to make it into a law; as of now, nothing has been passed.

Mr. Nate Merrigan approached Council regarding his appointment as an alternate to the LB840 Application Review committee. Mr. Merrigan explained he was raised here and graduated from Scottsbluff High School and is currently working for Great Western Bank as a Commercial and Ag Loan Officer. He thinks the LB840 program is an advantage to the community and looks forward to contributing. Council Member Shaver made the motion, seconded by Council Member Schaub, "to

approve the appointment of Nate Merrigan as alternate to the LB840 Application Review Committee,” “YEAS,” Shaver, Gonzales, Schaub, McKerrigan, and Green. “NAYS,” None. Absent: None.

City Manager Johnson directed Council to a hard copy provided to them that listed the various contracts with outside entities. He stated this is on the agenda to help the new council by talking about budgetary items and to make them aware, prior to June, to have discussion on what is appropriate to support and what is not. This was brought forward because revenues have flat lined, especially with the local economy and because there could be changes in sales tax earnings, reminding them about their discussion in the goal setting/strategy session to concentrate on sustainability for the City. With that, Council Member Shaver asked for the amounts of numbers coming in, an example being the softball program, so they could get a net gain/cost.

During discussion, Mayor Gonzales reminded council when they look for additional funding to do projects; it is the general fund or debt service fund that allows for that flexibility. Mr. Johnson also reiterated the general fund is the most flexible fund that we can allocate money towards for various projects and regarding the outside contracts, council is to be getting updated financials, but the majority of entities do not provide them. Mr. Johnson did state, however, as the contracts renew, we are looking for more performance based criteria to make sure the money allocated is not used frivolously and books are balancing. Council Member McKerrigan expressed that it is very important to receive financials; especially from the entities that are receiving larger amounts of money. Mayor Gonzales asked if any of the contracts are coming up for renewal, with Mr. Johnson stating the Zoo contract is coming up for renewal in 2020; this being a larger contract, Council agrees that financials, both historical and current, need to be provided as well as open lines of communication.

Regarding occupation taxes and council asking for more information, Mr. Johnson stated Nebraska City has a 3% tax on cell phones and other telecommunication lines, garnering around \$105,000.00 per year and he is still waiting to hear back from the City of Beatrice. At the last meeting, Council Member Shaver asked for information regarding hiring an employee to administer the restaurant tax. Mr. Johnson stated the position would be part time with wages starting around \$20,000.00/\$25,000.00 per year with no benefits due to the job not being full time. Council Member Shaver asked if the cell phone tax would be just phone or include internet and television, with Legal Counsel Hadenfeldt stating we would have to limit the tax to the definitions of telecommunications in statute.

Pertaining to these agenda items, Mayor Gonzales asked about tying occupation taxes to specific projects, an example being the 23 Club, and asked Council if they would be for eliminating outside contracts or taxing to fund projects. Council Member McKerrigan stated we need to come up with creative ways to fund projects and look at both sides whether it be raising taxes or eliminating outside contracts. Council Member Schaub expressed we need to live within our means and it would be a hindrance to charge occupation taxes. Council Member Green stated we need to look at other funding sources as well as tightening our belts and is not opposed to taxing as long as it goes to specific projects and goes away once the need is met. Council Member Shaver stated we need to know what our options are, have the facts, but not go forward with anything at this time. It was the conclusion of council to view financials on outside contracts and then make decisions based on those reports, while continuing to put this item on future agendas.

Ms. Starr Lehl, Economic Development Director explained the guidelines and application for the East Overland Façade Improvement Program, explaining this is the second year for the program with

\$100,000.00 available for the project. The application period runs from January 23rd thru February 28th and last year 15 applicants were able to benefit from the program. Council Member Shaver expressed his opinion by stating the money should be spent at Scottsbluff businesses and not spent in the same location, adding it should be something comprehensive that will benefit the whole town. Mayor Gonzales asked Ms. Lehl what the return was from the last money spent; Ms. Lehl said 1.5 million, with the majority of the improvement materials being purchased at Scottsbluff businesses. Council Member Shaver moved, “to not approve the guidelines and application for the East Overland Façade Improvement Program.” The motion died for lack of a second. Council Member Schaub made the motion, “to approve the guidelines and application for the East Overland Façade Improvement Program,” seconded by Council Member McKerrigan. “YEAS,” Schaub, McKerrigan, and Gonzales. “NAYS,” Green and Shaver. Absent: None.

Mr. Johnson went over the two interlocal agreements with the City of Terrytown explaining the first agreement for street sweeping; charging \$55.00 per man hour, \$85.00 per street sweeper with a 15% administration fee added to the final cost. The second, for paint striping; \$55.00 per hour, per man for labor (2 men minimum), \$65.00 per hour for paint machine, \$30.00 per hour for paint gun and \$30.00 per hour for a pickup. Paint is also added to the cost along with a 15% administration fee and both agreements are for one year. Council Member Shaver asked how this compares to last year; City Manager Johnson stated it is the same. Council Member Shaver made the motion, seconded by Council Member Schaub, “to approve the interlocal agreements with the City of Terrytown for paint striping and street sweeping services through December 31, 2019,” “YEAS,” Gonzales, Green, McKerrigan, Shaver, and Schaub. “NAYS,” None. Absent: None.

Regarding the agreement with Felsburg, Holt and Ullevig, Inc. for updating services for the railroad quiet zone, Mr. Johnson explained this is due to the Federal Railroad Administration (FRA) following compliance by recertifying the quiet zones every four and a half to five years. The cost is \$6,350.00 and the firm is partnering with M.C. Schaff and Associates, so there should be no travel expenses. Council Member McKerrigan made the motion, seconded by Council Member Schaub, “to approve the Railroad Quiet Zone Services Agreement between the City and Felsburg, Holt and Ullevig, Inc. for update services and authorize the Mayor to execute the Agreement.” “YEAS,” McKerrigan, Green, Schaub, and Gonzales. “NAYS,” Shaver. Absent: None.

There were no comments from the public. Under Council Reports, Council Member Shaver stated he and Council Member Green were present for a PAWS meeting, but the meeting did not happen due to the lack of a quorum. Also, Council Member Shaver attended the 911 meeting. Council Member McKerrigan attended the Senior Center meeting and explained student council is going to try to have a voted member attend the meetings. The advisor is reviewing the Ordinance and may request changing it to allow different students the ability to attend. Council Member Green was at the zoo committee meeting and Council Member Schaub was unable to attend the Region 22 Emergency Management meeting.

Council Member McKerrigan, seconded by Council Member Schaub made the motion “to adjourn the meeting at 7:49 p.m.” “YEAS,” Green, Schaub, Shaver, Gonzales, and McKerrigan. “NAYS,” None. Absent: None.

Attest:

Mayor

City Clerk
“SEAL”

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Consent2

Council to set a public hearing for February 19, 2019 at 6:05 p.m. to submit question of whether property generally described as land bounded by US Highway 26 on the northeast, East Overland Drive on the south, and 21st Avenue on the west is blighted and substandard.

To planning commission for review and recommendation.

Staff Contact: City Council

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Consent3

Council to approve the bid specifications for the purchase of a new or demonstrator compact backhoe/loader-tool carrier and authorize the city clerk to advertise for bids to be received by March 1, 2019 at 2:00 p.m.

Staff Contact: Vince Kelley, Cemetery Supervisor

CITY OF SCOTTSBLUFF

BID SPECIFICATIONS

FOR

THE PURCHASE OF ONE,

NEW or DEMONSTRATOR

COMPACT BACKHOE/LOADER-TOOLCARRIER

February 6, 2019

NOTICE TO BIDDERS

Sealed Bids will be received by the City of Scottsbluff, Nebraska at the office of the City Clerk until 2:00 P.M., March 1, 2019, for furnishing One, New, or One Demonstrator Compact Backhoe/Tool Carrier. Specifications and Instructions to Bidders are available at the office of the City Clerk. The Council reserves the right to reject any and all bids and to waive irregularities.

/s/Kimberley Wright, City Clerk

Publish – 3 Times:

Friday, February 8, 2019

Friday, February 15, 2019

Friday, February 22, 2019

INSTRUCTIONS TO BIDDERS

1. All Proposals shall be submitted on Bid Forms provided for this purpose in order that they may be properly compared and evaluated.
2. The Bid shall be for one, new, or demonstrator (under 25 hours) Compact Backhoe/Loader-Tool Carrier.
3. The Bid shall be quoted F.O.B. Scottsbluff, NE.
4. Bids shall state the Make and Model of proposed unit and include complete detailed specifications with manufacturer's brochure, specifying the identical model being bid.
5. The City is exempt from Federal Excise or State Sales Taxes. A tax exemption certificate will be furnished by the City of Scottsbluff.
6. The Bids shall be submitted to the City Clerk's office by 2:00 p.m., March 1, 2019 in a sealed envelope, and envelope clearly marked "Bid on Cemetery Backhoe."
7. The Council reserves the right to reject any and all bids and to waive any irregularities for any reason deemed necessary.
8. Award of purchase by the City will not become final until a Purchase Order has been issued authorizing this purchase.
10. City will pay for equipment meeting all specifications upon proper documentation of same, no sooner than the first Council meeting in May following delivery of same.
11. Delivery time from date order placed to vendor shall be ninety (90) days.
12. Price that is stated on Bid Proposal Sheet shall be good for 30 calendar days following bid opening.
13. Any items of noncompliance or variations to the minimum specification requirements listed on the following pages shall be written and submitted with the Bid Proposal.
14. Actual equipment being bid must be available for inspection by City personnel after the bids are opened and before the next council meeting when the purchase will be approved.
15. If a demonstrator model is bid, the bidder shall state the year of vehicle, hours and warranty, if any.
16. City will be trading in a 2006 Ditch Witch XT1600 that can be seen at Fairview cemetery 4109 5th Avenue, Scottsbluff.

**MINIMUM SPECIFICATIONS FOR ONE, NEW, OR DEMONSTRATOR
COMPACT BACKHOE/LOADER-TOOL CARRIER**

Bidder shall include in the bid package a manufacturer's brochure, specifying the identical model, which describes the equipment being bid. Bidder has the option of bidding a new, or demonstrator model. Any additions, deletions, or variations shall be construed as minimum. Should the manufacturer's latest specifications exceed these, they shall be considered minimum and shall be furnished. The unit shall meet or exceed the following minimum requirements. Any items of non-compliance must be listed in writing and submitted with Bid Proposal.

YEAR/ MODEL:	Shall be a new or demonstrator model.
ENGINE:	Shall be a four- (4) cylinder liquid cooled diesel engine With minimum 74 horsepower.
TRANSMISSION:	Shall be full hydrostatic transmission, with anti-stall and high speed road switching
STEERING:	Steering wheel with (4) four-wheel drive and steering.
SEAT:	Fully adjustable air suspension seat with front and rear adjustment and arm rests.
FUEL CAPACITY:	Shall hold a minimum of twenty (20.0) U.S. Gallons.
CONTROLS & CONSOLE:	Throttle, key ignition switch, light switch, cold start switch, Hour meter, fuel gauges, light switch glow plug light, Work area and drive lighting.
CAB AND HEATER:	Fully enclosed cab with heater and integrated ROPS, and windshield wipers to improve visibility in wet condition.
BACKHOE/EXCAVATOR:	Side shifting digger for moving closer or further from digging point Loading Height of at least 9 ft. Digging depth 2ft flat bottom immune of 13 ft. Reach of at least 13 ft. 36 in and 18in bucket Extendable dipper

Stabilizers must not exceed the width of the machine when in down position.
Quick detachable backhoe bucket with auxiliary hydraulic hookup, so other implements can be used on the backhoe.

Loader: Minimum (2/3) two-thirds yard loader bucket
Quick detach skid steer type hookup with auxiliary hydraulic hookup.
Loading height of at least 9 ft.

WARRANTY. Successful bidder shall state warranty of machine being bid.

A. Standard Warranty _____

B. Extended Warranty _____

REPAIR PARTS AND SERVICE. The successful bidder shall provide a service area within 150 miles of the City of Scottsbluff, Scottsbluff, NE. Successful bidder shall guarantee no more than 48 hour parts and service for major components.

MANUALS. Successful bidder shall provide one (1) copy of operator's manual, one (1) copy of parts manual and one (1) repair manual.

TRAINING. Successful bidder shall provide one (1) hours of operator and maintenance training on-site.

DEMONSTRATION. At the request of the city the vendor shall demonstrate his tractor at a location chosen by the city and in the presence of an authorized customer representative to verify the machine being bid.

DELIVERY. Bidder shall state approximate date of delivery of machine being bid. Shall be F.O.B. Fairview Cemetery, 4109 5th Avenue, Scottsbluff, NE.

PAYMENT. Payment for winning bid will be processed at the first available council meeting after delivery of machine but not before May 1, 2019.

Specify Delivery Date _____

PROPOSAL FOR FURNISHING
ONE, NEW COMPACT BACKHOE/ LOADER-TOOL CARIER.

Mayor and City Council
Scottsbluff, Nebraska

Gentlemen:

I (we) have examined the Notice to Bidders, dated February 6, 2019, Instructions to Bidders, and the Specifications, and submit the following proposal to furnish one, new or demonstrator Compact Backhoe/Loader-Tool Carrier

Machine Year & Make _____ Model # _____

Machine Price \$ _____

Less Trade (2006 Ditch Witch) \$ _____

Total Bid \$ _____

(Amount written out fully)

If the City places an order with my firm for the specified equipment, I hereby certify I will deliver a new unit on or before:

_____ Which meets the above specifications.
Month Day Year

Signature of Bidder: _____

Name of Bidder: _____

Company Represented by Bidder: _____

Address of Bidder: _____

Telephone Number of Bidder: _____

MAILING LIST

For

ONE, COMPACT BACKHOE/LOADER-TOOL CARRIER

Sandberg Implement
160085 Highway 71
Gering, NE 69341

21st Century Equipment LLC
3609 Bison
Scottsbluff, NE 69361

HorizonWest, Inc.
2401 W. 20th
Scottsbluff, NE 69361

Ron's Equipment
906 N HWY 287
Fort Collins, CO 80524.

Murphy Tractor & Equipment
220810 HWY 92
Gering, NE 69341

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Claims1

Regular claims

Staff Contact: Liz Hilyard, Finance Director



Expense Approval Report

By Vendor Name

Post Dates 01/23/2019 - 02/04/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 08979 - A & L INC					
Fund: 111 - GENERAL					
MATERIALS & LABOR - 1611 17...	CONTRACTUAL SERVICES				784.24
				Fund 111 - GENERAL Total:	784.24
				Vendor 08979 - A & L INC Total:	784.24
Vendor: 02583 - ADVANCE AUTO PARTS					
Fund: 212 - TRANSPORTATION					
SUPP - CAR WASH	DEPARTMENT SUPPLIES				14.15
SUPP - SNOW BRUSHES	DEPARTMENT SUPPLIES				47.55
				Fund 212 - TRANSPORTATION Total:	61.70
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.66
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.87
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.50
EQUIP MTNC	EQUIPMENT MAINTENANCE				10.92
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.50
EQUIP MTNC	EQUIPMENT MAINTENANCE				11.68
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.99
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.85
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.87
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.87
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.07
EQUIP MTNC	EQUIPMENT MAINTENANCE				-10.92
EQUIP MTNC	EQUIPMENT MAINTENANCE				-2.87
EQUIP MTNC	EQUIPMENT MAINTENANCE				-2.87
				Fund 725 - CENTRAL GARAGE Total:	33.12
				Vendor 02583 - ADVANCE AUTO PARTS Total:	94.82
Vendor: 05887 - ALLO COMMUNICATIONS,LLC					
Fund: 111 - GENERAL					
LOCAL TELEPHONE CHARGES	TELEPHONE				269.20
LOCAL TELEPHONE CHARGES	TELEPHONE				69.89
LOCAL TELEPHONE CHARGES	TELEPHONE				68.39
LOCAL TELEPHONE CHARGES	TELEPHONE				37.35
LOCAL TELEPHONE CHARGES	TELEPHONE				160.00
LOCAL TELEPHONE CHARGES	TELEPHONE				177.73
LOCAL TELEPHONE CHARGES	TELEPHONE				393.50
LOCAL TELEPHONE CHARGES	TELEPHONE				1,592.75
LOCAL TELEPHONE CHARGES	TELEPHONE				521.40
LOCAL TELEPHONE CHARGES	TELEPHONE				198.93
LOCAL TELEPHONE CHARGES	TELEPHONE				51.91
				Fund 111 - GENERAL Total:	3,541.05
Fund: 212 - TRANSPORTATION					
LOCAL TELEPHONE CHARGES	TELEPHONE				398.40
				Fund 212 - TRANSPORTATION Total:	398.40
Fund: 213 - CEMETERY					
LOCAL TELEPHONE CHARGES	TELEPHONE				69.89
				Fund 213 - CEMETERY Total:	69.89
Fund: 621 - ENVIRONMENTAL SERVICES					
LOCAL TELEPHONE CHARGES	TELEPHONE				163.33
				Fund 621 - ENVIRONMENTAL SERVICES Total:	163.33

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Fund: 631 - WASTEWATER					
LOCAL TELEPHONE CHARGES	TELEPHONE				188.21
Fund 631 - WASTEWATER Total:					188.21
Fund: 641 - WATER					
LOCAL TELEPHONE CHARGES	TELEPHONE				153.34
Fund 641 - WATER Total:					153.34
Fund: 661 - STORMWATER					
LOCAL TELEPHONE CHARGES	TELEPHONE				33.52
Fund 661 - STORMWATER Total:					33.52
Fund: 721 - GIS SERVICES					
LOCAL TELEPHONE CHARGES	TELEPHONE				34.35
Fund 721 - GIS SERVICES Total:					34.35
Fund: 725 - CENTRAL GARAGE					
LOCAL TELEPHONE CHARGES	TELEPHONE				92.45
Fund 725 - CENTRAL GARAGE Total:					92.45
Vendor 05887 - ALLO COMMUNICATIONS,LLC Total:					4,674.54
Vendor: 03711 - AMAZON.COM HEADQUARTERS					
Fund: 111 - GENERAL					
UNIFORMS-PD	UNIFORMS & CLOTHING				46.89
Misc.	AUDIOVISUAL SUPPLIES				125.80
Misc.	BOOKS				361.92
Misc.	PROGRAMMING				68.37
Fund 111 - GENERAL Total:					602.98
Fund: 223 - KENO					
Misc.	DEPARTMENT SUPPLIES				16.28
Fund 223 - KENO Total:					16.28
Vendor 03711 - AMAZON.COM HEADQUARTERS Total:					619.26
Vendor: 00152 - AMERICAN PUBLIC WORKS ASSOCIATION					
Fund: 212 - TRANSPORTATION					
RENEW MEMBERSHIPS FOR M...	MEMBERSHIPS				340.00
Fund 212 - TRANSPORTATION Total:					340.00
Vendor 00152 - AMERICAN PUBLIC WORKS ASSOCIATION Total:					340.00
Vendor: 00295 - B & H INVESTMENTS, INC					
Fund: 111 - GENERAL					
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
Dep. sup.	DEPARTMENT SUPPLIES				40.50
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
Dep. sup.	DEPARTMENT SUPPLIES				40.50
Fund 111 - GENERAL Total:					124.00
Fund: 212 - TRANSPORTATION					
SUPP - WATER	DEPARTMENT SUPPLIES				32.50
Fund 212 - TRANSPORTATION Total:					32.50
Fund: 621 - ENVIRONMENTAL SERVICES					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				17.50
DEPT SUPPLIES	DEPARTMENT SUPPLIES				24.50
DEPT SUPPLIES	DEPARTMENT SUPPLIES				41.50
Fund 621 - ENVIRONMENTAL SERVICES Total:					83.50
Vendor 00295 - B & H INVESTMENTS, INC Total:					240.00
Vendor: 00241 - BAKER & ASSOCIATES INC					
Fund: 223 - KENO					
23 CLUB IMPROVEMENTS	CONTRACTUAL SERVICES				5,400.00
Fund 223 - KENO Total:					5,400.00
Vendor 00241 - BAKER & ASSOCIATES INC Total:					5,400.00

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 00734 - BIRUTA D. WALTON					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				155.00
				Fund 111 - GENERAL Total:	155.00
				Vendor 00734 - BIRUTA D. WALTON Total:	155.00
Vendor: 09716 - BLACK HILLS GAS DISTRIBUTION LLC					
Fund: 111 - GENERAL					
Monthly Energy Bill	HEATING FUEL				508.61
Monthly Energy Bill	HEATING FUEL				375.52
Monthly Energy Bill	HEATING FUEL				164.07
Monthly Energy Bill	HEATING FUEL				375.53
Monthly Energy Bill	HEATING FUEL				505.76
Monthly Energy Bill	HEATING FUEL				734.75
Monthly Energy Bill	HEATING FUEL				126.00
				Fund 111 - GENERAL Total:	2,790.24
Fund: 212 - TRANSPORTATION					
Monthly Energy Bill	HEATING FUEL				1,781.30
				Fund 212 - TRANSPORTATION Total:	1,781.30
Fund: 621 - ENVIRONMENTAL SERVICES					
Monthly Energy Bill	HEATING FUEL				427.08
				Fund 621 - ENVIRONMENTAL SERVICES Total:	427.08
Fund: 641 - WATER					
Monthly Energy Bill	HEATING FUEL				137.18
				Fund 641 - WATER Total:	137.18
Fund: 725 - CENTRAL GARAGE					
Monthly Energy Bill	HEATING FUEL				299.47
				Fund 725 - CENTRAL GARAGE Total:	299.47
				Vendor 09716 - BLACK HILLS GAS DISTRIBUTION LLC Total:	5,435.27
Vendor: 00405 - BLUFFS SANITARY SUPPLY INC.					
Fund: 111 - GENERAL					
Jan. sup.	JANITORIAL SUPPLIES				204.90
Jan. sup.	JANITORIAL SUPPLIES				83.98
				Fund 111 - GENERAL Total:	288.88
				Vendor 00405 - BLUFFS SANITARY SUPPLY INC. Total:	288.88
Vendor: 06553 - BRUNZ, BRANDI					
Fund: 111 - GENERAL					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				25.00
				Fund 111 - GENERAL Total:	25.00
				Vendor 06553 - BRUNZ, BRANDI Total:	25.00
Vendor: 00735 - CAPITAL BUSINESS SYSTEMS INC.					
Fund: 111 - GENERAL					
CONTRACTUAL-PD	CONTRACTUAL SERVICES				38.00
				Fund 111 - GENERAL Total:	38.00
				Vendor 00735 - CAPITAL BUSINESS SYSTEMS INC. Total:	38.00
Vendor: 00612 - CARLSON, DEBRA					
Fund: 111 - GENERAL					
Reim.	BUSINESS TRAVEL				26.86
				Fund 111 - GENERAL Total:	26.86
				Vendor 00612 - CARLSON, DEBRA Total:	26.86
Vendor: 07911 - CELLCO PARTNERSHIP					
Fund: 111 - GENERAL					
MURPHY CELLPHONE AND TRU...	CELLULAR PHONE				260.87
MOBILE CMD WIFI	DEPARTMENT SUPPLIES				43.53

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
CELL PHONES-PD	TELEPHONE				1,125.04
				Fund 111 - GENERAL Total:	1,429.44
				Vendor 07911 - CELLCO PARTNERSHIP Total:	1,429.44
Vendor: 02396 - CITIBANK N.A.					
Fund: 111 - GENERAL					
DEPT SUPP PK	DEPARTMENT SUPPLIES				81.31
				Fund 111 - GENERAL Total:	81.31
Fund: 212 - TRANSPORTATION					
SUPP - INK CARTRIDGES	DEPARTMENT SUPPLIES				23.99
SUPP - DRI WIPE MARKERS	DEPARTMENT SUPPLIES				13.98
SUPP - TIME CLOCK RIBBON	DEPARTMENT SUPPLIES				21.59
				Fund 212 - TRANSPORTATION Total:	59.56
Fund: 213 - CEMETERY					
DEPT SUPP CEM	DEPARTMENT SUPPLIES				12.49
				Fund 213 - CEMETERY Total:	12.49
Fund: 621 - ENVIRONMENTAL SERVICES					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				154.94
DEPT SUPPLIES	DEPARTMENT SUPPLIES				33.91
DEPT SUPPLIES	DEPARTMENT SUPPLIES				25.98
				Fund 621 - ENVIRONMENTAL SERVICES Total:	214.83
Fund: 631 - WASTEWATER					
DEPT SUP	DEPARTMENT SUPPLIES				161.56
DEPT SUP	DEPARTMENT SUPPLIES				23.99
				Fund 631 - WASTEWATER Total:	185.55
Fund: 641 - WATER					
DEPT SUP	DEPARTMENT SUPPLIES				161.56
				Fund 641 - WATER Total:	161.56
				Vendor 02396 - CITIBANK N.A. Total:	715.30
Vendor: 05859 - CITIBANK, N.A.					
Fund: 111 - GENERAL					
BLDG MAINT REC	BUILDING MAINTENANCE				58.20
BLDG MAINT REC	BUILDING MAINTENANCE				10.67
				Fund 111 - GENERAL Total:	68.87
Fund: 213 - CEMETERY					
DEPT SUPP CEM	DEPARTMENT SUPPLIES				12.70
				Fund 213 - CEMETERY Total:	12.70
				Vendor 05859 - CITIBANK, N.A. Total:	81.57
Vendor: 00367 - CITY OF SCB					
Fund: 111 - GENERAL					
POSTAGE/CIP PO HUMANE VEH	POSTAGE				28.70
				Fund 111 - GENERAL Total:	28.70
Fund: 218 - PUBLIC SAFETY					
POSTAGE/CIP PO HUMANE VEH	EQUIPMENT				20.00
				Fund 218 - PUBLIC SAFETY Total:	20.00
				Vendor 00367 - CITY OF SCB Total:	48.70
Vendor: 10013 - COLE TOOL DISTRIBUTORSLLC					
Fund: 725 - CENTRAL GARAGE					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				144.69
DEPT SUPPLIES	DEPARTMENT SUPPLIES				239.95
				Fund 725 - CENTRAL GARAGE Total:	384.64
				Vendor 10013 - COLE TOOL DISTRIBUTORSLLC Total:	384.64
Vendor: 03010 - COLONIAL LIFE & ACCIDENT INSURANCE COMPANY					
Fund: 713 - CASH & INVESTMENT POOL					
SUPPLEMENTAL INS	LIFE INS EE PAYABLE				22.75

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
SUPPLEMENTAL INS	DIS INC INS EE PAYABLE				25.95
				Fund 713 - CASH & INVESTMENT POOL Total:	48.70
				Vendor 03010 - COLONIAL LIFE & ACCIDENT INSURANCE COMPANY Total:	48.70
Vendor: 02995 - CONSOLIDATED MANAGEMENT COMPANY					
Fund: 111 - GENERAL					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				97.36
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				76.19
				Fund 111 - GENERAL Total:	173.55
				Vendor 02995 - CONSOLIDATED MANAGEMENT COMPANY Total:	173.55
Vendor: 00267 - CONTRACTORS MATERIALS INC.					
Fund: 111 - GENERAL					
DEPT SUPP PK	DEPARTMENT SUPPLIES				34.30
				Fund 111 - GENERAL Total:	34.30
Fund: 621 - ENVIRONMENTAL SERVICES					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				31.36
				Fund 621 - ENVIRONMENTAL SERVICES Total:	31.36
				Vendor 00267 - CONTRACTORS MATERIALS INC. Total:	65.66
Vendor: 09824 - CORE & MAIN LP					
Fund: 111 - GENERAL					
BLDG MAINT REC	BUILDING MAINTENANCE				2,543.75
				Fund 111 - GENERAL Total:	2,543.75
Fund: 641 - WATER					
EQUIPMENT	EQUIPMENT				46,420.00
METERS	METERS				341.82
METERS	METERS				1,541.36
METERS	METERS				987.48
METERS	METERS				791.25
METERS	METERS				1,332.47
METERS	METERS				1,205.87
METERS	METERS				256.37
				Fund 641 - WATER Total:	52,876.62
				Vendor 09824 - CORE & MAIN LP Total:	55,420.37
Vendor: 10012 - CREATIVE COMPANY					
Fund: 111 - GENERAL					
Bks.	BOOKS				476.29
				Fund 111 - GENERAL Total:	476.29
				Vendor 10012 - CREATIVE COMPANY Total:	476.29
Vendor: 06564 - CREDIT MANAGEMENT SERVICES INC.					
Fund: 713 - CASH & INVESTMENT POOL					
WAGE ATTACHMENT	WAGE ATTACHMENT EE PAY				218.06
				Fund 713 - CASH & INVESTMENT POOL Total:	218.06
				Vendor 06564 - CREDIT MANAGEMENT SERVICES INC. Total:	218.06
Vendor: 09767 - CROELL INC					
Fund: 641 - WATER					
DEPT SUP	DEPARTMENT SUPPLIES				264.83
				Fund 641 - WATER Total:	264.83
				Vendor 09767 - CROELL INC Total:	264.83
Vendor: 07689 - CYNTHIA GREEN					
Fund: 111 - GENERAL					
DEPT SUPP ADM	DEPARTMENT SUPPLIES				171.17
DEPT SUPP	DEPARTMENT SUPPLIES				28.69
				Fund 111 - GENERAL Total:	199.86
				Vendor 07689 - CYNTHIA GREEN Total:	199.86

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 03321 - DALE'S TIRE & RETREADING, INC.					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				64.00
				Fund 111 - GENERAL Total:	64.00
Fund: 621 - ENVIRONMENTAL SERVICES					
EQUIP MTNC	EQUIPMENT MAINTENANCE				30.13
				Fund 621 - ENVIRONMENTAL SERVICES Total:	30.13
				Vendor 03321 - DALE'S TIRE & RETREADING, INC. Total:	94.13
Vendor: 00404 - DAS STATE ACCOUNTING-CENTRAL FINANCE					
Fund: 111 - GENERAL					
Monthly Long Distance	TELEPHONE				5.91
Monthly Long Distance	TELEPHONE				3.88
Monthly Long Distance	TELEPHONE				1.00
Monthly Long Distance	TELEPHONE				5.26
Monthly Long Distance	TELEPHONE				3.63
Monthly Long Distance	TELEPHONE				8.15
Monthly Long Distance	TELEPHONE				38.21
Monthly Long Distance	TELEPHONE				14.52
Monthly Long Distance	TELEPHONE				2.68
Monthly Long Distance	TELEPHONE				2.35
LONG DISTANCE	TELEPHONE				3.45
				Fund 111 - GENERAL Total:	89.04
Fund: 212 - TRANSPORTATION					
Monthly Long Distance	TELEPHONE				8.16
				Fund 212 - TRANSPORTATION Total:	8.16
Fund: 213 - CEMETERY					
Monthly Long Distance	TELEPHONE				1.91
				Fund 213 - CEMETERY Total:	1.91
Fund: 224 - ECONOMIC DEVELOPMENT					
Monthly Long Distance	TELEPHONE				10.21
				Fund 224 - ECONOMIC DEVELOPMENT Total:	10.21
Fund: 621 - ENVIRONMENTAL SERVICES					
Monthly Long Distance	TELEPHONE				2.90
				Fund 621 - ENVIRONMENTAL SERVICES Total:	2.90
Fund: 631 - WASTEWATER					
Monthly Long Distance	TELEPHONE				2.68
				Fund 631 - WASTEWATER Total:	2.68
Fund: 641 - WATER					
Monthly Long Distance	TELEPHONE				1.94
				Fund 641 - WATER Total:	1.94
Fund: 661 - STORMWATER					
Monthly Long Distance	TELEPHONE				9.08
				Fund 661 - STORMWATER Total:	9.08
Fund: 721 - GIS SERVICES					
Monthly Long Distance	TELEPHONE				0.49
				Fund 721 - GIS SERVICES Total:	0.49
Fund: 725 - CENTRAL GARAGE					
Monthly Long Distance	TELEPHONE				3.82
				Fund 725 - CENTRAL GARAGE Total:	3.82
				Vendor 00404 - DAS STATE ACCOUNTING-CENTRAL FINANCE Total:	130.23
Vendor: 07421 - DUANE E. WOHLERS					
Fund: 621 - ENVIRONMENTAL SERVICES					
DISPOSAL FEES	DISPOSAL FEES				800.00
				Fund 621 - ENVIRONMENTAL SERVICES Total:	800.00
				Vendor 07421 - DUANE E. WOHLERS Total:	800.00

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 01003 - ELLIOTT EQUIPMENT COMPANY INC.					
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				318.55
				Fund 725 - CENTRAL GARAGE Total:	318.55
				Vendor 01003 - ELLIOTT EQUIPMENT COMPANY INC. Total:	318.55
Vendor: 09477 - ENVISIONWARE, INC					
Fund: 111 - GENERAL					
Cont. srvc.	CONTRACTUAL SERVICES				924.15
				Fund 111 - GENERAL Total:	924.15
				Vendor 09477 - ENVISIONWARE, INC Total:	924.15
Vendor: 02460 - FASTENAL COMPANY					
Fund: 111 - GENERAL					
EQUIP MAINT REC	EQUIPMENT MAINTENANCE				590.42
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				40.39
				Fund 111 - GENERAL Total:	630.81
Fund: 212 - TRANSPORTATION					
SUPP - SCREWS	DEPARTMENT SUPPLIES				41.55
SAFETY VESTS	UNIFORMS & CLOTHING				119.17
				Fund 212 - TRANSPORTATION Total:	160.72
				Vendor 02460 - FASTENAL COMPANY Total:	791.53
Vendor: 07574 - FAT BOYS TIRE AND AUTO					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				317.92
				Fund 111 - GENERAL Total:	317.92
Fund: 212 - TRANSPORTATION					
FLAT REPAIRS FOR LOADER	EQUIPMENT MAINTENANCE				85.00
				Fund 212 - TRANSPORTATION Total:	85.00
				Vendor 07574 - FAT BOYS TIRE AND AUTO Total:	402.92
Vendor: 00548 - FEDERAL EXPRESS CORPORATION					
Fund: 641 - WATER					
POSTAGE	POSTAGE				210.08
				Fund 641 - WATER Total:	210.08
				Vendor 00548 - FEDERAL EXPRESS CORPORATION Total:	210.08
Vendor: 00794 - FLOYD'S TRUCK CENTER, INC					
Fund: 621 - ENVIRONMENTAL SERVICES					
VEHICLE MTNC	VEHICLE MAINTENANCE				4,296.23
				Fund 621 - ENVIRONMENTAL SERVICES Total:	4,296.23
				Vendor 00794 - FLOYD'S TRUCK CENTER, INC Total:	4,296.23
Vendor: 00887 - FYR-TEK INC					
Fund: 111 - GENERAL					
REPAIR BYPASS ON AIRPACK RE...	ELECTRICAL MAINTENANCE				160.00
				Fund 111 - GENERAL Total:	160.00
				Vendor 00887 - FYR-TEK INC Total:	160.00
Vendor: 05600 - GALLS INC					
Fund: 111 - GENERAL					
UNIFORMS-PD	UNIFORMS & CLOTHING				109.98
UNIFORMS-PD	UNIFORMS & CLOTHING				291.93
				Fund 111 - GENERAL Total:	401.91
				Vendor 05600 - GALLS INC Total:	401.91
Vendor: 04977 - GAM & BSM INC.					
Fund: 111 - GENERAL					
VEH MAINT-PD	VEHICLE MAINTENANCE				350.00
				Fund 111 - GENERAL Total:	350.00
				Vendor 04977 - GAM & BSM INC. Total:	350.00

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 00022 - GENERAL ELECTRIC CAPITAL CORPORATION					
Fund: 111 - GENERAL					
Prgm.	PROGRAMMING				56.84
DIESEL EXHAUST FLUID	DEPARTMENT SUPPLIES				71.40
BAKING SODA FOR HAZMAT TR...	DEPARTMENT SUPPLIES				11.76
Prgm.	PROGRAMMING				21.64
FOAM PLATES	DEPARTMENT SUPPLIES				5.17
DEPT SUPP ADM	DEPARTMENT SUPPLIES				15.42
DEPT SUPP ADM	DEPARTMENT SUPPLIES				29.88
Prgm.	PROGRAMMING				20.48
Dep. sup. & Prgm.	DEPARTMENT SUPPLIES				33.60
Dep. sup. & Prgm.	PROGRAMMING				26.95
Fund 111 - GENERAL Total:					293.14
Vendor 00022 - GENERAL ELECTRIC CAPITAL CORPORATION Total:					293.14
Vendor: 04371 - HAWKINS, INC.					
Fund: 641 - WATER					
CHEMICALS	CHEMICALS				570.15
Fund 641 - WATER Total:					570.15
Vendor 04371 - HAWKINS, INC. Total:					570.15
Vendor: 04299 - HD SUPPLY FACILITIES MAINTENANCE LTD					
Fund: 631 - WASTEWATER					
DEPT SUP	DEPARTMENT SUPPLIES				495.29
Fund 631 - WASTEWATER Total:					495.29
Vendor 04299 - HD SUPPLY FACILITIES MAINTENANCE LTD Total:					495.29
Vendor: 00299 - HULLINGER GLASS & LOCKS INC.					
Fund: 212 - TRANSPORTATION					
SUPP - LOCKS & KEYS	DEPARTMENT SUPPLIES				178.00
Fund 212 - TRANSPORTATION Total:					178.00
Vendor 00299 - HULLINGER GLASS & LOCKS INC. Total:					178.00
Vendor: 06423 - HYDROTEX PARTNERS, LTD					
Fund: 725 - CENTRAL GARAGE					
OIL & ANTIFREEZE	OIL & ANTIFREEZE				1,259.78
Fund 725 - CENTRAL GARAGE Total:					1,259.78
Vendor 06423 - HYDROTEX PARTNERS, LTD Total:					1,259.78
Vendor: 00525 - IDEAL LAUNDRY AND CLEANERS, INC.					
Fund: 111 - GENERAL					
DEPT SUPP ADM	DEPARTMENT SUPPLIES				52.41
Jan. sup.	JANITORIAL SUPPLIES				89.25
DEPT SUPP	DEPARTMENT SUPPLIES				52.41
Fund 111 - GENERAL Total:					194.07
Fund: 212 - TRANSPORTATION					
SUPP - MATS, TOWELS	DEPARTMENT SUPPLIES				98.20
SUPP - MATS, TOWELS	DEPARTMENT SUPPLIES				31.99
Fund 212 - TRANSPORTATION Total:					130.19
Fund: 621 - ENVIRONMENTAL SERVICES					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				93.41
Fund 621 - ENVIRONMENTAL SERVICES Total:					93.41
Fund: 631 - WASTEWATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				25.00
Fund 631 - WASTEWATER Total:					25.00
Fund: 641 - WATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				25.00
Fund 641 - WATER Total:					25.00
Fund: 725 - CENTRAL GARAGE					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				33.24

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
DEPT SUPPLIES	UNIFORMS & CLOTHING				8.96
UNIFORMS & CLOTHING	DEPARTMENT SUPPLIES				33.24
UNIFORMS & CLOTHING	UNIFORMS & CLOTHING				8.96
Fund 725 - CENTRAL GARAGE Total:					84.40
Vendor 00525 - IDEAL LAUNDRY AND CLEANERS, INC. Total:					552.07
Vendor: 09291 - INGRAM LIBRARY SERVICES INC					
Fund: 111 - GENERAL					
Bks.	BOOKS				78.68
Bks.	BOOKS				75.14
Bks.	BOOKS				125.25
Fund 111 - GENERAL Total:					279.07
Fund: 211 - REGIONAL LIBRARY					
Bks.	BOOKS				19.74
Fund 211 - REGIONAL LIBRARY Total:					19.74
Vendor 09291 - INGRAM LIBRARY SERVICES INC Total:					298.81
Vendor: 08154 - INTERNAL REVENUE SERVICE					
Fund: 713 - CASH & INVESTMENT POOL					
WITHHOLDINGS	MEDICARE W/H EE PAYABLE				3,524.14
WITHHOLDINGS	MEDICARE W/H EE PAYABLE				3,524.14
WITHHOLDINGS	FICA W/H EE PAYABLE				13,051.11
WITHHOLDINGS	FICA W/H EE PAYABLE				13,051.11
WITHHOLDINGS	FED W/H EE PAYABLE				19,863.85
Fund 713 - CASH & INVESTMENT POOL Total:					53,014.35
Vendor 08154 - INTERNAL REVENUE SERVICE Total:					53,014.35
Vendor: 00534 - INT'L INST OF MUNC CLKs					
Fund: 111 - GENERAL					
MEMBERSHIP - C.BURBACH	MEMBERSHIPS				110.00
Fund 111 - GENERAL Total:					110.00
Vendor 00534 - INT'L INST OF MUNC CLKs Total:					110.00
Vendor: 05696 - INVENTIVE WIRELESS OF NE, LLC					
Fund: 111 - GENERAL					
CONTRACTUAL CG	CONTRACTUAL SERVICES				17.95
Fund 111 - GENERAL Total:					17.95
Vendor 05696 - INVENTIVE WIRELESS OF NE, LLC Total:					17.95
Vendor: 06131 - JOHN DEERE FINANCIAL					
Fund: 111 - GENERAL					
DEPT SUPP PK	DEPARTMENT SUPPLIES				34.99
Fund 111 - GENERAL Total:					34.99
Fund: 212 - TRANSPORTATION					
PROPANE FOR FORKLIFT	OTHER FUEL				31.90
Fund 212 - TRANSPORTATION Total:					31.90
Fund: 725 - CENTRAL GARAGE					
UNIFORMS & CLOTHING	UNIFORMS & CLOTHING				183.95
Fund 725 - CENTRAL GARAGE Total:					183.95
Vendor 06131 - JOHN DEERE FINANCIAL Total:					250.84
Vendor: 08067 - JOHN DEERE FINANCIAL					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				21.05
DEPT SUPP PK	DEPARTMENT SUPPLIES				35.17
Fund 111 - GENERAL Total:					56.22
Fund: 213 - CEMETERY					
UNIFORM & CLOTHING CEM	UNIFORMS & CLOTHING				144.96
Fund 213 - CEMETERY Total:					144.96
Vendor 08067 - JOHN DEERE FINANCIAL Total:					201.18

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 09474 - JOHN DEERE FINANCIAL					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				65.13
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				104.42
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				12.82
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				74.51
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				112.18
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				219.58
Fund 111 - GENERAL Total:					588.64
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				74.37
Fund 725 - CENTRAL GARAGE Total:					74.37
Vendor 09474 - JOHN DEERE FINANCIAL Total:					663.01
Vendor: 01333 - KIESEL, ROB					
Fund: 111 - GENERAL					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				15.00
Fund 111 - GENERAL Total:					15.00
Vendor 01333 - KIESEL, ROB Total:					15.00
Vendor: 10010 - KIESLER POLICE SUPPLY INC					
Fund: 218 - PUBLIC SAFETY					
CIP-PO-PATROL CARS	EQUIPMENT				21.25
Fund 218 - PUBLIC SAFETY Total:					21.25
Vendor 10010 - KIESLER POLICE SUPPLY INC Total:					21.25
Vendor: 09747 - KNOW HOW LLC					
Fund: 111 - GENERAL					
SOLENOID FOR FIRE PUMP	DEPARTMENT SUPPLIES				16.24
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				14.15
Fund 111 - GENERAL Total:					30.39
Fund: 213 - CEMETERY					
EQUIP MAINT CEM	EQUIPMENT MAINTENANCE				17.64
Fund 213 - CEMETERY Total:					17.64
Fund: 621 - ENVIRONMENTAL SERVICES					
equip mtnc	EQUIPMENT MAINTENANCE				15.31
EQUIP MTNC	DEPARTMENT SUPPLIES				130.40
DEPT SUPPLIES	DEPARTMENT SUPPLIES				34.53
DEPT SUPPLIES	DEPARTMENT SUPPLIES				51.12
Fund 621 - ENVIRONMENTAL SERVICES Total:					231.36
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				195.50
EQUIP MTNC	EQUIPMENT MAINTENANCE				40.03
DEPT SUPPLIES	DEPARTMENT SUPPLIES				9.56
EQUIP MTNC	EQUIPMENT MAINTENANCE				16.96
EQUIP MTNC	EQUIPMENT MAINTENANCE				19.82
EQUIP MTNC	EQUIPMENT MAINTENANCE				19.82
EQUIP MTNC	EQUIPMENT MAINTENANCE				10.67
EQUIP MTNC	EQUIPMENT MAINTENANCE				32.68
EQUIP MTNC	EQUIPMENT MAINTENANCE				7.61
EQUIP MTNC	EQUIPMENT MAINTENANCE				6.05
EQUIP MTNC	EQUIPMENT MAINTENANCE				10.67
EQUIP MTNC	EQUIPMENT MAINTENANCE				-195.50
Fund 725 - CENTRAL GARAGE Total:					173.87
Vendor 09747 - KNOW HOW LLC Total:					453.26

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 05991 - KOVARIK, ELLISON & MATHIS PC					
Fund: 641 - WATER					
LEGAL FEES	LEGAL FEES				822.50
				Fund 641 - WATER Total:	822.50
				Vendor 05991 - KOVARIK, ELLISON & MATHIS PC Total:	822.50
Vendor: 09872 - KRIZ DAVIS					
Fund: 111 - GENERAL					
BLDG MAINT PK	BUILDING MAINTENANCE				24.87
				Fund 111 - GENERAL Total:	24.87
Fund: 212 - TRANSPORTATION					
SUPP - BULBS	DEPARTMENT SUPPLIES				87.90
				Fund 212 - TRANSPORTATION Total:	87.90
				Vendor 09872 - KRIZ DAVIS Total:	112.77
Vendor: 04892 - LEAGUE ASSOCIATION OF RISK MANAGEMENT					
Fund: 111 - GENERAL					
MOTOR VEHICLE INS. - ADD 20...	VEHICLE INSURANCE				98.35
WC DEDUCTIBLE REIMB. 10/1/1...	WORKERS COMPENSATION				151.16
				Fund 111 - GENERAL Total:	249.51
Fund: 621 - ENVIRONMENTAL SERVICES					
WC DEDUCTIBLE REIMB. 10/1/1...	WORKERS COMPENSATION				465.00
				Fund 621 - ENVIRONMENTAL SERVICES Total:	465.00
Fund: 725 - CENTRAL GARAGE					
WC DEDUCTIBLE REIMB. 10/1/1...	WORKERS COMPENSATION				1,000.00
				Fund 725 - CENTRAL GARAGE Total:	1,000.00
				Vendor 04892 - LEAGUE ASSOCIATION OF RISK MANAGEMENT Total:	1,714.51
Vendor: 06603 - LINCOLN DODGE INC					
Fund: 218 - PUBLIC SAFETY					
CIP-HUMANE OFFICER VEH	EQUIPMENT				22,094.00
				Fund 218 - PUBLIC SAFETY Total:	22,094.00
				Vendor 06603 - LINCOLN DODGE INC Total:	22,094.00
Vendor: 10014 - LOMBARD MATTHEW					
Fund: 111 - GENERAL					
EQUIP MAINT-PD	EQUIPMENT MAINTENANCE				371.50
				Fund 111 - GENERAL Total:	371.50
				Vendor 10014 - LOMBARD MATTHEW Total:	371.50
Vendor: 09849 - LUCKINBILL BENJAMIN					
Fund: 111 - GENERAL					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				25.00
				Fund 111 - GENERAL Total:	25.00
				Vendor 09849 - LUCKINBILL BENJAMIN Total:	25.00
Vendor: 10015 - LUIKENS WELL & PUMP SERVICES INC					
Fund: 631 - WASTEWATER					
EQUIPMENT	EQUIPMENT				23,150.22
				Fund 631 - WASTEWATER Total:	23,150.22
				Vendor 10015 - LUIKENS WELL & PUMP SERVICES INC Total:	23,150.22
Vendor: 07838 - MAILFINANCE INC					
Fund: 111 - GENERAL					
MONTHLY LEASE	RENT-MACHINES				148.76
Cont. srvc.	CONTRACTUAL SERVICES				366.00
				Fund 111 - GENERAL Total:	514.76
				Vendor 07838 - MAILFINANCE INC Total:	514.76
Vendor: 07628 - MENARDS, INC					
Fund: 111 - GENERAL					
BLDG MAINT REC	BUILDING MAINTENANCE				186.29

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
WORKLIGHT FOR FIRE INVESTI...	DEPARTMENT SUPPLIES				39.99
BOLTS AND WASHERS FOR BRU...	DEPARTMENT SUPPLIES				36.44
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				21.96
SUPPLIES TO MOUNT BOXES ON...	DEPARTMENT SUPPLIES				28.13
BLDG MAINT REC	BUILDING MAINTENANCE				5.19
WORKLIGHT FOR FIRE INVESTI...	DEPARTMENT SUPPLIES				39.99
1/4" PLUGS FOR FIRE PUMP- B...	DEPARTMENT SUPPLIES				7.47
DEPT SUPP PK	DEPARTMENT SUPPLIES				45.98
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				34.90
Fund 111 - GENERAL Total:					446.34
Fund: 212 - TRANSPORTATION					
SUPP - CUTTER, PUSH BROOM, ...	DEPARTMENT SUPPLIES				102.82
SUPP - TRASH BAGS	DEPARTMENT SUPPLIES				15.94
SUPPLIES - TOTE	DEPARTMENT SUPPLIES				5.99
Fund 212 - TRANSPORTATION Total:					124.75
Fund: 641 - WATER					
DEPT SUP	DEPARTMENT SUPPLIES				46.89
DEPT SUP	DEPARTMENT SUPPLIES				50.76
Fund 641 - WATER Total:					97.65
Vendor 07628 - MENARDS, INC Total:					668.74
Vendor: 07788 - MUNICIPAL EMERGENCY SERVICES INC					
Fund: 111 - GENERAL					
THERMAL IMAGER CAMERA BA...	DEPARTMENT SUPPLIES				90.00
Fund 111 - GENERAL Total:					90.00
Vendor 07788 - MUNICIPAL EMERGENCY SERVICES INC Total:					90.00
Vendor: 04082 - NE CHILD SUPPORT PAYMENT CENTER					
Fund: 713 - CASH & INVESTMENT POOL					
NE CHILD SUPPORT PYBLE	CHILD SUPPORT EE PAY				1,350.55
Fund 713 - CASH & INVESTMENT POOL Total:					1,350.55
Vendor 04082 - NE CHILD SUPPORT PAYMENT CENTER Total:					1,350.55
Vendor: 08083 - NE COLORADO CELLULAR, INC					
Fund: 631 - WASTEWATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				16.38
Fund 631 - WASTEWATER Total:					16.38
Fund: 641 - WATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				59.14
Fund 641 - WATER Total:					59.14
Vendor 08083 - NE COLORADO CELLULAR, INC Total:					75.52
Vendor: 05373 - NEBRASKA SAFETY & FIRE EQUIPEMENT INC.					
Fund: 111 - GENERAL					
Equip. main.	EQUIPMENT MAINTENANCE				7.00
Fund 111 - GENERAL Total:					7.00
Fund: 621 - ENVIRONMENTAL SERVICES					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				264.00
Fund 621 - ENVIRONMENTAL SERVICES Total:					264.00
Vendor 05373 - NEBRASKA SAFETY & FIRE EQUIPEMENT INC. Total:					271.00
Vendor: 09867 - NEBRASKA DIPLOMATS					
Fund: 224 - ECONOMIC DEVELOPMENT					
MEMBERSHIP DUES - STARR LE...	MEMBERSHIPS				350.00
Fund 224 - ECONOMIC DEVELOPMENT Total:					350.00
Vendor 09867 - NEBRASKA DIPLOMATS Total:					350.00
Vendor: 00402 - NEBRASKA MACHINERY CO					
Fund: 641 - WATER					
EQUIP MAINT	EQUIPMENT MAINTENANCE				282.21

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
EQUIP MAINT	EQUIPMENT MAINTENANCE				87.59
				Fund 641 - WATER Total:	369.80
				Vendor 00402 - NEBRASKA MACHINERY CO Total:	369.80
Vendor: 00578 - NEBRASKA PUBLIC POWER DISTRICT					
Fund: 631 - WASTEWATER					
ELECTRICITY	ELECTRIC POWER				16,275.59
ELECTRICITY	ELECTRIC POWER				268.07
				Fund 631 - WASTEWATER Total:	16,543.66
Fund: 641 - WATER					
ELECTRICITY	ELECTRIC POWER				2,407.70
ELECTRICITY	ELECTRIC POWER				4,552.70
				Fund 641 - WATER Total:	6,960.40
				Vendor 00578 - NEBRASKA PUBLIC POWER DISTRICT Total:	23,504.06
Vendor: 09555 - NELSON TRENT					
Fund: 725 - CENTRAL GARAGE					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				103.00
				Fund 725 - CENTRAL GARAGE Total:	103.00
				Vendor 09555 - NELSON TRENT Total:	103.00
Vendor: 09409 - NETWORKFLEET, INC					
Fund: 631 - WASTEWATER					
DEPT SUP	DEPARTMENT SUPPLIES				120.92
				Fund 631 - WASTEWATER Total:	120.92
				Vendor 09409 - NETWORKFLEET, INC Total:	120.92
Vendor: 04453 - NORTHERN SAFETY COMPANY, INC.					
Fund: 631 - WASTEWATER					
DEPT SUP	DEPARTMENT SUPPLIES				86.70
				Fund 631 - WASTEWATER Total:	86.70
				Vendor 04453 - NORTHERN SAFETY COMPANY, INC. Total:	86.70
Vendor: 00285 - OREGON TRAIL PLUMBING, HEATING & COOLING INC					
Fund: 111 - GENERAL					
BLDG MAINT REC	BUILDING MAINTENANCE				623.00
BLDG MAINT-PD	BUILDING MAINTENANCE				208.50
BLDG MAINT-PD	BUILDING MAINTENANCE				208.50
				Fund 111 - GENERAL Total:	1,040.00
				Vendor 00285 - OREGON TRAIL PLUMBING, HEATING & COOLING INC Total:	1,040.00
Vendor: 03039 - PANHANDLE COLLECTIONS INC					
Fund: 713 - CASH & INVESTMENT POOL					
WAGE ATTACHMENT	WAGE ATTACHMENT EE PAY				194.92
				Fund 713 - CASH & INVESTMENT POOL Total:	194.92
				Vendor 03039 - PANHANDLE COLLECTIONS INC Total:	194.92
Vendor: 00487 - PANHANDLE ENVIRONMENTAL SERVICES INC					
Fund: 631 - WASTEWATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				90.50
				Fund 631 - WASTEWATER Total:	90.50
Fund: 641 - WATER					
SAMPLES	SAMPLES				80.00
SAMPLES	SAMPLES				80.00
SAMPLES	SAMPLES				44.00
				Fund 641 - WATER Total:	204.00
				Vendor 00487 - PANHANDLE ENVIRONMENTAL SERVICES INC Total:	294.50

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 00017 - PANHANDLE HUMANE SOCIETY					
Fund: 111 - GENERAL					
CONTRACTUAL	CONTRACTUAL SERVICES				5,174.59
				Fund 111 - GENERAL Total:	5,174.59
				Vendor 00017 - PANHANDLE HUMANE SOCIETY Total:	5,174.59
Vendor: 00029 - PELCO CORP					
Fund: 111 - GENERAL					
ENGRAVED PLATES - COUNCIL P...	DEPARTMENT SUPPLIES				53.80
				Fund 111 - GENERAL Total:	53.80
				Vendor 00029 - PELCO CORP Total:	53.80
Vendor: 01276 - PLATTE VALLEY BANK					
Fund: 661 - STORMWATER					
PURCH 1306 E OVERLAND - SB ...	STRUCTURES				47,816.06
				Fund 661 - STORMWATER Total:	47,816.06
Fund: 713 - CASH & INVESTMENT POOL					
HSA SAVING	HSA EE PAYABLE				9,964.26
				Fund 713 - CASH & INVESTMENT POOL Total:	9,964.26
				Vendor 01276 - PLATTE VALLEY BANK Total:	57,780.32
Vendor: 00272 - POSTMASTER					
Fund: 621 - ENVIRONMENTAL SERVICES					
Postage	POSTAGE				84.42
Postage	POSTAGE				117.96
				Fund 621 - ENVIRONMENTAL SERVICES Total:	202.38
Fund: 631 - WASTEWATER					
Postage	POSTAGE				84.42
Postage	POSTAGE				117.96
				Fund 631 - WASTEWATER Total:	202.38
Fund: 641 - WATER					
Postage	POSTAGE				84.43
Postage	POSTAGE				117.97
				Fund 641 - WATER Total:	202.40
				Vendor 00272 - POSTMASTER Total:	607.16
Vendor: 00796 - POWERPLAN					
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				152.97
				Fund 725 - CENTRAL GARAGE Total:	152.97
				Vendor 00796 - POWERPLAN Total:	152.97
Vendor: 00075 - PROTEX CENTRAL, INC.					
Fund: 111 - GENERAL					
CONTRACTUAL	CONTRACTUAL SERVICES				198.00
				Fund 111 - GENERAL Total:	198.00
				Vendor 00075 - PROTEX CENTRAL, INC. Total:	198.00
Vendor: 00266 - QUILL CORPORATION					
Fund: 111 - GENERAL					
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				15.05
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				209.21
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				15.05
				Fund 111 - GENERAL Total:	239.31
				Vendor 00266 - QUILL CORPORATION Total:	239.31
Vendor: 04576 - REGANIS AUTO CENTER, INC					
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				222.70
				Fund 725 - CENTRAL GARAGE Total:	222.70
				Vendor 04576 - REGANIS AUTO CENTER, INC Total:	222.70

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 04089 - REGIONAL CARE INC					
Fund: 812 - HEALTH INSURANCE					
HEALTH INSURANCE PREMIUMS.. PREMIUM EXPENSE					33,052.26
FLEX FUNDING	FLEXIBLE BENFT EXPENSES				222.30
				Fund 812 - HEALTH INSURANCE Total:	33,274.56
				Vendor 04089 - REGIONAL CARE INC Total:	33,274.56
Vendor: 09973 - ROD CLAUSE					
Fund: 224 - ECONOMIC DEVELOPMENT					
LB840 GRANT	ECONOMIC DEVELOPMENT				635.13
				Fund 224 - ECONOMIC DEVELOPMENT Total:	635.13
				Vendor 09973 - ROD CLAUSE Total:	635.13
Vendor: 00366 - ROOSEVELT PUBLIC POWER DISTRICT					
Fund: 641 - WATER					
ELECTRIC POWER	ELECTRIC POWER				1,801.07
				Fund 641 - WATER Total:	1,801.07
				Vendor 00366 - ROOSEVELT PUBLIC POWER DISTRICT Total:	1,801.07
Vendor: 09997 - RURAL HEALTH DEVELOPMENT, INC.					
Fund: 224 - ECONOMIC DEVELOPMENT					
ECONOMIC DEV	ECONOMIC DEVELOPMENT				6,383.33
				Fund 224 - ECONOMIC DEVELOPMENT Total:	6,383.33
				Vendor 09997 - RURAL HEALTH DEVELOPMENT, INC. Total:	6,383.33
Vendor: 00026 - S M E C					
Fund: 713 - CASH & INVESTMENT POOL					
EMPL DEDUCTION	SMEC EE PAYABLE				156.50
				Fund 713 - CASH & INVESTMENT POOL Total:	156.50
				Vendor 00026 - S M E C Total:	156.50
Vendor: 01555 - SAFELITE FULFILLMENT, INC					
Fund: 111 - GENERAL					
VEH MAINT-PD	VEHICLE MAINTENANCE				74.98
				Fund 111 - GENERAL Total:	74.98
				Vendor 01555 - SAFELITE FULFILLMENT, INC Total:	74.98
Vendor: 00156 - SAFETYLINE CONSULTANTS, INC					
Fund: 111 - GENERAL					
SCHOOL & CONF	SCHOOL & CONFERENCE				450.00
				Fund 111 - GENERAL Total:	450.00
Fund: 212 - TRANSPORTATION					
FORKLIFT TRAINING	SCHOOL & CONFERENCE				550.00
				Fund 212 - TRANSPORTATION Total:	550.00
Fund: 725 - CENTRAL GARAGE					
SCHOOL & CONFERENCE	SCHOOL & CONFERENCE				100.00
				Fund 725 - CENTRAL GARAGE Total:	100.00
				Vendor 00156 - SAFETYLINE CONSULTANTS, INC Total:	1,100.00
Vendor: 06279 - SALES MIDWEST, INC					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				72.40
				Fund 111 - GENERAL Total:	72.40
				Vendor 06279 - SALES MIDWEST, INC Total:	72.40
Vendor: 00257 - SANDBERG IMPLEMENT, INC					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				42.56
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				7.02
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				74.31
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				40.25
EQUIP MAINT	EQUIPMENT MAINTENANCE				10.00

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				121.04
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				9.33
Fund 111 - GENERAL Total:					304.51
Fund: 621 - ENVIRONMENTAL SERVICES					
EQUIP MTNC	EQUIPMENT MAINTENANCE				293.89
Fund 621 - ENVIRONMENTAL SERVICES Total:					293.89
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				15.94
Fund 725 - CENTRAL GARAGE Total:					15.94
Vendor 00257 - SANDBERG IMPLEMENT, INC Total:					614.34
Vendor: 02531 - SCB FIREFIGHTERS UNION LOCAL 1454					
Fund: 713 - CASH & INVESTMENT POOL					
FIRE EE DUES	FIRE UNION DUES EE PAY				225.00
Fund 713 - CASH & INVESTMENT POOL Total:					225.00
Vendor 02531 - SCB FIREFIGHTERS UNION LOCAL 1454 Total:					225.00
Vendor: 00273 - SCOTTSBLUFF POLICE OFFICERS ASSOCIATION					
Fund: 713 - CASH & INVESTMENT POOL					
POLICE EE DUES	POL UNION DUES EE PAY				576.00
Fund 713 - CASH & INVESTMENT POOL Total:					576.00
Vendor 00273 - SCOTTSBLUFF POLICE OFFICERS ASSOCIATION Total:					576.00
Vendor: 01271 - SCOTTSBLUFF SCREENPRINTING & EMBROIDERY, LLC					
Fund: 111 - GENERAL					
UNIFORMS-PD	UNIFORMS & CLOTHING				77.00
Fund 111 - GENERAL Total:					77.00
Vendor 01271 - SCOTTSBLUFF SCREENPRINTING & EMBROIDERY, LLC Total:					77.00
Vendor: 01439 - SECRETARY OF STATE					
Fund: 412 - LEASE CORPORATION					
NONPROFIT CORP. BIENNIAL RE... CONTRACTUAL SERVICES					20.00
Fund 412 - LEASE CORPORATION Total:					20.00
Vendor 01439 - SECRETARY OF STATE Total:					20.00
Vendor: 00684 - SHERIFF'S OFFICE					
Fund: 111 - GENERAL					
LEGAL FEES-PD	LEGAL FEES				21.66
LEGAL FEES-PD	LEGAL FEES				13.88
LEGAL FEES-PD	LEGAL FEES				22.88
LEGAL FEES-PD	LEGAL FEES				9.00
LEGAL FEES-PD	LEGAL FEES				26.54
LEGAL FEES-PD	LEGAL FEES				9.00
LEGAL FEES-PD	LEGAL FEES				25.32
LEGAL FEES-PD	LEGAL FEES				9.66
Fund 111 - GENERAL Total:					137.94
Vendor 00684 - SHERIFF'S OFFICE Total:					137.94
Vendor: 00513 - SNELL SERVICES INC.					
Fund: 111 - GENERAL					
Equip. main.	EQUIPMENT MAINTENANCE				232.00
Equip. main.	EQUIPMENT MAINTENANCE				1,830.00
DEPT SUPP	DEPARTMENT SUPPLIES				40.00
Fund 111 - GENERAL Total:					2,102.00
Vendor 00513 - SNELL SERVICES INC. Total:					2,102.00
Vendor: 09617 - SOUCIE ANDREW					
Fund: 111 - GENERAL					
SCHOOLS & CONF--PD	SCHOOL & CONFERENCE				15.00
Fund 111 - GENERAL Total:					15.00
Vendor 09617 - SOUCIE ANDREW Total:					15.00

Expense Approval Report

Post Dates: 01/23/2019 - 02/04/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Vendor: 06602 - TAMARA REICHERT					
Fund: 641 - WATER					
RECOG.DINNER AWARD	DEPARTMENT SUPPLIES				73.00
				Fund 641 - WATER Total:	73.00
				Vendor 06602 - TAMARA REICHERT Total:	73.00
Vendor: 01753 - THE ABY MANUFACTURING GROUP, INC					
Fund: 111 - GENERAL					
UNIFORMS-PD	UNIFORMS & CLOTHING				74.50
				Fund 111 - GENERAL Total:	74.50
				Vendor 01753 - THE ABY MANUFACTURING GROUP, INC Total:	74.50
Vendor: 07537 - TRANS IOWA EQUIPMENT LLC					
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				1,523.95
				Fund 725 - CENTRAL GARAGE Total:	1,523.95
				Vendor 07537 - TRANS IOWA EQUIPMENT LLC Total:	1,523.95
Vendor: 08796 - TRI-STATE SPRINKLER SYSTEMS, LLC					
Fund: 641 - WATER					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				158.54
				Fund 641 - WATER Total:	158.54
				Vendor 08796 - TRI-STATE SPRINKLER SYSTEMS, LLC Total:	158.54
Vendor: 00568 - TWIN CITY AUTO, INC					
Fund: 212 - TRANSPORTATION					
CUTTING EDGES FOR SNOW PL...	EQUIPMENT MAINTENANCE				876.66
				Fund 212 - TRANSPORTATION Total:	876.66
Fund: 725 - CENTRAL GARAGE					
EQUIP MTNC	EQUIPMENT MAINTENANCE				14.00
				Fund 725 - CENTRAL GARAGE Total:	14.00
				Vendor 00568 - TWIN CITY AUTO, INC Total:	890.66
Vendor: 08821 - TYLER TECHNOLOGIES, INC					
Fund: 111 - GENERAL					
SOFTWARE MAINTENANCE - IN...	CONTRACTUAL SERVICES				6,153.69
				Fund 111 - GENERAL Total:	6,153.69
Fund: 621 - ENVIRONMENTAL SERVICES					
SOFTWARE MAINTENANCE - IN...	CONTRACTUAL SERVICES				6,153.69
UB ONLINE FEE 2/1/19 - 2/28/19	CONTRACTUAL SERVICES				116.00
				Fund 621 - ENVIRONMENTAL SERVICES Total:	6,269.69
Fund: 631 - WASTEWATER					
SOFTWARE MAINTENANCE - IN...	CONTRACTUAL SERVICES				6,153.69
UB ONLINE FEE 2/1/19 - 2/28/19	CONTRACTUAL SERVICES				116.00
				Fund 631 - WASTEWATER Total:	6,269.69
Fund: 641 - WATER					
SOFTWARE MAINTENANCE - IN...	CONTRACTUAL SERVICES				6,153.68
UB ONLINE FEE 2/1/19 - 2/28/19	CONTRACTUAL SERVICES				116.00
				Fund 641 - WATER Total:	6,269.68
				Vendor 08821 - TYLER TECHNOLOGIES, INC Total:	24,962.75
Vendor: 09865 - UNION BANK & TRUST					
Fund: 111 - GENERAL					
FEES 12/31/18 DEF COMP.	CONTRACTUAL SERVICES				174.00
FEES 12/31/18 FIRE PENSION	CONTRACTUAL SERVICES				631.98
FEES 12/31/18 GENERAL PENSI...	CONTRACTUAL SERVICES				1,027.98
FEES 12/31/18 POLICE PENSION	CONTRACTUAL SERVICES				721.98
				Fund 111 - GENERAL Total:	2,555.94
Fund: 713 - CASH & INVESTMENT POOL					
RETIREMENT	REGULAR RETIRE EE PAY				7,676.16
RETIREMENT	REGULAR RETIRE EE PAY				7,891.08

Expense Approval Report

Post Dates: 01/23/2019 - 02/04/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
RETIREMENT	DEFERRED COMP EE PAY				2,182.24
RETIREMENT	DEFERRED COMP EE PAY				390.00
RETIREMENT	RETIRE FIRE EE PAYABLE				2,419.01
RETIREMENT	RETIRE FIRE EE PAYABLE				4,508.00
RETIREMENT	RETIRE POLICE EE PAY				4,856.21
RETIREMENT	RETIRE POLICE EE PAY				5,253.06
Fund 713 - CASH & INVESTMENT POOL Total:					35,175.76
Vendor 09865 - UNION BANK & TRUST Total:					37,731.70

Vendor: 08828 - US BANK

Fund: 111 - GENERAL

NATIONAL ASSOCIATION OF FIR... MEMBERSHIPS					150.00
SCHOOL & CONF	SCHOOL & CONFERENCE				80.00
SCHOOL & CONF	SCHOOL & CONFERENCE				80.00
SCHOOL & CONF	SCHOOL & CONFERENCE				160.00
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				699.10
USPS SHIPPING ON ANTHONY'S... POSTAGE					7.60
EQUIP MAINT PARK	EQUIPMENT MAINTENANCE				53.98
CFEI EXAMINATION ANTHONY'S...SCHOOL & CONFERENCE					125.00
NITRILE EXAM GLOVES ON ANT... DEPARTMENT SUPPLIES					90.00
NE SOS rpt fee	MEMBERSHIPS				23.00
Prgm.	PROGRAMMING				2.00
UNIFORM COLLAR BRASS	UNIFORMS & CLOTHING				74.10
MEMBERSHIPS-PD	MEMBERSHIPS				120.00
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				100.48
LES LUKERT TRAINING CONFER... SCHOOL & CONFERENCE					195.00
STRAPS FOR ATTACK HOSE	DEPARTMENT SUPPLIES				118.00
GASOLINE-PD	GASOLINE				32.02
GASOLINE-PD	GASOLINE				32.33
GASOLINE-PD	GASOLINE				25.52
GASOLINE-PD	GASOLINE				28.46
GASOLINE-PD	GASOLINE				15.99
MEMBERSHIP-PD	MEMBERSHIPS				120.00
Prgm.	PROGRAMMING				9.98
Fund 111 - GENERAL Total:					2,342.56

Fund: 212 - TRANSPORTATION

REGISTER 5 MEN FOR MOSQUI... SCHOOL & CONFERENCE					400.00
Fund 212 - TRANSPORTATION Total:					400.00

Fund: 224 - ECONOMIC DEVELOPMENT

SCHOOL & CONF	SCHOOL & CONFERENCE				150.00
Fund 224 - ECONOMIC DEVELOPMENT Total:					150.00

Fund: 631 - WASTEWATER

DEPT SUP	DEPARTMENT SUPPLIES				96.57
Fund 631 - WASTEWATER Total:					96.57

Fund: 661 - STORMWATER

CONTRACTUAL SVC	CONTRACTUAL SERVICES				119.64
CONTRACTUAL SVC	CONTRACTUAL SERVICES				4.99
Fund 661 - STORMWATER Total:					124.63
Vendor 08828 - US BANK Total:					3,113.76

Vendor: 00350 - WEST NEBRASKA ARTS CENTER

Fund: 111 - GENERAL

FY18-19 FUNDING	CONTRACTUAL SERVICES				8,000.00
Fund 111 - GENERAL Total:					8,000.00
Vendor 00350 - WEST NEBRASKA ARTS CENTER Total:					8,000.00

Vendor: 09977 - WESTERN STATES FIRE PROTECTION

Fund: 111 - GENERAL

BLDG MAINT-PD	BUILDING MAINTENANCE				1,995.00
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Expense Approval Report

Post Dates: 01/23/2019 - 02/04/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
BLDG MAINT-PD	BUILDING MAINTENANCE				1,995.00
				Fund 111 - GENERAL Total:	3,990.00
				Vendor 09977 - WESTERN STATES FIRE PROTECTION Total:	3,990.00
Vendor: 03709 - WYOMING CHILD SUPPORT ENFORCEMENT					
Fund: 713 - CASH & INVESTMENT POOL					
CHILD SUPPORT	CHILD SUPPORT EE PAY				738.08
				Fund 713 - CASH & INVESTMENT POOL Total:	738.08
				Vendor 03709 - WYOMING CHILD SUPPORT ENFORCEMENT Total:	738.08
Vendor: 07239 - WYOMING FIRST AID & SAFETY SUPPLY, LLC					
Fund: 212 - TRANSPORTATION					
FIRST AID KIT SUPPLIES & EAR P...	DEPARTMENT SUPPLIES				266.76
				Fund 212 - TRANSPORTATION Total:	266.76
				Vendor 07239 - WYOMING FIRST AID & SAFETY SUPPLY, LLC Total:	266.76
Vendor: 09750 - WYOMING WATER DEVELOPMENT OFF					
Fund: 641 - WATER					
PAWS FEASIBILITY STUDY	CONTRACTUAL SERVICES				5,494.75
				Fund 641 - WATER Total:	5,494.75
				Vendor 09750 - WYOMING WATER DEVELOPMENT OFF Total:	5,494.75
Vendor: 03379 - ZM LUMBER INC					
Fund: 111 - GENERAL					
EQUIP MAINT PK	EQUIPMENT MAINTENANCE				8.18
DEPT SUPP PK	DEPARTMENT SUPPLIES				14.25
				Fund 111 - GENERAL Total:	22.43
				Vendor 03379 - ZM LUMBER INC Total:	22.43
				Grand Total:	420,982.60

Report Summary

Fund Summary

Fund	Expense Amount	Payment Amount
111 - GENERAL	52,777.25	0.00
211 - REGIONAL LIBRARY	19.74	0.00
212 - TRANSPORTATION	5,573.50	0.00
213 - CEMETERY	259.59	0.00
218 - PUBLIC SAFETY	22,135.25	0.00
223 - KENO	5,416.28	0.00
224 - ECONOMIC DEVELOPMENT	7,528.67	0.00
412 - LEASE CORPORATION	20.00	0.00
621 - ENVIRONMENTAL SERVICES	13,869.09	202.38
631 - WASTEWATER	47,473.75	202.38
641 - WATER	76,913.63	202.40
661 - STORMWATER	47,983.29	47,816.06
713 - CASH & INVESTMENT POOL	101,662.18	101,662.18
721 - GIS SERVICES	34.84	0.00
725 - CENTRAL GARAGE	6,040.98	0.00
812 - HEALTH INSURANCE	33,274.56	222.30
Grand Total:	420,982.60	150,307.70

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
111-51261-171	WORKERS COMPENSATI...	151.16	0.00
111-52111-111	DEPARTMENT SUPPLIES	331.41	0.00
111-52111-112	DEPARTMENT SUPPLIES	28.69	0.00
111-52111-113	DEPARTMENT SUPPLIES	53.80	0.00
111-52111-121	DEPARTMENT SUPPLIES	29.88	0.00
111-52111-141	DEPARTMENT SUPPLIES	569.64	0.00
111-52111-142	DEPARTMENT SUPPLIES	324.74	0.00
111-52111-143	DEPARTMENT SUPPLIES	43.53	0.00
111-52111-151	DEPARTMENT SUPPLIES	114.60	0.00
111-52111-171	DEPARTMENT SUPPLIES	246.00	0.00
111-52121-151	JANITORIAL SUPPLIES	378.13	0.00
111-52181-141	UNIFORMS & CLOTHING	74.10	0.00
111-52181-142	UNIFORMS & CLOTHING	600.30	0.00
111-52221-151	AUDIOVISUAL SUPPLIES	125.80	0.00
111-52222-151	BOOKS	1,117.28	0.00
111-52223-151	PROGRAMMING	206.26	0.00
111-52311-115	MEMBERSHIPS	110.00	0.00
111-52311-141	MEMBERSHIPS	150.00	0.00
111-52311-142	MEMBERSHIPS	240.00	0.00
111-52311-151	MEMBERSHIPS	23.00	0.00
111-52411-141	POSTAGE	7.60	0.00
111-52411-142	POSTAGE	28.70	0.00
111-52511-142	GASOLINE	134.32	0.00
111-53111-111	CONTRACTUAL SERVICES	198.00	0.00
111-53111-112	CONTRACTUAL SERVICES	1,201.98	0.00
111-53111-116	CONTRACTUAL SERVICES	6,153.69	0.00
111-53111-141	CONTRACTUAL SERVICES	631.98	0.00
111-53111-142	CONTRACTUAL SERVICES	6,718.81	0.00
111-53111-151	CONTRACTUAL SERVICES	1,290.15	0.00
111-53111-171	CONTRACTUAL SERVICES	17.95	0.00
111-53111-172	CONTRACTUAL SERVICES	8,000.00	0.00
111-53211-142	LEGAL FEES	137.94	0.00
111-53421-141	BUILDING MAINTENANCE	2,225.00	0.00
111-53421-142	BUILDING MAINTENANCE	2,225.00	0.00
111-53421-171	BUILDING MAINTENANCE	24.87	0.00
111-53421-172	BUILDING MAINTENANCE	3,427.10	0.00
111-53431-141	ELECTRICAL MAINTENAN...	160.00	0.00

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
111-53441-142	EQUIPMENT MAINTENAN...	371.50	0.00
111-53441-151	EQUIPMENT MAINTENAN...	2,069.00	0.00
111-53441-171	EQUIPMENT MAINTENAN...	1,697.08	0.00
111-53441-172	EQUIPMENT MAINTENAN...	590.42	0.00
111-53451-142	VEHICLE MAINTENANCE	424.98	0.00
111-53521-111	HEATING FUEL	508.61	0.00
111-53521-141	HEATING FUEL	375.52	0.00
111-53521-142	HEATING FUEL	539.60	0.00
111-53521-151	HEATING FUEL	505.76	0.00
111-53521-171	HEATING FUEL	734.75	0.00
111-53521-172	HEATING FUEL	126.00	0.00
111-53561-111	TELEPHONE	275.11	0.00
111-53561-112	TELEPHONE	73.77	0.00
111-53561-114	TELEPHONE	69.39	0.00
111-53561-115	TELEPHONE	42.61	0.00
111-53561-116	TELEPHONE	160.00	0.00
111-53561-121	TELEPHONE	181.36	0.00
111-53561-141	TELEPHONE	401.65	0.00
111-53561-142	TELEPHONE	2,756.00	0.00
111-53561-143	TELEPHONE	3.45	0.00
111-53561-151	TELEPHONE	535.92	0.00
111-53561-171	TELEPHONE	201.61	0.00
111-53561-172	TELEPHONE	54.26	0.00
111-53571-141	CELLULAR PHONE	260.87	0.00
111-53631-111	RENT-MACHINES	148.76	0.00
111-53711-141	SCHOOL & CONFERENCE	320.00	0.00
111-53711-142	SCHOOL & CONFERENCE	952.65	0.00
111-53711-171	SCHOOL & CONFERENCE	770.00	0.00
111-53721-151	BUSINESS TRAVEL	26.86	0.00
111-53841-142	VEHICLE INSURANCE	98.35	0.00
211-52222-151	BOOKS	19.74	0.00
212-52111-212	DEPARTMENT SUPPLIES	982.91	0.00
212-52181-212	UNIFORMS & CLOTHING	119.17	0.00
212-52311-212	MEMBERSHIPS	340.00	0.00
212-52521-212	OTHER FUEL	31.90	0.00
212-53441-212	EQUIPMENT MAINTENAN...	961.66	0.00
212-53521-212	HEATING FUEL	1,781.30	0.00
212-53561-212	TELEPHONE	406.56	0.00
212-53711-212	SCHOOL & CONFERENCE	950.00	0.00
213-52111-213	DEPARTMENT SUPPLIES	25.19	0.00
213-52181-213	UNIFORMS & CLOTHING	144.96	0.00
213-53441-213	EQUIPMENT MAINTENAN...	17.64	0.00
213-53561-213	TELEPHONE	71.80	0.00
218-54411-142	EQUIPMENT	22,135.25	0.00
223-52111-113	DEPARTMENT SUPPLIES	16.28	0.00
223-53111-113	CONTRACTUAL SERVICES	5,400.00	0.00
224-52311-114	MEMBERSHIPS	350.00	0.00
224-53561-113	TELEPHONE	10.21	0.00
224-53711-113	SCHOOL & CONFERENCE	150.00	0.00
224-59111-114	ECONOMIC DEVELOPME...	7,018.46	0.00
412-53111-111	CONTRACTUAL SERVICES	20.00	0.00
621-51261-621	WORKERS COMPENSATI...	465.00	0.00
621-52111-621	DEPARTMENT SUPPLIES	903.15	0.00
621-52411-621	POSTAGE	202.38	202.38
621-53111-621	CONTRACTUAL SERVICES	6,269.69	0.00
621-53193-621	DISPOSAL FEES	800.00	0.00
621-53441-621	EQUIPMENT MAINTENAN...	339.33	0.00
621-53451-621	VEHICLE MAINTENANCE	4,296.23	0.00

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
621-53521-621	HEATING FUEL	427.08	0.00
621-53561-621	TELEPHONE	166.23	0.00
631-52111-631	DEPARTMENT SUPPLIES	985.03	0.00
631-52411-631	POSTAGE	202.38	202.38
631-53111-631	CONTRACTUAL SERVICES	6,401.57	0.00
631-53531-631	ELECTRIC POWER	16,543.66	0.00
631-53561-631	TELEPHONE	190.89	0.00
631-54411-631	EQUIPMENT	23,150.22	0.00
641-52111-641	DEPARTMENT SUPPLIES	597.04	0.00
641-52116-641	METERS	6,456.62	0.00
641-52117-641	SAMPLES	204.00	0.00
641-52411-641	POSTAGE	412.48	202.40
641-52611-641	CHEMICALS	570.15	0.00
641-53111-641	CONTRACTUAL SERVICES	12,007.11	0.00
641-53211-641	LEGAL FEES	822.50	0.00
641-53441-641	EQUIPMENT MAINTENAN...	369.80	0.00
641-53521-641	HEATING FUEL	137.18	0.00
641-53531-641	ELECTRIC POWER	8,761.47	0.00
641-53561-641	TELEPHONE	155.28	0.00
641-54411-641	EQUIPMENT	46,420.00	0.00
661-53111-661	CONTRACTUAL SERVICES	124.63	0.00
661-53561-661	TELEPHONE	42.60	0.00
661-54311-661	STRUCTURES	47,816.06	47,816.06
713-21512	MEDICARE W/H EE PAYAB...	7,048.28	7,048.28
713-21513	FICA W/H EE PAYABLE	26,102.22	26,102.22
713-21514	FED W/H EE PAYABLE	19,863.85	19,863.85
713-21517	POL UNION DUES EE PAY	576.00	576.00
713-21518	FIRE UNION DUES EE PAY	225.00	225.00
713-21523	LIFE INS EE PAYABLE	22.75	22.75
713-21524	SMEC EE PAYABLE	156.50	156.50
713-21527	WAGE ATTACHMENT EE ...	412.98	412.98
713-21528	REGULAR RETIRE EE PAY	15,567.24	15,567.24
713-21529	DEFERRED COMP EE PAY	2,572.24	2,572.24
713-21531	RETIRE FIRE EE PAYABLE	6,927.01	6,927.01
713-21533	RETIRE POLICE EE PAY	10,109.27	10,109.27
713-21534	DIS INC INS EE PAYABLE	25.95	25.95
713-21539	CHILD SUPPORT EE PAY	2,088.63	2,088.63
713-21541	HSA EE PAYABLE	9,964.26	9,964.26
721-53561-721	TELEPHONE	34.84	0.00
725-51261-725	WORKERS COMPENSATI...	1,000.00	0.00
725-52111-725	DEPARTMENT SUPPLIES	563.68	0.00
725-52181-725	UNIFORMS & CLOTHING	201.87	0.00
725-52531-725	OIL & ANTIFREEZE	1,259.78	0.00
725-53441-725	EQUIPMENT MAINTENAN...	2,519.91	0.00
725-53521-725	HEATING FUEL	299.47	0.00
725-53561-725	TELEPHONE	96.27	0.00
725-53711-725	SCHOOL & CONFERENCE	100.00	0.00
812-53861-112	PREMIUM EXPENSE	33,052.26	0.00
812-53863-112	FLEXIBLE BENFT EXPENSES	222.30	222.30
Grand Total:		420,982.60	150,307.70

Project Account Summary

Project Account Key	Expense Amount	Payment Amount
None	372,999.31	102,491.64
6002053111	124.63	0.00
6002053561	42.60	0.00

Project Account Summary

Project Account Key	Expense Amount	Payment Amount
6002554311	47,816.06	47,816.06
Grand Total:	420,982.60	150,307.70

UB REFUNDS 2-4-19

Account #	Status	Contact	Service Address	Refund Amount
010-2607-02	Inactive	MARTY HOUSER	2520 AVE D SCOTTSBLUFF NE 69361	34
045-4358-10	Inactive	VICENTE H GARCIA	1623 16TH AVE SCOTTSBLUFF NE 69361	11.24
025-3456-07	Inactive	RICK KUCKKAHN	2002 AVE N SCOTTSBLUFF NE 69361	13.21
Total				
3				\$58.45

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Pub. Hear.1

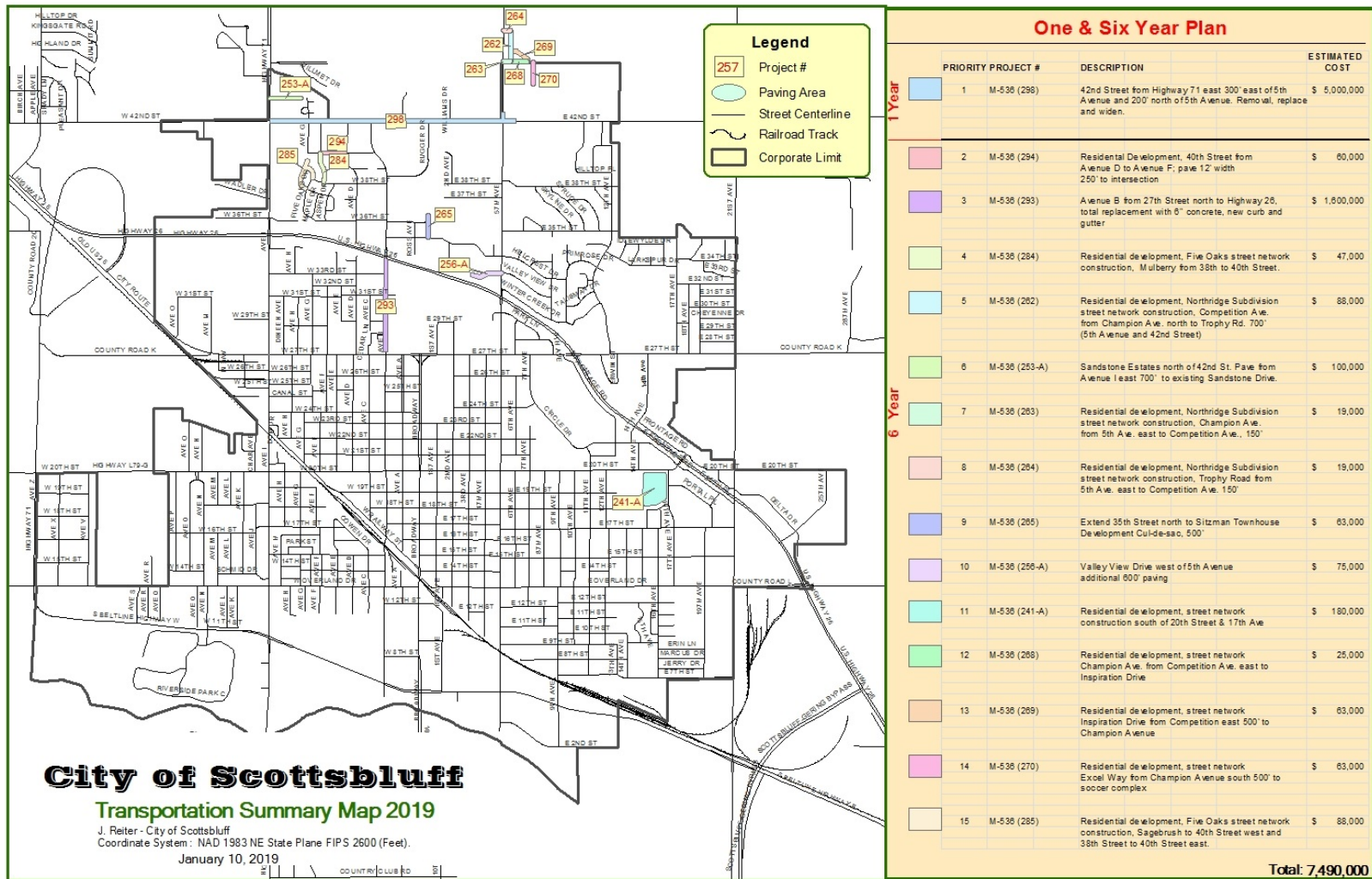
Council to conduct a Public Hearing at 6:05 p.m. to consider the One and Six Year Street Improvement Plan.

Staff Contact: City Council

SUMMARY OF 2019 ONE AND SIX YEAR PLAN

PRIORITY PROJECT #		DESCRIPTION	ESTIMATED COST	
1	M-536 (298)	42nd Street from Highway 71 east 300' east of 5th Avenue and 200' north of 5th Avenue. Removal, replace and widen.	\$ 5,000,000	ONE YEAR PLAN
2	M-536 (294)	Residential Development, 40th Street from Avenue D to Avenue F; pave 12' width 250' to intersection	\$ 60,000	SIX YEAR
3	M-536 (293)	Avenue B from 27th Street north to Highway 26, total replacement with 6" concrete, new curb and gutter	\$ 1,600,000	
4	M-536 (284)	Residential development, Five Oaks street network construction, Mulberry from 38th to 40th Street.	\$ 47,000	
5	M-536 (262)	Residential development, Northridge Subdivision street network construction, Competition Ave. from Champion Ave. north to Trophy Rd. 700' (5th Avenue and 42nd Street)	\$ 88,000	
6	M-536 (253-A)	Sandstone Estates north of 42nd St. Pave from Avenue I east 700' to existing Sandstone Drive.	\$ 100,000	
7	M-536 (263)	Residential development, Northridge Subdivision street network construction, Champion Ave. from 5th Ave. east to Competition Ave., 150'	\$ 19,000	YEAR
8	M-536 (264)	Residential development, Northridge Subdivision street network construction, Trophy Road from 5th Ave. east to Competition Ave. 150'	\$ 19,000	
9	M-536 (265)	Extend 35th Street north to Sitzman Townhouse Development Cul-de-sac, 500'	\$ 63,000	
10	M-536 (256-A)	Valley View Drive west of 5th Avenue additional 600' paving	\$ 75,000	
11	M-536 (241-A)	Residential development, street network construction south of 20th Street & 17th Ave	\$ 180,000	

12	M-536 (268)	Residential development, street network Champion Ave. from Competition Ave. east to Inspiration Drive	\$ 25,000	PLAN
13	M-536 (269)	Residential development, street network Inspiration Drive from Competition east 500' to Champion Avenue	\$ 63,000	
14	M-536 (270)	Residential development, street network Excel Way from Champion Avenue south 500' to soccer complex	\$ 63,000	
15	M-536 (285)	Residential development, Five Oaks street network construction, Sagebrush to 40th Street west and 38th Street to 40th Street east.	\$ 88,000	
TOTAL FOR SIX YEAR PLAN			\$ 7,490,000	



City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Public Inp1

Council to consider a Business Promotional Event Permit for the United Way of Western Nebraska for a Leprechaun Leap Fun Run, March 16, 2019 from 10:30 a.m. to 12:30 p.m.

Staff Contact: Kim Wright, City Clerk

**APPLICATION
COMMUNITY FESTIVAL, BUSINESS PROMOTIONAL EVENT, CARNIVAL
PERMIT**

To be filed with the city Clerk at least 14 days, but no more than one year before proposed event.

1. United Way of Western Nebraska
(name of sponsoring organization)
1517 Broadway St 106 Scottsbluff 308-635-2522
(street) (city) (state) (telephone number)
Krista Sarchet 308-220-8861
(chairperson responsible for event) (day telephone number)

2. N/A
(name of co-sponsoring organization)

(street) (city) (state) (telephone number)

(contact person) (day telephone number)

3. Event Information

Leprechaun Leap Fun Run
(name of event)
3/16/19 10:30-12:30
(date(s) of event) (time(s) of event)
Begin at Emporium parking lot @ E 29th 1st Ave
(location of event) End at 19th and Broadway (Flyover)

4. Activity Information

Describe general activities including whether there will be any vendors, music, loudspeakers. Serving or selling of alcoholic beverages*, etc.)

See attached route

*If alcoholic beverages will be sold or served, a special permit will be required. The applicant should contact the City Clerk for more information.

5. Street Closure

We would crossing assistance but no closures.

Please note any streets to be closed and the times required for closure

6. Flags/Banners/Signs

Banner at the finish line

7. Carnivals - If event includes a carnival, the next sheet should be completed.

8. Have you provided for a public liability insurance policy naming the City as additional insured? Yes _____ No _____

Community Festival/Business Promotion

\$200,000 for one person
\$500,000 for any one accident
\$ 50,000 for injuries to property

Street Carnival

\$ 800,000 for one person
\$2,000,000 for any one accident
\$ 200,000 for injuries to property

9. Have you provided either a \$2,500.00 cash deposit or surety bond for clean up. (This will be returned after it is determined that no repairs or clean up is required by City).

Yes _____ No X

I will provide with event approval.

I (We) agree to abide by all regulations as stated in the Scottsbluff Municipal code regulating this permit.

Dated: 1/28/19

Signed:

United Way of W. Nebraska [Signature]
(name of sponsoring organization) (signature of authorized representative of sponsoring organization)

(name of co-sponsoring organization)

(signature of authorized representative of co-sponsoring organization)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
1/28/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER J.G. Elliott Insurance Center 1110 Circle Drive Scottsbluff, NE 69361	CONTACT NAME: Janelle Cripps	
	PHONE (A/C, No, Ext): (308) 633-9719	FAX (A/C, No):
	E-MAIL ADDRESS: jcripps@jgelliott.com	
	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : Philadelphia Indemnity Insurance Company	18058
INSURED United Way of Western Nebraska 1517 Broadway Suite 106 Scottsbluff, NE 69361	INSURER B : FIRST COMP	27626
	INSURER C : USLI/Mount Vernon	
	INSURER D :	
	INSURER E :	
	INSURER F :	

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

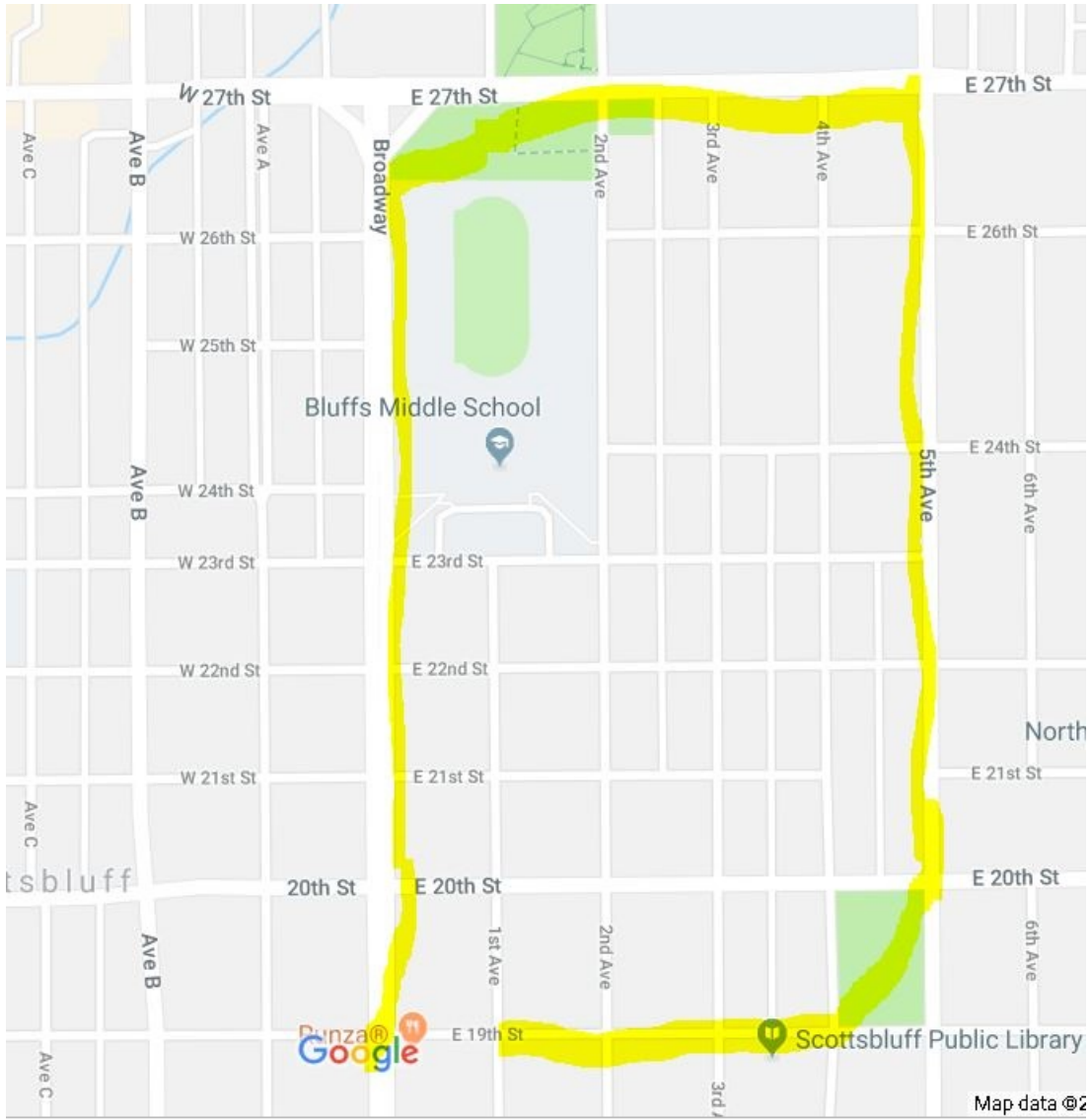
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	X		PHPK1849509	8/19/2018	8/19/2019	EACH OCCURRENCE \$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
							MED EXP (Any one person) \$ 5,000
							PERSONAL & ADV INJURY \$ 1,000,000
							GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			PHPK1849509	8/19/2018	8/19/2019	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR						EACH OCCURRENCE \$
	<input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE						AGGREGATE \$
	DED <input type="checkbox"/> RETENTION \$						
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y / N <input checked="" type="checkbox"/> N / A If yes, describe under DESCRIPTION OF OPERATIONS below			WC0177067-02	2/20/2018	2/20/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER
							E.L. EACH ACCIDENT \$ 100,000
							E.L. DISEASE - EA EMPLOYEE \$ 100,000
							E.L. DISEASE - POLICY LIMIT \$ 500,000
C	Directors and Office			NDO1559342A	8/19/2016	8/19/2019	1,000,000
A	Medical Professional			PHPK1849509	8/19/2018	8/19/2019	1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Event: Leprechaun 5K Walk/Run 3/16/19

CERTIFICATE HOLDER

CANCELLATION

City of Scottsbluff 2525 Circle Drive Scottsbluff, NE 69361	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Brennan J. Mahn</i>



City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Resolut.1

Council to approve the 2019 One and Six Year Street Plan Resolution.

Staff Contact: Mark Bohl, Public Works Director

RESOLUTION NO. _____

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA:

1. Section 39-2115 of the Nebraska Statutes requires each municipality to develop and file with the Board of Public Roads Classifications and Standards a long range, six year plan of highway, road and street improvements. Section 39-2119 of the Nebraska Statutes requires a similar plan for specific road or street improvements for the current year.
2. Attached to this Resolution is a copy of the “2019 Six Year Plan” which includes a “First Year Plan” for projects planned for 2019 ending December 31, 2019, and a “Second thru Six Year Plan” for projects planned for fiscal years 2020/2025 ending September 30, 2025.
3. A public hearing concerning the “2019 Six Year Plan” was held on February 4, 2019 as shown in this plan.
4. The “2019 Six Year Plan”, as attached, is adopted to include the priority levels as shown in the plan.
5. The City Clerk is directed to file a copy of this Resolution with the attached “2019 Six Year Plan” with the Board of Public Roads Classifications and Standards on or before March 1, 2019.
6. This Resolution shall become effective following its passage and approval.

Passed and approved this 4th day of February, 2019.

Mayor

ATTEST:

City Clerk

“seal”

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Reports1

Council to consider a letter documenting match commitment to the Nebraska Department of Economic Development in regards to grant funding for the 23 Club revitalization efforts.

Staff Contact: Nathan Johnson, City Manager



February 4, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

RE: Documentation of Match Commitment

Dear Ms. Mason:

This letter is to document the match commitment for the Department of Economic Development's Community and Civic Center Financing Fund (CCCFF) program as part of the application for the 2019 program year. Scottsbluff staff is working with Scottsbluff 23 Club Babe Ruth League (23 Club) to renovate the 23 Club Baseball Park recreation facilities.

The estimated total project budget is \$1,365,147. Scottsbluff and 23 Club are asking CCCFF for \$603,927. Scottsbluff and 23 Club will match these funds with \$761,220. Of the \$761,220, Scottsbluff and 23 Club have secured \$328,000 with at least \$275,927 remaining to secure before the project period ends.

The following table outlines secured and pending funding to date:

Source of Funding	Amount of Funding	Secured or Pending
City of Scottsbluff	\$205,000	Pending Budget Process
Panhandle Partnership Greater Good Fund	\$50,000	Secured
Oregon Trail Community Foundation	\$40,000	Secured
Quivey-Bay State Foundation	\$15,000	Secured
Webb Orthodontics	\$10,000	Secured
Kelley Bean Company	\$5,000	Secured
Regional West	\$2,000	Secured
Aulick Industries	\$1,000	Secured
Westco	\$10,000	Pending
B&C Steel	In-Kind	Pending
VanPelt Fencing	In-Kind	Pending
Croell Redi-Mix Inc.	In-Kind	Pending

With donations already pending in the table above, and representatives working with local banks for donations, Scottsbluff and 23 Club are confident in our ability to secure the remaining \$275,927 before the project is complete.

Thank you for this opportunity to show the Department of Economic Development about our exciting project that will improve the lives of the Scottsbluff community and beyond.

Sincerely,

Raymond Gonzales
Mayor

Civic and Community Center Financing Fund (CCCCF) application (all of this information is going to be put into the online grant system, that is why it's not formatted like the project narrative is)
Application Due: February 15, 2019

CCCCF Application Part I General Information

Project Information

1. Name of Municipality: Scottsbluff
2. Current population: 14,874 (2017 figures)
3. Is the Applicant applying for a historic building? No
4. Is there a Co-Applicant? Yes
5. Name of Co-Applicant: Scottsbluff 23 Club Babe Ruth League
6. Existing or Preliminary Name of Facility: 23 Club Baseball Park
7. Applicant Eligibility Thresholds:
 - a. Facility is located within municipality: yes
 - b. Municipality will own facility: yes
 - c. Municipality will operate the facility. No If not yes, provide explanatory statement including entity under contract that will operate the facility
While the City of Scottsbluff owns the property, 23 Club has a contract with the city to use the park for baseball and softball operations. 23 Club pays the city \$2,500 per year. In exchange, the City of Scottsbluff provides all building maintenance, field maintenance, utilities, trash collection, and clean up. 23 Club organizes all baseball and softball recreation leagues and tournaments. 23 Club handles the registration process for youth participants, provides insurance, sets up scheduling, organizes hiring umpires, handles chartering with national baseball/softball organizations, and day to day operations of the 23 Club program. 23 Club is 100% volunteer.

Purpose of the Project

1. Facility – Recreation Center: Park
2. Type of Grant Requested: Capital Construction
3. Did the Project complete technical assistance and/or feasibility studies? Yes
4. Was the planning study funded through the CCCCCF program? No
5. Requested grant amount: \$603,927
6. Total project budget: \$1,365,147
7. Project description Summary (max 250 words): brief description of the facility and description of the project's location within the community. Clear and concise and at least one paragraph, can attach maps, images photographs, under Part IV Attachment 3 (this is encouraged, don't forget to make references within this text to the attachments) To ensure the safety of all members of the community and compliance with the Americans with Disabilities Act (ADA) standards, the City of Scottsbluff and 23 Club are partnering to raise funds to improve the 23 Club Baseball Park in Scottsbluff, Nebraska. The current facilities are forty years old. The City of Scottsbluff has worked with the 23 Club Babe Ruth League (23 Club) to manage the park location for 50 years. 23 Club is a nonprofit organization that organizes and runs youth baseball and softball leagues, tournaments, and camps, held at the 23 Club Baseball Park. Scottsbluff and 23 Club are partnering with Baker and Associates, a local architectural firm, for this capital project. The main priority of the project is to provide a safe and adequate space for the people of Scottsbluff and

the surrounding area to serve the needs of the community. The City of Scottsbluff determined through a survey of the area that the facility not only needs renovation, but also needs to be ADA accessible. These renovations will include the clubhouse/concessions building, the restrooms, and the spectator area – none of which meet the 2010 ADA Standards for Accessible Design. The project will cost \$1.36 million overall, of which the city can provide \$205,000. Organizers at 23 Club will raise the remaining \$1.1 million through grants, corporate, sponsorships, and individual donations. Attached in Part IV: Additional Attachments as “Attachment 3: Planning Documents” are documents to expand understanding of the area and renovations outlined in this application.

8. Local cost-share information: Identify status of funds as it relates to the project, the total must correspond with the project budget listed above
 - a. Amount of secured matching funds to date: \$328,000
 - b. Amount of unsecured matching funds to date \$275,927
 - c. Sources of local matching funds (brief narrative identifying sources of secured funds, separately list any pending grant applications, including date of anticipated award. Additional details may be provided in the attachments provided under part II Project Budget)
Secured matching funds have been provided by Panhandle Partnership Greater Good Fund, Oregon Community Trail Foundation, Quivey Bay State Foundation, Webb Orthodontics, Kelley Bean Company, Regional West, Aulick Industries. These funds amount to \$123,000. An additional \$10,000 has been committed from Westco if this grant is received. In addition, 23 Club is waiting to hear on funding in the form of in-kind construction donations from B&C Steel for steel building and structures, VanPelt Fencing for fencing, and Creol for concrete. Additional donations are expected from local banks.
9. Has applicant received an award for state aid through CCCFF? No
10. Does Project have a permanent physical address? Yes
11. Project Address, street, city zip 2900 2nd Avenue, Scottsbluff, NE 69361

Applicant Contact Information

1. Chief Elected Officer of Applicant
 - a. Name: Raymond Gonzales
 - b. Title: Mayor of Scottsbluff
2. Local contact person
 - a. Name: Nathan Johnson
 - b. Title: City Manager
 - c. Organization: City of Scottsbluff
 - d. Address: 2525 Circle Drive
 - e. City: Scottsbluff
 - f. State: Nebraska
 - g. Zip: 69361
 - h. Phone: 308-630-6202
 - i. Email: njohnson@scottsbluff.org

- j. Is your local contact person different from the person preparing the application? Yes
 - i. Geoff Nemnich, 23 Club Babe Ruth League, President, 308-641-8084, president@23club.com
- 3. By signing and submitting this form, you are confirming the following eligibility criteria:
 - a. The facility in question is, or will be, owned and operated by Applicant. If the Facility shall be operated by another entity, application preparer provided a narrative under Applicant Eligibility Thresholds.
 - b. Project has not received funding assistance from the Sports Arena Facility Financing Assistance Act
 - c. Applicant has not been awarded a CCCFF grant within the last two program years
 - d. Date:

CCCFF Application Part II: Project Budget

Grant assistance must be matched equally with at least 50% of the matching funds in cash. None of the matching funds can be incurred prior to the date of the application for grant assistance. Upload a project budget showing the estimated line item costs for the project itemized by the proposed funding sources, grant and match, and project totals. Upload an Excel document with Estimated Project budget. Name it: Scottsbluff_partII

CCCFF Application Part III: Project Description – Project Narrative (on separate document)

CCCFF Application Part IV: Additional Attachments

- 1. Attachment 1 (REQUIRED): Documentation of Match Commitment. (On separate document)
- 2. Attachment 2 (REQUIRED): Letters of Support (On separate document)
- 3. Attachment 3 (where applicable): Planning Documents or “Other Attachments.” (On separate document)



CCCCF Application Part III: Project Description – Project Narrative

Background

The City of Scottsbluff, Nebraska is located in the Great Plains region of the United States and has a population estimated at just over 15,000 residents. Scottsbluff is the 13th largest city in Nebraska and shares its borders with Gering, and Terrytown, for a total population base of just under 24,000 residents. Scotts Bluff County as a whole contains 36,363 residents. In Scottsbluff, over 18% of residents live in poverty, this is higher than the overall percentage of people in poverty for Nebraska (10.8%)(US Census Data). Scottsbluff is the retail hub of western Nebraska and eastern Wyoming bringing visitors to the area. The mission of Scottsbluff is “To promote a safe, healthy environment for its citizens, visitors, and business community; by providing essential services and infrastructure as well as opportunities for growth in a fair, fiscally responsible manner.”

The Scottsbluff 23 Club Babe Ruth League (23 Club), founded in 1937, organizes and runs youth baseball and softball league, tournaments, and camps held at the 23 Club Baseball Park. The Park is rented from the City of Scottsbluff for \$2,500 per year. Approximately 800 youth from Scottsbluff, Mitchell, Morrill, Bayard, and Bridgeport participate in youth baseball leagues run by the 23 Club Baseball organization, making it the largest youth sports program in the region. 23 Club offers scholarships and financial assistance to low income families which will cover or reduce the cost of league player fees. 23 Club partners with the Oregon Trail Community Foundation (OTCF). OTCF will conduct the audit for the 2018 year and in the future. The City of Scottsbluff funds utilities and upkeep of the 23 Club Baseball Park grounds.

1. Retention impact

A report from the National Recreation and Park Association outlines the benefits of public parks, including urban parks, on the community (NRPA, 2010). Parks are “vitally important to establishing and maintaining the quality of life in a community, ensuring the health of families and youth, and contributing to the economic and environmental well-being of a community and a region.” Parks provide economic value, health and environmental benefits, and social importance to a community. Not only do areas around parks see an increase in tax base and property values, but businesses are attracted to those areas for relocation. Residents use parks to improve their health, reduce stress, and have a place to connect to nature. A well-maintained park shows a community is strong and healthy. Many residents view their parks as an important aspect of their community, not just as a gathering place, but as a symbol of livability and pride in their area.



Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

To ensure maximum community involvement, parents, caregivers, athletes, coaches, and local residents of Scottsbluff were invited to voice their opinions on the 23 Club Baseball Park facilities during a public comment period. The local community overwhelmingly agreed that the facilities need to be brought up to the standard of a modern community baseball park, including standards from the American's with Disabilities Act (ADA). Planning started in 2018, with members of the community involved as well as local businesses and organizations. Because decision making for this project is based on participative board discussions with the City of Scottsbluff using community input and public comment, the entire community owns the project. Community spokespeople from a variety of diverse groups have given input for the project, ensuring the diverse needs of the community are met.

The 23 Club serves the people of Scottsbluff and the surrounding areas – people who are committed to family, independence, and have a strong work ethic. Baseball brings out these qualities. The park serves as a gathering place for families and allows youth to grow as individuals and teammates as they develop ethics associated with being on a sports team. Baseball fosters an appreciation for the outdoors and respect for other people through teamwork and good sportsmanship. In addition, people in a connected community who feel they have a say have a better quality of life. For the children, the physical and social benefits of youth sport participation are well documented. The League Network, a support organization for youth sports organizers, cites an increase in self-confidence, interaction and communication, teamwork, responsibility, and a greater sense of community as social benefits (League Network, 2017). By supporting renovation of the 23 Club Baseball Park, the community is supporting an improved experience in youth sports for hundreds of kids in Western Nebraska, setting them up to be better citizens of the community and have an improved quality of life.

Evidence compiled by the American College of Sports Medicine shows that physically active children are 1/10 as likely to be obese, perform up to 40% better on standardized tests, have higher self-esteem, demonstrate better leadership skills, are less likely to engage in drug use and risky behaviors, are 15% more likely to attend college, earn up to 8% higher annual earnings, have lower health care costs throughout their lives, and have a reduced risk of heart disease, stroke, cancer, and diabetes (ACSM, 2015).

But youth sports are not just about children; the parents, family members, and friends of those children also benefit from programs. The community as a whole will benefit by having access to an improved outdoor space. The renovation of the park will also include improved walking and biking trails, making the space a destination for outdoor recreation for the entire community. For four months out of the year, the 23 Club Baseball Park gives community members a place to gather and connect. On average, 23 Club has counted around 250 community members at the park on any given night during baseball/softball season. The main social issue that this project is



Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

addressing is access to physical activities and recreational opportunities for youth, their families, and friends. The 23 Club has been there for ALL youth and their families and will continue long into the future.

2. New Resident Impact

As stated above, the current residents of the local community were invited to voice their opinions during a public comment period. The local community overwhelmingly agreed that the 23 Club Baseball Park facilities need to be brought up to the standard of a modern community baseball park. Bringing the park up to standard will attract new residents who are looking for a connection to their community. Because improving and maintaining community parks increases the economic value of a neighborhood, these areas will become more attractive to new residents of Scottsbluff. Not only is it proven that property values increase, but even land close to parks increases in value. In a Texas A & M review of 25 studies that investigated whether parks and open space contribute to higher property values, they state "The real estate market consistently demonstrates that many people are willing to pay a larger amount for property located close to parks and open space areas than for a home that does not offer this amenity." Businesses also cite parks as one of their top reasons to relocate (Crompton, 2001). As a new resident, someone can connect with their local community at the park, increasing their overall health.

3. Visitor Impact

In addition to making the park more accessible for people with disabilities, bringing the park up to ADA standards will benefit all residents. A University of Delaware guidebook for local governments states that ADA compliance benefits everyone. Everyone benefits from making public facilities more accessible and providing modifications to ensure government services are user-friendly for all citizens (University of Delaware, 2019). Safety is a big factor when people in a community choose where to spend their time. Bringing the park up to safety standards will make the park a better place for families to spend their time. This baseball facility offers a safe and fun environment for youth during the summer months. Summer is a time when youth are often out of school and have more opportunities to participate in unsafe behaviors, both for themselves and for the community around them. Having a place to go that is safe and community-oriented will help them make better choices. This will help visitors, the local community, and new residents.

Another area that helps visitors as well as the local community is tournaments. 23 Club hosts a large Father's Day tournament as well as state and regional tournaments throughout the season. These tournaments bring in hundreds of families to Scottsbluff each summer. These



Scottsbluff and 23 Club Project Narrative



families not only connect with the local residents and community, but also spend thousands of dollars on lodging, food, and shopping. Creating a safer, more welcoming space for these families to come will continue to encourage them to come to Scottsbluff.

4. Readiness and Local Public Support

As mentioned above, the City of Scottsbluff carefully surveyed the park and the facilities to determine if improvements needed to be made. It was found that the park and facilities were not ADA compliant and had significant safety issues. The City determined what would need to be done to bring the area into compliance and met with 23 Club to work on the project. The community as well as local organizations have been involved in the entire planning process. In addition, a public comment period was offered to the community in 2018. The public overwhelmingly agreed that the park needed to be improved, brought up to ADA compliance, and renovated for the safety of the community. Attachment 2 contains letters of support from varied stakeholders from the community for this project. It also contains the original Letter of Intent from the City of Scottsbluff, as requested in the instructions.

The 23 Club Board of Directors is fully volunteer-led and the planning process has also been conducted on a volunteer basis. The City of Scottsbluff funded the meetings for the planning process, providing facilities for meeting as well as bringing together all groups involved. Baker & Associates has donated all their time thus far, though they will be paid for further work. The City of Scottsbluff will pay costs to Baker & Associates using city funds. Once it was determined that the park and facilities needed updating, the only barrier to the process has been securing funding. The City of Scottsbluff, 23 Club, and other partners have worked to fund this project.

This project aligns with the priorities of the City of Scottsbluff: provide adequate opportunities for exercise and recreation to residents; provide high quality recreation facilities for local sports leagues and regional tournaments. Additional priorities: all have ADA accessible restrooms; improvements to parking and access to improved traffic flow to ensure safety; and shade structures, seating, trees, and plantings to make spectators more comfortable. In 2014, the City engaged Thomas P. Miller and Associates and Foote Consulting group to develop a regional economic development strategic plan. Point 1 of this plan refers to Quality of Place (how the community looks, what cultural activities are available, and what options are available for entertainment and recreation). The plan outlined strategies to increase quality of place that include enhancing outdoor recreation options, making public spaces more attractive to young professionals to draw them to the city, and increase aesthetic landscaping, all strategies that are fulfilled by improving the park and facilities with 23 Club.



Scottsbluff and 23 Club Project Narrative



SCOTTSLUFF
23 CLUB BASEBALL AND SOFTBALL

The 23 Club has been in operation since 1937 and has been running the youth baseball/softball leagues, tournaments, and camps successfully for many decades. The 23 Club is currently the largest youth sports league in western Nebraska. The longevity of the group and successes in that time make them a viable candidate to oversee the implementation of this project, in conjunction with the City of Scottsbluff and the local community.

The project budget was created by an architectural firm using the latest information on costs. Baker & Associates are knowledgeable about which improvements are required to bring a facility to compliance according to ADA and other federal regulations. The itemized budget, included in Attachment 3, shows exact improvements that need to be made. All financial aspects of the projects are controlled by the Oregon Trail Community Foundation (OTCF). All monetary donations, including grant money, private donations, and corporate donations, are accepted and distributed by OTCF on behalf of 23 Club. OTCF controls and monitors the 23 Club general operating account as well as the account for the capital project.

Members of the Scottsbluff community have given their input, but the most urgent need for this project is for the safety of that community. Crumbling structures and gravel walkways are not safe for the diverse needs of all members of the community. Bringing the park and facilities into compliance for safety will create an area that can be used by everyone. Access to the facilities is the utmost priority of the project.

The biggest risk to the project is funding. The City of Scottsbluff has committed a large amount of funding and much of the rest of the funding needed has been committed. Given the successes so far, the 23 Club and the City of Scottsbluff are confident that they will raise the funding necessary for the project. The project has high community support so local businesses and foundations will donate funds to the efforts. Attachment 1 shows the Letter of Match Commitment signed by the Mayor of Scottsbluff outlining the funding already secured, funding left to secure, and overall budget of the project.

5. Project Planning

Decision making for this initiative is based on participative board discussions and discussions with the City of Scottsbluff using community input and public comment. Decisions focus on the 23 Club mission with the project itself focusing on creating a “safe and fun environment.” The City of Scottsbluff worked with 23 Club and the architectural firm Baker & Associates to create plans and designs of the new facilities. Attachment 3 shows planning documents and a detailed budget for the 23 Club Baseball Park. It shows a map of Scottsbluff with the 23 Club Baseball Park highlighted, drawings of the design of the new facilities, and current photos showing the need for renovation.



Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

Diverse groups within the community were included in the process. Baseball is considered “America’s favorite pastime” – a sport that attracts players from a wide range of backgrounds and classes. Input received from parents and athletes came from a variety of voices across the socioeconomic spectrum.

The main priority of this project is to provide a safe and adequate space for the needs of the baseball and softball leagues and there is a lot of work to be done to bring the facilities up to par. Part of creating a “safe and adequate space” involves making facilities that are ADA accessible. This will include the clubhouse/concessions building, the restrooms, and the spectator area – none of which currently meet the 2010 ADA Standards for Accessible Design. But another aspect of this project is to create a beautiful space for the community to enjoy. Baker & Associates has created a reasonable budget that includes not only safety improvements, but improvements that will help families and members of the community enjoy their time at the 23 Club Baseball Park.

The City of Scottsbluff has worked with 23 Club for 50 years to manage the park location that will be improved. The City funds utilities and upkeep on the grounds and will continue to do so after the capital project is complete. Connecting with the local community of Scottsbluff has ensured their needs are met, because they truly are the most important in this equation.



References

US Census Data. (2017). [data] Retrieved from <https://www.census.gov/quickfacts/fact/map/scottsbluffcitynebraska,scottsbluffcountynebraska/RHI125217> [Accessed 17 Jan. 2019].

Why Parks and Recreation are Essential Pubic Services. (2010). [pdf] Ashburn, VA. Available at: <http://www.nrpa.org> [Accessed 25 Jan. 2019].

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CCCFF APPLICATION - PART II. BUDGET - Planning

Project Location: **Scottsbluff, Nebraska 23 Club Baseball Park**
Project Name: **Renovation of 23 Club Baseball Park**

ESTIMATED PROJECT EXPENDITURES AND FUNDING SOURCES

	LINE ITEM	CCCFF portion	IN-KIND	CASH/OTHER**	TOTAL
A	Review of existing planning documents	\$ -		\$ 60,000.00	\$ 60,000.00
B	Collection and Analysis of Data	\$ -		\$ -	\$ -
C	Final report/study/plan	\$ -	\$ -	\$ -	\$ -
D	Other (specify below)	\$ -	\$ -	\$ -	\$ -
TOTAL		\$ -	\$ -	\$ 60,000.00	\$ 60,000.00

A) Obtain and review existing planning documents and conditions as they relate to the project;
 B) Data gathering and analysis, including design charettes and planning discussions/sessions;
 C) Compilation and completion of final planning product;
 D) Other: all costs not otherwise suited to items A-C.

Please provide a description for costs listed under Item D: Other, where applicable:

Source(s) of other grant funds, where applicable (identify secured grant funds and list any pending applications, including date of anticipated award):

The City of Scottsbluff is supplying all funds for planning and data gathering.

Local Matching Funds

Amount of secured matching funds to-date:	\$ 60,000.00
Amount of unsecured matching funds to-date:	\$ -
TOTAL	\$ 60,000.00

NOTE: Awarded projects will submit Actual Project Expenditures and Funding Sources upon request for final payment as a part of compliance monitoring.

CCCCF APPLICATION - PART II. BUDGET - Capital Construction

Project Location: **Scottsbluff, Nebraska 23 Club Baseball Park**

Project Name: **Renovation of 23 Club Baseball Park**

ESTIMATED PROJECT EXPENDITURES AND FUNDING SOURCES

	LINE ITEM	CCCCF portion	IN-KIND	CASH/OTHER**	TOTAL
A	Off-site improvements	\$ -	\$ -	\$ 203,100.00	\$ 203,100.00
B	Site improvements and Foundations	\$ 385,015.00	\$ -	\$ 234,965.00	\$ 619,980.00
C	Exterior improvements	\$ 51,520.00	\$ -	\$ -	\$ 51,520.00
D	Doors/Windows and Finishes	\$ 27,600.00	\$ -	\$ 37,156.00	\$ 64,756.00
E	Equipment and Furnishing	\$ 66,000.00	\$ -	\$ 43,000.00	\$ 109,000.00
F	Mechanical	\$ 48,272.00	\$ -	\$ -	\$ 48,272.00
G	Electrical	\$ 25,520.00	\$ -	\$ 139,292.00	\$ 164,812.00
H	Other (specify below)	\$ -	\$ -	\$ 103,707.00	\$ 103,707.00
	TOTAL	\$ 603,927.00	\$ -	\$ 761,220.00	\$ 1,365,147.00

A) Off-site improvements: grading, utilities, parking/sidewalks, etc.;

B) Site improvements: excavation, footing/foundation, stonework, joists and girders, framing, etc.;

C) Exterior improvements: thermal/moisture protection, roofing, insulation, siding, etc.;

D) Doors/windows and finishes: drywall, tile, carpet, paint, etc.;

E) Equipment and furnishings: bath/kitchen appliances, cabinets, fixed seating, etc.;

F) Mechanical: heating, air conditioning, plumbing, etc.;

G) Electrical: lighting, security system, fire detection, etc.;

H) Other: all costs not otherwise suited to items A-G.

Please provide a description for costs listed under Item H: Other, where applicable:

Seeding, with irrigation - \$25,200, Trees and plantings - \$13,500, Contingency (5%) in case bids come back higher - \$65,007

Source(s) of other grant funds, where applicable (identify secured grant funds and list any pending applications, including date of anticipated award):

Secured funding - City of Scottsbluff, Panhandle Partnership Greater Good Fund, Oregon Community Trail Foundation, Quivey Bay State Foundation, Webb Orthodontics, Kelley Bean Company, Regional West, Aulick Industries. Pending funds - Westco \$10,000, In-kind construction donations from B&C Steel, VanPelt Fencing, Creol, and local banks.

Local Matching Funds

Amount of secured matching funds to-date:	\$ 328,000.00
Amount of unsecured matching funds to-date:	\$ 275,927.00
TOTAL	\$ 603,927.00

NOTE: Awarded projects will submit Actual Project Expenditures and Funding Sources upon request for final payment as a part of compliance monitoring.



Scottsbluff and 23 Club Project Narrative



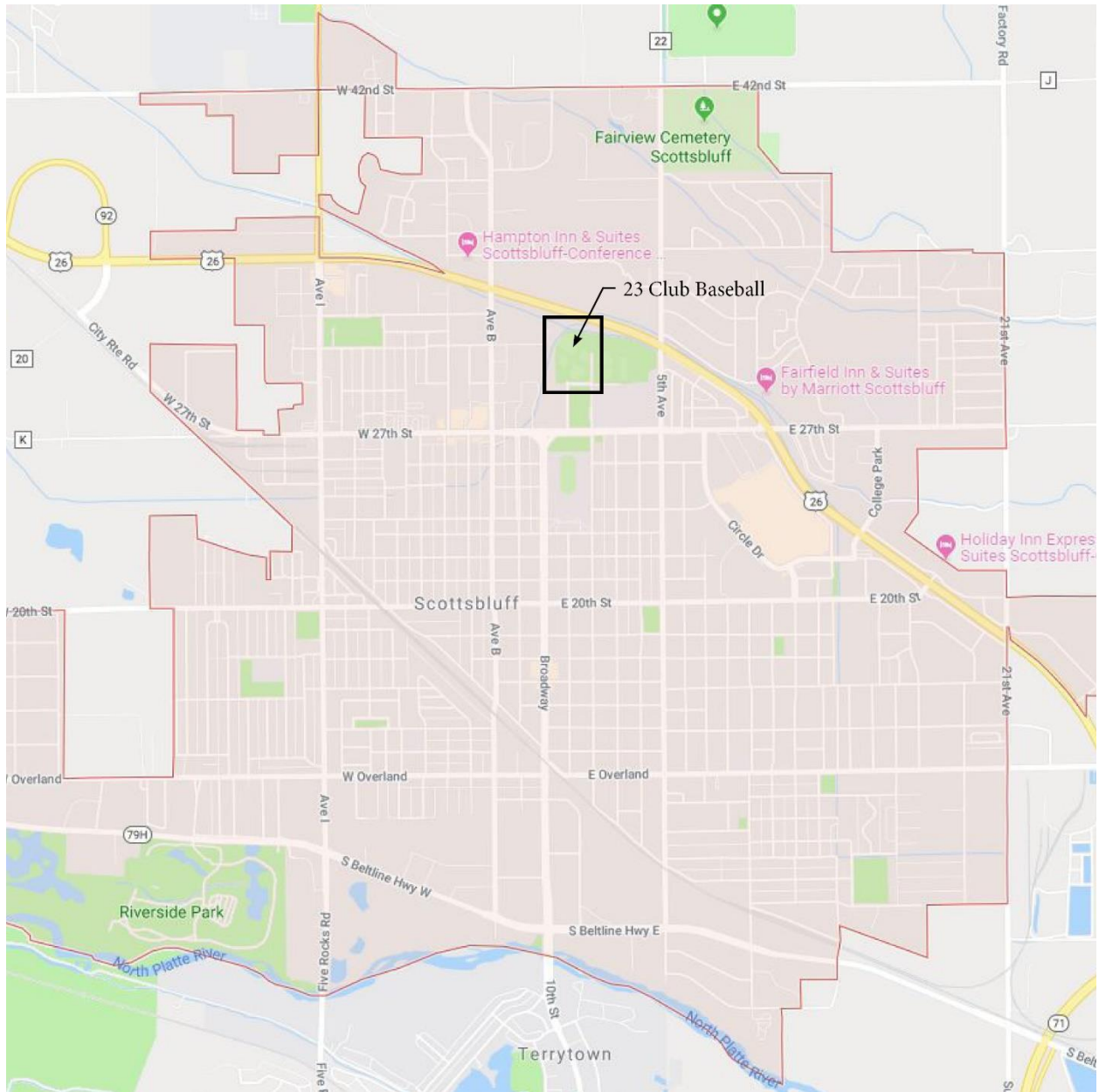
SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

CCCCF Application Part IV: Attachment 3: Planning Documents or “Other Attachments”

Table of Contents

1. Map of Scottsbluff with 23 Club Baseball Park marked and highlighted as within the boundaries of Scottsbluff
2. Current Photos of 23 Club Baseball Park Facilities showing need for renovation (photos taken January 2019)
3. Itemized budget for 23 Club Baseball Park site
4. Preliminary overall plan for 23 Club Baseball Park site
5. Batting Cage Cover and Storage Building plans
6. Bleacher Cover design
7. Dugout design
8. Playground Cover Building design
9. Concessions design

Map of Scottsbluff, Nebraska with 23 Club Baseball Park highlighted.



Current 23Club Baseball Park Facilities

Scottsbluff, NE





The complex is 100% gravel. Only grass you will find is on the actual fields. The facility is full of safety hazards like old bleachers, no protection from foul balls & tripping hazards. There are no concrete ramps or sidewalks anywhere in the complex to accommodate wheelchairs or other persons with disabilities.



The bathrooms are small, extremely out-dated and run-down. There are no handicapped accessible stalls in either restroom.



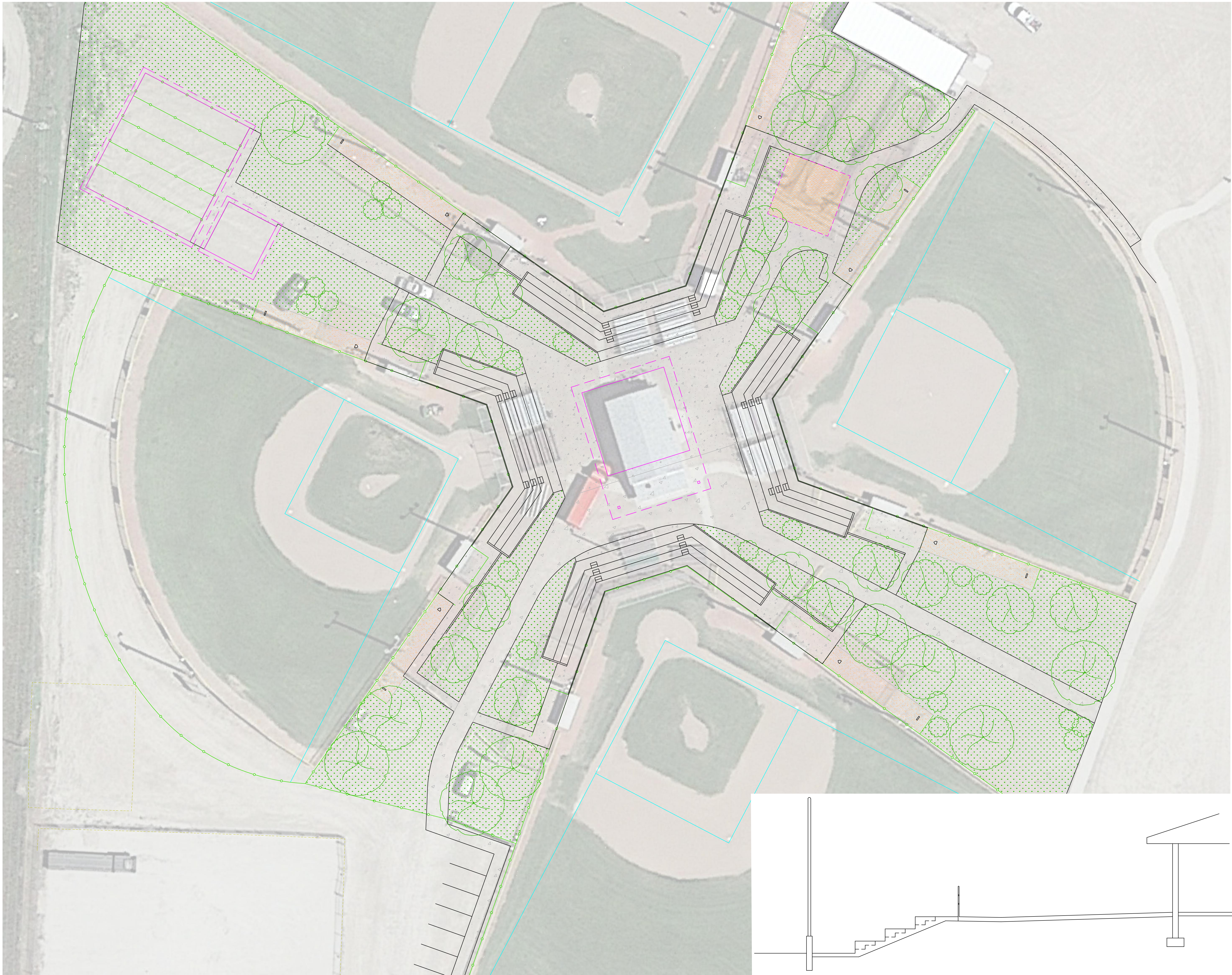


The main building is run-down and provides very little storage for baseball operations. The concessions stand area is out-dated and fails to meet health inspections due to the lack of proper amenities.

City Commitment	\$300,000.00
Design	\$60,000.00
Site work	\$205,000.00
Additional	\$35,000.00
Currently Raised	\$120,000.00
Base Bid	\$603,927.00
Balance to Raise	\$448,927.00

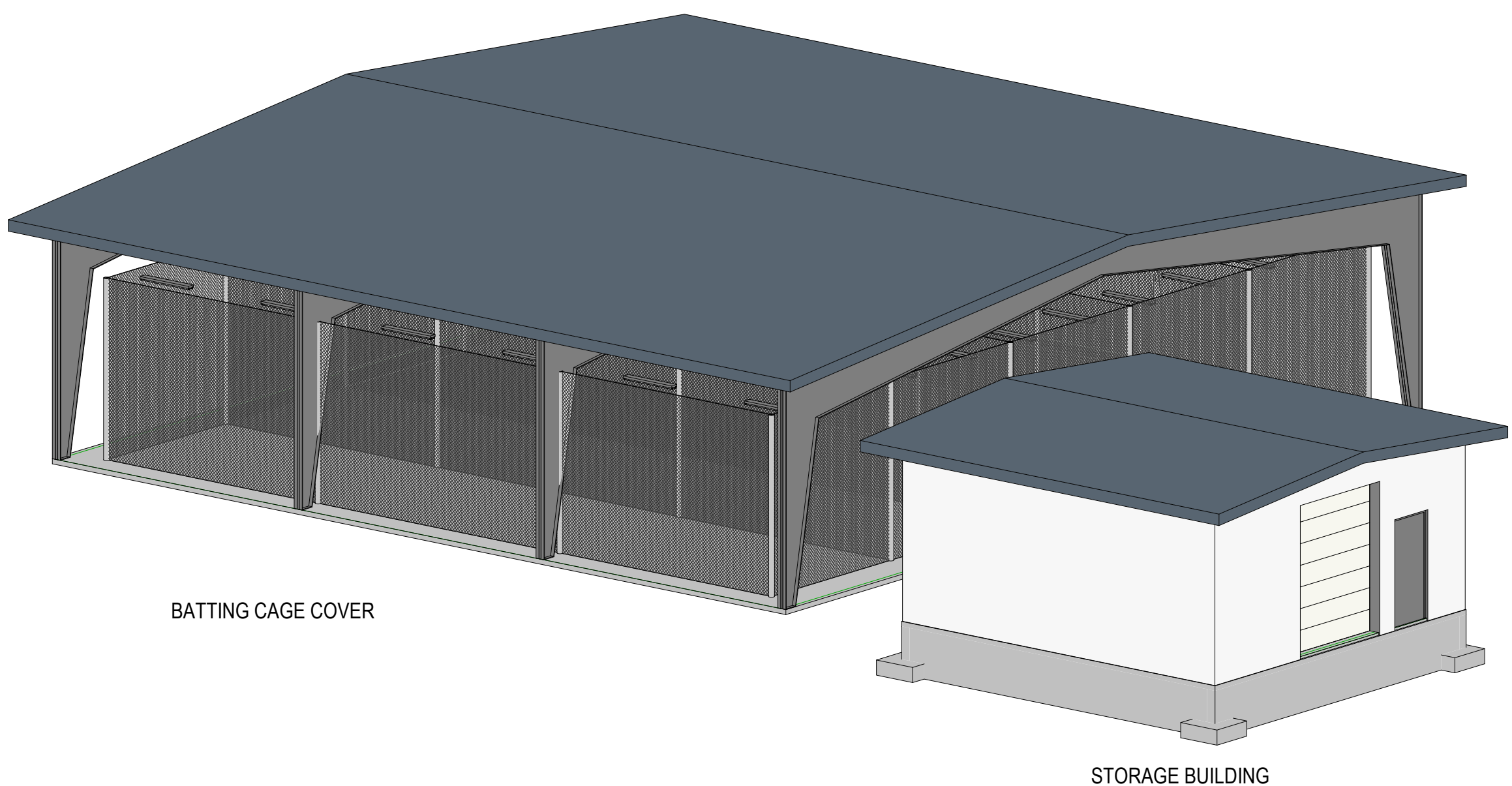
				Preliminary Engineers Opinion of Probable Costs	
Item #	Description	Units	Quantity	Unit Price	Item Totals
Estimated Construction Costs					
23 Club Baseball Park Clubhouse/Concessions Building					
<u>Base Bid Package</u>					
	Concessions Metal Building and Erection	s.f.	2,400	\$25.00	\$60,000
	Building Concrete	s.f.	2,400	\$20.00	\$48,000
	H.V.A.C. - no heat, limited AC	s.f.	1,600	\$8.45	\$13,520
	Electrical - Concessions	s.f.	1,600	\$15.95	\$25,520
	Plumbing - Concessions	s.f.	1,600	\$21.72	\$34,752
	Interior Finishes- walls, ceilings,RR partitions, countertops, paint	s.f.	1,600	\$9.00	\$14,400
	Doors, frames, and hardware	s.f.	1,600	\$8.25	\$13,200
	Bleacher Covers Metal Building and Erection	Unit	4	\$28,750.00	\$115,000
	Structure Support Concrete only (does not include bleachers)	Unit	4	\$5,625.00	\$22,500
	Dugout Covers Metal Building and Erection	Unit	8	\$6,440.00	\$51,520
	Structure Support Concrete and 4" concrete floor	Unit	8	\$1,560	\$12,480
	Structural Concrete Seating	SY	941	\$135.00	\$127,035
	Dugout benches	EA	8	\$1,000.00	\$8,000
	Backstops - Fencing	EA	4	\$14,500.00	\$58,000
	Total - Base Bid				\$603,927
<u>Site Work Improvements - City Provided</u>					
	Earthwork - Site	CY	4,500	\$9.00	\$40,500
	Remove Ex. Batting Cages	LS	1	\$1,500.00	\$1,500
	Remove misc. Fencing	LF	500	\$2.00	\$1,000
	5" Sidewalk	SF	10,300	\$4.50	\$46,350
	6" Pavement	SF	6,900	\$5.00	\$34,500
	Parking lot surfacing (gravel)	SY	6,500	\$4.00	\$26,000
	Parking Blocks	EA	90	\$75.00	\$6,750
	Sod, with Irrigation	SF	20,000	\$1.20	\$24,000
	Seeding, with Irrigation	SF	35,000	\$0.72	\$25,200
	Total - Site Work				\$205,800
<u>Additional Improvements</u>					
	Batting Cage Metal Building and Erection	s.f.	3,840	\$19.60	\$75,264
	Building Concrete- perimeter footings only	s.f.	3,840	\$2.75	\$10,560
	Perimeter Fencing, 6' Chain Link	LF	2,700	\$40.00	\$108,000
	Concrete Floor - Batting Cages	s.f.	3,840	\$4.00	\$15,360
	Electrical - Batting Cages	s.f.	3,840	\$8.80	\$33,792
	Storage Metal Building and Erection	s.f.	625	\$21.00	\$13,125
	Building concrete- with 5" floor	s.f.	625	\$16.25	\$10,156
	Doors, frames, and hardware	s.f.	625	\$8.25	\$5,156
	Electrical - Storage	s.f.	625	\$8.80	\$5,500
	Trees & Plantings	EA	27	\$500.00	\$13,500
	Playground (ages 2-5)	LS	1	\$10,000.00	\$10,000
	Playground Shade Structure	LS	1	\$30,000.00	\$30,000
	Flag Pole	EA	1	\$3,000.00	\$3,000
	Signage	LS	1	\$25,000.00	\$25,000
	Field Lighting Replacement (LED)	EA	4	\$25,000.00	\$100,000
	New Batting Cages - Netting	LS	1	\$32,000.00	\$32,000
	Total - Additional Improvements				\$490,414
	Total All Phases				\$1,300,141
	Project Contingency (5%)				\$65,007
	Total Construction Costs w/ Contingency				\$1,365,148

Engineer's opinions of probable Construction Cost are to be made on the basis of Engineer's experience and qualifications and represent Engineer's best judgment as an experienced and qualified professional generally familiar with the construction industry. However, since Engineer has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Engineer cannot and does not guarantee that proposals, bids, or actual Construction Cost will not vary from opinions of probable Construction Cost prepared by Engineer. If Owner wishes greater assurance as to probable Construction Cost, Owner shall employ an independent cost estimator.



BATTING CAGE COVER & STORAGE BLDG.

STREET ADDRESS, CITY, STATE, ZIP CODE



1 Project View

PROJECT PICTURE



VICINITY MAP



KEYPLAN

PROJECT CONTACTS

OWNER

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

CIVIL

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

ARCHITECTURAL

Studio 120 Architecture
Tearle Schier
120 East 16th Street
Scottsbluff, Nebraska, 69361
Phone: (308) 635-1531
tearle@studio120arch.com

STRUCTURAL

Elevation Structural Design
Stephen R. Klaas, P.E., S.E.
P.O. Box 624
Cheyenne, Wyoming 82003
Phone: (308) 631-3873
klaas@elevation-sd.com

ELECTRICAL

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

ONE CALL

Nebraska Contact
Phone: 1-800-331-5666
www.ne-diggers.com

Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL & CEILING PLAN - STORAGE BUILDING
A-1.10	GROUND LEVEL PLAN - BATTING CAGE BUILDING
A-2.10	GROUND LEVEL REFLECTED CEILING PLAN FOR BATTING CAGE BUILDING
A-3.00	EXTERIOR BUILDING ELEVATIONS - STORAGE BUILDING
A-3.10	EXTERIOR BUILDING ELEVATIONS - BATTING CAGE BUILDING
Total Number of Sheets: 6	

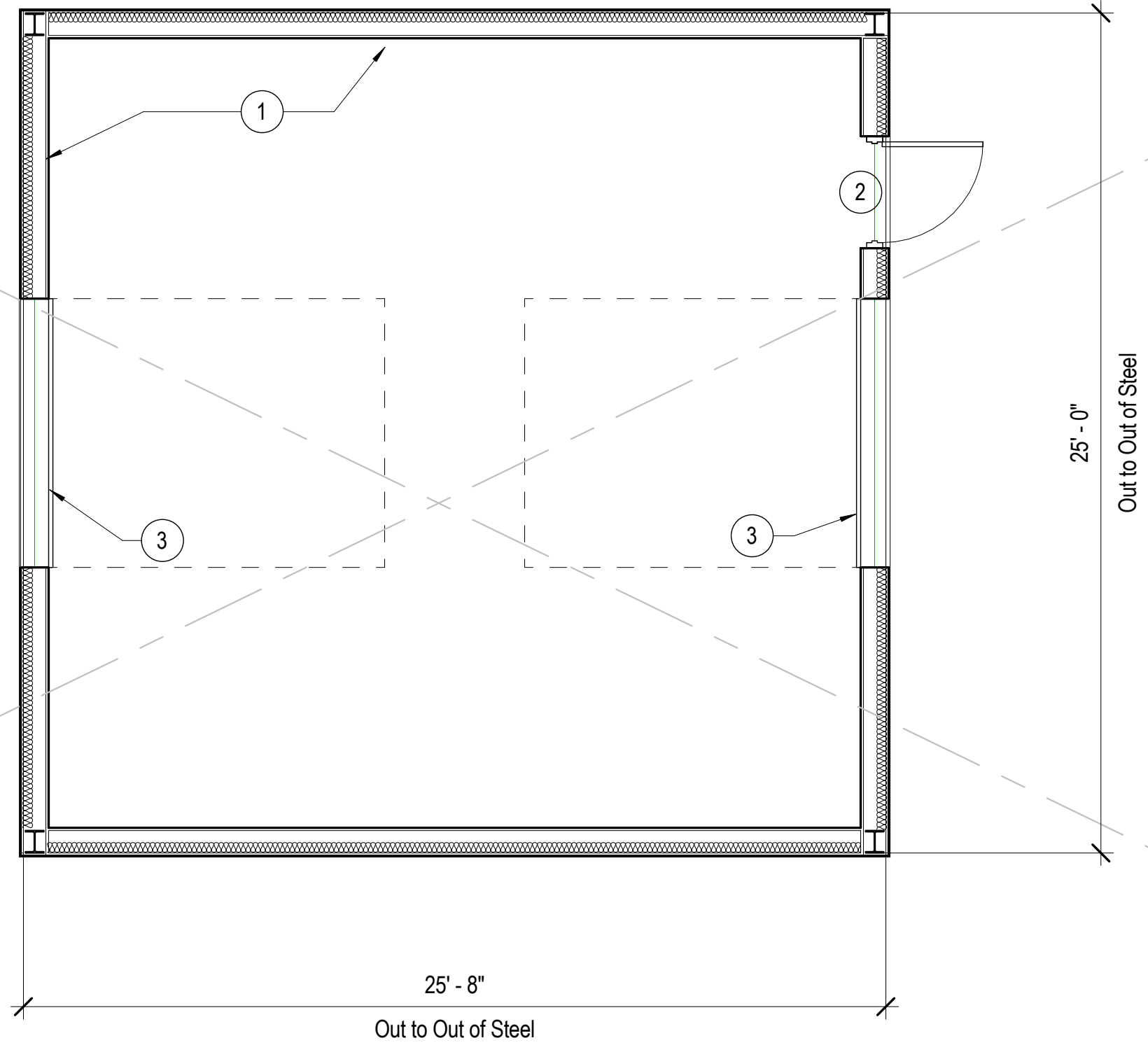
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1

1/4" = 1'-0"

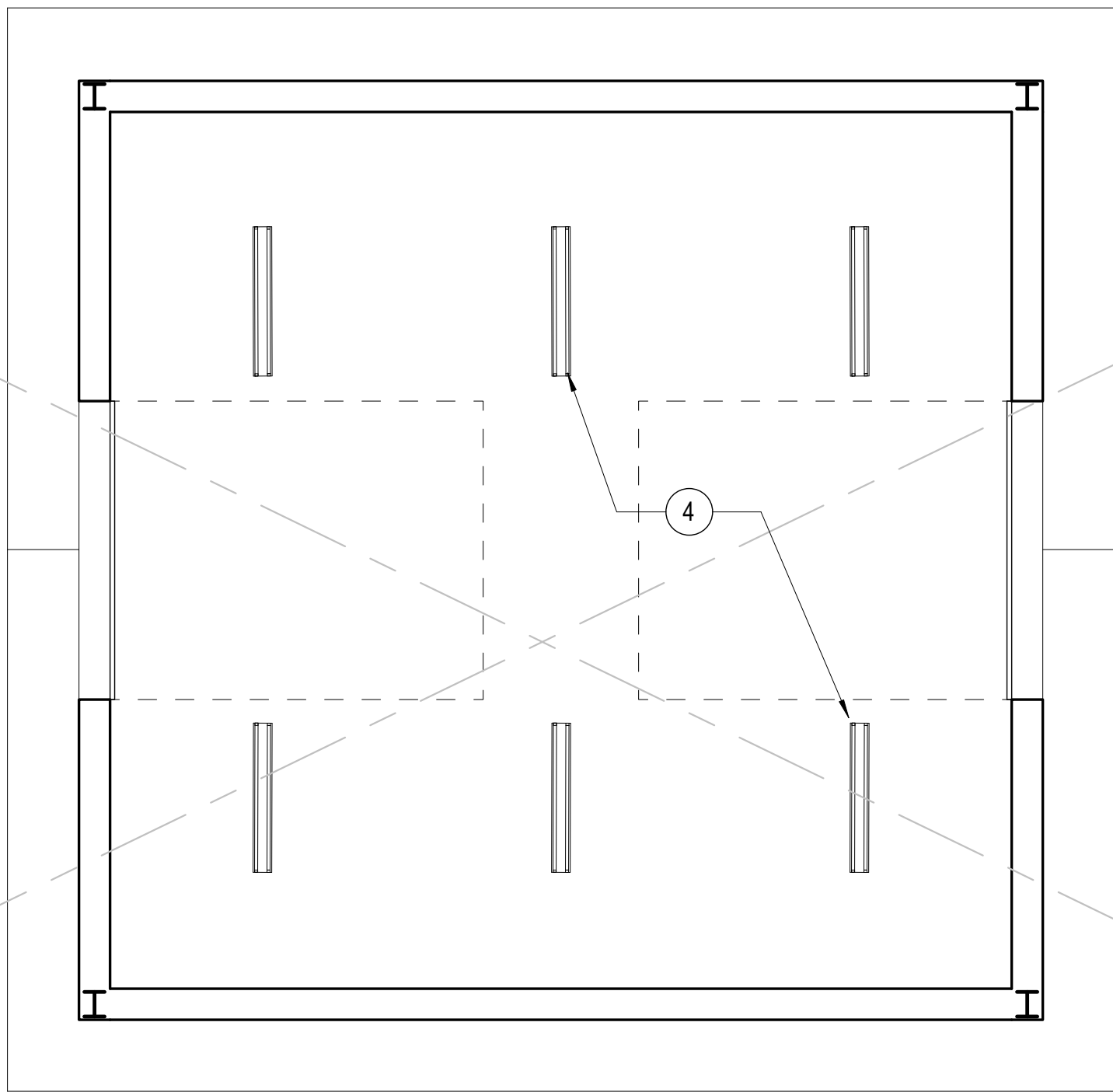
GROUND LEVEL - STORAGE BUILDING



2

1/4" = 1'-0"

REFLECTED CEILING PLAN - STORAGE BUILDING



KEYNOTE LEGEND

- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.
- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.
- Sample keynote

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

SHEET TITLE:
GROUND LEVEL & CEILING PLAN -
STORAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

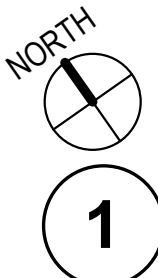
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SUB-CONSULTANT:

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION



©2018



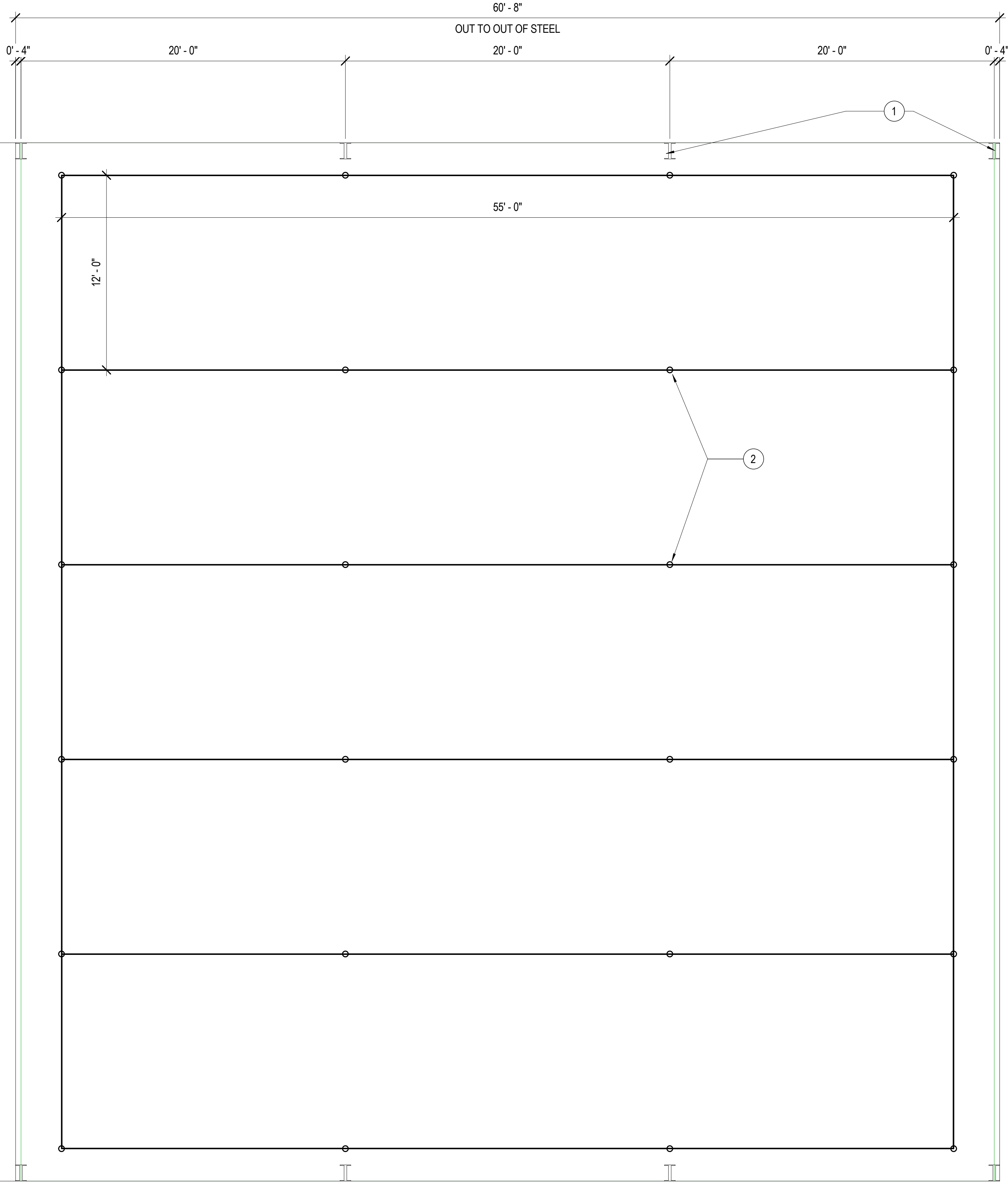
1

BATTING CAGE COVER

1/4" = 1'-0"

A-3.10
WEST
ELEVATION -
BATTING
CAGE
BUILDING

64' - 0"
OUT TO OUT OF STEEL



A-3.10
SOUTH
ELEVATION -
BATTING
CAGE
BUILDING

A-3.10
NORTH
ELEVATION -
BATTING
CAGE
BUILDING

A-3.10
EAST
ELEVATION -
BATTING
CAGE
BUILDING

KEYNOTE LEGEND

- 1
- 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- 2
- DEPICTS BATTING CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.
- 3
- Sample keynote

SHEET TITLE:
GROUND LEVEL PLAN - BATTING CAGE
BUILDING

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

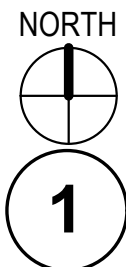
Revision Schedule
No. | Date | Description

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

SUB-CONSULTANT:



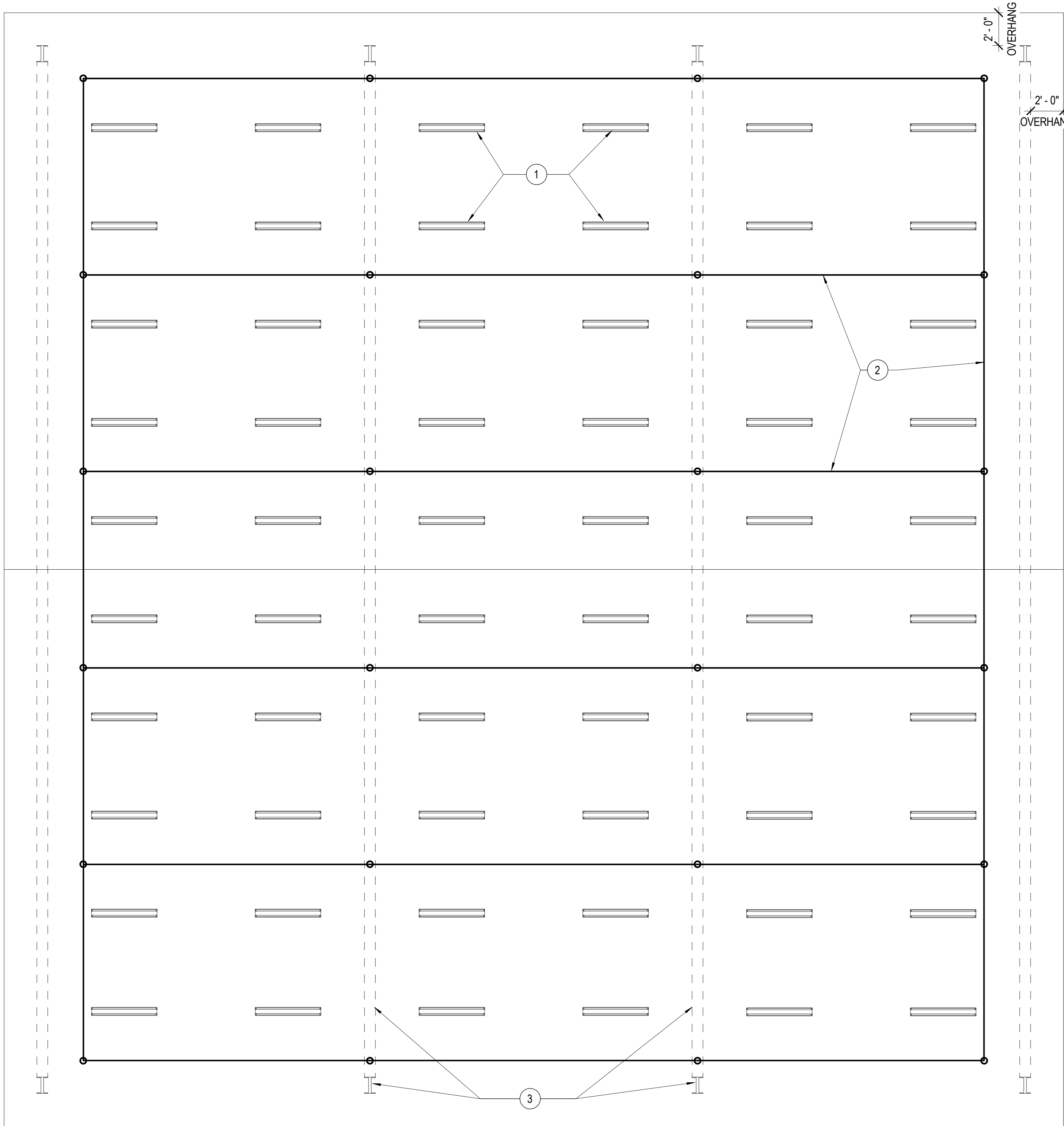
©2018



REFLECTED CEILING PLAN - BATTING CAGE BUILDING

1/4" = 1'-0"

A-3.10
WEST
ELEVATION -
BATTLING
CAGE
BUILDING



SOUTH
ELEVATION -
BATTLING
CAGE
BUILDING
A-3.10

A-3.10
NORTH
ELEVATION -
BATTLING
CAGE
BUILDING

EAST
ELEVATION -
BATTLING
CAGE
BUILDING
A-3.10

KEYNOTE LEGEND

- 1 SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINARE.
- 2 DEPICTS LOCATION OF BATTLING CAGES.
- 3 DEPICTS RIGID FRAME COLUMNS AND RAFTERS.

CEILING LEGEND

GRAPHIC SYMBOL	DESCRIPTION
	RECESSED TROFFER LIGHT FIXTURE
	RECESSED INDIRECT LIGHT FIXTURE
	WALL MOUNTED LINEAR LIGHT FIXTURE
	PENDANT LINEAR LIGHT FIXTURE
	STRIP LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	RECESSED CAN WALL WASH LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXIT SIGN
	SUPPLY DIFFUSER - SEE MECHANICAL
	RETURN GRILLE - SEE MECHANICAL
	GWB CEILING
	ACOUSTIC TILE CEILING
	EXISTING SMOKE PARTITION
	NEW SMOKE PARTITION

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

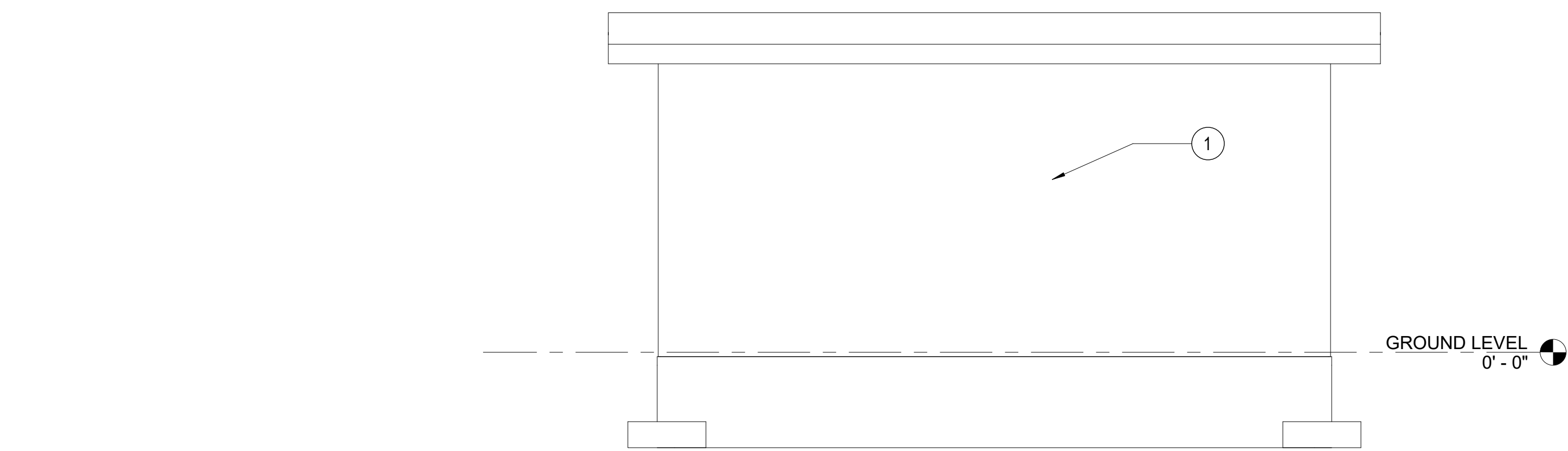
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GROUND LEVEL REFLECTED CEILING
PLAN FOR BATTLING CAGE BUILDING

PROJECT: Project Number

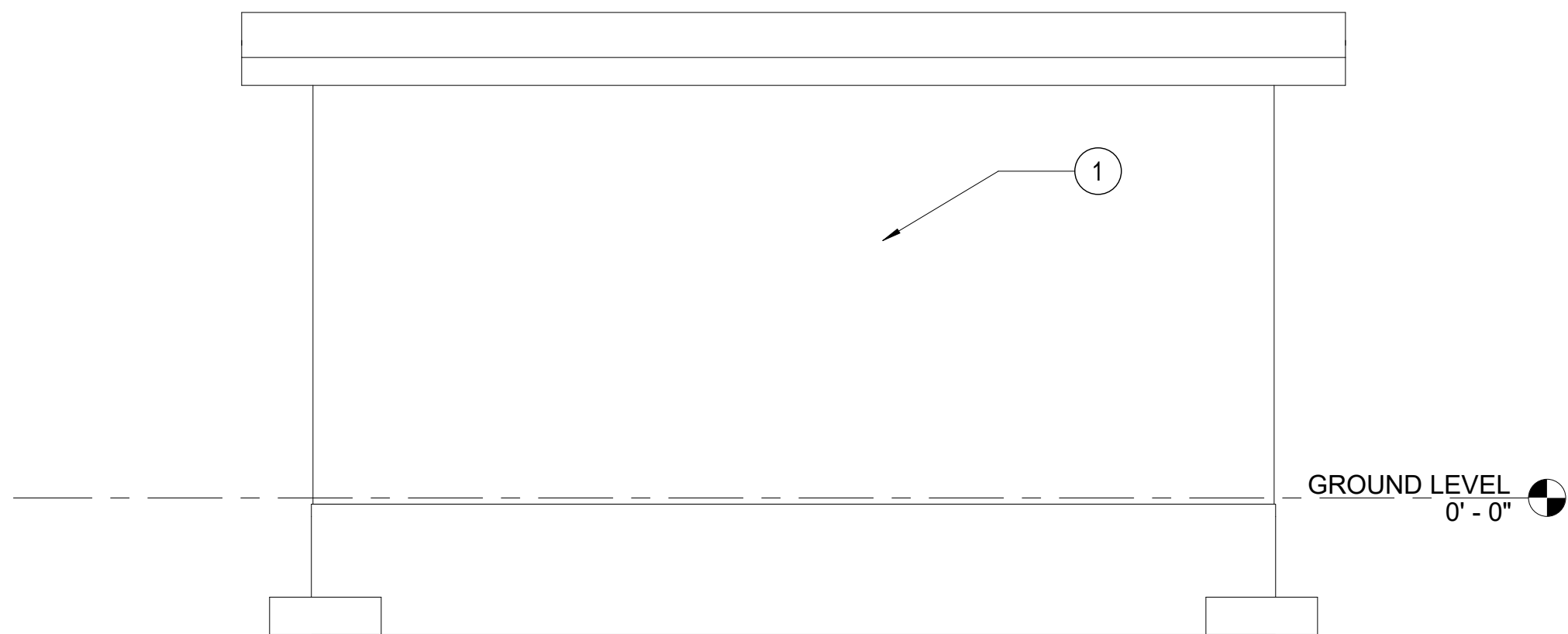
DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

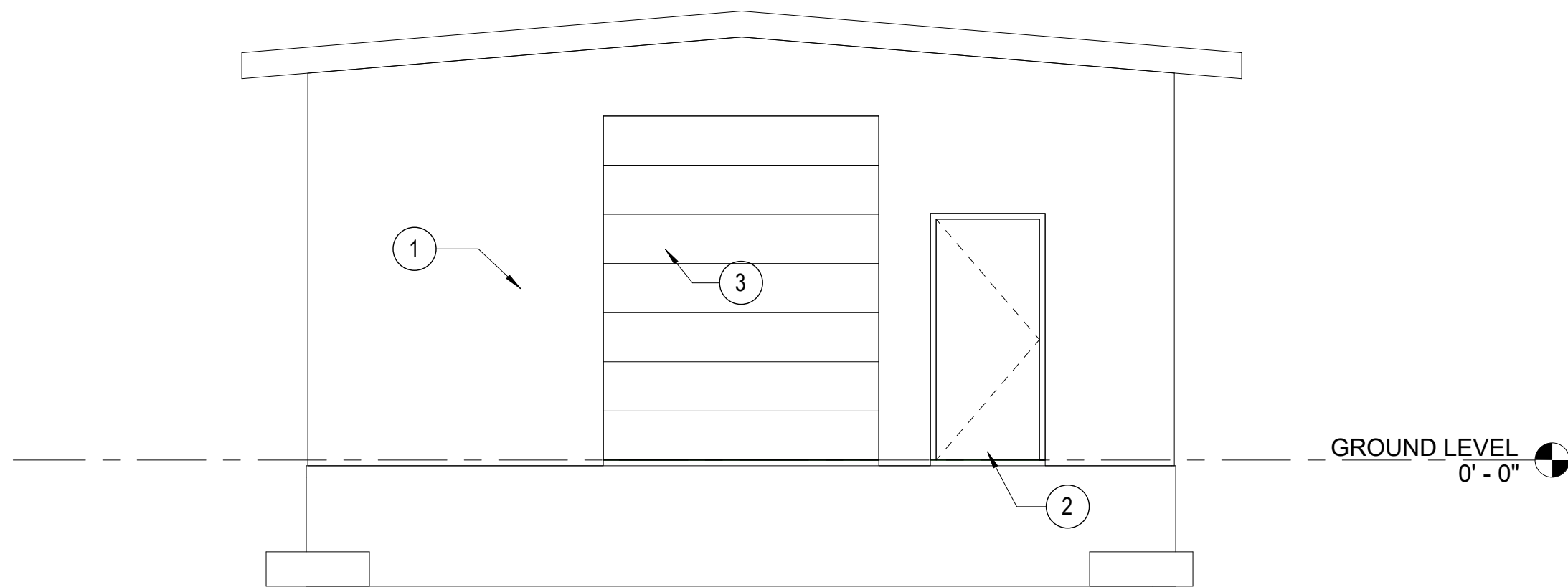
A-2.10



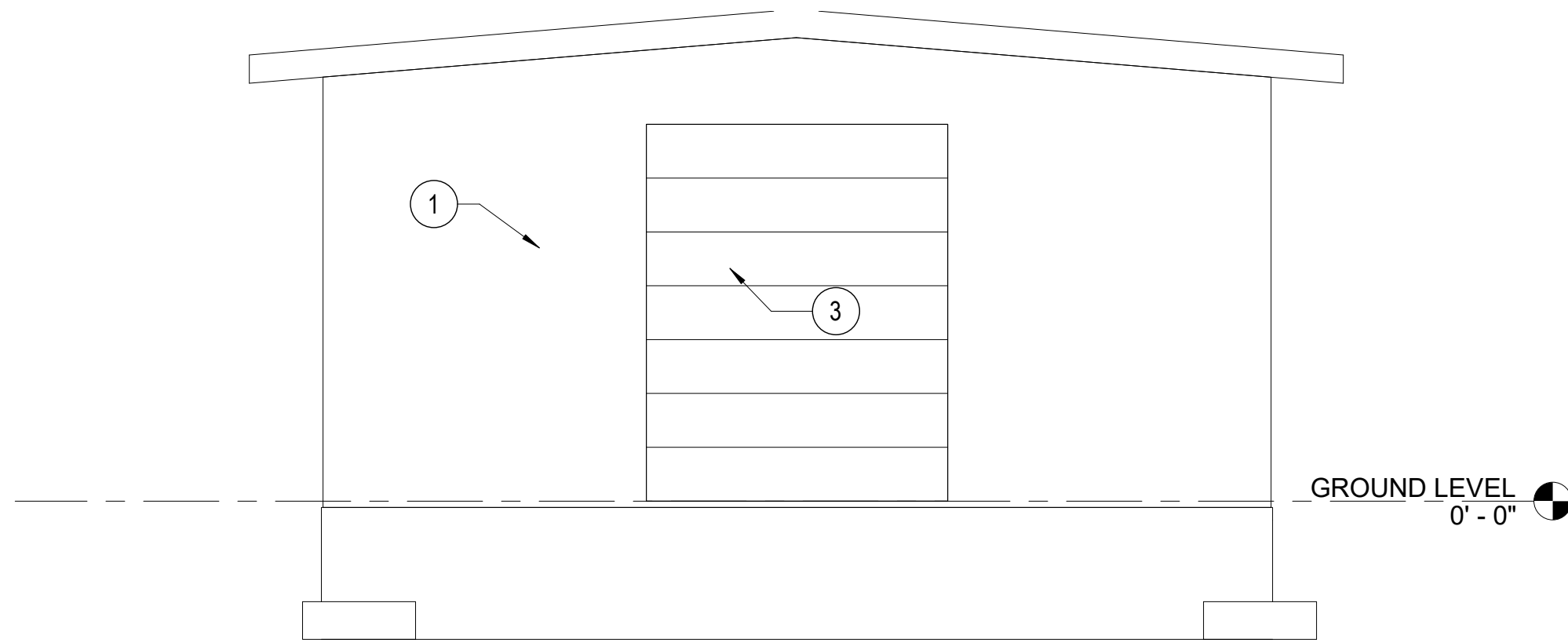
1 SOUTH ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



2 NORTH ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



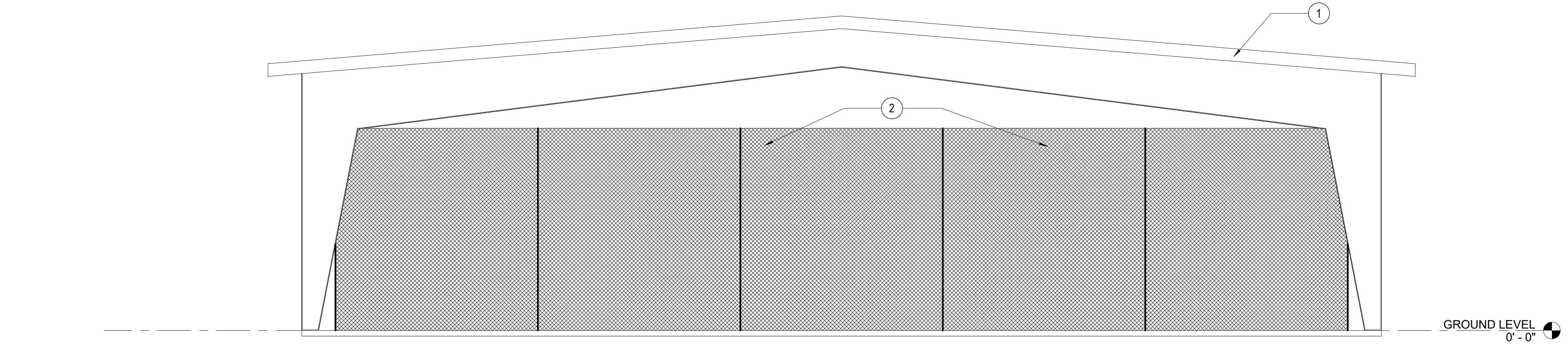
3 EAST ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



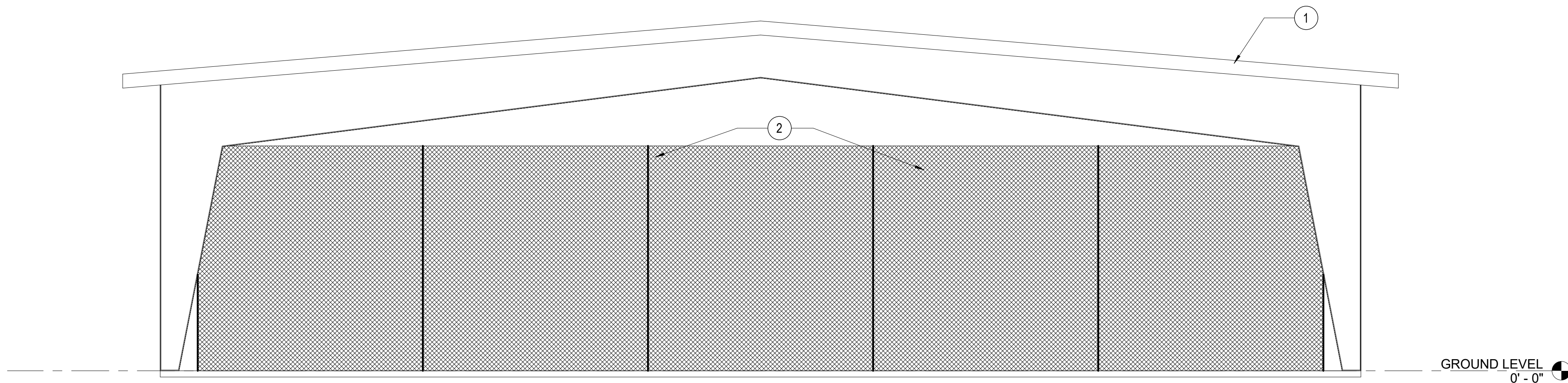
4 WEST ELEVATION - STORAGE BUILDING
1/4" = 1'-0"

KEYNOTE LEGEND

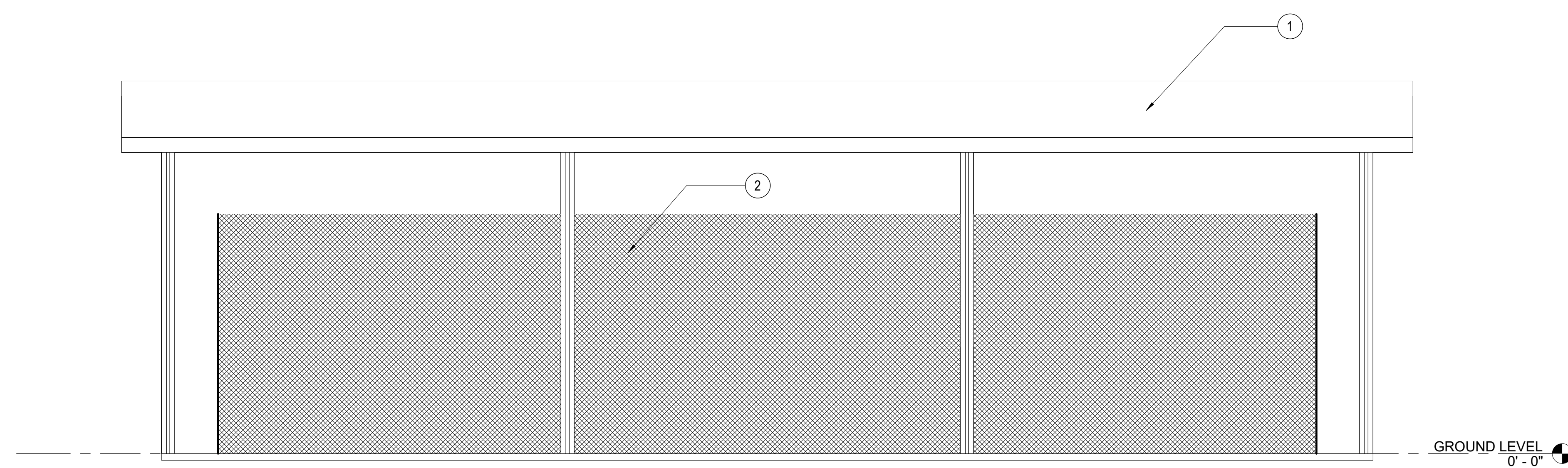
- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.



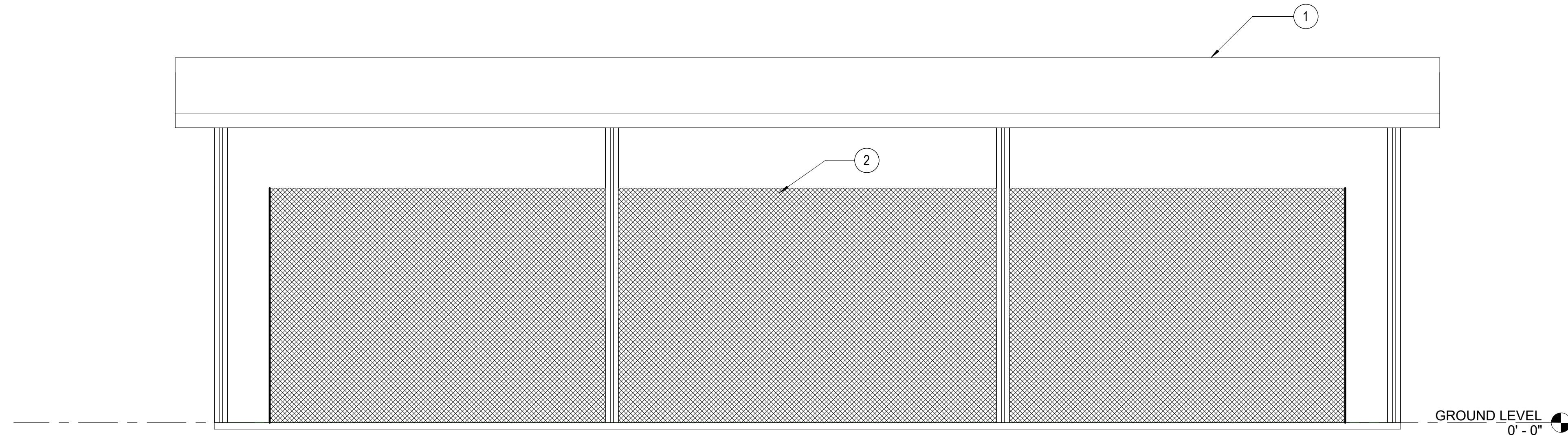
1 EAST ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



2 WEST ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



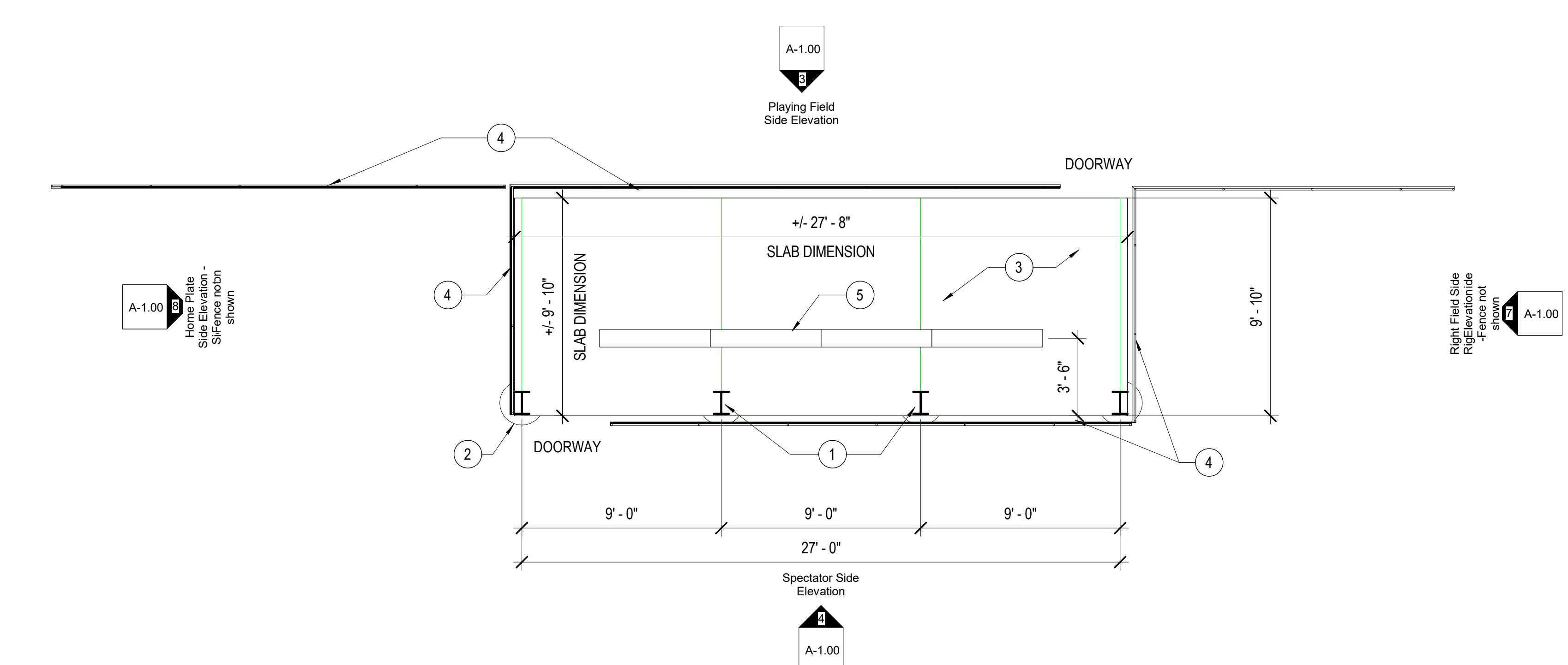
3 NORTH ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



4 SOUTH ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"

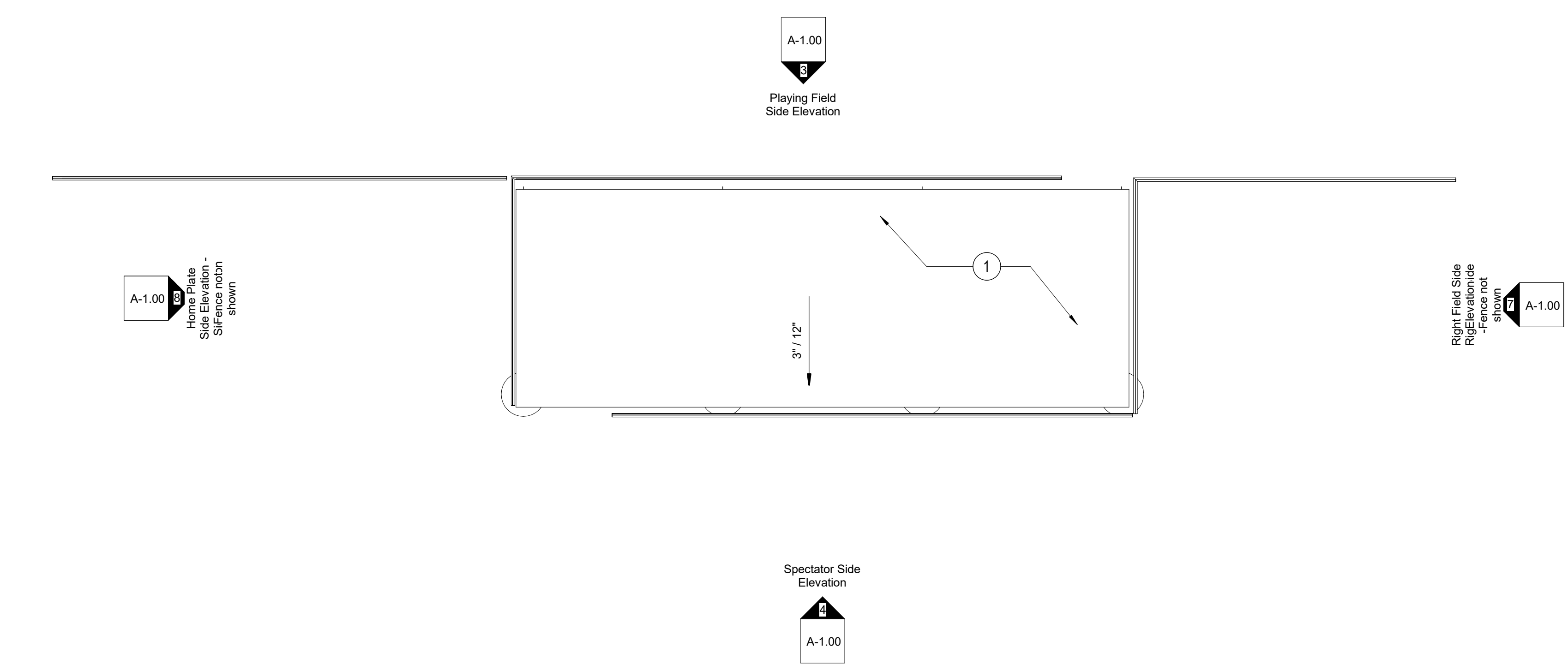
KEYNOTE LEGEND

- 1 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- 2 DEPICTS BATTING CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.

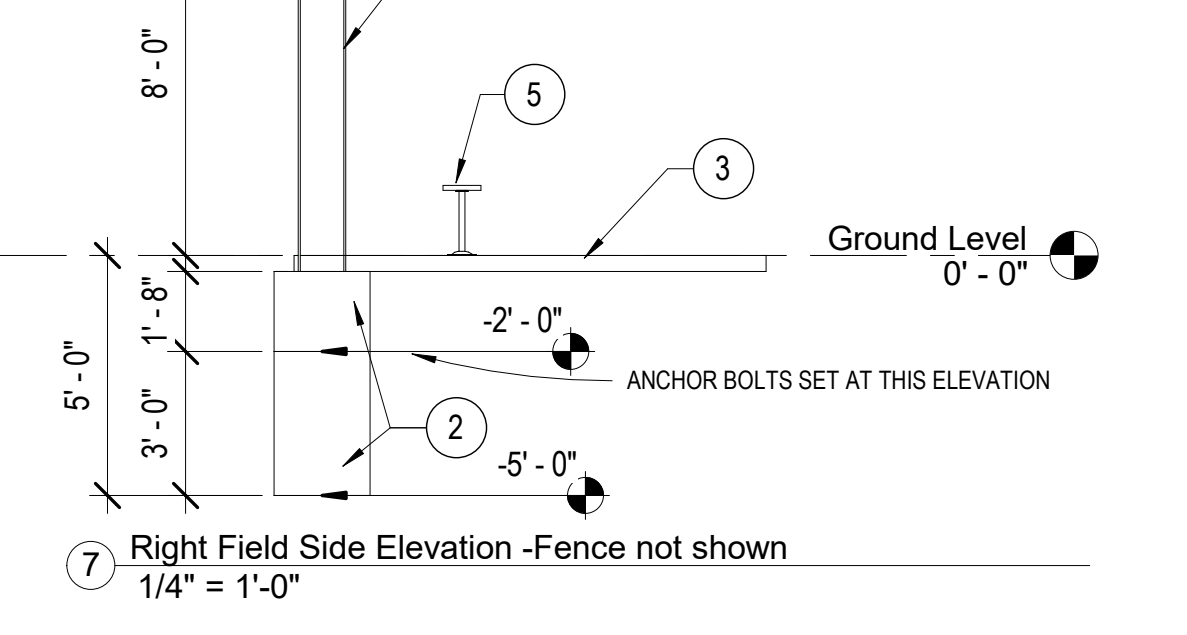
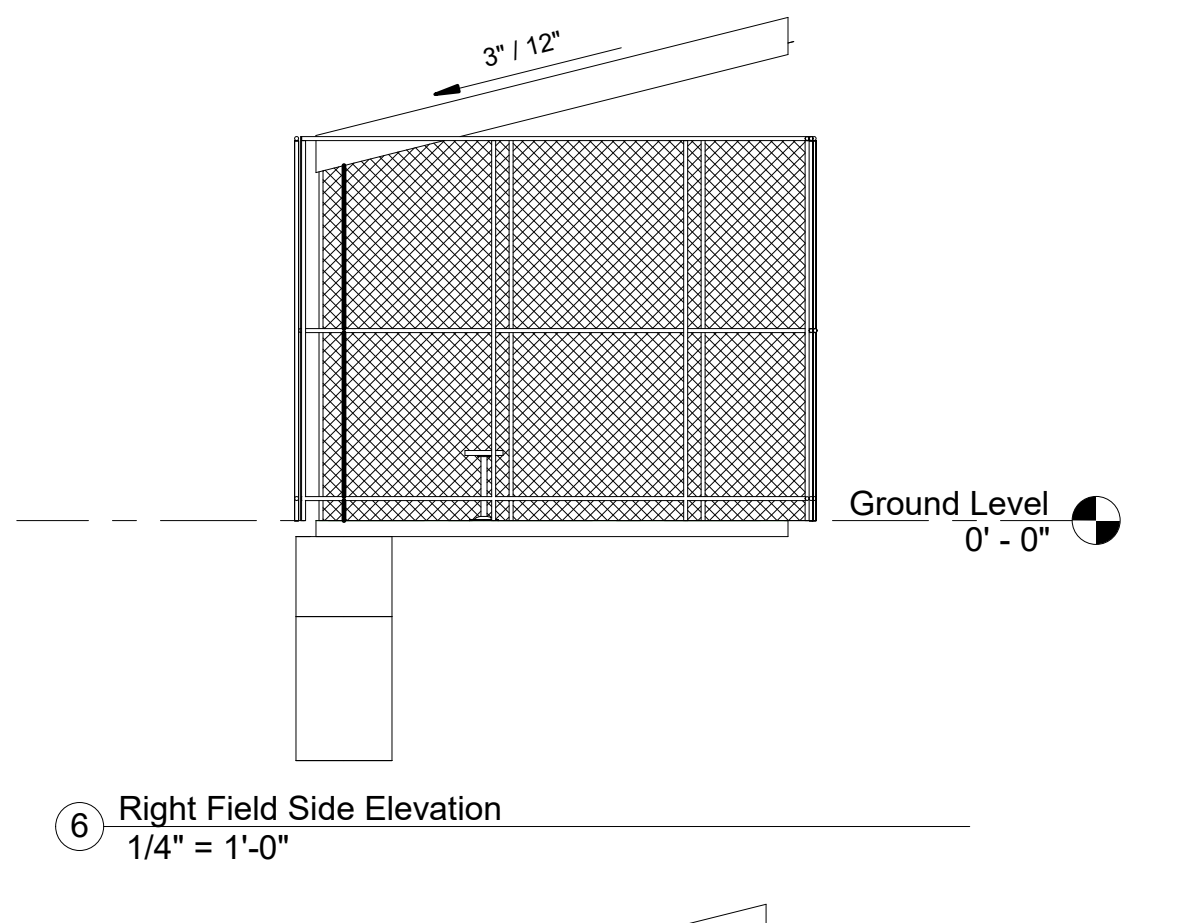
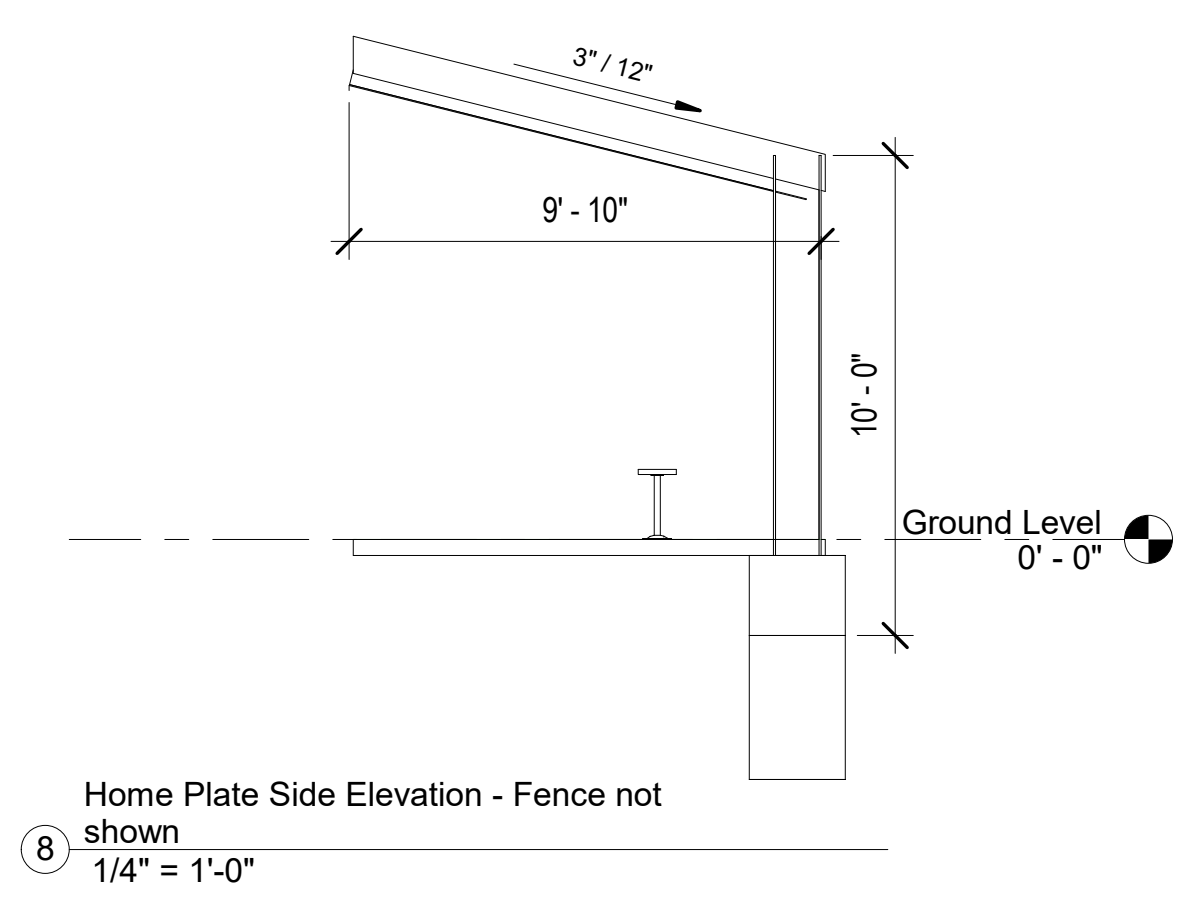
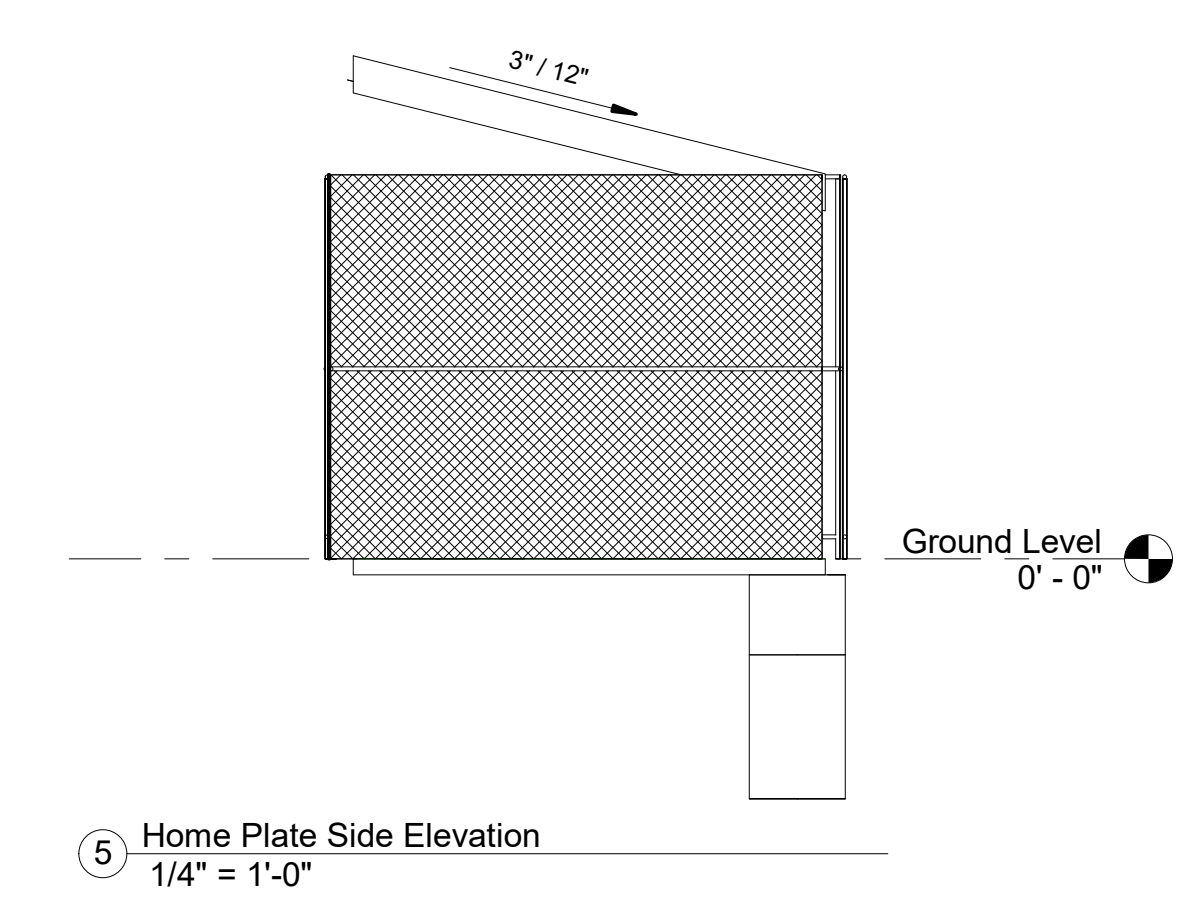
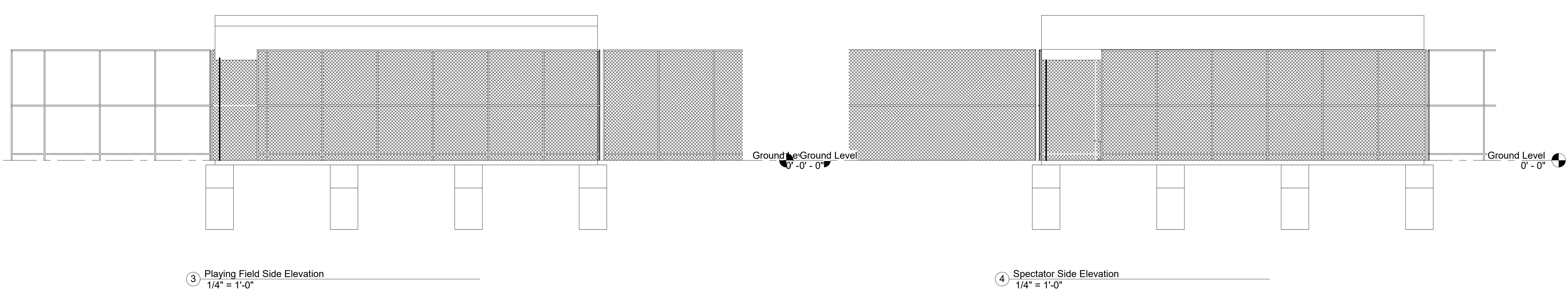


1 Represents Dugout along 1st Base Line
1/4" = 1'-0"

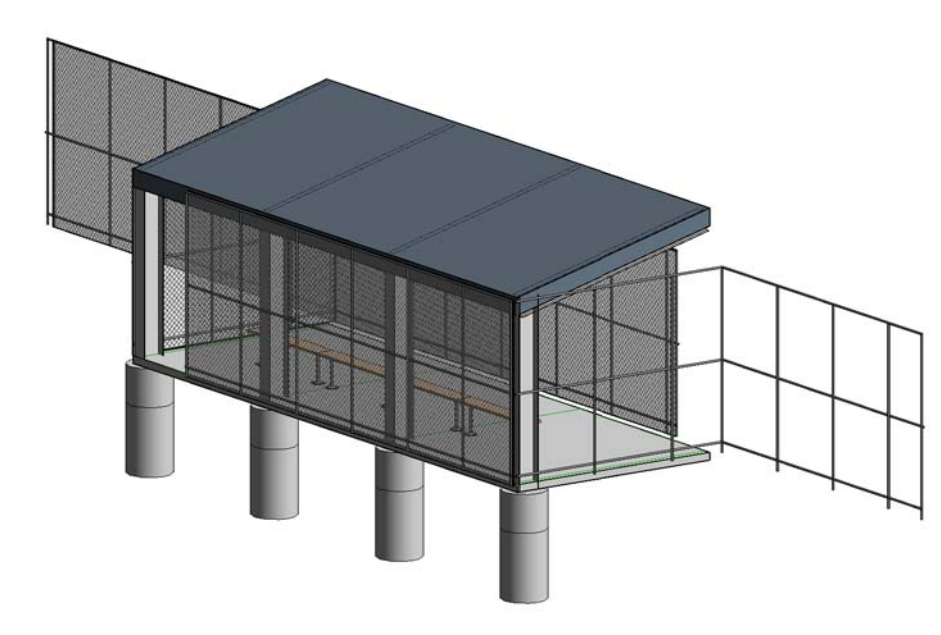
FOUR DUGOUT UNITS TO BE BUILT AS SHOWN, THESE TO BE LOCATED ON FIRST BASE SIDE OF FIELD.
FOUR DUGOUT UNITS TO BE OPPOSITE HAND, THESE TO BE LOCATED ON THIRD BASE SIDE OF FIELD.



2 Site / Roof View
1/4" = 1'-0"



- ### KEYNOTE LEGEND
- 1 DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS. RIGID FRAME IN INSET ROOF PURLINS. ROOF COVER AND TRIM TO BE 26 GAUGE METAL. COLOR BY OWNER. BASE PLATE OF RIDGE FRAME COLUMN TO BE SET AT 24" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
 - 2 24" DIAMETER CONCRETE PILASTER TO SUPPORT BUILDING FRAME COLUMN. FIRST SECTION TO DEPTH OF 5'-0" (-5'-0" ELEV.) BELOW FINISH SLAB SURFACE. THIS SECTION TO BE POURED TO A HEIGHT OF 3'-0" (-2'-0" ELEV.) OR 2'-0" BELOW FINISH SLAB SURFACE. PLACE ANCHOR BOLTS AS PER BUILDING SUPPLIER REQUIREMENTS. REINFORCE WITH #3 CIRCULAR TIES AT 12" o.c. HORIZONTAL, AND 4 #5 x 4'-6" LENGTH VERTICAL REBAR EXTENDING INTO SECOND PILASTER POUR 18". AFTER COLUMNS ARE SET, ADD SECOND PILASTER SECTION TO A LEVEL OF APPROXIMATELY 4" BELOW FINISH SLAB SURFACE.
 - 3 4" CONCRETE SLAB TO SERVE AS FLOOR OF DUG-OUT.
 - 4 DUG-OUT FENCING - NOT A PART OF DUG-OUT STRUCTURE DRAWINGS.
 - 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
 - 2 Sample keynote



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STUDIO 120 ARCHITECTURE

120 EAST 10TH STREET, SCOTTSBLUFF, NE 69361

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SUB-CONSULTANT:

PRELIMINARY PLAN

NOT TO BE USED FOR CONSTRUCTION

Revision Schedule

No. | Date | Description

PROJECT TITLE:

NEW FIELD DUG-OUT STRUCTURES

P.O. BOX 1185

SCOTTSBLUFF, NEBRASKA 69363

CLIENT NAME

SHEET TITLE:

DUG-OUT PLAN AND ELEVATION VIEWS

COMPLETION: Project Status

DATE ISSUED: Issue Date

PROJECT:

Project Number

DESIGN

DRAWN

CHECK

Designer

Author

Checker

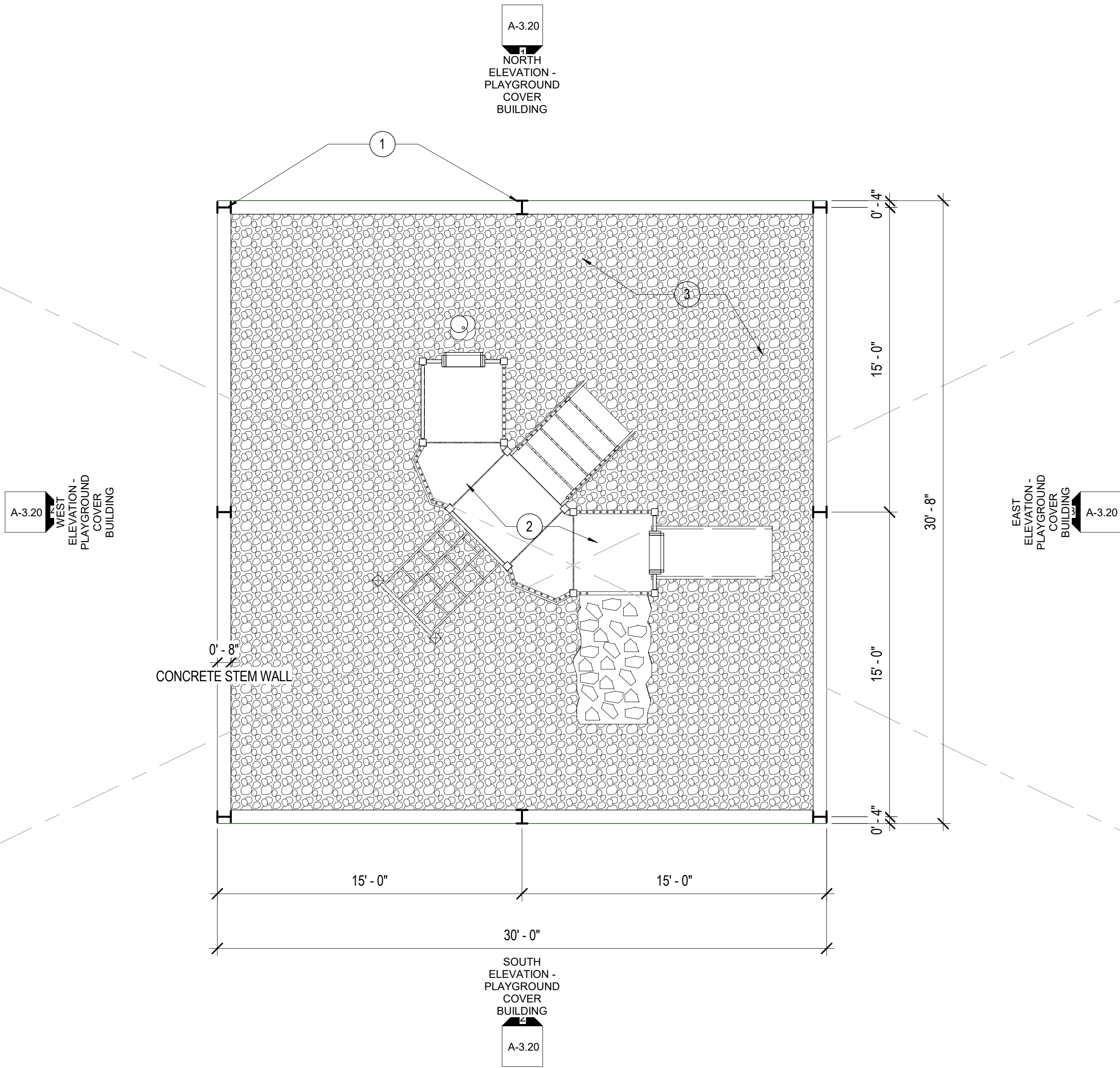
SHEET NUMBER

A-1.00

1

1/4" = 1'-0"

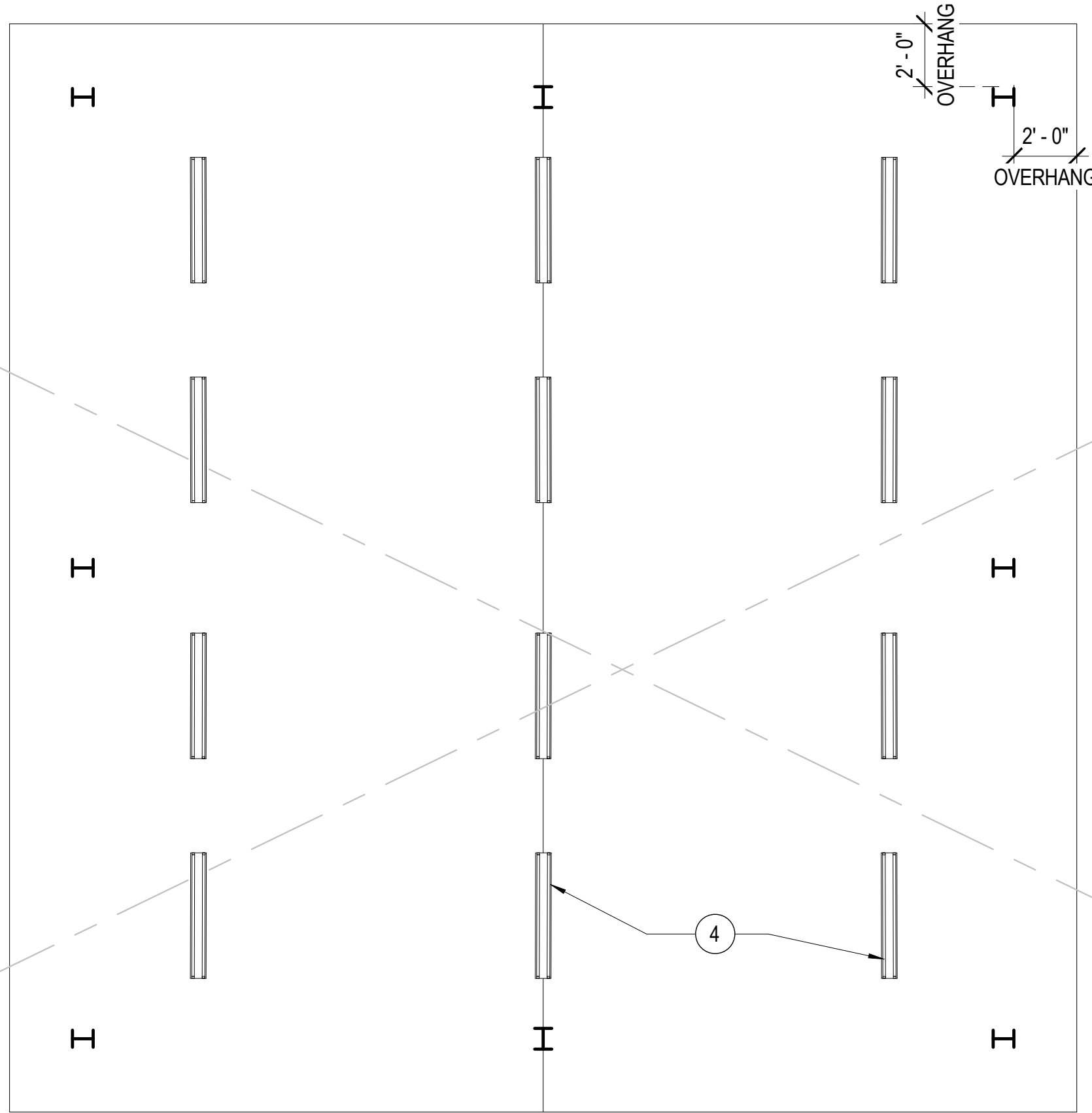
GROUND LEVEL- PLAYGROUND COVER BUILDING



2

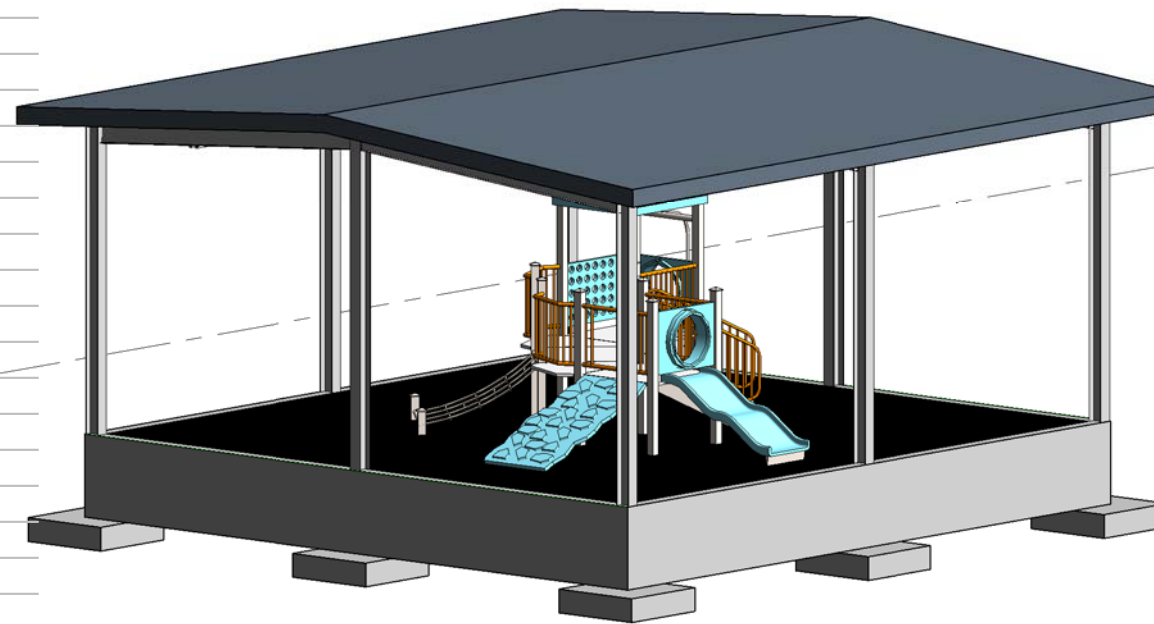
1/4" = 1'-0"

REFLECTED CEILING PLAN- PLAYGROUND COVER BUILDING



KEYNOTE LEGEND

- 30' x 30' x 14' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL ROOF, AND TRIM. OWNER TO CHOOSE COLORS..
- PLAYGROUND EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- PLAYGROUND SURFACE - TO BE DETERMINED BY OWNER - PEA GRAVEL, SHREDDED RUBBER MULCH, POURED RUBBER, OR RUBBER TILES.
- SUPPORTED FROM ROOF PURLINS. 4' LED LIGHT FIXTURE - TWO LUMINAIRE.



3 PERSPECTIVE

Revision Schedule

No.	Date	Description
1	Date 1	Revision 1

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
GROUND LEVEL AND CEILING PLAN -
PLAYGROUND COVER BUILDING

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN	DRAWN	CHECK
tw	tw	Checker

SHEET NUMBER

A-1.20

SUB-CONSULTANT:

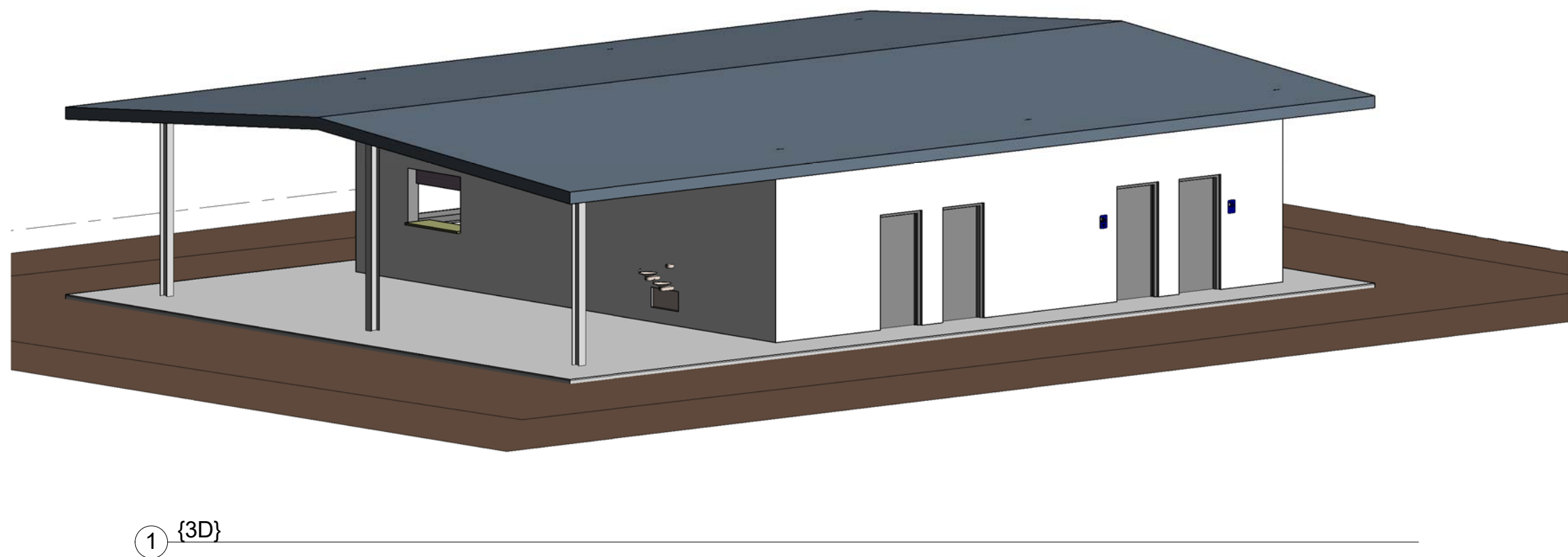
PRELIMINARY PLAN
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CONSTRUCTION



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CONCESSIONS & RR'S BUILDING

STREET ADDRESS, CITY, STATE, ZIP CODE



PROJECT PICTURE



VICINITY MAP



KEYPLAN

PROJECT CONTACTS

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Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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Drawing Sheet Index - Mechanical

Sheet Number	Sheet Title
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Drawing Sheet Index - Plumbing

Sheet Number	Sheet Title
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Drawing Sheet Index - Fire Protection

Sheet Number	Sheet Title
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Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL PLAN CONCESSIONS BLDG.
A-1.10	ROOF PLAN
A-2.00	GROUND LEVEL REFLECTED CEILING PLAN
A-3.10	EXTERIOR BUILDING ELEVATIONS
A-3.11	EXTERIOR BUILDING ELEVATIONS
A-8.00	INTERIOR ELEVATIONS
A-8.01	INTERIOR ELEVATIONS
A-10.00	ARCHITECTURAL DETAIL SHEET
Total Number of Sheets: 9	

ARCHITECTURAL GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO THE ARCHITECTURAL DRAWINGS:
- ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS AND ASSEMBLIES, MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE WORK CONTRARY TO GOVERNING REGULATIONS.
 - THE ARCHITECTURAL DRAWINGS ARE A PORTION OF THE SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSIST OF ALL DRAWINGS OF ALL DISCIPLINES LISTED BY THE OVERALL DRAWING INDEX. THE WORK DESCRIBED BY THE DRAWINGS ON ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
 - AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
 - IT IS THE INTENT OF THE ARCHITECTURAL DRAWINGS TO ESTABLISH AND COORDINATE THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. LOCATIONS SHOWN ON OTHER DISCIPLINE'S DRAWINGS ARE SCHEMATIC UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION AT ALL TIMES.
 - DO NOT SCALE DRAWINGS.
 - WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER NOTES AND TYPICAL DETAILS. DETAILS NOTED AS TYPICAL APPLY TO ALL SIMILAR CONDITIONS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.
 - THE ARCHITECTURAL FLOOR PLANS, REFLECTED CEILING PLANS, SECTIONS AND ELEVATIONS ILLUSTRATE THE EXACT LOCATION OF MANY, BUT NOT ALL EXPOSED PARTS OF THE WORK. APPLY THE FOLLOWING RULES IN ORDER, TO DETERMINE THE EXACT LOCATION OF EACH EXPOSED PART OF THE WORK:
 - REFER TO THE SPECIFIC APPLICABLE LARGE-SCALE ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS OR DETAILS. LOCATE AS DIMENSIONED.
 - IF NOT SHOWN OR UNIQUELY DIMENSIONED, REFER TO THE APPLICABLE TYPICAL ARCHITECTURAL MOUNTING HEIGHT AND/OR CONFIGURATION DETAILS. LOCATE AS INDICATED BY THE APPLICABLE DETAIL OR RULE.
 - IF NOT SHOWN OR DIMENSIONED ON TYPICAL ARCHITECTURAL DETAILS, LOCATE AS DIMENSIONED BY THE DRAWINGS OF OTHER DISCIPLINES.
 - IF NOT SHOWN OR DIMENSIONED ON DRAWINGS OF OTHER DISCIPLINES, PLACE AT THE APPROXIMATE LOCATION SHOWN BY THE DRAWINGS OF OTHER DISCIPLINES.
 - STUDIO 120 ARCHITECTURE CONSIDERS THAT PLANS AND SPECIFICATIONS ARE APPROVED DOCUMENTS ONLY IF:
 - THE DOCUMENTS ARE PAPER COPIES WITH SIGNATURES AND PROFESSIONAL CERTIFICATION VISIBLE PRESENT ON THE PAPER COPIES OR
 - ELECTRONIC FILES IN ADOBE® PORTABLE DOCUMENT FILE (PDF) FORMAT ISSUED DIRECTLY BY STUDIO 120 ARCHITECTURE (HEREINAFTER REFERRED TO AS ELECTRONICALLY TRANSMITTED DATA).

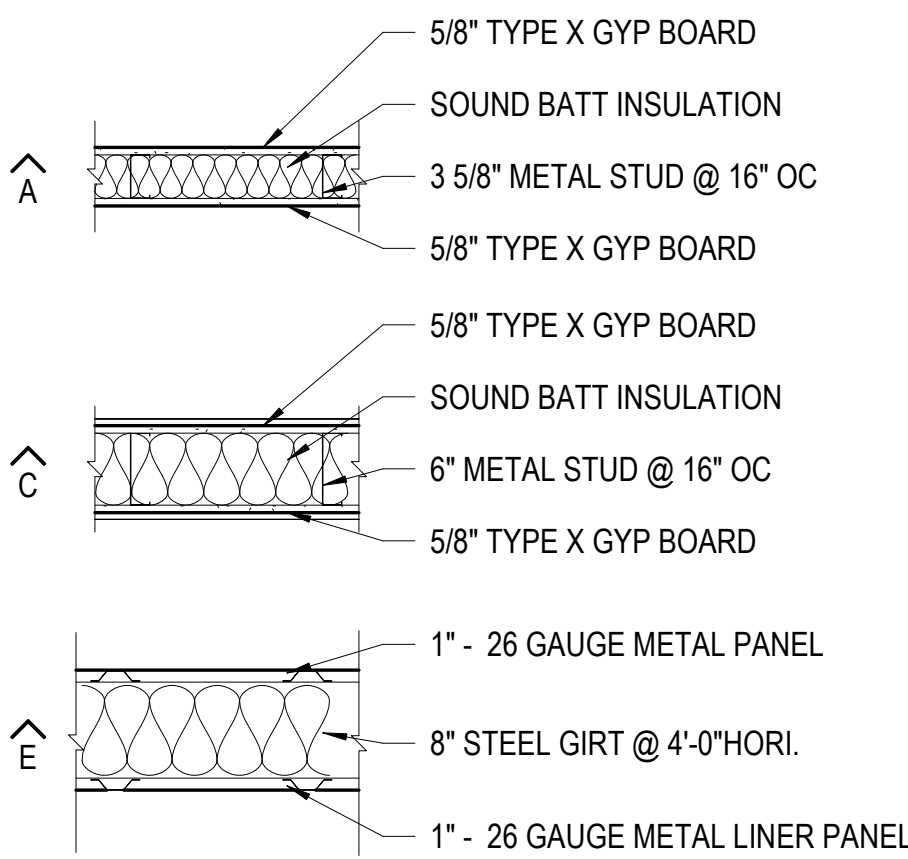
INFORMATION SUPPLIED VIA METHODS OTHER THAN THOSE NOTED ABOVE ARE NOT TO BE CONSIDERED APPROVED DOCUMENTS. THE RECEIVER OF ELECTRONICALLY TRANSMITTED DOCUMENTS IS RESPONSIBLE FOR VERIFYING THE INFORMATION PROVIDED IS AN APPROVED DOCUMENT. THE USE OF ELECTRONICALLY TRANSMITTED DRAWINGS IS CONSIDERED TO BE AT THE USER'S RISK. STUDIO 120 ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR ANY CLAIMS OR DAMAGES RESULTING FROM USE OF THIS ELECTRONIC INFORMATION.

ELECTRONIC INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT ONLY. THE ELECTRONIC INFORMATION IS COPYRIGHTED AND MAY NOT BE TRANSFERRED TO ANY OTHER PARTY WITHOUT THE PERMISSION OF STUDIO 120 ARCHITECTURE.
 - REASONABLE EFFORT HAS BEEN MADE BY THE ENGINEER TO INDICATE THE TYPE, SIZE, LOCATION, AND NUMBER OF KNOWN UNDERGROUND FACILITIES ON THE DRAWING(S). HOWEVER, NO GUARANTEE IS MADE AS TO THE TRUE TYPE, SIZE, LOCATION, OR NUMBER OF SUCH FACILITIES. THE OMISSION FROM OR THE INCLUSION OF, UTILITY LOCATIONS ON THE DRAWING(S) IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR AN ABSOLUTE LOCATION OF, EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE NEBRASKA ONE-CALL NOTIFICATION ACT (STATE OF NEBRASKA TITLE 155, CHAPTER 2) OR WYOMING UNDERGROUND FACILITIES NOTIFICATION ACT (STATE OF WYOMING TITLE 37, CHAPTER 12) AS APPROPRIATE.

ARCHITECTURAL SUPPLEMENTAL NOTES

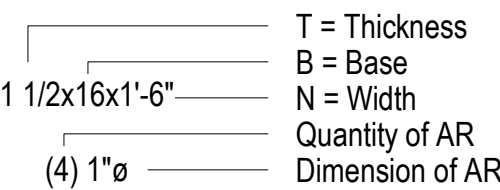
- ALL NEW CONSTRUCTION IS TO CONFORM TO LOCAL, STATE AND NATIONAL BUILDING AND SAFETY GOVERNING AGENCIES. THE FOLLOWING DRAWINGS ARE SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY LOCAL, STATE AND NATIONAL GOVERNING AGENCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR TOTAL FAMILIARITY WITH EXISTING CONDITIONS. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO SUBMITTAL OF BID TO BUILDING REPRESENTATIVE.
- CONTRACTOR IS TO COORDINATE BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS ALONG WITH THE DESIGNATED SUB-CONTRACTORS FOR ALL OF THE TRADES.
- ALL NEW CONSTRUCTION DETAILS, FINISHES, TEXTURES, ETC., ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR BUILDING INDUSTRY STANDARDS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO COORDINATE WITH OWNER'S VENDORS ON SCHEDULING REQUIREMENTS AND INSTALLATION OF ITEMS BEING SUPPLIED AND INSTALLED BY THEM IF THEY ARE NOT A PART OF THE CONSTRUCTION CONTRACT.
- ALL THE FIRE PROTECTION AND LIFE SAFETY SYSTEMS ARE TO BE PROVIDED AS REQUIRED PER THE CODE REQUIREMENTS. VERIFY WITH THE BUILDING DEPARTMENT AND FIRE DEPARTMENT. INCLUDE ADDITIONAL SMOKE DETECTORS AND INDICATOR LIGHTS AS REQUIRED AND TYING INTO THE FIRE PROTECTION SYSTEM.
- ALL NEW CONSTRUCTION IS TO ADHERE TO A.D.A. REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE OWNER, SUCH AS LATCH SETS, MOUNTING HEIGHTS, CLEARANCES, SLOPES, GRADES, ETC.
- THE FLOOR SLAB IS NOT TO BE POURED UNTIL ALL EQUIPMENT CONDUIT, PLUMBING, POWER, ETC. HAS BEEN ROUGHED IN.
- PROVIDE TYPE "X" 5/8" GYPSUM BOARD THROUGHOUT NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROVIDE RATED WALLS AS REQUIRED FOR NEW CONSTRUCTION. THIS INCLUDES WALLS, CEILINGS, DUCTWORK, DOORS, FRAMES, HARDWARE, ETC.
- ALL INTERIOR COLORS, TEXTURES AND FINISHES ARE TO BE SELECTED BY THE OWNER/ARCHITECT.
- ANY NOTES MENTIONED ON THIS SHEET OR ON ANY OTHER SHEET SHALL PERTAIN TO ALL SHEETS.
- ALL WORK AND DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

ARCHITECTURAL WALL TYPES

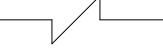


ARCHITECTURAL SYMBOL LEGEND

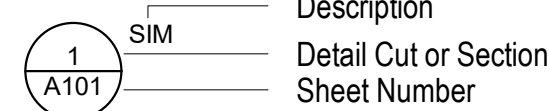
Base Plate Tag



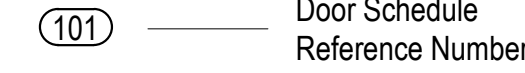
Break Line Symbol



Callout Head Symbol



Door Tag



Drawing Revision Tag



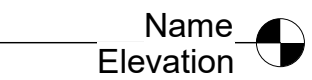
Grid Head Symbol



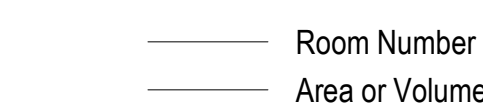
Key Note Symbol



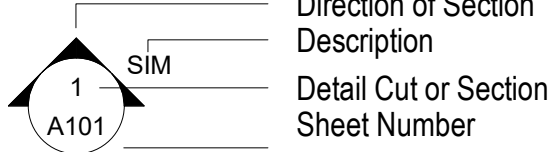
Level Head Symbol



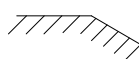
Room Tag



Section Head Symbol



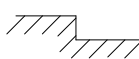
Slope Down Symbol



Spot Elevation Symbol



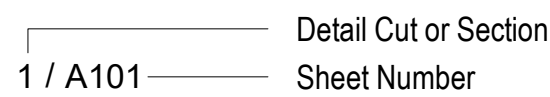
Step Down Symbol



Valley Symbol



View Reference Symbol



Wall Tag



Window Tag



BUILDING STATISTICS

CODE SUMMARY

AREA (GROSS SQUARE FOOTAGE)		APPLICABLE CODES	
Basement	NA	BUILDING	INTERNATIONAL BUILDING CODE - 2009
Non -occupied	NA	LIFE SAFETY	NFPA 101 - 2000
First Floor	1,600 SF	ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE - 2009
Second Floor	NA	MECHANICAL	UNIFORM MECHANICAL CODE - 2012
Third Floor	NA	PLUMBING	UNIFORM PLUMBING CODE - 2012
Fourth Floor	NA	ELECTRICAL	NATIONAL ELECTRICAL CODE - 2011
		ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
OCCUPIED SPACE TOTAL		FIRE PROTECTIVE SYSTEMS	
---- SF		AUTO FIRE SUPPRESSION	NO
		STANDPIPE	NO
NUMBER OF STORIES		FIRE ALARM SYSTEM	NO
		AUTO FIRE DETECTION	NO
		SMOKE DETECTION	NO
		OCCUPANCY GROUP	
		Assembly Group - A5	
		TYPE OF CONSTRUCTION	
		Type II B	



SUB-CONSULTANT:

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

Revision Schedule
No. Date Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
ARCHITECTURAL NOTES, CODE
SUMMARY AND SYMBOL LEGEND

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

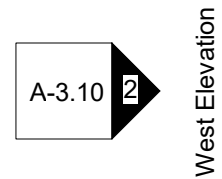
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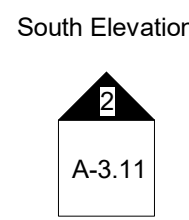
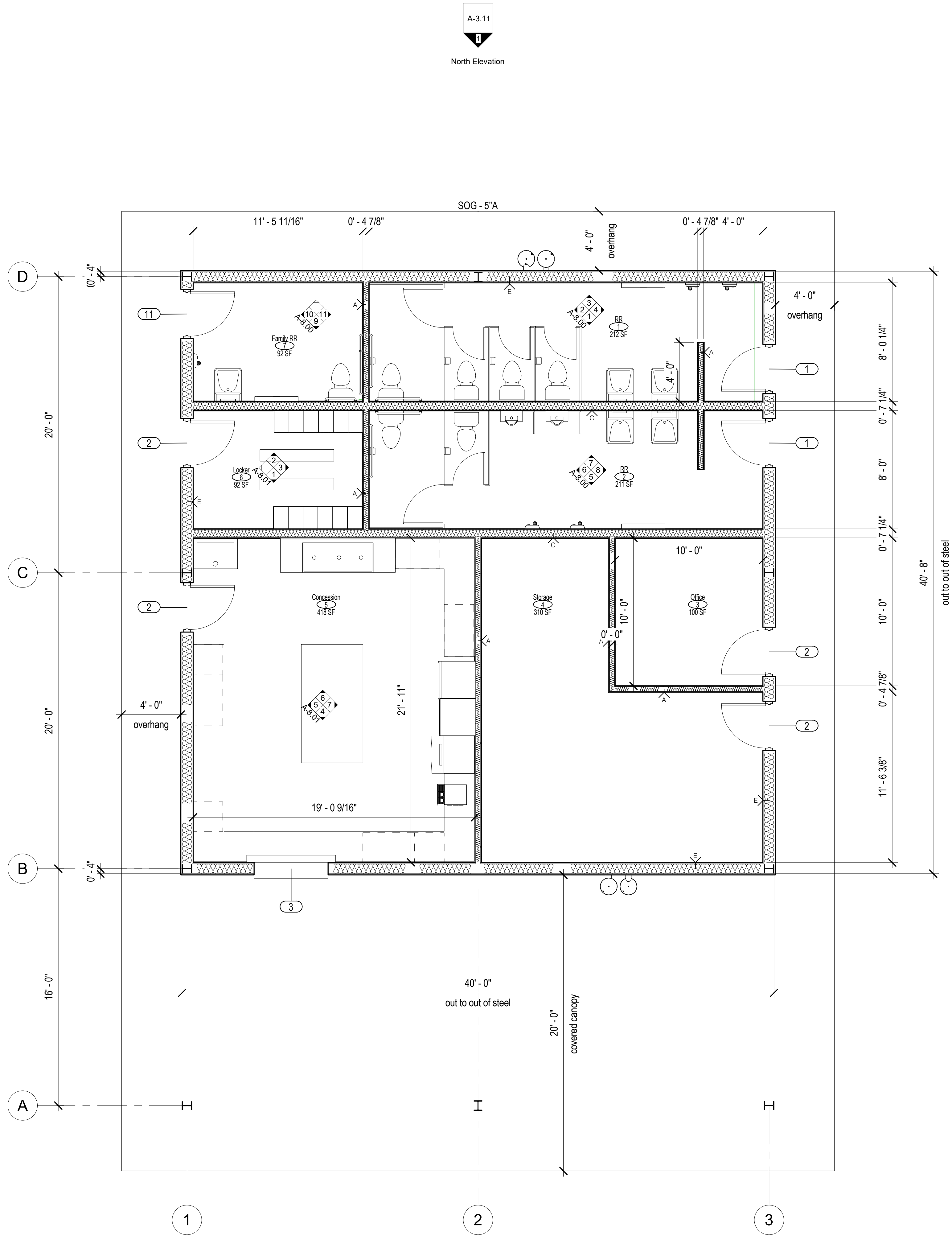


1 Ground Level Plan

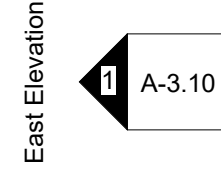
1/4" = 1'-0"



West Elevation



South Elevation



East Elevation

KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS
PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
GROUND LEVEL PLAN CONCESSIONS BLDG.

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

A-1.00

PRELIMINARY PLAN
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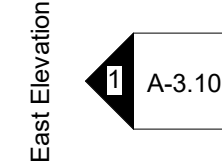
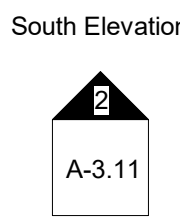
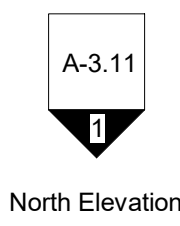
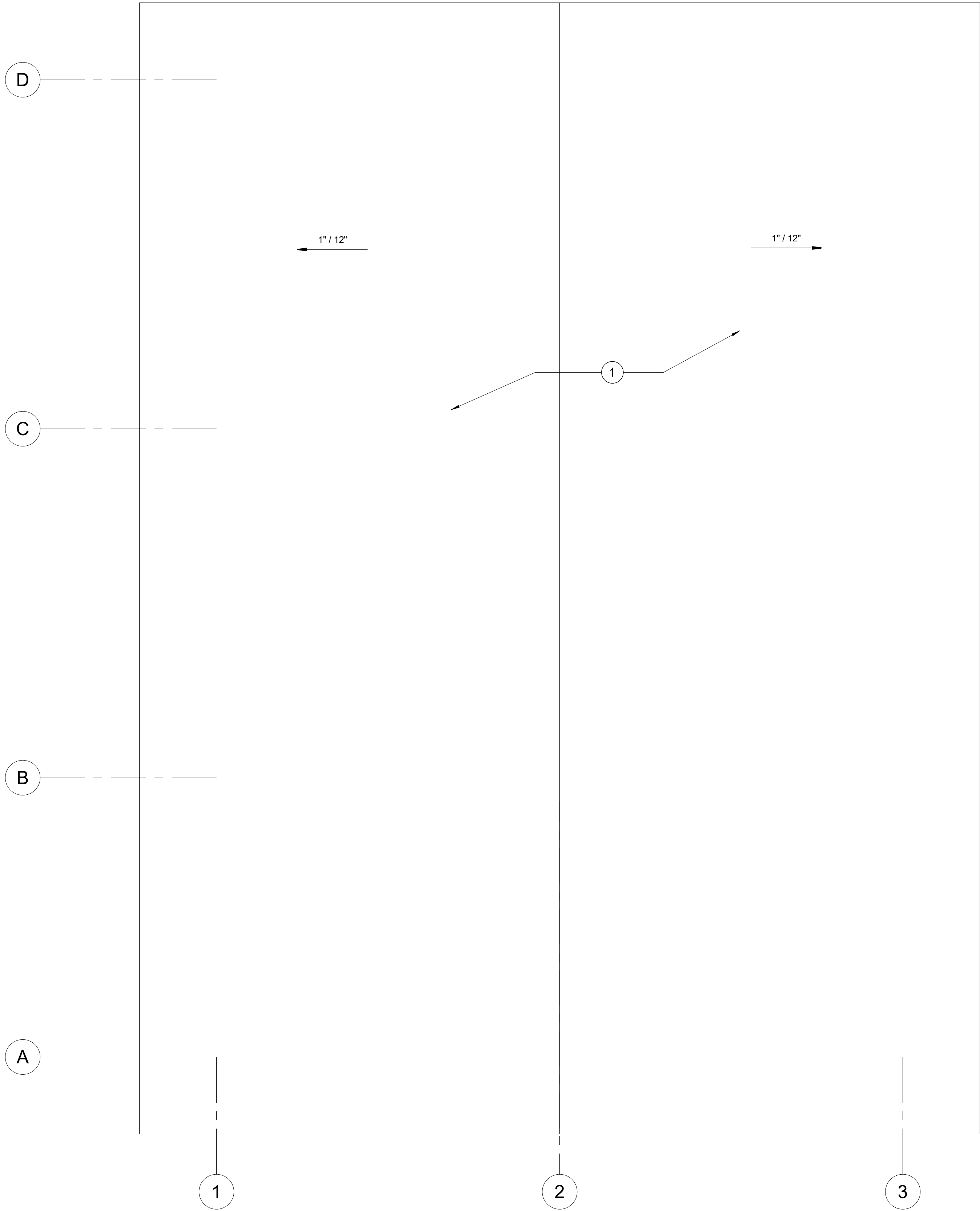
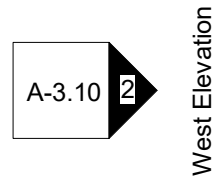


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1 Roof Plan

1/4" = 1'-0"



KEYNOTE LEGEND

- 1 ENCLOSED PORTION METAL BUILDING ROOF SYSTEM TO HAVE R-30 VALUE INSULATION SYSTEM.
- 2 Sample keynote

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS
PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
ROOF PLAN
COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

A-1.10

PRELIMINARY PLAN
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SUB-CONSULTANT:

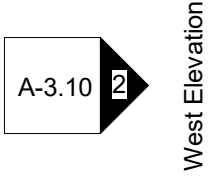


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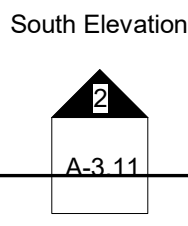
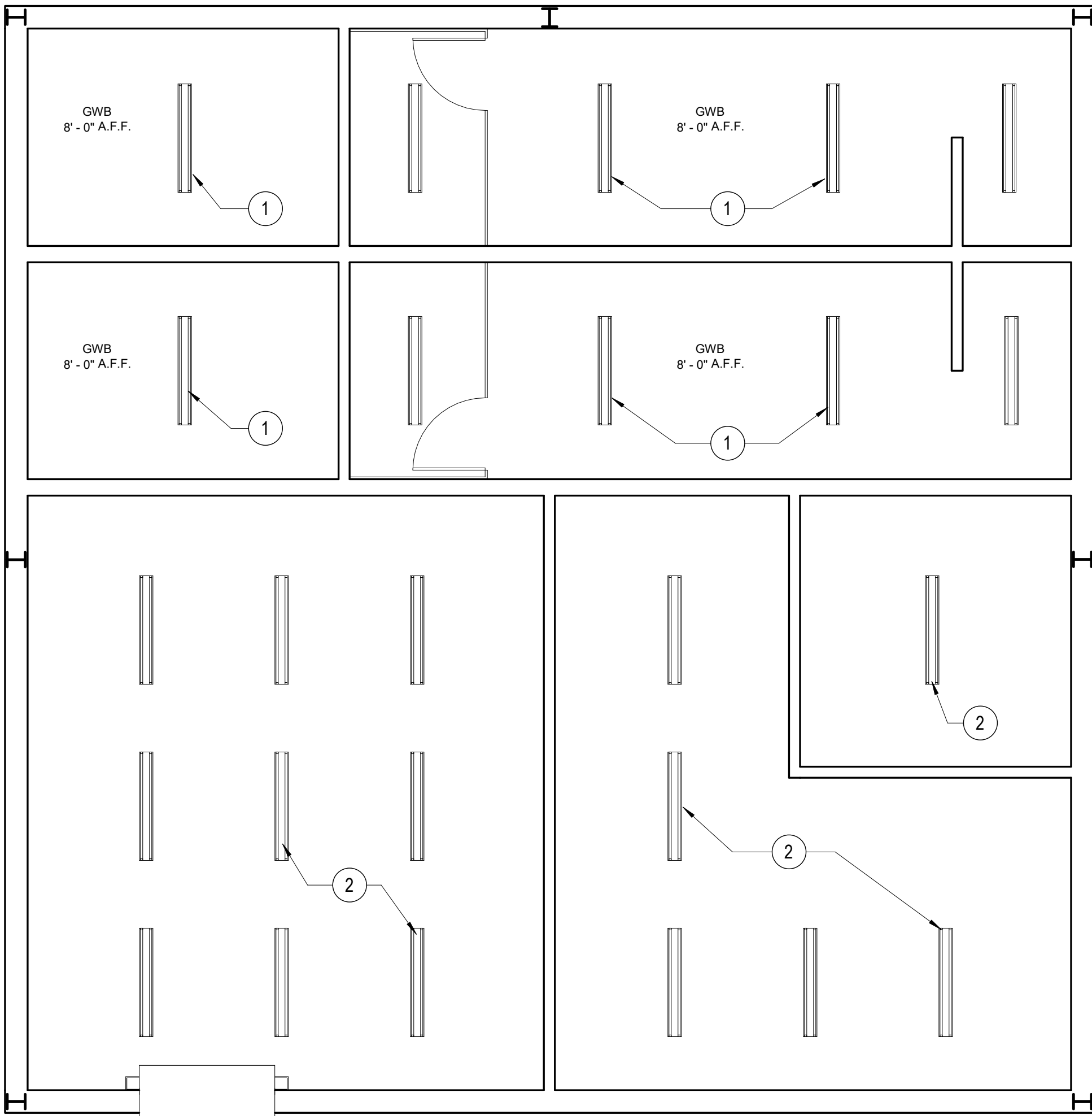


1
1/4" = 1'-0"

Reflected Ceiling Plan

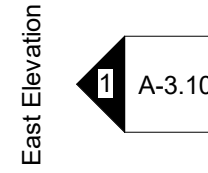


West Elevation



South Elevation

North Elevation



East Elevation

KEYNOTE LEGEND

- 1 CEILING MOUNTED LED TYPE LIGHT FIXTURES.
- 2 CEILING HUNG LED TYPE LIGHT FIXTURES. APPROXIMATE MOUNTING HEIGHT = 10'-0" ABOVE FLOOR.

SHEET TITLE:
GROUND LEVEL REFLECTED CEILING
PLAN

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

A-2.00

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185
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CITY OF SCOTTSBLUFF

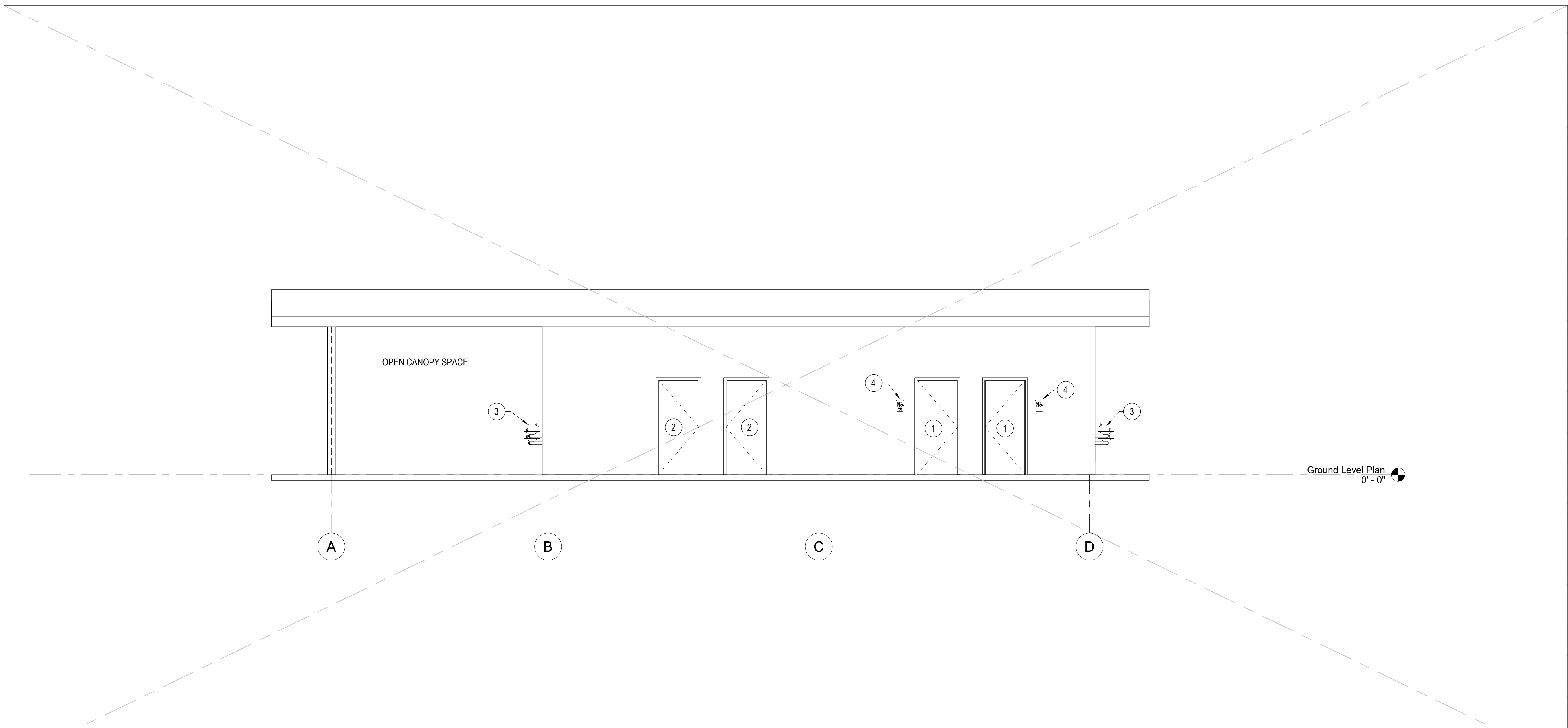
Revision Schedule
No. Date Description

SUB-CONSULTANT:

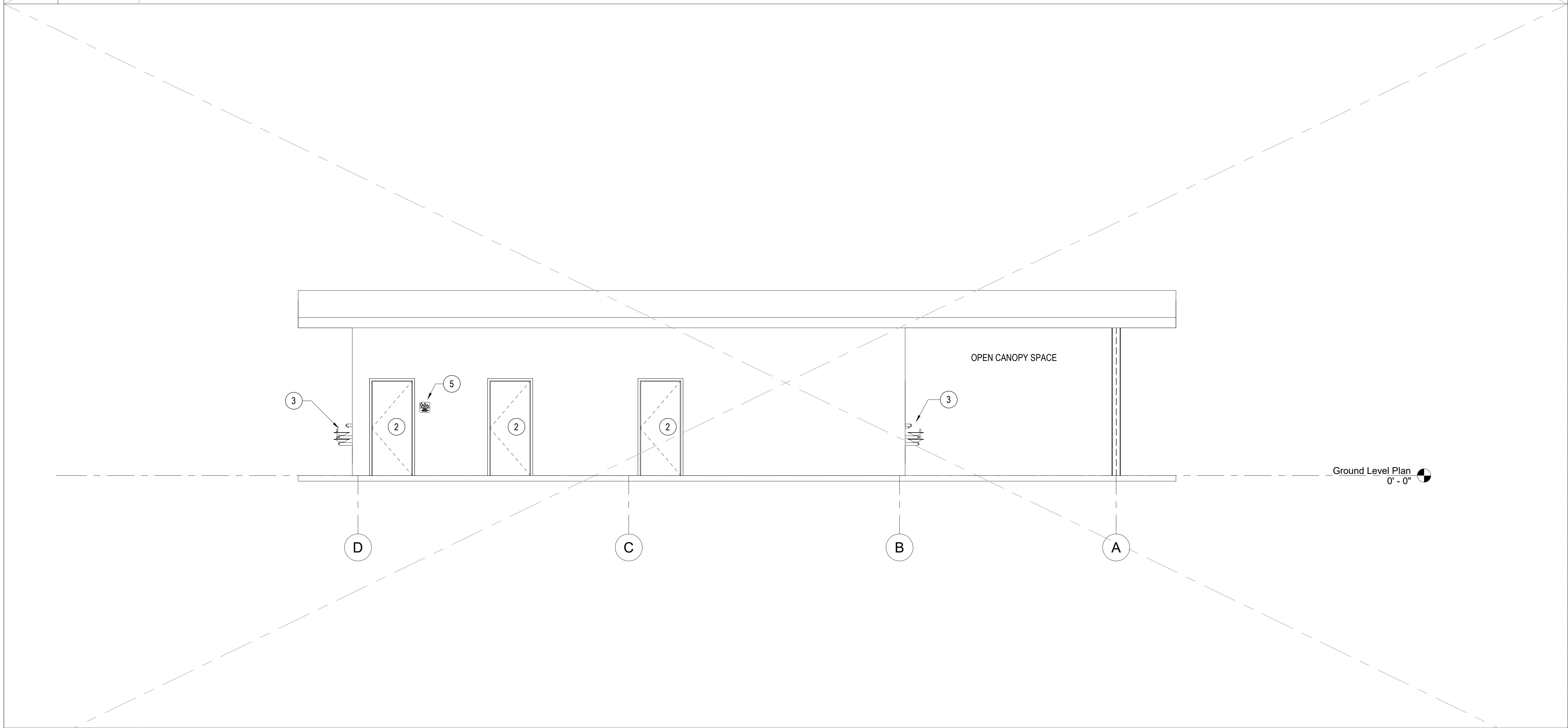
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1 1/4" = 1'-0" East Elevation



2 1/4" = 1'-0" West Elevation

KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- A.D.A. COMPLIANT MENS AND WOMENS RESTROOM SIGNAGE.
- A.D.A. COMPLIANT FAMILY RESTROOM SIGNAGE.

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No. | Date | Description

PROJECT TITLE:
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PO BOX 1185
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CITY OF SCOTTSBLUFF

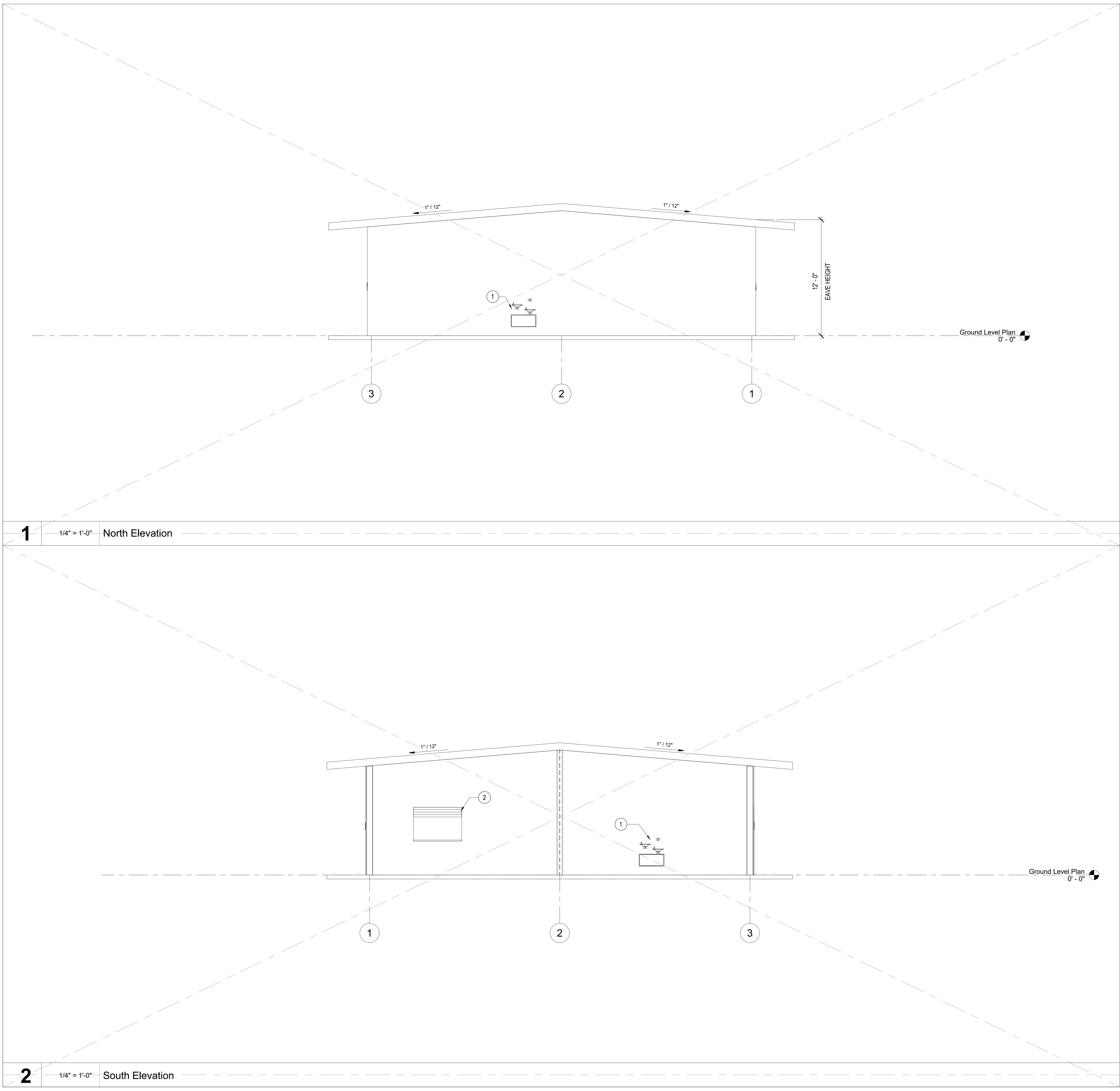
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER
A-3.10



KEYNOTE LEGEND

- 1 TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- 2 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.
- 3 Sample keynote
- 4 Sample keynote

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Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS
PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

COMPLETION: Project Status
DATE ISSUED: Issue Date

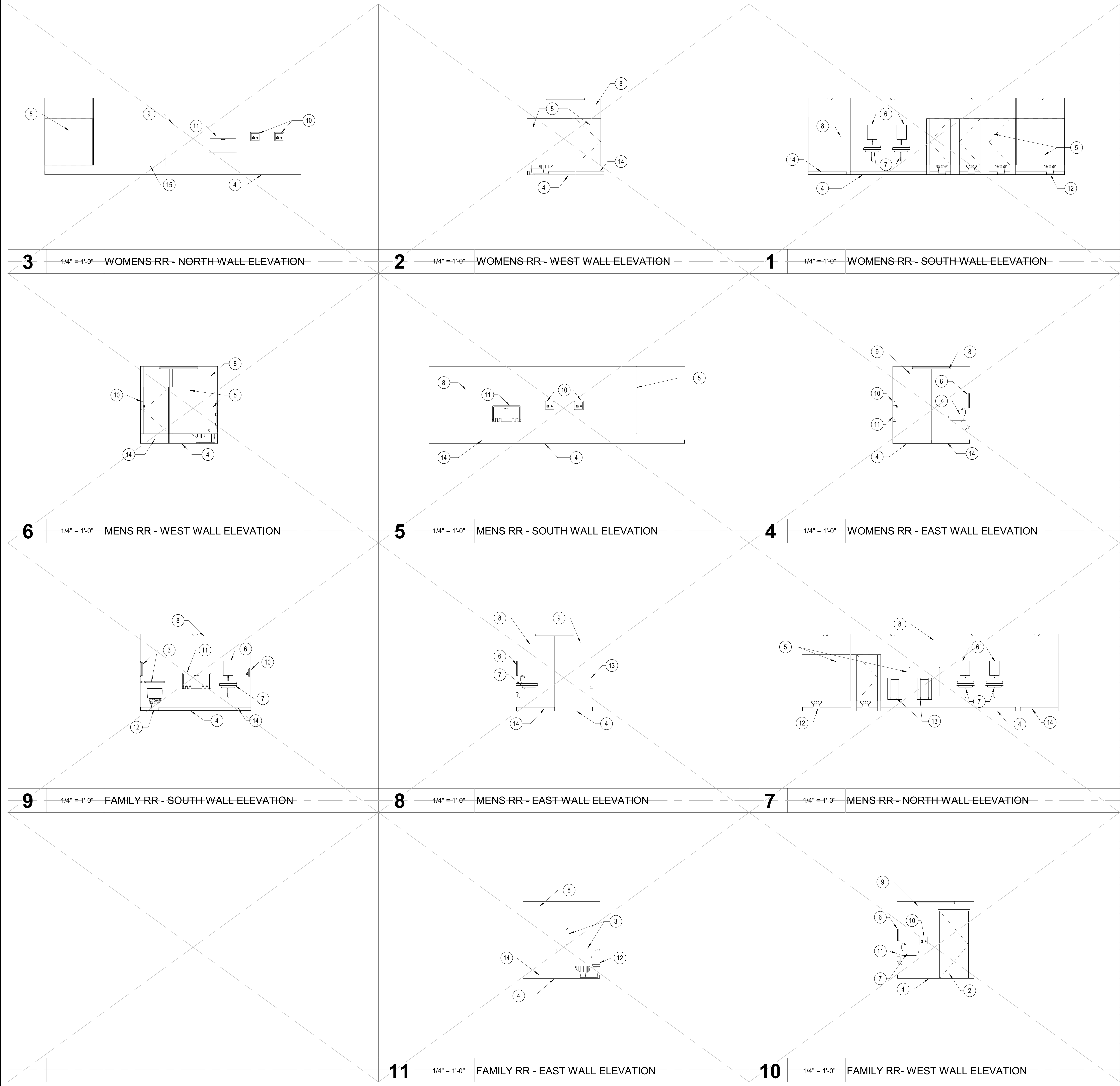
PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER
A-3.11

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KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- A.D.A. GRAB BARS AS SHOWN ON DETAILS- A-10.00.
- SEALED CONCRETE FLOOR ENTIRE BUILDING.
- SOLID POLYMER TYPE TOILET PARTITION UNIT MADE OF SOLID, HIGH DENSITY POLYETHYLENE (HDPE) PANEL MATERIAL NOT LESS THAN 1" THICK. DOOR MANUFACTURERS SUBJECT TO COMPLIANCE BUT NOT LIMITED TO SCRANTON PRODUCTS, OR BRADLEY PRODUCTS. MANUFACTURER'S STANDARD HINGES, LATCH AND KEEPERS, COAT HOOKS SHALL BE ACCEPTABLE. ANCHORAGES AND FASTENERS TO BE MANUFACTURER'S STANDARD NON-CORROSION ANCHORING ASSEMBLIES. SAME CONSTRUCTION FOR URINAL PARTITION.
- A.D.A. STYLE WALL MIRROR - STAINLESS STEEL
- WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- METAL BUILDING LINER PANEL WALL COVER- WHITE.
- ELECTRIC HAND DRYER, FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- BABY CHANGING STATION. FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- A.D.A. APPROPRIATE HEIGHT TOILET- SEE DETAILS SHEET A-2.00.
- URINAL.
- 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY. COLOR BY OWNER.
- WALL ACCESS DOOR PANEL TO ACCESS DRINKING FOUNTAIN.

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

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CITY OF SCOTTSBLUFF

SHEET TITLE:
INTERIOR ELEVATIONS

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

A-8.00

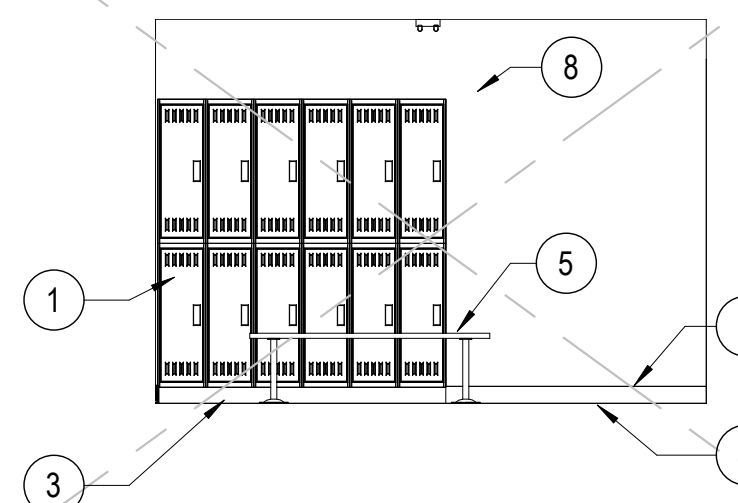
Revision Schedule
No. Date Description

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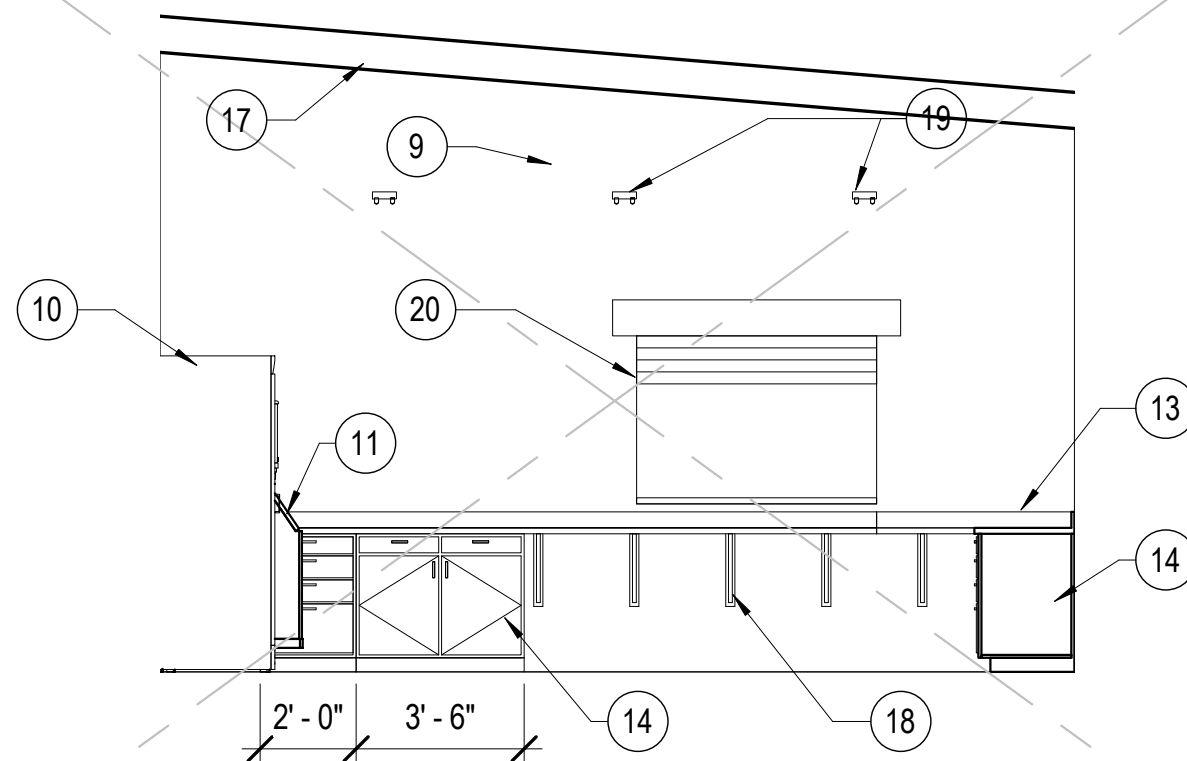
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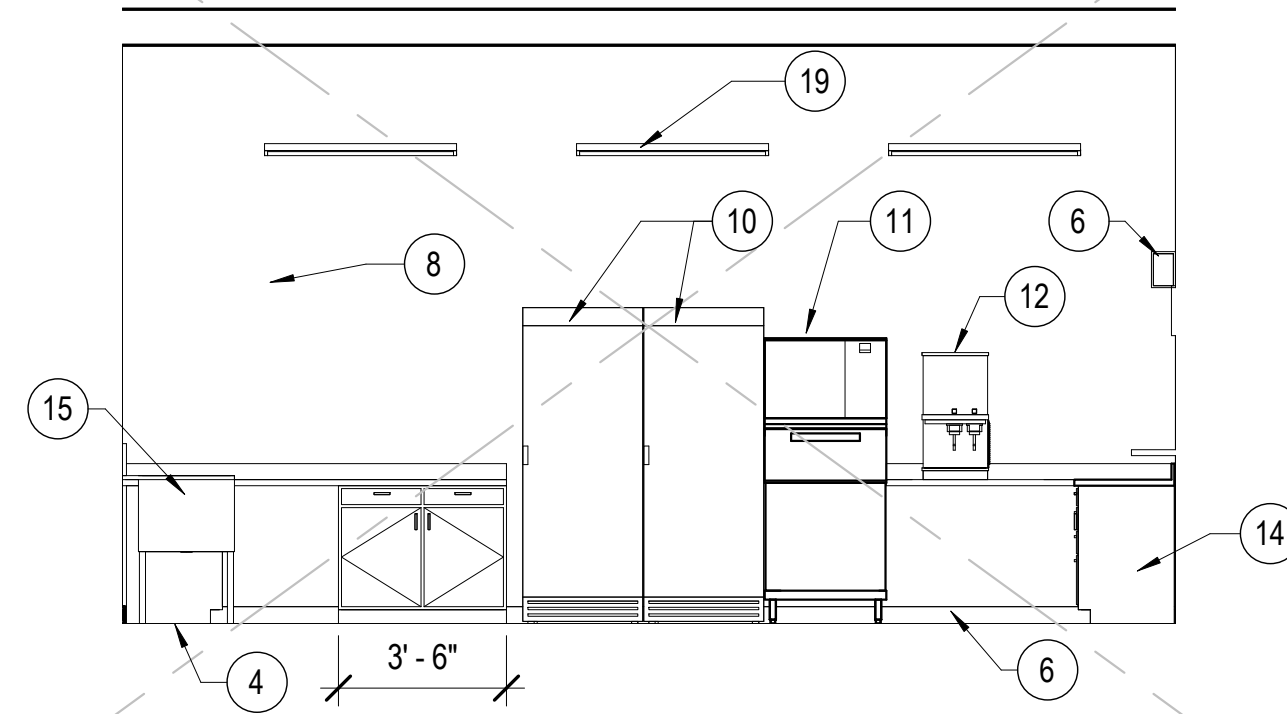
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1 1/4" = 1'-0" LOCKER ROOM - SOUTH WALL ELEVATION



4 $\frac{1}{4}" = 1'-0"$ Elevation 2 - d



7	1/4" = 1'-0"	Elevation 5 - c
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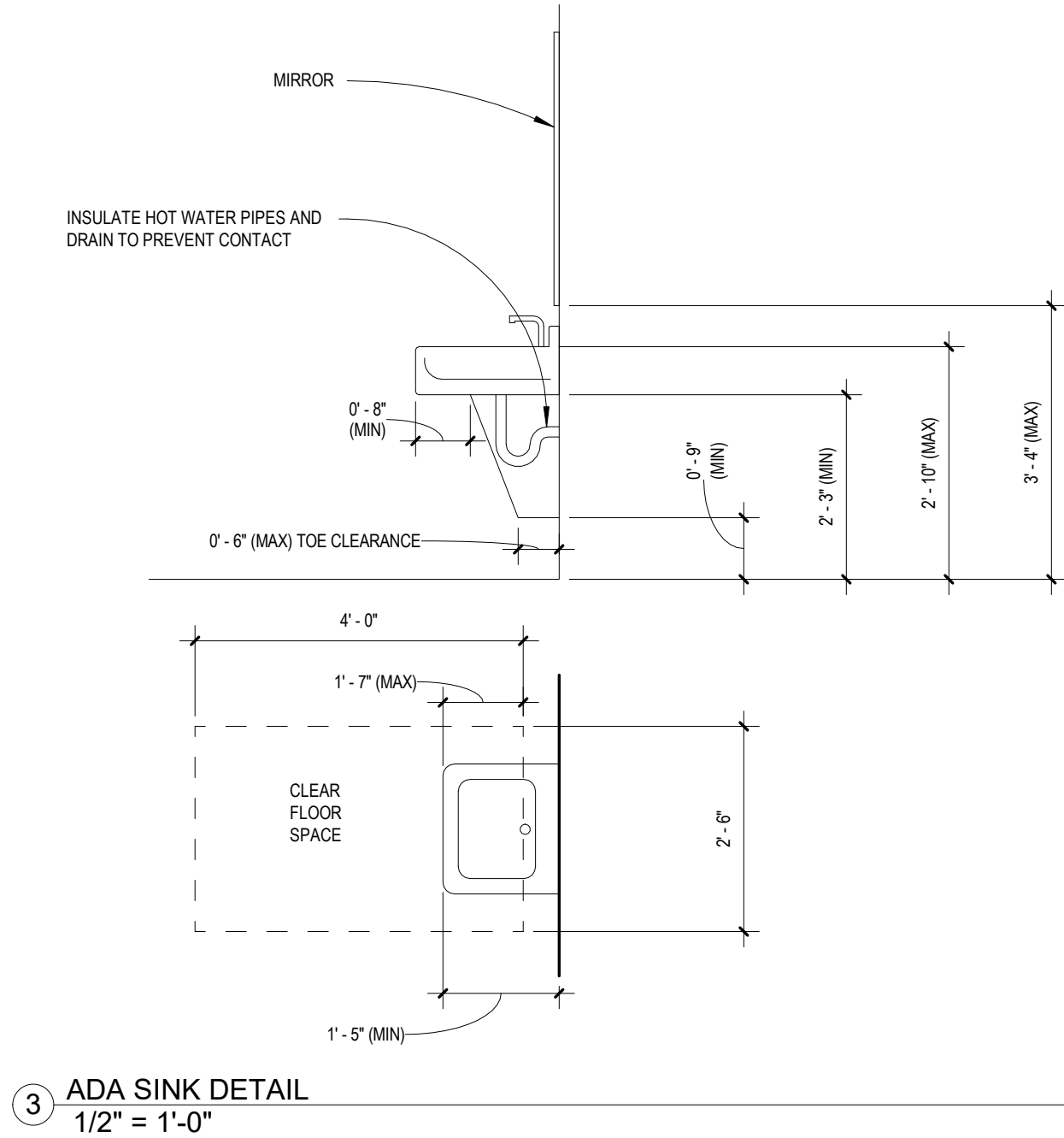
- 1 DOUBLE TIER METAL ATHLETIC LOCKERS- 12" WIDE X 36" HIGH X 18" DEEP, BAKED ENAMEL OR POWDER COAT, COLOR BY OWNER, BASIS OF DESIGN- HADRIAN, GLADIATOR, OR AN APPROVED EQUAL.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCK WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 4" LOCKER SUPPORT RISER, EITHER CONCRETE OR WOOD CONSTRUCTION.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
- 6 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY, COLOR BY OWNER.
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WORK COAT- WHITE.
- 10 DEPICTS POP COOLER- N.I.C.
- 11 DEPICTS ICE MACHINE- N.I.C.
- 12 DEPICTS SODA DISPENSER- N.I.C.
- 13 COUNTER TOPS WITH PLASTIC LAMINATE FINISH.
- 14 BASE CABINETS.
- 15 THREE COMPARTMENT STAINLESS STEEL SINK.
- 16 MOP SINK.
- 17 BUILDING STRUCTURE- ROOF LINE.
- 18 COUNTER TOP SUPPORT BRACKET- SPACED 2'-0" o.c..
- 19 CEILING MOUNTED OR HUNG LIGHT FIXTURES.
- 20 ROLL-UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

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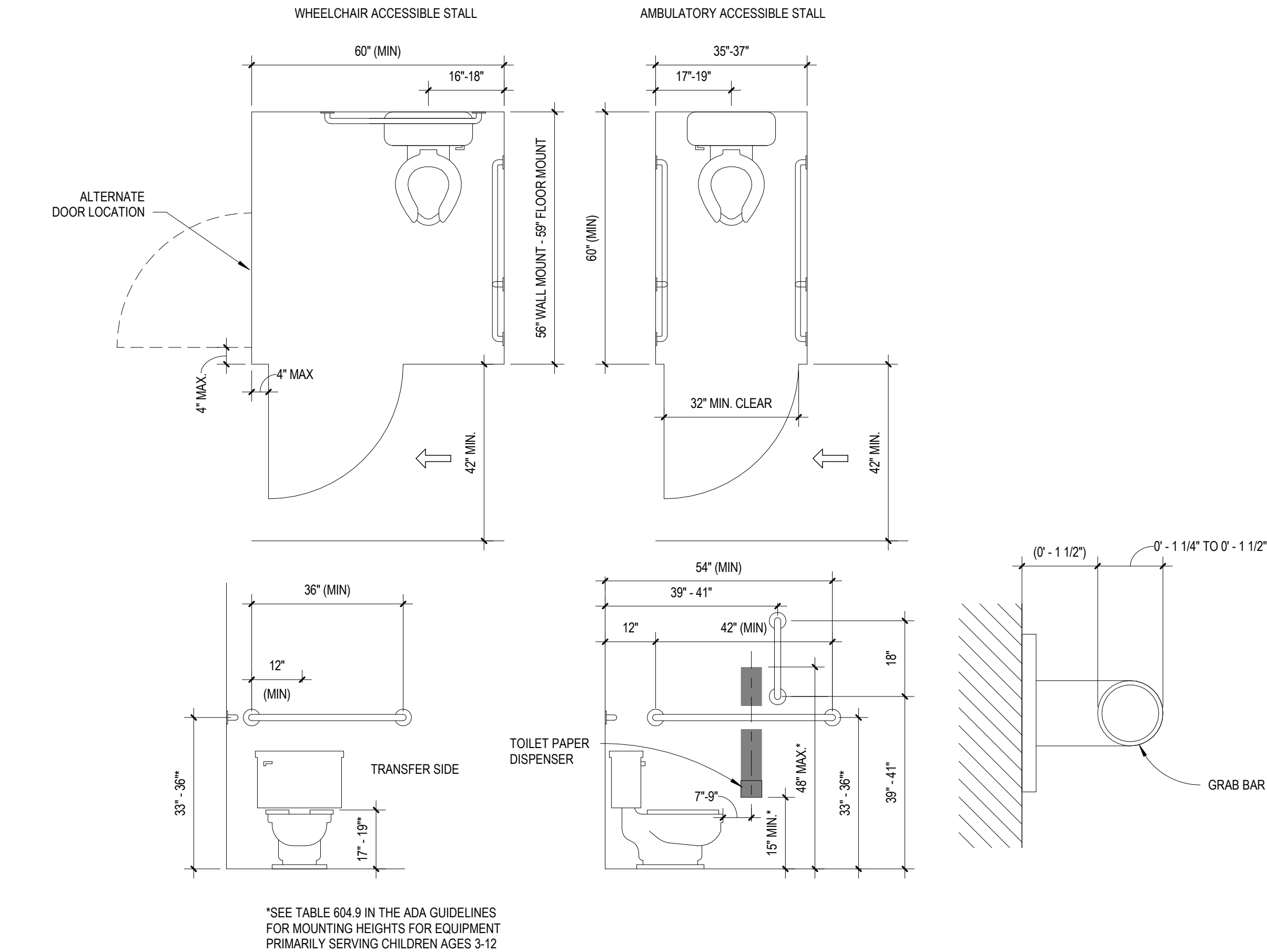
COMPLETION: Project Status
DATE ISSUED: Issue Date

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Designer	Author	Checker

A-8.01



③ ADA SINK DETAIL
1/2" = 1'-0"



① ADA EQUIPMENT DETAIL
1/2" = 1'-0"

*SEE TABLE 604.9 IN THE ADA GUIDELINES
FOR MOUNTING HEIGHTS FOR EQUIPMENT
PRIMARYLY SERVING CHILDREN AGES 3-12

SHEET TITLE:
ARCHITECTURAL DETAIL SHEET

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

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CITY OF SCOTTSBLUFF

PROJECT: Project Number

DESIGN DRAWN CHECK
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SHEET NUMBER

A-10.00

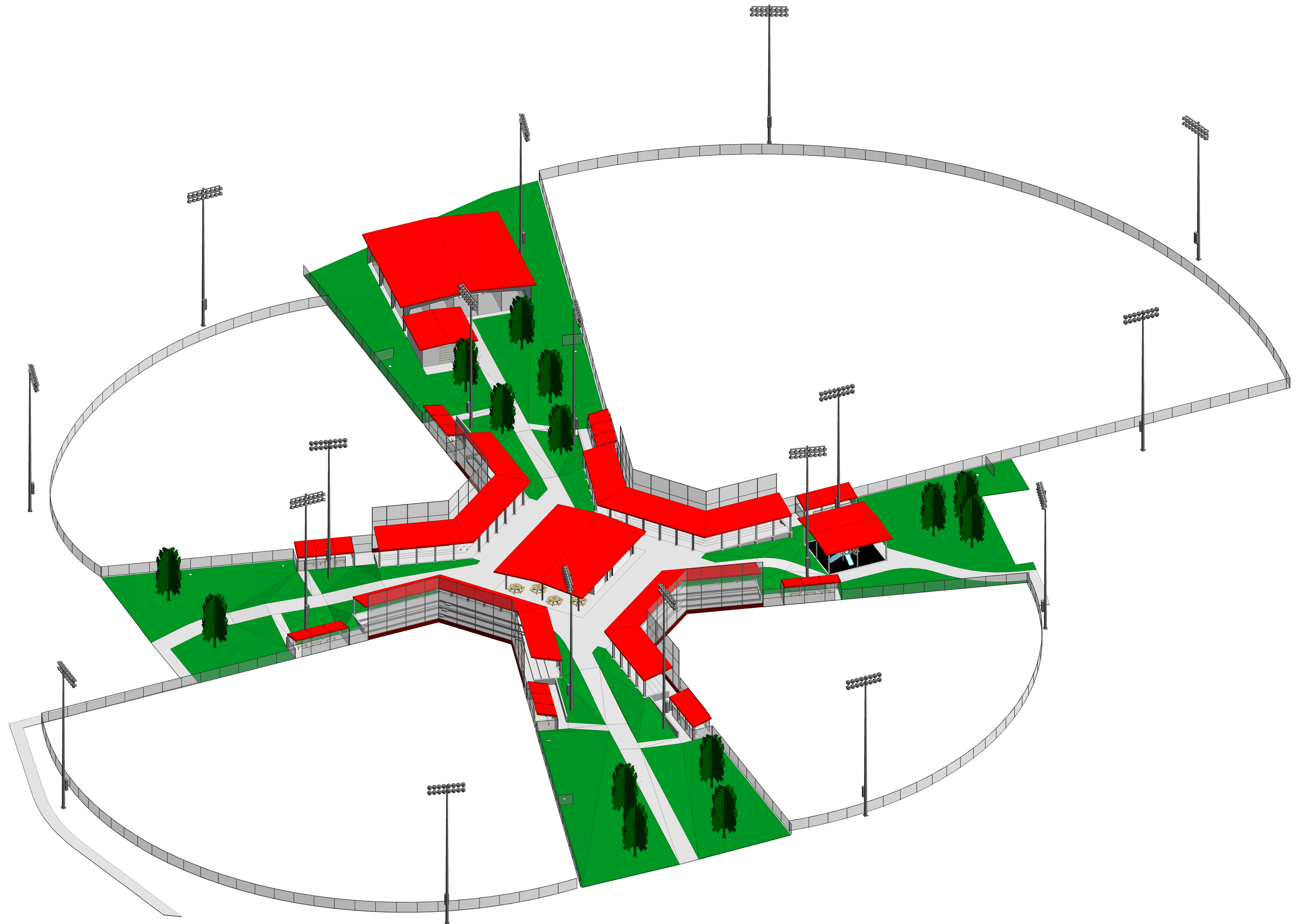
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No. Date Description

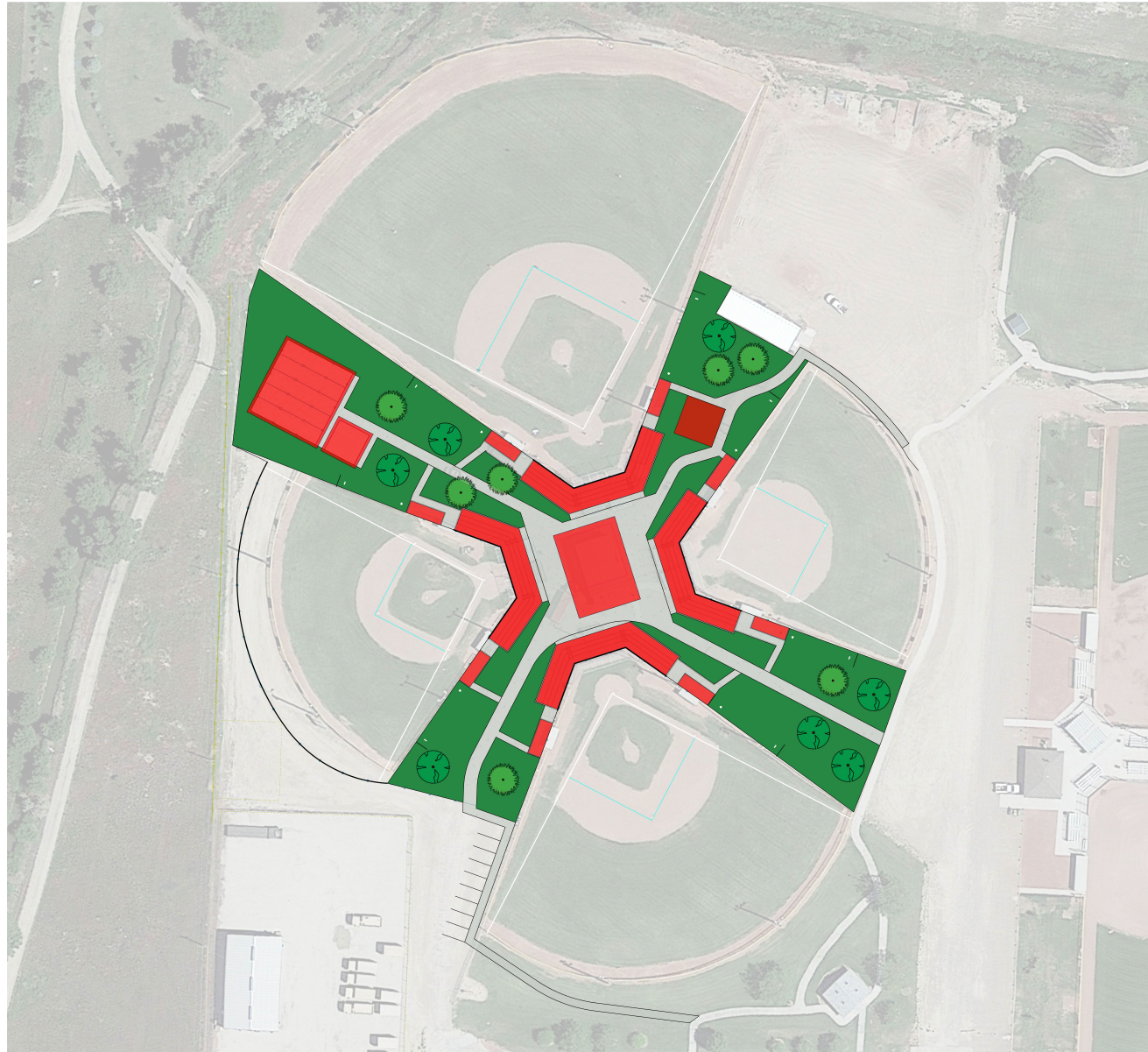
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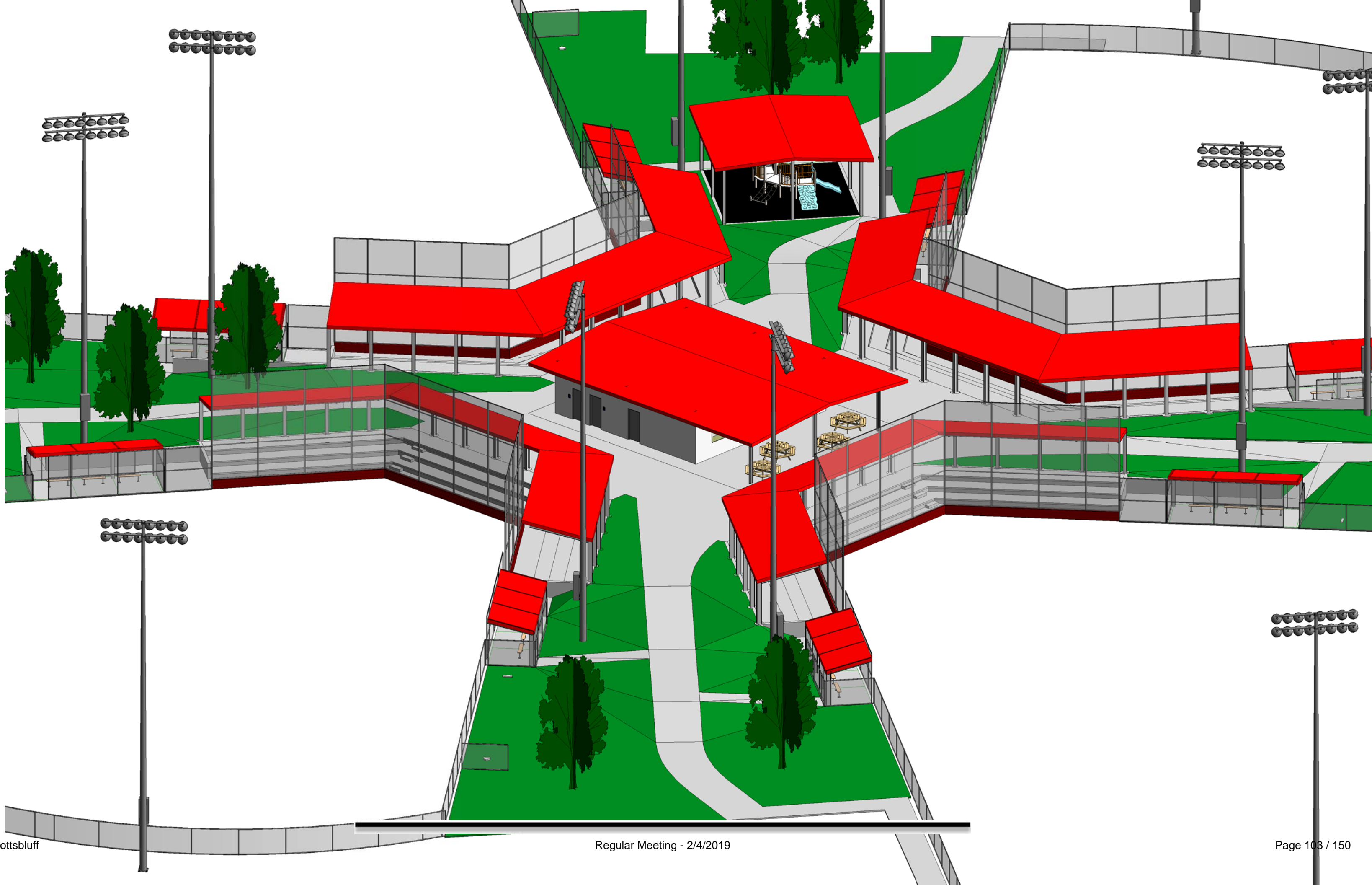
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City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Reports2

Council to consider approving the Work Change Order Agreement from TriHydro Corporation for Step 1, site assessments/investigations of potential sites for a new landfill, to extend the completion date from March 1, 2019 to December 31, 2019.

Staff Contact: Nathan Johnson, City Manager



**TRIHYDRO CORPORATION – CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA
ENGINEERING AND CONSULTING SERVICES – GENERAL BASIC AGREEMENT
WORK CHANGE ORDER**

Work Order No.: 18-134WO-E

Date: January 11, 2019

Job No.: 54Q-001-001

Location of Project: Gering, Nebraska

Contract No.: Engineering and Consulting Services General Basic Agreement between Trihydro Corporation and Cities of Scottsbluff and Gering, Nebraska, 18-017BA-E.

Original Specification: Trihydro will provide technical landfill services for the City of Scottsbluff and City of Gering. Work to be performed in accordance with the Statement of Qualifications and Technical Proposal dated February 06, 2018. Trihydro will receive a written Notice to Proceed from the Cities of Gering and Scottsbluff, Nebraska prior to commencing work on each step of the project. Trihydro is only authorized to commence Step 1 at this time, according to the Schedule below. The parties agree to proceed, past Step 1, by individual steps, one at a time. Proceeding to additional steps must be agreed to by the parties in writing.

Change Order No. 1: Extend the completion date to December 31, 2019.

Additional Cost (if any): None


Facsimile/Email signatures will be accepted to execute this Work Change Order.

TRIHYDRO CORPORATION

CITY OF GERING, NEBRASKA

BY: 
Jack Bedessem, P.E.

TITLE: President/CEO

BY: 
TITLE: Cory Administrator



**TRIHYDRO CORPORATION – CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA
ENGINEERING AND CONSULTING SERVICES – GENERAL BASIC AGREEMENT
WORK ORDER**

Work Order No.: 18-134WO-E

Date: August 29, 2018

Job No.: 54Q-001-001

Location of Project: Gering, Nebraska

Contract No.: Engineering and Consulting Services General Basic Agreement between Trihydro Corporation and
Cities of Scottsbluff and Gering, Nebraska, 18-017BA-E.

Services to be Performed: Trihydro will provide technical landfill services for the City of Scottsbluff and City of Gering. Work to be performed in accordance with Step 1 of the Statement of Qualifications and Technical Proposal dated February 06, 2018, revised May 07, 2018 for evaluation and ranking of five (5) potential landfill sites. Trihydro shall receive a written Notice to Proceed from the Cities of Gering and Scottsbluff, Nebraska prior to commencing work on each step of the project. Trihydro is only authorized to commence Step 1 at this time, according to the Schedule below. The parties agree to proceed, past Step 1, by individual steps, one at a time. Proceeding to additional steps must be agreed to by the parties in writing.

Schedule - Commencement Date: October 01, 2018

Completion Date: March 01, 2019 (Step 1 Exhibit "C" only)

Trihydro's Project Manager: Marjorie E. Bedessem

Client's Project Manager(s): Brendan C. Lilley and Mark Bohl

Attachments: A. Appendix A Resumes of the Statement of Qualifications and Technical Proposal dated February 06, 2018, revised May 07, 2018
 B. Cost Estimate and Schedule of Charges (Step 1 only)
 C. Summary of Broad Cost Areas

Other Information: Subject work will be billed according to the Engineering and Consulting Services – General Basic Agreement between Trihydro Corporation and the Cities of Scottsbluff and Gering, Nebraska, dated September 2018. Costs shall be on a time and materials basis not to exceed \$264,512.00, for Step 1, upon prior written authorization from the Cities of Scottsbluff and Gering, Nebraska.

This WORK ORDER is made and entered into pursuant to that certain ENGINEERING AND CONSULTING SERVICES – GENERAL BASIC AGREEMENT, by and between TRIHYDRO CORPORATION and CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA, 18-017BA-E, dated September , 2018, the terms, conditions, and provisions whereof are hereby incorporated herein and made a part hereof.

Facsimile/Email signatures will be accepted to execute this Work Order.

TRIHYDRO CORPORATION

BY: 
Deby L. Forry, Esq

TITLE: Sr. Vice President of Risk Management

CITY OF SCOTTSBLUFF, NEBRASKA

BY: _____

TITLE: _____

CITY OF GERING, NEBRASKA

BY: _____

TITLE: _____

**COST SUMMARY, SITING, DEVELOPMENT, PERMITTING, & DESIGN
NEW LANDFILL FACILITY, CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA**



COST ESTIMATE SUMMARY		PROJECT TOTAL
STEP 1 - SITE ASSESSMENTS/INVESTIGATION		
1	TASK 1 - Preliminary Geotechnical Investigations	\$11,500
2	TASK 2 - Site Survey	\$16,910
3	TASK 3 - Geotechnical Work	\$85,954
4	TASK 4 - Surface Drainage Analysis	\$12,046
5	TASK 5 - Archaeological Survey and Threatened and Endangered Species	\$59,735
6	TASK 6 - Seismic Impact Zones	\$6,350
7	TASK 7 - Preliminary Conceptual Design	\$32,403
8	TASK 8 - Preliminary Cost Estimate	\$5,437
9	TASK 9 - Preliminary Schedule using MS Project with Gantt Chart	\$2,898
10	TASK 10 - Meetings	\$31,280
STEP 1 - SITE ASSESSMENTS/INVESTIGATION SUBTOTAL		\$264,512



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
1. TASK 1 - Preliminary Geotechnical Investigations - Perform investigations and studies to determine whether the sites selected meets all Federal, State, and Local permitting requirements - Assist the City in locating a suitable site if the sites selected does not meeting permitting requirements Assumptions: - The proposed sites are found suitable for the landfill - Local permitting requirements will include NDEQ and Scotts Bluff County for a new Municipal Solid Waste (MSW) and Construction and Demolition (C&D) site - Reference Soil Conservation Service Soil Survey Reports, where available - Collection of soil engineering samples will be used to determine soil characteristics - Field activities will utilize local personnel (Baker) for any necessary work - Coordinate with Baker to perform necessary investigations	Technical Specialist 1	\$190	4	\$760	
	Professional Level 11	\$173	0	\$0	
	Professional Level 10	\$163	0	\$0	
	Professional Level 9	\$153	0	\$0	
	Professional Level 8	\$141	0	\$0	
	Professional Level 7	\$130	20	\$2,600	
	Professional Level 6	\$118	10	\$1,180	
	Professional Level 5	\$110	20	\$2,200	
	Professional Level 4	\$95	0	\$0	
	Professional Level 3	\$84	16	\$1,344	
	Technician Level 3	\$68	0	\$0	
	Administrative 2	\$58	2	\$116	
	Labor			\$8,200	
	Equipment	Cost	0	\$0	
	Travel	Cost	0	\$0	
	Per Diem	\$0	0	\$0	
	Miscellaneous	Cost	0	\$0	
	Expenses			\$0	
Baker		Cost	1	\$3,300	
Subcontractors				\$3,300	
Task 1. Subtotal				\$11,500	



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
2. TASK 2 - Site Survey - Conduct surveys of the sites to obtain a base map and detailed topographic maps <u>Assumptions:</u> - Survey will be completed by a Nebraska Licensed Land Surveyor - Surveying work will include using GPS - The maps will meet NDEQ mapping requirements - Mapping shall include survey control with all monumentation and reference points - Contours will have an accuracy of ±0.4 feet - The survey will be tied to the Nebraska State Plane Coordination System - The survey and design information will be prepared for the City in dwg format - Surveys will be conducted by Baker - Optional: unmanned Aerial Vehicle (UAV) to collect aerial data		Technical Specialist 1	\$190	1	\$190
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	0	\$0
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	2	\$220
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	0	\$0
		Administrative 2	\$58	0	\$0
		Labor			\$410
		Equipment	Cost	0	\$0
		Travel	Cost	0	\$0
		Per Diem	\$0	0	\$0
		Miscellaneous	Cost	0	\$0
		Expenses			\$0
		Baker	Cost	1	\$16,500
		Subcontractors			\$16,500
		Task 2. Subtotal			\$16,910



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
3.	TASK 3 - Geotechnical Work - Perform investigations to determine the characteristics of the sites - Determine the hydrogeological setting - Review the characterization of the vadose zone (if applicable) - Prepare documentation meeting NDEQ locational and design permitting criteria to operate the sites - Provide a liner and cover alternative analysis - Install wells and borings - Conduct quarterly groundwater monitoring - Work with Baker, Peak, and Steamboat Technical Services to perform geotechnical investigations and liner and cover alternative analysis Assumptions: - Conduct all studies to meet the NDEQ permitting requirements - Establish a complete data base for the landfill design - Geologists is Nebraska certified - Install 8 monitoring wells and 12 borings to approximately 50 feet. - One year of quarterly groundwater monitoring for 8 wells, 2 QA/QC samples/event; analysis for baseline and detection parameters	Technical Specialist 1	\$190	1	\$190
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	4	\$564
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	16	\$1,888
		Professional Level 5	\$110	32	\$3,520
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	42	\$3,528
		Technician Level 3	\$68	2	\$136
		Administrative 2	\$58	2	\$116
		Labor			\$9,942
		Equipment	Cost	4	\$1,800
		Travel	Cost	2	\$2,800
		Per Diem	\$40	4	\$160
		Miscellaneous	Cost	0	\$0
		Expenses			\$4,760
		Steamboat	Cost	1	\$12,231
		Laboratory	\$307	40	\$12,280
		Driller	Cost	1	\$46,741
		Subcontractors			\$71,252
		Task 3. Subtotal			\$85,954



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
4. TASK 4 - Surface Drainage Analysis - Evaluate drainage conditions for the landfill sites and access roads <u>Assumptions:</u> - Evaluate both existing and final conditions - Meet and/or exceed all NDEQ requirements with the analysis - Steamboat Technical Services to perform the surface drainage analysis		Technical Specialist 1	\$190	1	\$190
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	0	\$0
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	2	\$220
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	0	\$0
		Administrative 2	\$58	0	\$0
		Labor			\$410
		Equipment	Cost	0	\$0
		Travel	Cost	0	\$0
		Per Diem	\$0	0	\$0
		Miscellaneous	Cost	0	\$0
		Expenses			\$0
		Steamboat	Cost	1	\$11,636
		Subcontractors			\$11,636
		Task 4, Subtotal			\$12,046



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
5.	TASK 5 - Archaeological Survey and Threatened and Endangered Species - Perform an environmental review to meet permitting requirements - Conduct a Class III cultural resources inventory by Metcalf - Provide a threatened and endangered species survey of the proposed sites - Conduct an initial background search on state and federally listed species and critical habitats that may occur in Scotts Bluff County - Provide a pedestrian survey to map vegetative types - Determine the presence or absence of critical habitat suitable for listed species - Verify the presence or absence of any listed flora or fauna Assumptions: - Conduct a surface inventory of 250 acres - 6 days of fieldwork with a crew of three archaeologists from Metcalf - Ground surface visibility will be sufficient to preclude the use of subsurface probing as a discovery method - Does not include any costs to cover crop damage - 2 Trihydro biologists, 2 trips, 6 days field work - T&E species surveys to include swift fox, raptors/eagles, migratory birds, incidental species - 1 raptor nest survey event and 1 bird survey event - Swift fox surveys = remote camera trapping and habitat assessment - No T&E plants occur in the area. Vegetation survey limited to vegetation type/habitat mapping and incidental NE Tier 1 plant observations - T&E/vegetation surveys to occur in area approximately 640 acres - No impacts therefore no survey/habitat assessment for river otter	Technical Specialist 1	\$190	4	\$760
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	6	\$846
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	150	\$16,500
		Professional Level 4	\$95	14	\$1,330
		Professional Level 3	\$84	52	\$4,368
		Technician Level 3	\$68	0	\$0
		Administrative 2	\$58	6	\$348
		Labor			\$24,152
		Equipment	Cost	1	\$1,940
		Travel	Cost	1	\$2,384
		Per Diem	\$45	10	\$450
		Miscellaneous	Cost	0	\$0
		Expenses			\$4,774
		Metcalf	Cost	1	\$30,809
		Subcontractors			\$30,809
		Task 5. Subtotal			\$59,735



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
6. TASK 6 - Seismic Impact Zones - Perform seismic documentation per Title 132, Chapter 3, 002.09 to meet NDEQ requirements Assumptions: - Analyses will be conducted in accordance with RCRA Subtitle D (258.14) - Contour Consulting Engineering, LLC will be used for the seismic survey		Technical Specialist 1	\$190	1	\$190
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	0	\$0
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	2	\$220
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	0	\$0
		Administrative 2	\$58	0	\$0
		Labor			\$410
		Equipment	Cost	0	\$0
		Travel	Cost	0	\$0
		Per Diem	\$0	0	\$0
		Miscellaneous	Cost	0	\$0
		Expenses			\$0
		Contour	Cost	1	\$5,940
		Subcontractors			\$5,940
		Task 6. Subtotal			\$6,350



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
7.	TASK 7 - Preliminary Conceptual Design - Prepare a preliminary design for the sites - Identify parameters of the sites and requirements for the facility design <u>Assumptions:</u> - Design will include identifying building locations, fence lines, cell geometry, storm water channels, borrow sources, utilities, access roads, liner requirements, and all other ancillary facilities - Develop the designs with a minimum landfill design of 75 years - Trihydro will utilize their public relations specialist and graphic designers to edit and review a pictorial design - Peak Geosolutions will be brought in to analyze liner requirements	Technical Specialist 1	\$190	16	\$3,040
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	4	\$564
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	100	\$11,000
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	25	\$1,700
		Administrative 2	\$58	2	\$116
		Labor			\$16,420
		Equipment	Cost	1	\$200
		Travel	Cost	0	\$0
		Per Diem	\$0	0	\$0
		Miscellaneous	Cost	0	\$0
		Expenses			\$200
		Steamboat	Cost	0	\$15,783
		Subcontractors			\$15,783
		Task 7. Subtotal			\$32,403



Activity					Subtotal
8.	TASK 8 - Preliminary Cost Estimate				\$190
	- Prepare a preliminary cost estimate				\$0
	-Develop a takeoff sheet to identify all items necessary to perform the surveying, siting, hydrogeological studies, permitting, and design/layout of cells.				\$0
	- Provide the design and permitting approval process of Cell 1 from Task 7				\$0
	Assumptions:				\$0
	- Will determine the most local subcontractors for reduced travel time for cost estimate				\$0
	- Steamboat Technical Services to provide preliminary cost estimate				\$0
	Administrative 2				\$0
	Technician Level 3				\$0
	Professional Level 3				\$0
	Professional Level 4				\$0
	Professional Level 5				\$0
	Professional Level 6				\$0
	Professional Level 7				\$0
	Professional Level 8				\$0
	Professional Level 9				\$0
	Professional Level 10				\$0
	Professional Level 11				\$0
	Technical Specialist 1				\$0
	Labor				
Equipment					\$0
Travel					\$0
Per Diem					\$0
Miscellaneous					\$0
Expenses					\$0
Baker					\$2,200
Steamboat					\$2,827
Subcontractors					\$5,027
Task 8. Subtotal					\$5,437



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
9.	TASK 9 - Preliminary Schedule using MS Project with Gantt Chart - Prepare a preliminary schedule using MS Project with Gantt Chart - Include all activities required to obtain approvals through initial landfill site selection, surveying, mapping, hydrogeological studies, installation of required monitoring wells, testing, reports, meetings, and other pertinent elements required for the new landfill. Assumptions: - SharePoint type system to be used to provide up-to-date schedule changes on a Gantt Chart - Schedule will include all testing activities and design timeline to obtain approval/construction acceptance for Cell 1	Technical Specialist 1	\$190	2	\$380
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	2	\$282
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	12	\$1,320
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	1	\$68
		Administrative 2	\$58	1	\$58
		Labor			\$2,108
		Equipment	Cost	0	\$0
		Travel	Cost	0	\$0
		Per Diem	\$0	0	\$0
		Miscellaneous	Cost	0	\$0
		Expenses			\$0
		Steamboat	Cost	1	\$790
		Subcontractors			\$790
		Task 9. Subtotal			\$2,898



Activity		Schedule of Charges	Hourly Rate or Charge	Hours or Unit Estimate	Subtotal
10. TASK 10 - Meetings - Meet with the Owner, Community, and others as necessary throughout the project - Address any concerns and issues that may have arisen during Step 1 Assumptions: - 2 on-site project meetings, 6 monthly conference calls, 1 public hearing with Steamboat Technical Services		Technical Specialist 1	\$190	40	\$7,600
		Professional Level 11	\$173	0	\$0
		Professional Level 10	\$163	0	\$0
		Professional Level 9	\$153	0	\$0
		Professional Level 8	\$141	45	\$6,345
		Professional Level 7	\$130	0	\$0
		Professional Level 6	\$118	0	\$0
		Professional Level 5	\$110	12	\$1,320
		Professional Level 4	\$95	0	\$0
		Professional Level 3	\$84	0	\$0
		Technician Level 3	\$68	0	\$0
		Administrative 2	\$58	0	\$0
		Labor			\$15,265
		Equipment	Cost	0	\$0
		Travel	Cost	3	\$580
		Per Diem	\$45	3	\$135
		Miscellaneous	Cost	3	\$100
		Expenses			\$815
		Baker	Cost	1	\$4,400
		Steamboat	Cost	1	\$10,800
		Subcontractors			\$15,200
		Task 10. Subtotal			\$31,280

**Siting, Development, Permitting & Design of a New Landfill Facility for the Cities of Scottsbluff
and Gering, Nebraska**

Attachment C

Summary of Broad Cost Areas (4)

<u>Cost Area</u>	<u>Budget</u>
STEP 1 - Site Assessments/Investigation	\$264,512
STEP 2 - Permit Application Development	\$186,296
STEP 3 - Final Design and Construction	\$424,996
STEP 4 - Project Schedule	\$ 2,469
Project Total	\$878,272



TRIHYDRO CORPORATION – CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA GENERAL BASIC AGREEMENT- ENGINEERING AND CONSULTING SERVICES

THIS Agreement is made and entered into on _____ day of September 2018, by and between the CITY OF SCOTTSBLUFF, NEBRASKA with an address of 2525 Circle Drive, Scottsbluff, NE 69361 and the CITY OF GERING, NEBRASKA, with an address of 1025 P Street, Gering NE 69341 [jointly referred to herein as "CLIENT"] and TRIHYDRO CORPORATION, a Wyoming corporation, whose address is, 1252 Commerce Drive, Laramie, WY 82070 ["TRIHYDRO"].

WHEREAS, TRIHYDRO is engaged in the business of providing engineering, surveying, and consulting services and CLIENT may require such services from time to time;

NOW, THEREFORE, in consideration of the terms, provisions, and Agreements set forth herein, the parties agree as follows:

ARTICLE 1. SERVICES AND WORK CHANGE ORDERS.

1.01 Scope of Work. TRIHYDRO shall provide the services and perform the Work authorized by CLIENT and accepted by TRIHYDRO ["the Work"] as set forth in the Scope of Work in a Work Order [in the form attached hereto as ATTACHMENT A ("Work Order"), or equivalent form (i.e. purchase order, notice to proceed or authorization).

1.02 Work Change Orders. All services or Work, other than as specifically set forth in the Work Order, shall be mutually agreed upon and shall be set forth in a Work Change Order [in the form attached hereto as ATTACHMENT B ("Work Change Order"), signed by CLIENT and TRIHYDRO. The Work Order and each Work Change Order shall be accompanied by a Schedule of Charges and shall include the following:

- (a) Location at which the Work or Work Change Order Work is to be performed;
- (b) Specific scope and description of the Work or Work Change Order to be performed, including plans and specifications where appropriate;
- (c) Trihydro Project Manager and CLIENT's authorized representative responsible for project;
- (d) Schedule for commencement and completion of the Work or the Work Change Order; and
- (e) Identifiable health and safety considerations.

ARTICLE 2. CHARGES AND BILLING.

2.01 Schedule of Charges. CLIENT shall pay TRIHYDRO in accordance with the written Schedule of Charges accompanying the Work Order and/or each Work Change Order.

2.02 Invoices. TRIHYDRO shall invoice CLIENT monthly for Work performed under the Work Order and/or each Work Change Order. CLIENT shall timely review such invoices and shall notify TRIHYDRO within fifteen (15) days of any disputed amounts. All undisputed amounts shall be paid no later than sixty (60) days after receipt of the invoice unless otherwise authorized in a Work Order.



ARTICLE 3. TERMS OF AGREEMENT AND TERMINATION.

3.01 Severability of Terms. Every part, provision, or term of the Engineering and Consulting Services Agreement is severable from every other part, provision, or term. A finding that any part or provision is invalid, void, or unenforceable shall not affect the remaining parts and provisions.

3.02 Integrated Agreement. The terms and conditions set forth in the foregoing Engineering and Consulting Services Agreement, sometimes collectively referred to as the "Agreement", constitute the entire understanding of the parties relative to services provided by TRIHYDRO to CLIENT, and supersede and completely integrate any and all prior Agreements between the parties, whether oral or in writing.

3.03 Incorporated in Work Orders. The Agreement and these terms and conditions shall be incorporated in the Work Order and/or the Work Change Order and authorizations, and shall govern each such order unless expressly excluded in writing therefrom.

3.04 Survival of Terms. The terms and conditions of the Agreement as applied to the Work Order or a Work Change Order shall survive termination or expiration of the Agreement and shall continue to govern completion of the Work Order or any Work Change Orders signed by the parties.

3.05 Non-performance. Should TRIHYDRO fail, neglect, or refuse to perform any of the Work or any Work Change Order; or should TRIHYDRO become insolvent; or, if at any time the Work should be unreasonably delayed; or if the conditions of this Agreement or a Work Change Order should be willfully violated, or performed carelessly, or in bad faith; then CLIENT may notify TRIHYDRO in writing, and if the faults complained of are not corrected to the satisfaction of CLIENT within ten (10) days from the delivery of the notice, then TRIHYDRO shall discontinue all or part of the Work under this Agreement or discontinue the Work of its subcontractors and CLIENT shall have full right to immediately purchase and hire materials, tools, labor, and machinery or otherwise contract for completion of the Work and to recover from TRIHYDRO damages therefore.

3.06 Termination. Either party may terminate this Agreement at any time and without cause upon thirty (30) days prior written notice to the other.

ARTICLE 4. RECORDS.

4.01 Retention. TRIHYDRO shall maintain true and correct records in connection with each material cost and each cost reimbursable service performed and all transactions related thereto, and shall retain all such records for three years after the end of the calendar year in which the last service was performed. CLIENT at its expense, from time to time up to three (3) years after the last services were performed, may inspect and audit all records of TRIHYDRO in connection with all costs and expenses invoiced for material cost and cost reimbursable services. Client may obtain any records needed from Trihydro within this three year period. Trihydro shall not unreasonably withhold its consent. No inspection or audit shall delay or defer the obligation of



CLIENT to make payment on undisputed invoices. At the end of three (3) years, CLIENT and TRIHYDRO shall make arrangements for the transfer of said records to CLIENT. TRIHYDRO shall have the right to copy such portions of said records as it shall deem necessary to retain and shall have the right thereafter to request copies of such transferred records. TRIHYDRO is an environmentally conscious firm that maintains and stores its documents electronically, rather than in hard copy.

4.02 Ownership of Work Product. Work Product shall not include customizations of, derivatives of, or enhancements to TRIHYDRO-owned or TRIHYDRO-provided software, such as but not limited to Project Direct, that may be provided as an application for CLIENT's use. Any pre-existing software, previously belonging to TRIHYDRO or lawfully acquired by TRIHYDRO in a manner independent of this Agreement, which is used by TRIHYDRO in the course of the Work hereunder, or which may be provided by TRIHYDRO to CLIENT and which is indicated to be the property of TRIHYDRO by copyright notice or otherwise shall remain the property of TRIHYDRO. Except as provided above with regard to TRIHYDRO-owned software, CLIENT shall own all work product and other deliverables provided to CLIENT pursuant to any Work Order, unless otherwise mutually agreed in a specific Work Order.

ARTICLE 5. TIME FOR PERFORMANCE, EXTENSIONS, AND DELAYS.

5.01 Timely Performance. TRIHYDRO shall commence and complete the Work and/or the Work Order and/or the Work Change Order in accordance with the schedule set forth in the Work Order or any Work Change Order and shall, at all times, proceed diligently with said Work to completion.

5.02 Suspension of Work. CLIENT reserves the right to suspend the whole or any part of the Work under any Work Order or any Work Change Order at any time. If all of the projected Work contemplated in a Work Order or a Work Change Order is terminated or abandoned by CLIENT, CLIENT shall pay TRIHYDRO for the Work performed in conformity with specifications, and in accordance with the Schedule of Charges.

5.03 Delays. If TRIHYDRO is obstructed or delayed in the prosecution or completion of the Work by reason of the unusual action of the elements, or by reason of the abandonment of the Work by the employees in a general strike, or by reason of war, civil disorder, fire or other casualty, strikes or embargoes, or shortage of transportation facilities, or by reason of any cause beyond the reasonable control of TRIHYDRO or CLIENT, TRIHYDRO and its agents, representatives, and subcontractors shall have no claim for damages for any such cause or delay and CLIENT, its agents, CLIENT's, representatives, and subcontractors shall have no claim for damages. In any such event, TRIHYDRO shall be entitled to such extension of time for the completion of the Work as CLIENT may approve as being just and proper; provided, however, that such claim for extension of time shall be made by TRIHYDRO to CLIENT within one (1) week from the time when cause for delay occurs, on a Work Order or a Work Change Order.

ARTICLE 6. PERFORMANCE OF SERVICES AND COMMUNICATION OF RESULTS.

6.01 Standard. TRIHYDRO shall perform the Work in a professional manner consistent with that level of care and skill ordinarily exercised by members of the profession currently



practicing in the same locality under similar conditions and information. No other representation, express or implied, and no warranty or guarantee is included or intended herein, or in any report, document or otherwise.

6.02 Plans and Specifications. The specifications and plans in the Work Order, or attached to a Work Change Order, are intended to be explanatory of each other, but should any discrepancies appear or any misunderstanding arise as to the meaning of anything contained in either, the plans and specifications shall be construed to require and include all labor and material and equipment necessary and proper for the Work contemplated, so that Work may be completed according to the true intent and purpose of the plans and specifications.

6.03 Results. Results of TRIHYDRO Work and analyses shall be communicated to CLIENT in writing as required in the Work Order, except that TRIHYDRO may give results orally or in electronic form in advance of any written results unless otherwise directed by CLIENT. Such oral or electronic communications of results in advance of the final written results are tentative only and are subject to change by TRIHYDRO before the final completion report is sent to and accepted by CLIENT.

ARTICLE 7. MATERIAL, EQUIPMENT, PREMISES AND WORK.

7.01 Material, Equipment, Utilities. TRIHYDRO shall, unless otherwise agreed, provide and pay for all materials, labor, tools, equipment, light, power, transportation, water and other facilities necessary for the execution and completion of the Work.

7.02 Payments to Suppliers. TRIHYDRO shall pay all materials suppliers and subcontractors for Work performed under the Work Order and any Work Change Order within seven (7) days from receipt of payment from CLIENT. TRIHYDRO agrees to furnish CLIENT with names of any and all suppliers or contractors used by TRIHYDRO in performing the Work, and shall furnish CLIENT satisfactory evidence of settlement including lien waivers for any and all materials supplied to TRIHYDRO under the Work Order or any Work Change Order when all outstanding invoices have been paid by CLIENT.

7.03 Permits, Licenses, and Certificates. Unless otherwise agreed, TRIHYDRO shall secure applicable permits, licenses, and certificates in connection with the performance of the Work, and pay all municipal inspection or other fees pertaining thereto.

ARTICLE 8. TRIHYDRO'S EMPLOYEES.

8.01 Compliance with Laws and Regulations. TRIHYDRO agrees to comply with applicable federal and state enactments with reference to employer's liability, unemployment security, Worker's compensation, Worker's insurance, environmental laws and regulations, and occupational safety and health laws in effect in the jurisdiction in which the Work is performed. All Work performed pursuant to this Agreement or any Work Order or Work Change Order shall be performed by TRIHYDRO as an independent contractor and under no circumstances will TRIHYDRO or its employees be considered employees or agents of CLIENT.

8.02 Unemployment Compensation. TRIHYDRO will register as an employer wherever required under applicable state Unemployment Compensation Laws, and, in the performance of the



Work, TRIHYDRO will comply with the requirements of such laws and will pay and save and hold CLIENT harmless from and on account of all taxes under such unemployment compensation laws applicable to performance of the Work, whether with reference to employees of TRIHYDRO or to others, and that it will furnish CLIENT evidence of its registration under such unemployment compensation laws and will promptly report to CLIENT from time to time the number of employees employed by TRIHYDRO or by its subcontractors in the performance of the Work.

ARTICLE 9. INSURANCE AND INDEMNIFICATION.

9.01 Insurance. TRIHYDRO agrees to carry adequate insurance protection against loss, damage, injury and liability, including claims for personal injury or death, property damage, and damage to the Work resulting from operations under this Agreement and any Work Order or any Work Change Order; coverage shall be not less than \$2,000,000.00. In addition, TRIHYDRO shall carry professional liability (errors and omissions) insurance coverage with minimum limits of \$5,000,000.00 per claim and \$5,000,000.00 aggregate; and an umbrella liability of \$10,000,000. CLIENT shall be an additional insured under the insurance policies carried by TRIHYDRO hereunder, and shall upon request by CLIENT, be given copies of said insurance policies naming CLIENT as additional insured.

9.02 Limitation of Liability. Notwithstanding any other provisions hereof, TRIHYDRO's liability for damages arising from or related to the Work shall be limited to the amount of applicable insurance provided in this Article.

9.03 Certificates. Documentary evidence of insurance, showing CLIENT as additional insured, required by this Agreement shall be furnished to CLIENT by TRIHYDRO before commencing Work hereunder. The insurance policies hereunder shall provide that notices by the insurer to the insured be given simultaneously to CLIENT.

9.04 Indemnification.

a. TRIHYDRO agrees, to the extent permitted by law, to indemnify, defend, and hold CLIENT harmless from damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by TRIHYDRO, its employees, agents or subcontractors' negligent acts, errors or omissions in the performance of professional services arising from a Work Order or Work Change Order subject to this Agreement.

b. CLIENT agrees, to the extent permitted by law, to indemnify, defend, and hold TRIHYDRO harmless from damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by CLIENT, its employees, CLIENT's, agents, or subcontractors' negligent acts, errors or omissions in the performance of professional services arising from a Work Order or Work Change Order subject to this Agreement.

c. Neither party to this Agreement is obligated to indemnify the other party in any manner whatsoever for the other parties' negligence.



ARTICLE 10. GENERAL PROVISIONS.

10.01 Successors and Assigns. This Agreement shall inure to and be binding upon the legal representatives and successors and assigns of the parties hereto. Neither party shall assign, transfer or convey this Agreement or the Work Order or any Work Change Order, or any right, title, or interest, therein or any power to execute the same, to any person, company or corporation without the prior written consent of the other.

10.02 Confidentiality. TRIHYDRO agrees not to use confidential information disclosed to it by CLIENT for its own use, or for any purpose except to carry out services outlined in this Agreement. TRIHYDRO will not disclose the confidential information to third parties or to its employees, agents or representatives, except those who need the information to carry out the services provided in the Agreement, or unless required by law or such information becomes publicly available by a party other than TRIHYDRO, its employees, agents or representatives. TRIHYDRO agrees to notify CLIENT in writing of any misuse or misappropriation of confidential information that may come to its attention.

10.03 Independent Contractor. All Work performed pursuant to this Agreement or any Work Order or any Work Change Order shall be performed by TRIHYDRO as an independent contractor and under no circumstances will TRIHYDRO or its employees be considered employees or agents of CLIENT. CLIENT shall have no voice in the selection, discharge, supervision, or control of TRIHYDRO's employees, representatives, or subcontractors. Except to the extent that a particular method is specified in any plans or specifications hereunder or in the Work Order or any Work Change Order, CLIENT shall not have the right to direct or control TRIHYDRO in the method of performance or the means of accomplishing the desired result.

10.04 Modification. All amendments, changes, and modifications to this Agreement shall be made in writing by Work Change Order, and approved and executed with the same formality as this Agreement

10.05 Governing Law. This Agreement and all Work shall be governed by and interpreted in accordance with the laws of the State of Nebraska.

10.06 No Solicitation of Personnel. During the term of this Agreement and for a period of six (6) months after its termination, neither party will solicit any employee of the other without the prior written consent of the other party. However, neither party will be restricted from employing employees who make unsolicited applications in response to a general advertisement.

{THIS SPACE INTENTIONALLY LEFT BLANK}



ARTICLE 11. PROJECT MANAGER / AUTHORIZED REPRESENTATIVE

11.01 Project Manager. TRIHYDRO shall designate a Project Manager. The Project Manager shall be the primary contact between TRIHYDRO and CLIENT, although TRIHYDRO's Project Manager may designate an acting Project Manager in his/her absence, as well as field coordinators and inspectors. The Trihydro Project Manager will be designated in the respective Work Orders for each request.

11.02 Authorized Representatives. The parties hereby designate the following Authorized Representatives, who may be changed only by written notice to the other party:

TRIHYDRO CORPORATION

Jack Bedessem or Deby L. Forry, Esq.
Trihydro Corporation
1252 Commerce Drive
Laramie, WY 82070

CITY OF SCOTTSBLUFF, NEBRASKA

Randy Meininger
City of Scottsbluff
2525 Circle Drive
Scottsbluff, NE

CITY OF GERING, NEBRASKA

Tony Kaufman
City of Gering
1025 P Street
Gering, NE 69341

IN WITNESS WHEREOF, the parties hereto have signed this Basic Agreement as of the day and year first above written. Facsimile/email signatures will be accepted to execute this Agreement.

TRIHYDRO CORPORATION

By: 

Its: Sr. Vice President of Risk Management

CITY OF SCOTTSBLUFF, NEBRASKA

By: _____

Its: _____

CITY OF GERING, NEBRASKA

By: _____

Its: _____

ATTACHMENT A
TRIHYDRO CORPORATION – CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA
GENERAL BASIC AGREEMENT- ENGINEERING AND CONSULTING SERVICES
EXAMPLE WORK ORDER

Work Order No.: _____ Date: _____

_Job No.: _____

Location of Project:

Owner and Contract No.: _____

Services to be Performed: _____

Schedule -- Commencement Date: _____

Completion Date: _____

Attachments: Schedule of Charges: _____

Plans and Specifications: _____

Health and Safety Considerations: _____

Other Information:

__This WORK ORDER is made and entered into pursuant to that certain Basic Agreement by and between the undersigned dated _____, the terms, conditions and provisions whereof are hereby incorporated herein and made a part hereof.

Facsimile signatures will be accepted to execute this Work Order.

Facsimile signatures will be accepted to execute this Work Order.

TRIHYDRO CORPORATION

CITY OF SCOTTSBLUFF, NEBRASKA

By: _____

By: _____

Its: Sr. Vice President of Risk Management

Its: _____

CITY OF GERING, NEBRASKA

By: _____

Its: _____

ATTACHMENT B
TRIHYDRO CORPORATION – CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA
GENERAL BASIC AGREEMENT- ENGINEERING AND CONSULTING SERVICES
EXAMPLE WORK CHANGE ORDER

Work Order No.: _____ Date: _____

Job No.: _____

Change Order No.: _____

Location of Project: _____

Insured Name: _____

Owner and Contract No.:

Original Specification:

Change Order:

Attachments (if any): _____

Estimated Additional Cost (if any): _____

Facsimile signatures will be accepted to execute this Work Change Order.

TRIHYDRO CORPORATION

By: _____

Its: Sr. Vice President of Risk Management

CITY OF SCOTTSBLUFF, NEBRASKA

By: _____

Its: _____

CITY OF GERING, NEBRASKA

By: _____

Its: _____

From: [Mark Bohl](#)
To: [Nathan Johnson](#)
Subject: FW: Update/info for Council
Date: Monday, January 28, 2019 1:12:55 PM
Attachments: [image001.png](#)
Importance: High

Nathan, This is the update from Marge with Trihydro

From: Marge Bedessem [mailto:mbedessem@trihydro.com]
Sent: Monday, January 28, 2019 1:00 PM
To: Mark Bohl
Cc: Brendan Lilley
Subject: Update/info for Council
Importance: High

Hello Mark –Yes, your summary covers the general gist – we have defined 5 potential project areas that meet the screening criteria (consideration of distance from dwellings, highways, airports, fault areas, surface waters, floodplains, wetlands, unstable areas, water supply wells, seismic impact zones, land-use and zoning, soils and bedrock depth). The next step is identifying property owners of candidate parcels within those 5 areas to reach out to.

This phase of the project also includes site-specific field investigations (drilling, archeological and threatened and endangered species considerations). These would be conducted in the spring/summer but is dependent on the Cities negotiating land access agreements with willing landowners. Bear in mind that negotiating with the land owners is always a wild card. If that end goes well, you are correct that the intent is for the site to be selected by the end of the time period proposed for Step 1 so we can then move forward with the permitting process.

The original timeframe for Step 1 that was in our proposal was an estimate assuming that candidate sites were already identified and that field work could be done last summer. Given that we started a siting analysis from the beginning to identify the best site and began our work in October, the time frame in the original work order was somewhat of a mismatch, hence the need for a no-cost change order. When are the Council meetings and do you need support at any of these meetings? Please let me know...Thanks, Marge

From: Mark Bohl <MBohl@scottsbluff.org>
Sent: Friday, January 25, 2019 1:22 PM
To: Marge Bedessem <mbedessem@trihydro.com>
Subject: RE: new methane FAQ

Hi Marge, Gering has the change order on for there next meeting and I have ours on for our next meeting. Our council wants an update on progress and I don't want to speak out of turn. I plan to let them know that we have 5 sites we think have potential and that the next step is to locate property owners and review who owns the parcels and then reach out to see if there is any interest. I believe this is where we are at this point and that this change order extends the date to which this study would be totally complete with a site located and ready to move forward? If this is not correct could you let me know so I don't give any false information. Thank You

From: Marge Bedessem [<mailto:mbedessem@trihydro.com>]
Sent: Friday, January 25, 2019 9:26 AM
To: Brendan Lilley; Mark Bohl
Subject: new methane FAQ

Hi guys – Take a look at the new language altered to address some of the concerns expressed on the citizen website and let me know what you think....Thanks! M

Marge Bedessem, Ph.D., P.E.
Senior Environmental Engineer



1252 Commerce Dr.
Laramie, WY 82070
307/745-7474 (phone)
307/745-7729 (fax)
mbedessem@trihydro.com
www.trihydro.com

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**REQUEST FOR QUALIFICATIONS/PROPOSALS
FOR**

***SITING, DEVELOPMENT, PERMITTING, &
DESIGN OF A NEW LANDFILL FACILITY
FOR***

THE CITIES OF SCOTTSBLUFF AND GERING, NEBRASKA



Prepared by:
City of Gering, Nebraska
1025 P Street
Gering, Nebraska 69341

PUBLIC NOTICE

REQUEST FOR QUALIFICATIONS AND PROPOSALS

The Cities of Scottsbluff and Gering, Nebraska are seeking submission of proposals from qualified Professional Engineering firms for assistance with the following project: “Siting, Development, Permitting, and Design of a New Landfill Facility”. Professional Services for the RFQ/RFP will include working with City Staff, Community, NDEQ, and other jurisdictions to prepare for a new alternate site for the Municipal Solid Waste (MSW) Landfill and con-current C&D Site.

Detailed information for this request for qualifications/proposals may be obtained from the Office of the City Clerk, 1025 P Street Gering, Nebraska 69341, or by contacting the City Clerk at 308-436-6812 or e-mail: kwelfl@gering.org. Questions regarding the RFQ/RFP can be directed to Annie Folck, City Planner, City of Gering at (308) 436-5096.

One (1) signed original and six (6) copies of the proposal must be received **no later than 1:00 P.M., Tuesday, January 23, 2018,** at the Office of the City Clerk, 1025 P Street Gering, Nebraska 69341. Mailed proposals should be addressed to the City Clerk, P.O. Box 687, Gering, NE 69341. Packets should be submitted in a sealed envelope addressed to the City of Gering and clearly marked “Proposal for The Cities of Scottsbluff and Gering –Siting, Development, Permitting, and Design of a New Landfill Facility.”

Proposals shall remain firm for a period of sixty (60) days after proposal due date. The City of Gering reserves the right to refuse any or all proposals and to select the proposal deemed to be in the City’s best interest, at its sole discretion.

Kathleen J. Welfl, City Clerk

City of Gering, Nebraska

Publish 3T: January 6, 2018
 January 13, 2018
 January 20, 2018

REQUEST FOR QUALIFICATIONS/PROPOSALS

The Cities of Scottsbluff and Gering, Nebraska are requesting Qualifications/Proposals to be set forth in written format for the following:

Professional Services for the Siting, Development, Permitting and Design of a New Landfill Facility

A closed committee will evaluate the qualifications. The Cities of Scottsbluff and Gering reserve the right to reject any or all qualifications and to waive any informalities or technicalities.

1. QUALIFICATION STATEMENT

Firms are invited to submit a Qualification Statement that presents its experience, personnel, and references related to the siting, development, permitting, and design of landfill facilities. Qualification Statements shall include:

- A. A Letter of Interest to display a clear understanding of this RFQ/RFP including the project parameters. Include a positive commitment to complete the work with an estimated time period to meet permitting approval with NDEQ, and explain why the respondent should be selected in no more than three pages. Address and contact information for each party in a proposed joint venture should be included.
- B. The firm's specialized landfill development and design experience and technical competence along with at least five (5) landfill development and/or design projects that have been completed within the past ten (10) years.
- C. The firm's key personnel it would propose to undertake the technical and management duties for siting, developing, permitting, and designing a new landfill facility, keeping in mind that the Cities expect the key personnel listed in the Qualification Statement would remain responsible throughout the period of the project. No diversion or replacement would be acceptable without the written approval of the Cities.
- D. At least five (5) relevant previously completed or ongoing projects where the firm has provided siting, development, permitting, and/or design services for a landfill facility. These project descriptions must include the client name and designated contact along with the contact's title, telephone number, and email address. The Cities reserve the right to contact any and all clients as listed in these project descriptions.
- E. Qualification Statements shall be limited to no more than 25 pages total, which excludes the front cover, back cover, table of contents, and dividers. Longer resumes of proposed staff may be included in an appendix to the Qualification Statement.
- F. In a separate, sealed envelope, respondents must provide costs for the project listed under the Request for Proposal Data below.

2. ORGANIZATION OF MATERIALS

Submitted Qualification Statements must be organized in the following manner:

- A. General Information
- B. Key Personnel
- C. Firm's Experience

3. GENERAL INFORMATION

The following general information shall be included:

- A. The firm's name, address, telephone number, website address.
- B. Date firm was established and type of entity (i.e., corporation, sole proprietorship, Limited Liability Company, etc.).
- C. Firm's Certificate of Authority number as issued by the State of Nebraska Board of Engineers and Architects along with the certificate's expiration date.
- D. The technical discipline, certifications, and certification numbers for the firm's proposed Project Manager.

4. KEY PERSONNEL

The firm shall identify key personnel and any sub-consultants it would use to assist with the siting, developing, permitting, and designing a new landfill facility. Proposed sub-consultant's name, address, telephone number, and specialty shall be indicated.

In addition, firms shall include:

- A. A list of its key personnel and their titles along with a listing of directly relevant projects for each key member that includes the client name, a brief project description, key member's role in project, and project completion date.
- B. Brief resumes for each key member as listed in (A) above that include the key member's educational background, technical discipline, applicable Nebraska certifications and numbers, years of professional experience, and any unique knowledge relevant to a landfill development project.

5. FIRM'S EXPERIENCE

Qualification Statements shall include at least five (5) project descriptions for landfill development projects the firm has completed within the past ten (10) years.

Each project description shall include the client's name and designated contact along with the contact's title, telephone number, and email address along with the year(s) services provided, construction costs (if applicable), and a narrative description of project. The City reserves the right to contact any and/or all of the clients the firm includes for these project descriptions.

Provide examples of the Project Manager's government agency experience within the past ten (10) years that serve to demonstrate firm's knowledge of and performance on contracts with local government agencies. Also provide experience with State and Federal Regulatory Agencies on permitting and approvals.

6. **SELECTION/EVALUATION CRITERIA**

The above requirements will be evaluated and scored based upon the following criteria and relative importance as applied by the Evaluation Committee to the material submitted in the firm's Qualification Statement:

	<u>Evaluation Criteria</u>	<u>Maximum Points</u>
1.	Overall Quality/Qualification Statement/Firms understanding of the RFQ/RFP	15
2.	Qualifications of Key Personnel	30
3.	Experience and Competence of Firm(s)	30
4.	Qualifications as Demonstrated in Past Projects	25
	Maximum Total Points	100

The Evaluation Committee's objective is to select the highest qualified firm for the services to be rendered, at a compensation determined as fair and reasonable to the Cities. To accomplish this objective, respondents will be evaluated on the following basis:

CAPACITY AND CAPABILITY

Selected firm must be capable and proficient in providing the following technical services:

- Complete Facility Siting Capabilities
- Facility Permitting Services
- Facility Development Design Services
- Construction Oversight Services
- Documented Experience in Solid Waste Services
- Preparing work schedule in MS Project
- Organizational Chart with key personnel

Before assigning final scores the Cities may, at its discretion, schedule face-to-face interviews or video conferences with each respondent. Each member of the Committee will then assign up to the maximum points noted above to each criterion based on the respondent's submittals and any

other information obtained through interviews and/or telephone conferences. Respondents will be ranked according to their total cumulative points.

Following the completion of the evaluation and the determination of a top-ranked firm, the Cities will open the project costs from all proposals. If the project costs are deemed acceptable, the Cities will enter into contract with the top-ranked firm. If the project costs are significantly higher than the anticipated project costs and/or significantly higher than other proposals, the Cities may negotiate with the top-ranked firm. If a mutually satisfactory agreement cannot be negotiated with the top-ranked firm, said firm will be asked to document a final offer in writing before terminating negotiations. Negotiations will then be initiated with the second-ranked firm, and so forth, until a contract has been negotiated with a qualified consultant, or halted at the discretion of the Cities.

The Cities reserve the right to reject any and all applicants if the requirements as set forth herein are not met or if the Cities deem a respondent unqualified on the basis of the overall analysis of the criteria outlined above.

7. GENERAL PROVISIONS

The procurement process is subject to applicable provisions of federal, state and local laws and ordinances.

- A. The Cities will not be liable for any costs incurred in preparing, submitting or presenting a respondent's submittals or any associated travel costs.
- B. Discussions may be conducted with respondents submitting acceptable proposals; consultant selection may be made without any discussion.
- C. The Cities reserve the right to postpone the opening and/or review of respondent submittals for cause or convenience. The Cities also reserve the right to reject any and all proposals, in whole or in part, and to waive any informality therein.
- D. If only one qualified firm responds by the due date, the Cities, at their own discretion, may enter into contract negotiations with that firm.

8. CONSULTANT AGREEMENT

The selected consultant will enter into an agreement with the Cities to provide services for siting and 'Master Planning' a new facility for MSW and C&D (minimum 50 year landfill and C&D life) including but not limited to site investigations, design of waste cells and containment systems, site access and final permitting for the initial cell development meeting NDEQ requirements and all other state and local standards.

9. TIME FRAME

Work is scheduled to begin within 30 days of selection with completion dates for successful permitting and final construction design of the first cell per the schedule supplied by the selected firm not to exceed January 31, 2023.

10. CLARIFICATION OF SPECIFICATIONS

Requests for clarification of any items, requirements or specifications contained in this RFQ/RFP must be received in writing at the City offices **no later than January 18, 2018. Please fax, email or deliver all RFQ/RFP clarification requests to:**

City of Gering
C/o Annie Folck, Planner
1025 P Street
Gering, NE 69341
Phone: (308)-436-5096
Fax: (308) 436-6899
Email: afolck@gering.org

11. RESPONDENT SUBMITTALS

To be considered, one (1) original (not bound) and six (6) copies of the required submittals must be received at the City of Gering Administrative Office, 1025 'P' Street Gering, NE 69341 by **1:00 P.M., Tuesday, January 23, 2018**. The Cities shall review the documents that include each respondent's letter of interest, qualifications and required certifications and assurances.

Respondent submittals should be securely sealed in one or more parcels and clearly marked "Siting, Development, Permitting, and Design of a New Landfill Facility for the Cities of Scottsbluff and Gering NE."

Respondent submissions not in compliance with the instructions contained in this section and/or not containing the information requested may be declared "non-responsive" and disqualified from consideration.

12. MISCELLANEOUS PROVISIONS

Proposals received after the due date and time will not be considered. Modifications received after the due date will not be considered. No responsibility will be attached to the City for the premature opening of a package not properly addressed and identified, and/or delivered to the wrong office. The Cities may reject any and all proposals and reserves the right to waive any technicalities, irregularities, or informalities in any proposals or in the proposed procedure.

Owner's Representative. It is understood that the Cities will designate an Owner's Representative to provide oversight and administration during the performance of the professional services covered by any contract that is awarded.

RFP – REQUEST FOR PROPOSAL DATA

Project Proposal: Respondents must provide a project proposal, which is in accordance with the information provided in this RFQ/RFP. Respondent proposals must include the following elements:

Siting, Development, Permitting, and Design of a New Landfill

Step 1: Site Assessment/Investigation

Step 2: Permit Development

Step 3: Final Design and Construction

1. STEP 1: SITE ASSESSMENT/INVESTIGATION

Step 1 involves landfill site assessment. There are ten (10) tasks involved which include surveying, geotechnical investigations, and specific studies that are pertinent and required to meet NDEQ regulations.

Task 1 – Preliminary Geotechnical Investigations: Investigations and studies shall be performed to determine whether the site selected by the City meets all Federal, State, and Local permitting requirements specifically NDEQ and Scotts Bluff County for a new Municipal Solid Waste (MSW) Landfill and Construction and Demolition (C&D) site. In the event the site does not meet said requirements the firm would assist the City to locate a suitable site meeting NDEQ and County permitting requirements.

Task 2 - Site Survey: The surveying work will include detailed topography using GPS of the entire site to obtain a base map and topographic maps to be utilized for the project meeting NDEQ mapping requirements. Mapping shall include survey control with all monumentation and reference points with Northing and Easting labeled and shown on the maps. The contours of the map will have an accuracy of ± 0.4 feet. The topographical survey will be tied to the Nebraska State Plane Coordinate System and the survey and design information will be prepared for the City in dwg format for use with AutoCAD Civil 3D.

Task 3 - Geotechnical Work: Investigations will be performed to determine: (1) the hydrogeological setting and characteristics of the site; (2) a review of the characterization of the vadose zone (if applicable) and documentation meeting NDEQ locational and design permitting criteria to operate a MSW landfill and C&D site; and (3) a liner and cover alternative analysis. These studies will be conducted to meet the NDEQ permitting requirements and to establish a complete data base for the landfill design.

Task 4 - Surface Drainage Analysis: This analysis will evaluate both existing and final drainage conditions for the landfill site and access road(s) and will meet and/or exceed all NDEQ requirements.

Task 5 - Archaeological Survey and Threatened and Endangered Species: Perform an environmental review per NDEQ requirements to meet permitting requirements for a MSW landfill and C&D site. This will include a threatened and endangered species survey of the proposed landfill site. Conduct an initial background search on information on state and federally listed species and critical habitats that may occur in Scotts Bluff County. A pedestrian survey to map vegetative types, determine the presence or absence of critical habitat suitable for listed species, and to verify - as accurately as possible - the presence or absence of any listed flora or fauna will be performed to address the regulatory concerns of NDEQ.

Task 6 - Seismic Impact Zones: Seismic documentation per Title 132, Chapter 3, 002.09 at the site will be performed to meet NDEQ requirements.

Task 7 - Preliminary Conceptual Design: Engineer will prepare a preliminary design for the site. This design will identify the parameters of the site and the requirements for the facility design. The preliminary design will identify building locations, fence lines, cell geometry, storm water channels, borrow sources, utilities, access roads, liner requirements, and all other ancillary facilities necessary for the development of the landfill for a minimum landfill design life of 75 years.

Task 8 - Preliminary Cost Estimate: Engineer will prepare a preliminary cost estimate. This estimate, based on the preliminary conceptual design, will involve developing a takeoff sheet to identify all items necessary to perform the surveying, siting, hydrogeological studies, permitting, and design/layout of cells. This estimate shall also include the design and permitting approval process of Cell 1 as shown on the Preliminary Conceptual Design (Task 7). This cost estimate will be utilized to identify potential problems, further refine the potential level of funding required, further refine specific requirements for the site, establish if funds are available, and identify additional items that may be added to the project.

Task 9 – Preliminary Schedule using MS Project with Gantt Chart: Preliminary siting and permitting schedule showing all activities required to obtain approvals through initial landfill site selection, surveying, mapping, hydrogeological studies, installation of required monitoring wells, testing, reports, meetings including public informational meetings, and other pertinent elements required for a new MSWL. This schedule shall also include testing activities and design timeline necessary to obtain design approval/construction acceptance for Cell 1. This schedule will be utilized to identify critical paths during the siting and permitting phase and identify additional items that may be added to enable permitting.

Task 10 - Meetings: Meetings with the Owner, Community, and others will be critical throughout the project. These meetings will be both formal and informal and will involve transmitting information and, most importantly, addressing concerns and issues that may have arisen during the step/tasks associated with the project.

2. STEP 2: PERMIT APPLICATION DEVELOPMENT

This step involves developing the permit application for the Municipal Solid Waste Landfill including con-current C&D Permitting (all tasks). There are eight (8) tasks in this step. At the completion of this step, the landfill permit application will be submitted to NDEQ and the public hearing process completed.

Task 1 - Permit Drawings: Engineer will prepare permit design drawings for the landfill to be used in the permit application and for the final design. This design will be based on the results established and a minimum 50-year landfill permit life.

Task 2 – Modeling and Analysis: Engineer will perform the modeling and analyses necessary to meet the requirements of NDEQ as related to groundwater protection and landfill liner design.

Task 3 – Groundwater and Gas Monitoring Plans: Engineer will develop groundwater and gas monitoring plans per NDEQ requirements.

Task 4 - Closure Plan: Engineer will prepare a Closure/Post-Closure Plan for the landfill area in accordance with the latest NDEQ Solid Waste Management Regulations. Engineer will prepare financial assurance estimates for closure and post-closure assessments. Engineer will assist in determining funding mechanisms to be used for financial assurance.

Task 5 - Operations Plan: The operations plan will be developed to address specific requirements of NDEQ and it will be organized and prepared to be included in the NDEQ permit application.

Task 6 - Assemble Permit Application Documents: All of the pertinent documents will be assembled into the permit application. The permit application will be prepared in accordance with the latest Nebraska Solid Waste Management Regulatory requirements.

Task 7 - Public Hearings: Engineer will prepare for and conduct public hearings for the landfill permit. Engineer will include the Owner in all activities relating to required public hearings. Engineer will interact with NDEQ to identify the level of effort as related to the public hearings meeting NDEQ 13-1706 Public Hearing Processes.

Task 8 - Meetings: Meetings with the Owner, Community, and others will be critical throughout the project. These meetings will be both formal and informal and will involve transmitting information and, most importantly, addressing concerns and issues that may have arisen during this step in the project.

3. STEP 3 FINAL DESIGN AND CONSTRUCTION

Step 3 will involve four (4) tasks. These tasks address the final design and construction of the municipal solid waste landfill. These tasks are prepared to be completed in series and will be implemented at the direction of the Owner.

Task 1- Final Design: Once the permit application is accepted by NDEQ and the Owner gives its Notice to Proceed, Engineer will commence the final design process. Based on all previous work completed, Engineer will prepare final bidding documents, final drawings, and technical specifications. The drawings will include the complete MSWL and C&D site including structures and access' and all other work related to the construction of the first cell of the landfill.

Task 2 - Final Cost Estimate: Engineer will prepare a final cost estimate. This estimate will be based on the final design.

Task 3 - Construction Bidding Services: Engineer will provide complete bidding services. These services include preparing the bid advertisement, chairing the pre-bid conference, responding to contractor questions, preparing addenda, evaluating the bid submittal, and providing a recommendation of award.

Task 4 - Construction Inspection Services: Engineer will provide construction inspection services the Owner may require for the construction of the first landfill cell meeting the CQA Plan. At a minimum, Engineer will be involved with the oversight of the installation including but not limited to: (1) the subgrade for the liner; (2) the liner; (3) the liner protection system; (4) inspection of the construction of the road work; (5) drainage system; (6) buildings; (7) and other ancillary facilities. Engineer shall establish an inspection procedure program to assist in the inspection process. All NDEQ requirements will be satisfied and the facility will meet all necessary regulations. Engineer shall provide all inspection services including testing, monitoring, and installation review.

4. STEP 4 PROJECT SCHEDULE

The project schedule shall be completed using MS Project with Gantt Chart Layout and reflect the steps and tasks presented in the Scope of Work.

AGREEMENT FOR SERVICE AND CONSTRUCTION OF NEW LANDFILL

This Agreement is made on the 2nd day of July, 2007, by and between the City of Gering, a Municipal Corporation, (hereinafter referred to as "GERING") and the City of Scottsbluff, a Municipal Corporation, (hereinafter referred to as "SCOTTSBLUFF") under the Interlocal Cooperation Act.

WHEREAS, GERING agree to cooperate and contract with the City of Scottsbluff for the disposal of solid waste under the terms of the Integrated Solid Waste Management Act (Neb. Rev. Stat. § 13-2001 to 13-2043); and

WHEREAS, this Agreement is entered into pursuant to Neb. Rev. Stat. §§ 13-801 to 13-827, the Interlocal Cooperation Act, to enable the parties herein to comply with the mandates of the act and to provide for disposal of solid waste at the existing GERING Solid Waste Disposal site; and

WHEREAS, SCOTTSBLUFF desires to dispose of its waste at the existing GERING Municipal Solid Waste Disposal Site, GERING agrees to provide a site for municipal solid waste disposal for SCOTTSBLUFF; and

WHEREAS, GERING operates a waste disposal site known as the GERING Solid Waste Disposal Site hereinafter referred as the "Landfill" which is situated in GERING, Scotts Bluff County, Nebraska, and which has been designated by the State of Nebraska as a long-term Landfill for the City of GERING.

NOW, THEREFORE, in consideration of the mutual promises set forth herein, it is agreed by and between GERING and SCOTTSBLUFF as follows:

1. Approved Municipal Solid Waste. The GERING Landfill is available for the disposal of all approved solid waste. Approved solid waste shall mean all "municipal solid waste" as defined in the Integrated Solid Waste Management Act (Title 132) which is collected by SCOTTSBLUFF for the disposal of waste exclusively produced by SCOTTSBLUFF within their city limits and two mile jurisdictional boundary, subject to the following exclusions:

- (a) Any solid waste prohibited from Landfill disposal under State or Federal laws or regulations;
 - (b) Regulated hazardous waste and polychlorinated biphenyl waste (hereinafter referred to as PCB waste);
 - (c) Such other solid waste as GERING determines to be inappropriate for disposal at the Landfill; and
 - (d) A list of unacceptable waste will be posted at the facility.
2. Operation of Landfill and Duration. GERING agrees that the Landfill should be constructed, maintained and operated in accordance with all requirements of Federal and State law by GERING. GERING agrees that the Landfill shall accept approved municipal solid waste for disposal at its Landfill for the remaining life of the Landfill at its location near the west city limits of the City of GERING, more particularly described as follows:
- Part of the S½SE¼, Section 34, Township 22 North, Range 55 West of the 6th p.m., Scotts Bluff County, Nebraska, said site containing 38.52 acres more or less as described by Jensen survey of July 29, 1993 and recorded in landfill permit for Gering, Nebraska.
- Cells 4, 5, 6, 7 and 8 remain unfilled at that Landfill. GERING shall start accepting waste pursuant to this Agreement on or about the 1st day of November, 2007. GERING shall be the designated owner of the Landfill, including all equipment, buildings and supplies.
3. Fees for Disposal. GERING will charge a fee for municipal solid waste disposal from SCOTTSBLUFF as follows:
- (a) Fees will be collected from Scottsbluff at the rate of \$37.50 per ton payable monthly based on scaled weight delivered to GERING plus CPI adjustments (see paragraph 3(d)). GERING will submit a statement to SCOTTSBLUFF which shall be paid within 28 days from the date of submission. In the event that the payment is not made within 28 days from the date of billing, interest on the unpaid balance will be due in the amount of 10%. From that \$37.50 per ton plus CPI (paragraph 3(d)), \$7.50 per ton is to be payable to the Reserve Account for the new landfill at that rate for the life of the landfill (see paragraph no. 10). These figures are based on the solid waste feasibility study:

Table 3-1: Annualized Per Ton Costs Estimated for Solid Waste Disposal for GERING and SCOTTSBLUFF Combined

DESCRIPTION	\$ / Ton
Operating Cost	17.30
NDEQ Compliance	5.05
Cost to Build New Landfill	7.50
Cost for New Equipment	3.31
Closure / Post-Closure	1.39
Contingencies - Legal Engineering Administration	2.91
Landfill Cost / Ton	\$37.50

- (b) GERING agrees that it will charge no less than \$37.50 per ton plus CPI adjustments (as defined in 3(d)) to any third party landfill users.
- (c) GERING agrees to operate its facility for the purpose of accommodating additional waste into GERING's existing Landfill.
- (d) Every year after the effective date of this Contract, for the contract term, the parties agree that the per ton charges to Scottsbluff in Paragraph 3(a) will be adjusted based upon the U.S. Department of Labor Consumer Price Index - Midwest Rural on that date. (i.e. on November 1st every year from November 1, 2007).
- (e) The fees collected by the City of GERING for the disposal of approved municipal solid waste shall include the following:
 - (1) All costs of operation of the Landfill and baler facility.
 - (2) All amounts payable for debt service, if any, in connection with financing to operate the facility;
 - (3) All amounts necessary to provide reserves for costs of closure and post-closure of facilities.
 - (4) All amounts necessary to provide for payment of Title 132 State Permit fees - Chapter 9, Annual Operating Fees - Chapter 10, and Municipal Solid Waste Disposal Fees - Chapter 11 (currently \$1.25 per ton); provided however that if these fees are increased by the State, SCOTTSBLUFF and GERING will share on a cumulative annual tonnage basis any increase in fees above current charges by the State of Nebraska, as of the effective date of the contract. Payments should be made 28 days from date of submission.

- (f) Roll off and Compactors: GERING will provide SCOTTSBLUFF customers with roll offs and compactors exclusively within the SCOTTSBLUFF zoning jurisdiction subject to existing contract rights with others. SCOTTSBLUFF agrees to give notice to Waste Connection of termination of its contract for roll off and compactors, dated April 18, 2005. GERING and SCOTTSBLUFF will provide notice to Waste Connection of GERING's intent to serve SCOTTSBLUFF by resolution in July, 2007. Waste Connection will be provided the option to serve SCOTTSBLUFF for one additional year from the date of GERING's resolution to provide service to SCOTTSBLUFF for roll off waste collection pursuant to Neb. Rev. Stat. § 18-1752.02. In the event Waste Connection agrees to provide roll off and compactor service for one additional year pursuant to Neb. Rev. Stat. § 18-1752.02, the final date of service by Waste Connection shall be twelve (12) months from the date of the resolution by GERING. Thereafter, GERING will exclusively provide SCOTTSBLUFF with roll off and compactor service for the term of GERING's contract with SCOTTSBLUFF (life of the GERING landfill).

GERING will charge a landfill fee and a collection fee. Landfill fees will be charged at the rate of \$37.50 per ton subject to CPI (3(d) above). Collection fees will be set annually by GERING and include operations and capital costs. GERING will charge sales tax in addition to these fees.

- (g) White goods, Tires and Other Prohibited Materials: GERING will receive all white goods, tires and other prohibited materials from SCOTTSBLUFF (including GERING'S) at the landfill. All white goods, tires, and prohibited waste/materials received at GERING'S landfill will be disposed of by GERING. GERING will send a bill to SCOTTSBLUFF for the cost of disposal of all white goods, tires and other prohibited materials received in the landfill from SCOTTSBLUFF.

4. Delivery of Waste to the Landfill. SCOTTSBLUFF is responsible for delivery of all of its municipal solid waste to the GERING Landfill site, except rolloff and compactors which SCOTTSBLUFF grants an exclusive right to the City of Gering to serve, subject to provisions of 3(f) above.
5. Unanticipated State and Federal Mandates. In the event that there are any State or Federal Mandates requiring additional expenditure for fees, equipment, real estate and other Landfill requirements, which do not exist on the date of execution of this contract, the parties agree to share any additional cost on a cumulative annual tonnage basis as of November 1st each year, or each year and the date of said expenditure, whichever first occurs. Payments should be made 28 days from date of submission.
6. Regulation of Waste Received. GERING will regulate all solid waste to be received by the Landfill. It shall be the responsibility of SCOTTSBLUFF to insure that City of

Scottsbluff personnel have sufficient training and knowledge to recognize unacceptable wastes, including hazardous and PCB waste, and to insure that such materials are not delivered to the Landfill. SCOTTSBLUFF shall use its best efforts consistent with current levels of training and monitoring by its collection staff to recognize unacceptable wastes, including hazardous and PCB waste. All loads delivered to the Landfill will be subject to inspection for waste content; any unauthorized items will be rejected, and for the first 6 months inventoried so the parties may negotiate a cost or other consideration for GERING to handle these items. This contract does not cover individual citizen's disposal of solid waste. GERING reserves the right to accept or not accept waste delivered by individuals delivered to the GERING landfill in cars, pickups, or other vehicles at rates to be set by GERING.

7. Hours of operation: Hours of operation are subject to change in GERING's discretion. Landfill and baler hours of operation are currently:

LANDFILL

6:30 a.m. to 2:00 p.m. for the purpose of receiving loads.

BALER

6:30 a.m. to 1:30 p.m.

Days of operation: Monday through Friday.

8. Compost: SCOTTSBLUFF shall provide grass and leaves collection for all SCOTTSBLUFF customers and compost its own material. GERING composts grass and other compost type materials through a separate collection system. GERING will be allowed to use SCOTTSBLUFF's composting facility in GERING's discretion at no fee. GERING residents and Gering municipal services will be able to use this composted waste.
9. Spring Clean Up: The parties agree that SCOTTSBLUFF and GERING residents will be allowed a minimum of 5 days free landfill for residential customers only (not commercial) in the sole discretion of Gering. Residents will be required to show proof of residence within the city of SCOTTSBLUFF by driver's license and a City of Scottsbluff utility bill. The dates and times for these clean-ups will be determined by GERING. In addition, the parties will agree on a date certain for the Southeast Scottsbluff cleanup program under the same terms and conditions.
10. Reserve Account for New Landfill Site: SCOTTSBLUFF and GERING agree that for the term of this agreement (life of the GERING landfill), each community shall contribute \$7.50 per ton into a separate reserve interest bearing account which shall be non-refundable to each city. Gering agrees to make Scottsbluff's contribution from the \$37.50 fee provided at 3(a). The intent of this agreement is for Gering and Scottsbluff to partner in a new landfill at a different location, and accumulate and invest money to site

and construct the same. If either of the parties of this agreement do not participate in the joint effort to site and build a new landfill, all Reserve Account money through the life of the current GERING landfill will remain in the new landfill Reserve Account, and the non-participating city shall forfeit all money contributed into that Reserve Account through the end of the term of this agreement (life of current landfill). In the event neither City goes forward with the landfill, the funds accumulated from third party cities or third party independent haulers will be Gering's funds. The funds contributed by Gering and Scottsbluff will be divided by them based on each City's contribution per ton. The purpose of this account will be to locate and construct a new Landfill which shall meet State and Federal requirements for a municipal solid waste facility. These funds shall be audited annually. The operation of the new joint Landfill will be the subject of an Interlocal Cooperation Agreement between GERING, SCOTTSBLUFF or any other community or entity specifically allowed only by the agreement of SCOTTSBLUFF and GERING to participate. In the event GERING chooses to permit third party cities or third party independent haulers to use the existing Landfill, those third party cities / haulers will be charged no less than \$7.50 per ton, all final charges of which will be determined by GERING. Third party Reserve Account fees will be deposited into the new landfill Reserve Account. GERING and SCOTTSBLUFF agree to invest such public funds in this Reserve Account consistent and in accordance with Nebraska law.

If GERING and SCOTTSBLUFF both agree, in writing, to not jointly build a new landfill, both communities shall be entitled to their respective capital contributions based upon fees paid and interest accrued on an agreed final date of distribution.

11. City of Mitchell: The City of Gering currently has a contract for hauling and disposal of Mitchell's municipal waste. The GERING-SCOTTSBLUFF contract herein is subject to the terms and conditions of the Gering - Mitchell contract for the existing term of the Gering-Mitchell contract. (Gering - Mitchell contract term is 02/01/2005 to 01/31/2010) The City of Mitchell tonnage received by GERING through the term of the existing contract with Mitchell shall be itemized and excluded from the \$7.50 / ton Reserve Account fee until midnight on January 31, 2010. Upon renewal, GERING will insure that Mitchell's fee includes at a minimum the \$7.50 per ton charge as set forth in paragraph 10.
12. Default: In the event that either GERING or SCOTTSBLUFF defaults in any of the provisions of this agreement, either party may resort to any remedy available under Nebraska law.
13. Assignability: Neither party may assign its interest in this Agreement to any other entity without the express written consent of the other.
14. Notices: Any notices or other communications between the parties shall be personally delivered, sent by regular mail, or by facsimile transmission, electronic mail, or by facsimile transmission combined with any of the above methods of service, to the addresses set out below, or to such other address as a party may designate, from time-to-time, by written notice to the other. A notice shall be deemed effective upon receipt.

- (a) If to GERING:

City of Gering
1025 P Street; P.O. Box 687
Gering, NE 69341
Fax: (308) 436-6899
Attention: City Administrator

- (b) If to SCOTTSBLUFF:

City of Scottsbluff
1818 Avenue A
Scottsbluff, NE 69361
Fax: (308) 630-6294
Attention: City Manager

15. Miscellaneous:

- (a) This Agreement constitutes the entire agreement of the parties with respect to its subject matter, and may only be modified in writing signed by both of the parties.
- (b) Either City's waiver of any one default shall not be a waiver of the same or any other default in the future. In addition, either City's failure to exercise any right given to it by this Agreement shall not be a waiver of any later exercise of that right.
- (c) The provisions of this Agreement are severable and if any provision is held to be invalid, the remainder of the Agreement shall remain in effect.
- (d) This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but which together shall constitute a single instrument.
- (e) This Agreement shall be governed by the laws of Nebraska.
- (f) This Agreement shall be binding on the successors and assigns of the parties.
- (g) SCOTTSBLUFF may not assign or transfer their interest in this Agreement without the consent of GERING.
- (h) In the event of disagreement or dispute concerning any of the terms of this contract, GERING and SCOTTSBLUFF agree to negotiate and work toward resolving any such disputes or disagreements in good faith.

CITY OF GERING, NEBRASKA,

By: Susan Wiedeman
Susan Wiedeman, Mayor



Deborah D. Russell
City Clerk

CITY OF SCOTTSBLUFF, NEBRASKA,

By: Randy Meininger
Randy Meininger, Mayor

Attest: Gretchen A. Russell
City Clerk



MEMORANDUM OF UNDERSTANDING FOR SOLID WASTE

Joint City Council Meeting
4-30-07

The City of Gering and the City of Scottsbluff mutually agree to negotiate to cooperatively pursue the disposal of solid waste at the existing Gering Solid Waste Disposal Site for its useful life estimated at a minimum of 13 years.

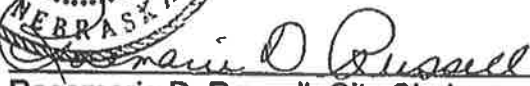
In accordance with the Nebraska Legislature's stated policy to encourage the development of integrated solid waste management programs, the cities further agree that part of their negotiation will include setting aside monies for the siting and development of a new replacement landfill to serve the cities' long-term needs.

FOR THE CITY OF GERING



Susan K. Wiedeman, Mayor





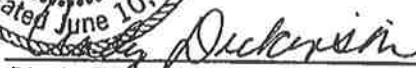
Rosemarie D. Russell, City Clerk

FOR THE CITY OF SCOTTSBLUFF



Randy Meininger, Mayor





Cindy Dickinson, City Clerk

ADDENDUM

Comes now the City of Scottsbluff and the City of Gering, parties to the contract dated July 7, 2007 wherein the parties agreed that the City of Gering would dispose of City of Scottsbluff's solid waste.

A need for clarification has arisen with regard to paragraph 3f that provides for the City of Gering to take over the roll-off and compactor business from the City of Scottsbluff.

Notwithstanding any interpretation of the above described clause or any other provision of the contract with regard to what was meant by the parties in the roll-off and compactor language, the parties agree to the following:

- (1) The City of Gering will take over and provide service to businesses and/or citizens in the City of Scottsbluff for the purpose of providing them roll-offs and compactors. Scottsbluff agrees that it will not during the term of this contract provide such service.
- (2) In the above described service agreement, the City of Gering will set the rates for the services provided the businesses and/or citizens in Scottsbluff.
- (3) The City of Gering will deliver and pick-up the roll-offs and compactors as requested by such customers.
- (4) The City of Gering will process and send billings to City of Scottsbluff businesses and/or other citizens who use City of Gering services for roll-offs and compactors.

Parties agree that all other provisions of the above described contract are confirmed and ratified.


This agreement shall be considered effective July 7, 2008 and will continue for the duration of the contract described above between the parties.

This addendum shall be binding upon the parties, their successors and assignees. Parties agree that this addendum shall be attached to the above described contract and considered a part thereof.

Witness whereof, parties set their hands here to the first above written.

CITY OF SCOTTSBLUFF

By 
Randy Meininger, Mayor

Attest 
City Clerk



CITY OF GERING

By 
Susan Wiedeman, Mayor

Attest 
City Clerk

