

City of Scottsbluff, Nebraska

Monday, February 4, 2019

Regular Meeting

Item Reports1

Council to consider a letter documenting match commitment to the Nebraska Department of Economic Development in regards to grant funding for the 23 Club revitalization efforts.

Staff Contact: Nathan Johnson, City Manager



February 4, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

RE: Documentation of Match Commitment

Dear Ms. Mason:

This letter is to document the match commitment for the Department of Economic Development's Community and Civic Center Financing Fund (CCCFF) program as part of the application for the 2019 program year. Scottsbluff staff is working with Scottsbluff 23 Club Babe Ruth League (23 Club) to renovate the 23 Club Baseball Park recreation facilities.

The estimated total project budget is \$1,365,147. Scottsbluff and 23 Club are asking CCCFF for \$603,927. Scottsbluff and 23 Club will match these funds with \$761,220. Of the \$761,220, Scottsbluff and 23 Club have secured \$328,000 with at least \$275,927 remaining to secure before the project period ends.

The following table outlines secured and pending funding to date:

| Source of Funding | Amount of Funding | Secured or Pending |
|--|-------------------|------------------------|
| City of Scottsbluff | \$205,000 | Pending Budget Process |
| Panhandle Partnership Greater Good Fund | \$50,000 | Secured |
| Oregon Trail Community Foundation | \$40,000 | Secured |
| Quivey-Bay State Foundation | \$15,000 | Secured |
| Webb Orthodontics | \$10,000 | Secured |
| Kelley Bean Company | \$5,000 | Secured |
| Regional West | \$2,000 | Secured |
| Aulick Industries | \$1,000 | Secured |
| Westco | \$10,000 | Pending |
| B&C Steel | In-Kind | Pending |
| VanPelt Fencing | In-Kind | Pending |
| Croell Redi-Mix Inc. | In-Kind | Pending |

With donations already pending in the table above, and representatives working with local banks for donations, Scottsbluff and 23 Club are confident in our ability to secure the remaining \$275,927 before the project is complete.

Thank you for this opportunity to show the Department of Economic Development about our exciting project that will improve the lives of the Scottsbluff community and beyond.

Sincerely,

Raymond Gonzales
Mayor

Civic and Community Center Financing Fund (CCCCF) application (all of this information is going to be put into the online grant system, that is why it's not formatted like the project narrative is)
Application Due: February 15, 2019

CCCCF Application Part I General Information

Project Information

1. Name of Municipality: Scottsbluff
2. Current population: 14,874 (2017 figures)
3. Is the Applicant applying for a historic building? No
4. Is there a Co-Applicant? Yes
5. Name of Co-Applicant: Scottsbluff 23 Club Babe Ruth League
6. Existing or Preliminary Name of Facility: 23 Club Baseball Park
7. Applicant Eligibility Thresholds:
 - a. Facility is located within municipality: yes
 - b. Municipality will own facility: yes
 - c. Municipality will operate the facility. No If not yes, provide explanatory statement including entity under contract that will operate the facility
While the City of Scottsbluff owns the property, 23 Club has a contract with the city to use the park for baseball and softball operations. 23 Club pays the city \$2,500 per year. In exchange, the City of Scottsbluff provides all building maintenance, field maintenance, utilities, trash collection, and clean up. 23 Club organizes all baseball and softball recreation leagues and tournaments. 23 Club handles the registration process for youth participants, provides insurance, sets up scheduling, organizes hiring umpires, handles chartering with national baseball/softball organizations, and day to day operations of the 23 Club program. 23 Club is 100% volunteer.

Purpose of the Project

1. Facility – Recreation Center: Park
2. Type of Grant Requested: Capital Construction
3. Did the Project complete technical assistance and/or feasibility studies? Yes
4. Was the planning study funded through the CCCCCF program? No
5. Requested grant amount: \$603,927
6. Total project budget: \$1,365,147
7. Project description Summary (max 250 words): brief description of the facility and description of the project's location within the community. Clear and concise and at least one paragraph, can attach maps, images photographs, under Part IV Attachment 3 (this is encouraged, don't forget to make references within this text to the attachments) To ensure the safety of all members of the community and compliance with the Americans with Disabilities Act (ADA) standards, the City of Scottsbluff and 23 Club are partnering to raise funds to improve the 23 Club Baseball Park in Scottsbluff, Nebraska. The current facilities are forty years old. The City of Scottsbluff has worked with the 23 Club Babe Ruth League (23 Club) to manage the park location for 50 years. 23 Club is a nonprofit organization that organizes and runs youth baseball and softball leagues, tournaments, and camps, held at the 23 Club Baseball Park. Scottsbluff and 23 Club are partnering with Baker and Associates, a local architectural firm, for this capital project. The main priority of the project is to provide a safe and adequate space for the people of Scottsbluff and

the surrounding area to serve the needs of the community. The City of Scottsbluff determined through a survey of the area that the facility not only needs renovation, but also needs to be ADA accessible. These renovations will include the clubhouse/concessions building, the restrooms, and the spectator area – none of which meet the 2010 ADA Standards for Accessible Design. The project will cost \$1.36 million overall, of which the city can provide \$205,000. Organizers at 23 Club will raise the remaining \$1.1 million through grants, corporate, sponsorships, and individual donations. Attached in Part IV: Additional Attachments as “Attachment 3: Planning Documents” are documents to expand understanding of the area and renovations outlined in this application.

8. Local cost-share information: Identify status of funds as it relates to the project, the total must correspond with the project budget listed above
 - a. Amount of secured matching funds to date: \$328,000
 - b. Amount of unsecured matching funds to date \$275,927
 - c. Sources of local matching funds (brief narrative identifying sources of secured funds, separately list any pending grant applications, including date of anticipated award. Additional details may be provided in the attachments provided under part II Project Budget)

Secured matching funds have been provided by Panhandle Partnership Greater Good Fund, Oregon Community Trail Foundation, Quivey Bay State Foundation, Webb Orthodontics, Kelley Bean Company, Regional West, Aulick Industries. These funds amount to \$123,000. An additional \$10,000 has been committed from Westco if this grant is received. In addition, 23 Club is waiting to hear on funding in the form of in-kind construction donations from B&C Steel for steel building and structures, VanPelt Fencing for fencing, and Creol for concrete. Additional donations are expected from local banks.
9. Has applicant received an award for state aid through CCCFF? No
10. Does Project have a permanent physical address? Yes
11. Project Address, street, city zip 2900 2nd Avenue, Scottsbluff, NE 69361

Applicant Contact Information

1. Chief Elected Officer of Applicant
 - a. Name: Raymond Gonzales
 - b. Title: Mayor of Scottsbluff
2. Local contact person
 - a. Name: Nathan Johnson
 - b. Title: City Manager
 - c. Organization: City of Scottsbluff
 - d. Address: 2525 Circle Drive
 - e. City: Scottsbluff
 - f. State: Nebraska
 - g. Zip: 69361
 - h. Phone: 308-630-6202
 - i. Email: njohnson@scottsbluff.org

- j. Is your local contact person different from the person preparing the application? Yes
 - i. Geoff Nemnich, 23 Club Babe Ruth League, President, 308-641-8084, president@23club.com
- 3. By signing and submitting this form, you are confirming the following eligibility criteria:
 - a. The facility in question is, or will be, owned and operated by Applicant. If the Facility shall be operated by another entity, application preparer provided a narrative under Applicant Eligibility Thresholds.
 - b. Project has not received funding assistance from the Sports Arena Facility Financing Assistance Act
 - c. Applicant has not been awarded a CCCFF grant within the last two program years
 - d. Date:

CCCFF Application Part II: Project Budget

Grant assistance must be matched equally with at least 50% of the matching funds in cash. None of the matching funds can be incurred prior to the date of the application for grant assistance. Upload a project budget showing the estimated line item costs for the project itemized by the proposed funding sources, grant and match, and project totals. Upload an Excel document with Estimated Project budget. Name it: Scottsbluff_partII

CCCFF Application Part III: Project Description – Project Narrative (on separate document)

CCCFF Application Part IV: Additional Attachments

- 1. Attachment 1 (REQUIRED): Documentation of Match Commitment. (On separate document)
- 2. Attachment 2 (REQUIRED): Letters of Support (On separate document)
- 3. Attachment 3 (where applicable): Planning Documents or “Other Attachments.” (On separate document)

CCCFF APPLICATION - PART II. BUDGET - Planning

Project Location:

Scottsbluff, Nebraska 23 Club Baseball Park

Project Name:

Renovation of 23 Club Baseball Park

ESTIMATED PROJECT EXPENDITURES AND FUNDING SOURCES

| | LINE ITEM | CCCFF portion | IN-KIND | CASH/OTHER** | TOTAL |
|-------|---------------------------------------|---------------|---------|--------------|--------------|
| A | Review of existing planning documents | \$ - | | \$ 60,000.00 | \$ 60,000.00 |
| B | Collection and Analysis of Data | \$ - | | \$ - | \$ - |
| C | Final report/study/plan | \$ - | \$ - | \$ - | \$ - |
| D | Other (specify below) | \$ - | \$ - | \$ - | \$ - |
| TOTAL | | \$ - | \$ - | \$ 60,000.00 | \$ 60,000.00 |

A) Obtain and review existing planning documents and conditions as they relate to the project;

B) Data gathering and analysis, including design charrettes and planning discussions/sessions;

C) Compilation and completion of final planning product;

D) Other: all costs not otherwise suited to items A-C.

Please provide a description for costs listed under Item D: Other, where applicable:

| |
|----------------------|
| |
|----------------------|

Source(s) of other grant funds, where applicable (identify secured grant funds and list any pending applications, including date of anticipated award):

The City of Scottsbluff is supplying all funds for planning and data gathering.

Local Matching Funds

| | |
|--|--------------|
| Amount of secured matching funds to-date: | \$ 60,000.00 |
| Amount of unsecured matching funds to-date: | \$ - |
| TOTAL | \$ 60,000.00 |

NOTE: Awarded projects will submit Actual Project Expenditures and Funding Sources upon request for final payment as a part of compliance monitoring.

CCCCF APPLICATION - PART II. BUDGET - Capital Construction

Project Location: *Scottsbluff, Nebraska 23 Club Baseball Park*

Project Name: *Renovation of 23 Club Baseball Park*

ESTIMATED PROJECT EXPENDITURES AND FUNDING SOURCES

| | LINE ITEM | CCCCF portion | IN-KIND | CASH/OTHER** | TOTAL |
|---|-----------------------------------|----------------------|-------------|----------------------|------------------------|
| A | Off-site improvements | \$ - | \$ - | \$ 203,100.00 | \$ 203,100.00 |
| B | Site improvements and Foundations | \$ 385,015.00 | \$ - | \$ 234,965.00 | \$ 619,980.00 |
| C | Exterior improvements | \$ 51,520.00 | \$ - | \$ - | \$ 51,520.00 |
| D | Doors/Windows and Finishes | \$ 27,600.00 | \$ - | \$ 37,156.00 | \$ 64,756.00 |
| E | Equipment and Furnishing | \$ 66,000.00 | \$ - | \$ 43,000.00 | \$ 109,000.00 |
| F | Mechanical | \$ 48,272.00 | \$ - | \$ - | \$ 48,272.00 |
| G | Electrical | \$ 25,520.00 | \$ - | \$ 139,292.00 | \$ 164,812.00 |
| H | Other (specify below) | \$ - | \$ - | \$ 103,707.00 | \$ 103,707.00 |
| | TOTAL | \$ 603,927.00 | \$ - | \$ 761,220.00 | \$ 1,365,147.00 |

A) Off-site improvements: grading, utilities, parking/sidewalks, etc.;

B) Site improvements: excavation, footing/foundation, stonework, joists and girders, framing, etc.;

C) Exterior improvements: thermal/moisture protection, roofing, insulation, siding, etc.;

D) Doors/windows and finishes: drywall, tile, carpet, paint, etc.;

E) Equipment and furnishings: bath/kitchen appliances, cabinets, fixed seating, etc.;

F) Mechanical: heating, air conditioning, plumbing, etc.;

G) Electrical: lighting, security system, fire detection, etc.;

H) Other: all costs not otherwise suited to items A-G.

Please provide a description for costs listed under Item H: Other, where applicable:

Seeding, with irrigation - \$25,200, Trees and plantings - \$13,500, Contingency (5%) in case bids come back higher - \$65,007

Source(s) of other grant funds, where applicable (identify secured grant funds and list any pending applications, including date of anticipated award):

Secured funding - City of Scottsbluff, Panhandle Partnership Greater Good Fund, Oregon Community Trail Foundation, Quivey Bay State Foundation, Webb Orthodontics, Kelley Bean Company, Regional West, Aulick Industries. Pending funds - Westco \$10,000, In-kind construction donations from B&C Steel, VanPelt Fencing, Creol, and local banks.

Local Matching Funds

| | |
|--|----------------------|
| Amount of secured matching funds to-date: | \$ 328,000.00 |
| Amount of unsecured matching funds to-date: | \$ 275,927.00 |
| TOTAL | \$ 603,927.00 |

NOTE: Awarded projects will submit Actual Project Expenditures and Funding Sources upon request for final payment as a part of compliance monitoring.



CCCCF Application Part III: Project Description – Project Narrative

Background

The City of Scottsbluff, Nebraska is located in the Great Plains region of the United States and has a population estimated at just over 15,000 residents. Scottsbluff is the 13th largest city in Nebraska and shares its borders with Gering, and Terrytown, for a total population base of just under 24,000 residents. Scotts Bluff County as a whole contains 36,363 residents. In Scottsbluff, over 18% of residents live in poverty, this is higher than the overall percentage of people in poverty for Nebraska (10.8%)(US Census Data). Scottsbluff is the retail hub of western Nebraska and eastern Wyoming bringing visitors to the area. The mission of Scottsbluff is “To promote a safe, healthy environment for its citizens, visitors, and business community; by providing essential services and infrastructure as well as opportunities for growth in a fair, fiscally responsible manner.”

The Scottsbluff 23 Club Babe Ruth League (23 Club), founded in 1937, organizes and runs youth baseball and softball league, tournaments, and camps held at the 23 Club Baseball Park. The Park is rented from the City of Scottsbluff for \$2,500 per year. Approximately 800 youth from Scottsbluff, Mitchell, Morrill, Bayard, and Bridgeport participate in youth baseball leagues run by the 23 Club Baseball organization, making it the largest youth sports program in the region. 23 Club offers scholarships and financial assistance to low income families which will cover or reduce the cost of league player fees. 23 Club partners with the Oregon Trail Community Foundation (OTCF). OTCF will conduct the audit for the 2018 year and in the future. The City of Scottsbluff funds utilities and upkeep of the 23 Club Baseball Park grounds.

1. Retention impact

A report from the National Recreation and Park Association outlines the benefits of public parks, including urban parks, on the community (NRPA, 2010). Parks are “vitally important to establishing and maintaining the quality of life in a community, ensuring the health of families and youth, and contributing to the economic and environmental well-being of a community and a region.” Parks provide economic value, health and environmental benefits, and social importance to a community. Not only do areas around parks see an increase in tax base and property values, but businesses are attracted to those areas for relocation. Residents use parks to improve their health, reduce stress, and have a place to connect to nature. A well-maintained park shows a community is strong and healthy. Many residents view their parks as an important aspect of their community, not just as a gathering place, but as a symbol of livability and pride in their area.



Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

To ensure maximum community involvement, parents, caregivers, athletes, coaches, and local residents of Scottsbluff were invited to voice their opinions on the 23 Club Baseball Park facilities during a public comment period. The local community overwhelmingly agreed that the facilities need to be brought up to the standard of a modern community baseball park, including standards from the American's with Disabilities Act (ADA). Planning started in 2018, with members of the community involved as well as local businesses and organizations. Because decision making for this project is based on participative board discussions with the City of Scottsbluff using community input and public comment, the entire community owns the project. Community spokespeople from a variety of diverse groups have given input for the project, ensuring the diverse needs of the community are met.

The 23 Club serves the people of Scottsbluff and the surrounding areas – people who are committed to family, independence, and have a strong work ethic. Baseball brings out these qualities. The park serves as a gathering place for families and allows youth to grow as individuals and teammates as they develop ethics associated with being on a sports team. Baseball fosters an appreciation for the outdoors and respect for other people through teamwork and good sportsmanship. In addition, people in a connected community who feel they have a say have a better quality of life. For the children, the physical and social benefits of youth sport participation are well documented. The League Network, a support organization for youth sports organizers, cites an increase in self-confidence, interaction and communication, teamwork, responsibility, and a greater sense of community as social benefits (League Network, 2017). By supporting renovation of the 23 Club Baseball Park, the community is supporting an improved experience in youth sports for hundreds of kids in Western Nebraska, setting them up to be better citizens of the community and have an improved quality of life.

Evidence compiled by the American College of Sports Medicine shows that physically active children are 1/10 as likely to be obese, perform up to 40% better on standardized tests, have higher self-esteem, demonstrate better leadership skills, are less likely to engage in drug use and risky behaviors, are 15% more likely to attend college, earn up to 8% higher annual earnings, have lower health care costs throughout their lives, and have a reduced risk of heart disease, stroke, cancer, and diabetes (ACSM, 2015).

But youth sports are not just about children; the parents, family members, and friends of those children also benefit from programs. The community as a whole will benefit by having access to an improved outdoor space. The renovation of the park will also include improved walking and biking trails, making the space a destination for outdoor recreation for the entire community. For four months out of the year, the 23 Club Baseball Park gives community members a place to gather and connect. On average, 23 Club has counted around 250 community members at the park on any given night during baseball/softball season. The main social issue that this project is



Scottsbluff and 23 Club Project Narrative



addressing is access to physical activities and recreational opportunities for youth, their families, and friends. The 23 Club has been there for ALL youth and their families and will continue long into the future.

2. New Resident Impact

As stated above, the current residents of the local community were invited to voice their opinions during a public comment period. The local community overwhelmingly agreed that the 23 Club Baseball Park facilities need to be brought up to the standard of a modern community baseball park. Bringing the park up to standard will attract new residents who are looking for a connection to their community. Because improving and maintaining community parks increases the economic value of a neighborhood, these areas will become more attractive to new residents of Scottsbluff. Not only is it proven that property values increase, but even land close to parks increases in value. In a Texas A & M review of 25 studies that investigated whether parks and open space contribute to higher property values, they state "The real estate market consistently demonstrates that many people are willing to pay a larger amount for property located close to parks and open space areas than for a home that does not offer this amenity." Businesses also cite parks as one of their top reasons to relocate (Crompton, 2001). As a new resident, someone can connect with their local community at the park, increasing their overall health.

3. Visitor Impact

In addition to making the park more accessible for people with disabilities, bringing the park up to ADA standards will benefit all residents. A University of Delaware guidebook for local governments states that ADA compliance benefits everyone. Everyone benefits from making public facilities more accessible and providing modifications to ensure government services are user-friendly for all citizens (University of Delaware, 2019). Safety is a big factor when people in a community choose where to spend their time. Bringing the park up to safety standards will make the park a better place for families to spend their time. This baseball facility offers a safe and fun environment for youth during the summer months. Summer is a time when youth are often out of school and have more opportunities to participate in unsafe behaviors, both for themselves and for the community around them. Having a place to go that is safe and community-oriented will help them make better choices. This will help visitors, the local community, and new residents.

Another area that helps visitors as well as the local community is tournaments. 23 Club hosts a large Father's Day tournament as well as state and regional tournaments throughout the season. These tournaments bring in hundreds of families to Scottsbluff each summer. These



Scottsbluff and 23 Club Project Narrative



families not only connect with the local residents and community, but also spend thousands of dollars on lodging, food, and shopping. Creating a safer, more welcoming space for these families to come will continue to encourage them to come to Scottsbluff.

4. Readiness and Local Public Support

As mentioned above, the City of Scottsbluff carefully surveyed the park and the facilities to determine if improvements needed to be made. It was found that the park and facilities were not ADA compliant and had significant safety issues. The City determined what would need to be done to bring the area into compliance and met with 23 Club to work on the project. The community as well as local organizations have been involved in the entire planning process. In addition, a public comment period was offered to the community in 2018. The public overwhelmingly agreed that the park needed to be improved, brought up to ADA compliance, and renovated for the safety of the community. Attachment 2 contains letters of support from varied stakeholders from the community for this project. It also contains the original Letter of Intent from the City of Scottsbluff, as requested in the instructions.

The 23 Club Board of Directors is fully volunteer-led and the planning process has also been conducted on a volunteer basis. The City of Scottsbluff funded the meetings for the planning process, providing facilities for meeting as well as bringing together all groups involved. Baker & Associates has donated all their time thus far, though they will be paid for further work. The City of Scottsbluff will pay costs to Baker & Associates using city funds. Once it was determined that the park and facilities needed updating, the only barrier to the process has been securing funding. The City of Scottsbluff, 23 Club, and other partners have worked to fund this project.

This project aligns with the priorities of the City of Scottsbluff: provide adequate opportunities for exercise and recreation to residents; provide high quality recreation facilities for local sports leagues and regional tournaments. Additional priorities: all have ADA accessible restrooms; improvements to parking and access to improved traffic flow to ensure safety; and shade structures, seating, trees, and plantings to make spectators more comfortable. In 2014, the City engaged Thomas P. Miller and Associates and Foote Consulting group to develop a regional economic development strategic plan. Point 1 of this plan refers to Quality of Place (how the community looks, what cultural activities are available, and what options are available for entertainment and recreation). The plan outlined strategies to increase quality of place that include enhancing outdoor recreation options, making public spaces more attractive to young professionals to draw them to the city, and increase aesthetic landscaping, all strategies that are fulfilled by improving the park and facilities with 23 Club.



Scottsbluff and 23 Club Project Narrative



The 23 Club has been in operation since 1937 and has been running the youth baseball/softball leagues, tournaments, and camps successfully for many decades. The 23 Club is currently the largest youth sports league in western Nebraska. The longevity of the group and successes in that time make them a viable candidate to oversee the implementation of this project, in conjunction with the City of Scottsbluff and the local community.

The project budget was created by an architectural firm using the latest information on costs. Baker & Associates are knowledgeable about which improvements are required to bring a facility to compliance according to ADA and other federal regulations. The itemized budget, included in Attachment 3, shows exact improvements that need to be made. All financial aspects of the projects are controlled by the Oregon Trail Community Foundation (OTCF). All monetary donations, including grant money, private donations, and corporate donations, are accepted and distributed by OTCF on behalf of 23 Club. OTCF controls and monitors the 23 Club general operating account as well as the account for the capital project.

Members of the Scottsbluff community have given their input, but the most urgent need for this project is for the safety of that community. Crumbling structures and gravel walkways are not safe for the diverse needs of all members of the community. Bringing the park and facilities into compliance for safety will create an area that can be used by everyone. Access to the facilities is the utmost priority of the project.

The biggest risk to the project is funding. The City of Scottsbluff has committed a large amount of funding and much of the rest of the funding needed has been committed. Given the successes so far, the 23 Club and the City of Scottsbluff are confident that they will raise the funding necessary for the project. The project has high community support so local businesses and foundations will donate funds to the efforts. Attachment 1 shows the Letter of Match Commitment signed by the Mayor of Scottsbluff outlining the funding already secured, funding left to secure, and overall budget of the project.

5. Project Planning

Decision making for this initiative is based on participative board discussions and discussions with the City of Scottsbluff using community input and public comment. Decisions focus on the 23 Club mission with the project itself focusing on creating a “safe and fun environment.” The City of Scottsbluff worked with 23 Club and the architectural firm Baker & Associates to create plans and designs of the new facilities. Attachment 3 shows planning documents and a detailed budget for the 23 Club Baseball Park. It shows a map of Scottsbluff with the 23 Club Baseball Park highlighted, drawings of the design of the new facilities, and current photos showing the need for renovation.



Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

Diverse groups within the community were included in the process. Baseball is considered “America’s favorite pastime” – a sport that attracts players from a wide range of backgrounds and classes. Input received from parents and athletes came from a variety of voices across the socioeconomic spectrum.

The main priority of this project is to provide a safe and adequate space for the needs of the baseball and softball leagues and there is a lot of work to be done to bring the facilities up to par. Part of creating a “safe and adequate space” involves making facilities that are ADA accessible. This will include the clubhouse/concessions building, the restrooms, and the spectator area – none of which currently meet the 2010 ADA Standards for Accessible Design. But another aspect of this project is to create a beautiful space for the community to enjoy. Baker & Associates has created a reasonable budget that includes not only safety improvements, but improvements that will help families and members of the community enjoy their time at the 23 Club Baseball Park.

The City of Scottsbluff has worked with 23 Club for 50 years to manage the park location that will be improved. The City funds utilities and upkeep on the grounds and will continue to do so after the capital project is complete. Connecting with the local community of Scottsbluff has ensured their needs are met, because they truly are the most important in this equation.



References

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What are the Social Benefits of Youth Sports? (2017). [blog post] Newark, NJ. Available at: <http://www.leaguenetwork.com/social-benefits-youth-sports/> [Accessed 24 Jan. 2019]

Physical Activity in Children and Adolescents. (2015). [pdf brochure] Indianapolis, IN. Available at: https://www.acsm.org/docs/default-source/files-for-resource-library/physical-activity-in-children-and-adolescents.pdf?sfvrsn=be7978a7_2 [Accessed 29 Jan. 2019].

Crompton, John. (2001). The Impact of Parks on Property Values: A Review of the Empirical Evidence. *Journal of Leisure Research*. 33. 1-31. 10.1080/00222216.2001.11949928.

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Scottsbluff and 23 Club Project Narrative



SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

CCCFF Application Part IV: Attachment 2: Letters of Support

Table of Contents

- 1. Attachment 2 Table of Contents**
- 2. Letter of Intent to CCCFF by City of Scottsbluff and 23 Club**
- 3. Baker & Associates Letter of Support**
- 4. Oregon Trail Community Foundation Letter of Support**
- 5. WESTCO Letter of Support**
- 6. B&C Steel Letter of Support**
- 7. Western Nebraska Community College Letter of Support**
- 8. Scottsbluff Public Schools Letter of Support**
- 9. Scottsbluff Area Visitors Bureau Letter of Support**
- 10. Elite Health Center Letter of Support**
- 11. Scottsbluff Screenprinting/The Zone Letter of Support**



308-632-4136
2525 Circle Drive
Scottsbluff, NE 69361

January 7, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

RE: Letter of Intent to apply

Dear Ms. Mason:

This letter is official notice to the Department of Economic Development that the City of Scottsbluff intends to apply for an award through the Community and Civic Center Financing Fund program. The City of Scottsbluff is in the process of completing the application for the 2019 program year.

City staff is working with Scottsbluff 23 Club Babe Ruth League (23 Club) on a capital construction application for a renovation project on the 23 Club Baseball Park facilities. The estimated total project budget is \$1.2 million. The City has reviewed the grant maximum schedule and will apply for \$600,000.00. The City is aware that, if awarded, CCCFF monies cannot account for more than fifty percent of total project costs and has a general accounting system in place to track project costs.

The City's local contact for this application is City Manager Nathan Johnson. He can be reached at njohnson@scottsbluff.org or (308)630-6202.

Sincerely,


Raymond Gonzales
Mayor

January 21, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

Dear Ms. Mason:

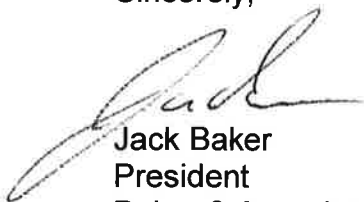
I am writing to show my support of the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park. Baker & Associates, Inc. is proud to support these efforts since several of our employees have children that are in baseball or softball or have had children involved in the past.

The 23 Club's mission statement explains that it "strives to help the youth of the community develop their passion for baseball/softball by providing a safe and fun environment that emphasizes hard work, sportsmanship, and honesty." Baker & Associates, Inc. supports that mission and hopes to be a participant in making the Park a safer environment. The pride the children will feel with newer, safer fields will make the Club flourish. This will be an enhancement for the entire family, since baseball is usually a family affair. If you're not the player, you're the cheering section. Everyone gets involved. Updated seating, concessions, and ADA accessibility is necessary.

This would not only enhance the baseball league, but there would be more opportunity for the 23 Club Babe Ruth League to host events. This would bring in more tourism for the City of Scottsbluff. Since Baker & Associates, Inc. has been a part of this community since 1977, we are a stakeholder in the success of the 23 Club and the entire community.

Thank you for your consideration, I sincerely hope you can join us in supporting both the City of Scottsbluff and 23 Club Babe Ruth League.

Sincerely,



Jack Baker
President
Baker & Associates, Inc.



115 Railway Plaza • P.O. Box 1344
Scottsbluff, NE 69363-1344
Phone/Fax: (308) 635-3393
www.otcf.org

2019 Executive Board

Travis Hiner, President
Marilyn Rahmig,
Vice-President
Lee Glenn, Chairman
Barb Schlothauer,
Vice Chairperson
Lonnie Miller, Treasurer
Judy Chaloupka
Joanne Krieg
John Massey
Bev Overman
Jim Reinhardt
Dr. Tom Rohrick
John A. Selzer

2019 Board of Directors

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Bob Kelley
Hod Kosman
Crocket Simmons
Todd Sorensen
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OTCF Staff:

Executive Director:
Cathy McDaniel
Financial Administrator:
Jenni Swanson
Membership & Funds:
Becky Home

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CSI, CSPM & Dill
Fliesbach & Muehlberger
Laurie Haugen Ed.
Hispanic Advisory
Lemons & Lovercheck
Brian Greif Memorial
Don & Dian Roth

Funds

23 Club Baseball
Life Change Connection
Friends of the Gering Library
Friends of Alzheimer's
Riverside Discovery Center
Rachel's Challenge
And more...

Recent Grants

Old West Balloon Fest
23 Club Baseball
NP NRD Greenhouse
Minatare Wrestling
NE Bicycling Alliance
And More!

January 28, 2019

Dear Grant Committee,

This letter is to inform you of the Oregon Trail Community Foundation's (OTCF) support of 23 Club Baseball.


The 23 Club Baseball is a Fund of the Oregon Trail Community Foundation for its operating expense, as well as for its facility renovation project. This is important because it reflects the integrity and commitment of our Foundation, now 41 years in our community. The OTCF has a diverse and seasoned Board of Directors who have, at one time or another, had children play as part of the Club, served to fundraise, advocate and otherwise support the 23 Club Baseball. We are very proud of our affiliation with this community gem.


As you may know, the OTCF has awarded a grant in support of the 23 Club. This grant for \$40,000 was a pledge toward the renovation of the restrooms, concession stand and ball field access.

The 23 Club plays a vital role in offering a safe and fun environment for the children in our community. There are well over 800 children in our area that participate in softball or baseball at this field, and even more parents, grandparents, friends and family that come to watch these kids play. The need for an updated and safe facility and field is critical for the future of our ball players and their families. The need for shaded areas, ADA compliant access, and family use areas is vitally important to this field. We cannot imagine a park or green space that is more heavily used than our ball diamonds in the summer.

We hope you will consider funding this very important project.

Thank you.


Cathy McDaniel
Executive Director


Travis Hiner
Board President



January 18, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

Dear Ms. Mason:

I am writing to show my support of the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park. WESTCO sponsors all of the traveling teams for 23 Club and believes the upgrades to the facility will bring more people to the Scottsbluff community to participate in youth tournaments. WESTCO is proud to support the youth of Scottsbluff, as the lessons they learn at this time in their life will help them as they assume leadership roles as adults.

WESTCO will donate \$10,000 to the project if this grant is approved.

Thank you for your consideration of this Grant, and I hope you are able to assist the Scottsbluff 23 Club in upgrading the ballpark.

Sincerely,

David W. Briggs
President & CEO



P.O. Box 1099
Scottsbluff, NE 69363-1099
Phone: 308-632-6188
Fax: 308-632-7172

To Whom It May Concern,

I am writing this letter in support of the 23 Club Baseball Program, and its efforts to raise money for its remodeling and expansion.

23 Club has provided young boys in our community the opportunity to learn "America's Game" for decades. Not only are baseball skills and knowledge taught, but teamwork as well. Not only are the kids enriched by this program, but the parents and grandparents who volunteer their time to coach and sponsor, are enriched as well by spending time with the kids and getting to know a whole new bunch of kids every summer.

I played 23 Club Baseball in the 60's and 70's. My father coached and I went on to coach my kids and grandkids in the decades to follow.

The facility is long past its usefulness and the updates are badly needed to continue this great tradition in our community.

Sincerely
Jim Reinhardt
B&C Steel

A handwritten signature in blue ink, appearing to read 'Jim Reinhardt', is written over the printed name.



**Western Nebraska
Community College**

Scottsbluff Campus

1601 E. 27th Street
Scottsbluff, NE 69361

p 308.635.3606
p 800.348.4435
f 308.635.6100

Sidney Campus

371 College Drive
Sidney, NE 69162

p 308.254.5450
p 800.222.9682
f 308.254.7444

Alliance Campus

1750 Sweetwater Avenue
Alliance, NE 69301

p 308.763.2000
p 888.559.9622
f 308.763.2012

wncc.edu

Dear committee members,

I would like to take this opportunity to explain my support for the 23 club renovation project. As an active member of the baseball and softball community in the panhandle for seventeen years, I have seen our community passed over on opportunities for our young athletes and businesses due to a lack of facilities.

This upgrade to the 23 club facility will bring events and supporters to our community. We have great people in the panhandle who are willing to volunteer their time to manage these events and an upgraded facility will bring them to town. Communities with upgraded facilities have more opportunities to host events, and right now, our families are traveling out of town to play. I want to keep them here and bring others to the area.

I have been recruiting local players into our program for seventeen years and I hope to continue working with young men from our area. This upgraded facility will bring excitement to youth baseball and softball. We hope the excitement will keep them active in baseball and softball through their high school years, and perhaps lead to other opportunities with higher education.

Thank you for your time,

Mike Jones
Head Baseball Coach
Western Nebraska Community College

January 28, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666


Dear Ms. Mason:

I am writing to show my support of the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park. Scottsbluff Public Schools has worked with the City of Scottsbluff in many ways, including providing the use of our softball fields for games and practices. We also, of course, are very interested in this project because of the large number of our students who participate in 23 Club activities.

Scottsbluff Public School District is proud to support these efforts because of the dramatic impact the 23 Club has upon so many students. The 23 Club is well organized and passionately led by community members who are highly entwined with many youth activities throughout our community including our schools. The success of 23 Club provides leverage to many other efforts and is a critical component of the network of support that serves all Scottsbluff kids.

Thank you for your consideration of this grant application. As key partners with both the City of Scottsbluff and 23 Club, Scottsbluff Public Schools enthusiastically supports this proposal.

Sincerely,



Richard A. Myles, Superintendent
Scottsbluff Public Schools



Scotts Bluff Area Visitors Bureau
2930 Old Oregon Trail
Gering, Nebraska 69341

January 25, 2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

Dear Ms. Mason:

As a strong and active supporter of the tourism industry, I strongly back the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park. The Scotts Bluff Area Visitors Bureau has worked with the City of Scottsbluff on various tourism projects over the years and is excited to continue our relationship as we work to build attractions and sports complex's that will increase our tourism numbers and bring people to our part of the state. In order for us to compete in the sport market, we must have updated fields for the youth and their sports programs. The Scotts Bluff Area Visitors Bureau has identified youth sports as being one way for us to draw large numbers to the county increasing the number of overnight guests. Our overall focus as an organization is to make Scotts Bluff County a destination. Youth sports markets fit within that platform and that market keeps growing throughout the state.

I fully support the fundraising efforts of the City of Scottsbluff and 23 Club Babe Ruth League. I welcome any questions you may have and am available at your request. These funds would help our youth sports market and tourism numbers to grow.

Best Regards,

Brenda K. Leisy
Director, Scotts Bluff Area Visitors Bureau

www.VisitScottsBluffCounty.com
1-800-788-9475

01/18/2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666

Dear Ms. Mason:

I am writing to show my support of the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park. Our family of companies: Webb Eyecare, Webb Orthodontics, Elite Health Center & Elite Total Fitness have worked with the City of Scottsbluff and the 23 Club for many years. We are proud to support these efforts to help improve our community. We have been involved in supporting youth athletics for many years. We personally have children that use the facilities now and we know that having a strong recreational infrastructure in our town will provide benefits for many years and generations to come. We've seen how this can have a direct link on where families choose to live and the quality of life for the people that live here. We truly believe that it not only helps children live better lives but makes this a better community to live in. Projects like that are critical to help smaller communities continue to attract young people and thrive.

I have been a baseball coach for many years in our community. We have great supports but our recreation facilities are in desperate need of upgrades. These upgrades will provide a safe, enjoyable place for our children and coaches to play and will allow visitors to have an enjoyable experience when they visit our community.

I hope that you will consider the City of Scottsbluff and 23 Club for your support!

Sincerely,



Dr. Jason A. Webb

1-29-2019

Jenny B. Mason, CCCFF Coordinator
Nebraska Department of Economic Development
301 Centennial Mall South
PO Box 94666
Lincoln, NE 68509-4666



THE ZONE
at Scottsbluff Screenprinting

Dear Ms. Mason:

I have been asked to write a letter to show my support of the City of Scottsbluff and 23 Club Babe Ruth League in their efforts to renovate the 23 Club Baseball Park.

My relationship with the 23 Club is different than most of the people writing letters in support. The 23 Club has been a part of my life for 42 years. I started playing at the 23 Club when my family moved to town in 1975. My Dad was the President and volunteered thousands of hours to this great organization. My mother also spent countless hours volunteering in the concession stand. The 23 Club is where we spent our quality family time four nights a week throughout the summers. We did this for a total of 13 years. Then in the early 1990's my older brother Tadd got involved when his son and daughter were old enough to play. Like my Dad, he also served this organization as President. He raised his children at the 23 Club in much the same way my parents raised us.

For me, I lived in the neighboring town of Gering. I too served as President of that organization for nine years. My kids have since grown and I stepped down. A few years later, I was asked to join the 23 Club board and I gladly accepted.

I am now the owner of Scottsbluff Screenprinting and The Zone. We are the only locally owned sporting goods store in Scottsbluff. As a small business owner, it can be difficult to compete for the business of organizations such as the 23 Club, but The Zone has worked very hard to keep prices down so that these organizations can keep their money in the local economy. As a local business owner, we appreciate the loyalty that this organization has shown. Scottsbluff Screenprinting and The Zone has been sponsoring teams, and tournaments for the 23 Club since the beginning. We feel that donating to an organization that serves so many of the youth in our area is the right thing to do. I wish I had the money of the larger companies, as I would give even more to this organization.

Thank you so much for considering supporting the City of Scottsbluff, and the 23 Club Organization. This is a great opportunity to make a huge difference.

Sincerely,

Shane R. Wilson, President,
Scottsbluff Screenprinting. and The Zone



Scottsbluff and 23 Club Project Narrative



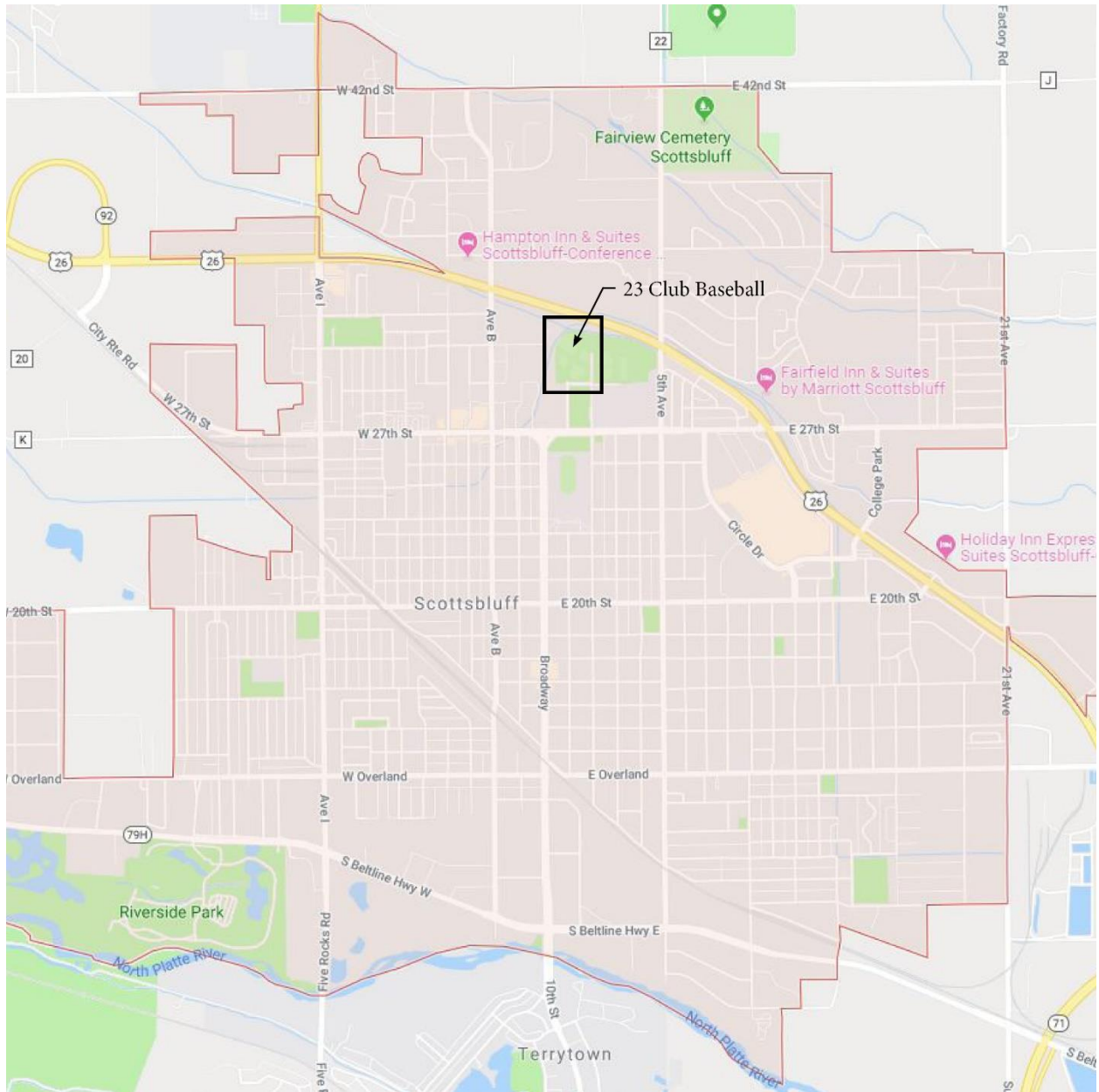
SCOTTSBLUFF
23 CLUB BASEBALL AND SOFTBALL

CCCCF Application Part IV: Attachment 3: Planning Documents or “Other Attachments”

Table of Contents

1. Map of Scottsbluff with 23 Club Baseball Park marked and highlighted as within the boundaries of Scottsbluff
2. Current Photos of 23 Club Baseball Park Facilities showing need for renovation (photos taken January 2019)
3. Itemized budget for 23 Club Baseball Park site
4. Preliminary overall plan for 23 Club Baseball Park site
5. Batting Cage Cover and Storage Building plans
6. Bleacher Cover design
7. Dugout design
8. Playground Cover Building design
9. Concessions design

Map of Scottsbluff, Nebraska with 23 Club Baseball Park highlighted.



Current 23Club Baseball Park Facilities

Scottsbluff, NE





The complex is 100% gravel. Only grass you will find is on the actual fields. The facility is full of safety hazards like old bleachers, no protection from foul balls & tripping hazards. There are no concrete ramps or sidewalks anywhere in the complex to accommodate wheelchairs or other persons with disabilities.



The bathrooms are small, extremely out-dated and run-down. There are no handicapped accessible stalls in either restroom.



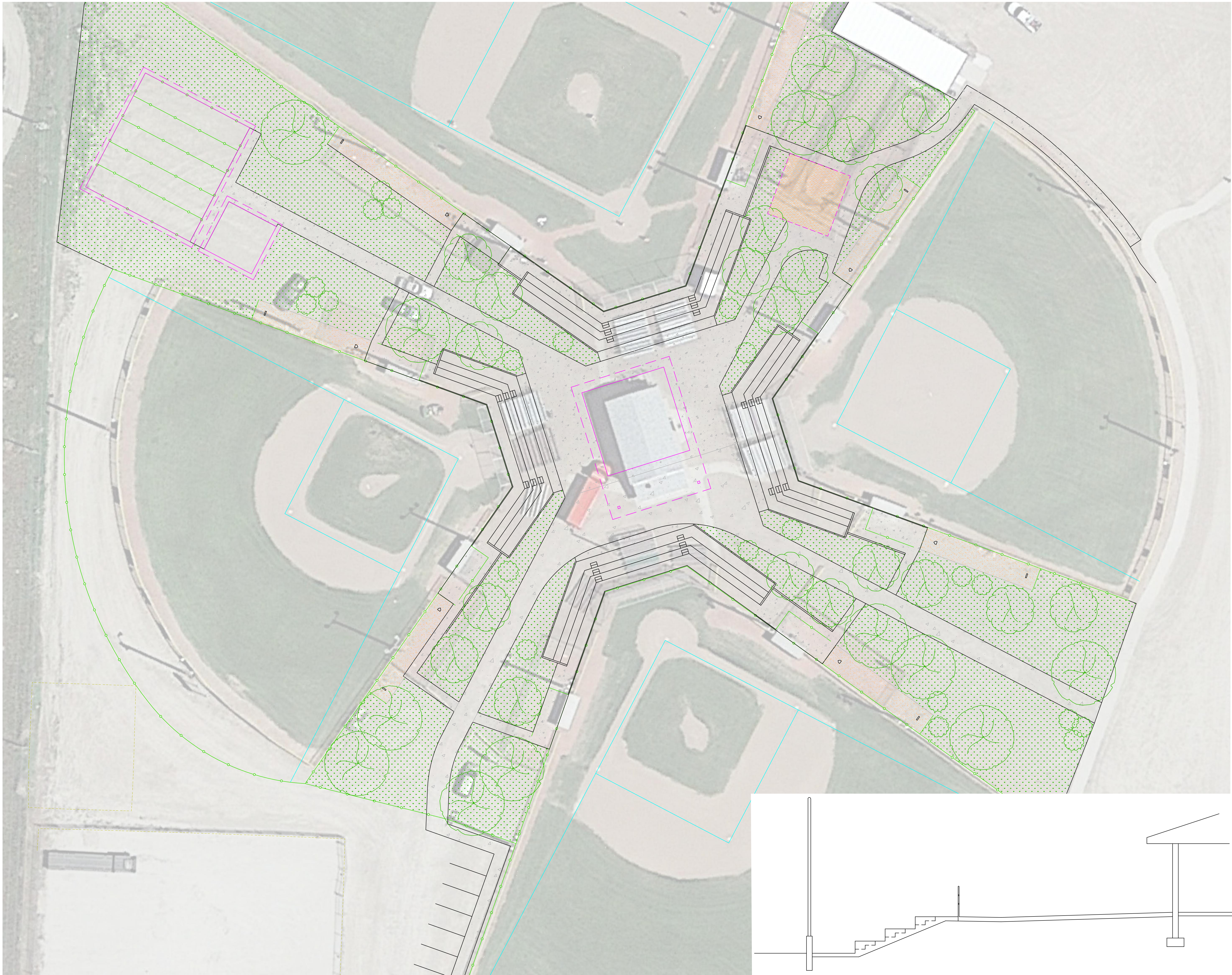


The main building is run-down and provides very little storage for baseball operations. The concessions stand area is out-dated and fails to meet health inspections due to the lack of proper amenities.

| | |
|------------------|--------------|
| City Commitment | \$300,000.00 |
| Design | \$60,000.00 |
| Site work | \$205,000.00 |
| Additional | \$35,000.00 |
| Currently Raised | \$120,000.00 |
| Base Bid | \$603,927.00 |
| Balance to Raise | \$448,927.00 |

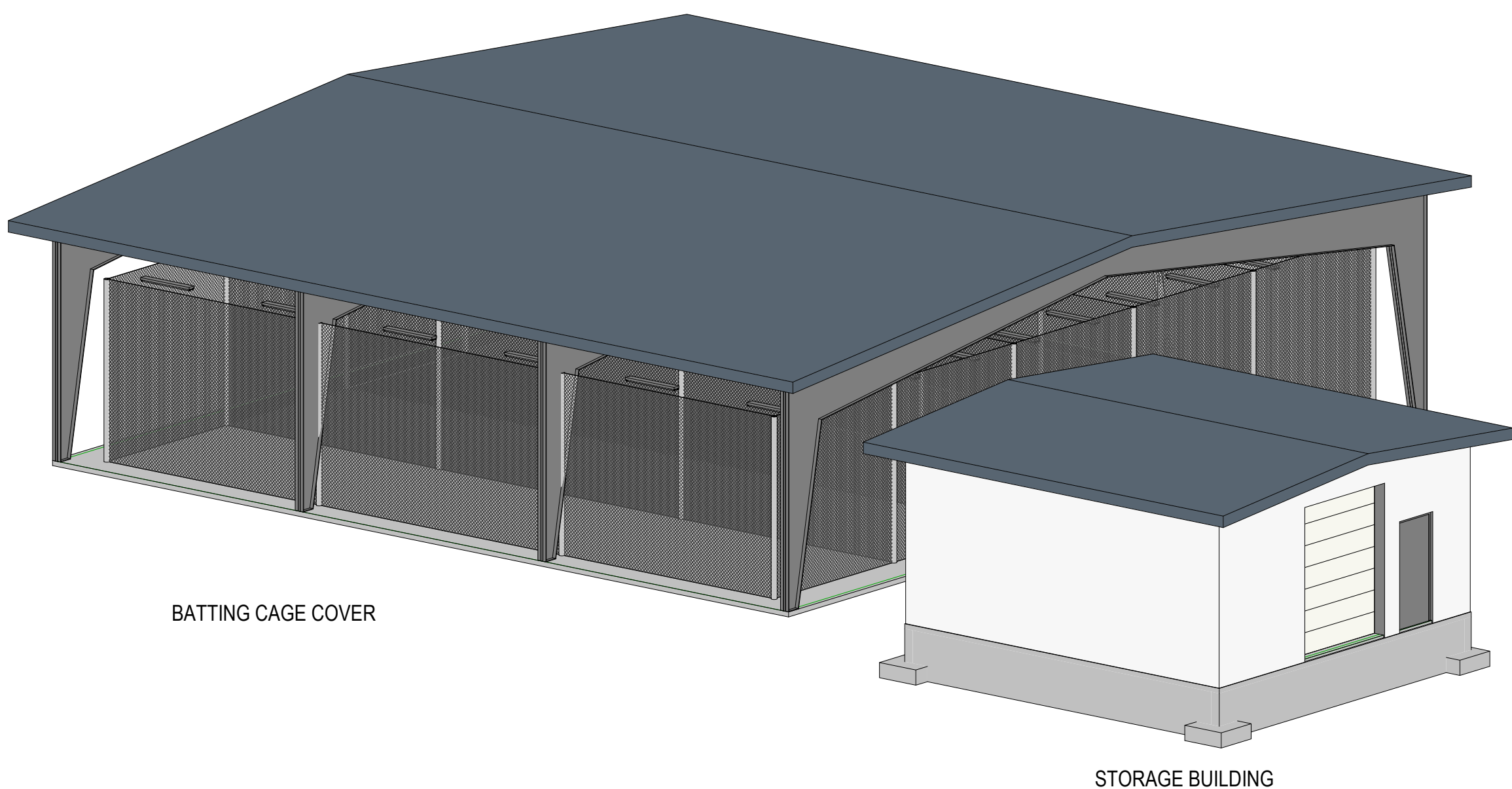
| | | | | Preliminary Engineers Opinion of Probable Costs | |
|---|--|-------|----------|--|--------------------|
| Item # | Description | Units | Quantity | Unit Price | Item Totals |
| Estimated Construction Costs | | | | | |
| 23 Club Baseball Park Clubhouse/Concessions Building | | | | | |
| <u>Base Bid Package</u> | | | | | |
| | Concessions Metal Building and Erection | s.f. | 2,400 | \$25.00 | \$60,000 |
| | Building Concrete | s.f. | 2,400 | \$20.00 | \$48,000 |
| | H.V.A.C. - no heat, limited AC | s.f. | 1,600 | \$8.45 | \$13,520 |
| | Electrical - Concessions | s.f. | 1,600 | \$15.95 | \$25,520 |
| | Plumbing - Concessions | s.f. | 1,600 | \$21.72 | \$34,752 |
| | Interior Finishes- walls, ceilings,RR partitions, countertops, paint | s.f. | 1,600 | \$9.00 | \$14,400 |
| | Doors, frames, and hardware | s.f. | 1,600 | \$8.25 | \$13,200 |
| | Bleacher Covers Metal Building and Erection | Unit | 4 | \$28,750.00 | \$115,000 |
| | Structure Support Concrete only (does not include bleachers) | Unit | 4 | \$5,625.00 | \$22,500 |
| | Dugout Covers Metal Building and Erection | Unit | 8 | \$6,440.00 | \$51,520 |
| | Structure Support Concrete and 4" concrete floor | Unit | 8 | \$1,560 | \$12,480 |
| | Structural Concrete Seating | SY | 941 | \$135.00 | \$127,035 |
| | Dugout benches | EA | 8 | \$1,000.00 | \$8,000 |
| | Backstops - Fencing | EA | 4 | \$14,500.00 | \$58,000 |
| | Total - Base Bid | | | | \$603,927 |
| <u>Site Work Improvements - City Provided</u> | | | | | |
| | Earthwork - Site | CY | 4,500 | \$9.00 | \$40,500 |
| | Remove Ex. Batting Cages | LS | 1 | \$1,500.00 | \$1,500 |
| | Remove misc. Fencing | LF | 500 | \$2.00 | \$1,000 |
| | 5" Sidewalk | SF | 10,300 | \$4.50 | \$46,350 |
| | 6" Pavement | SF | 6,900 | \$5.00 | \$34,500 |
| | Parking lot surfacing (gravel) | SY | 6,500 | \$4.00 | \$26,000 |
| | Parking Blocks | EA | 90 | \$75.00 | \$6,750 |
| | Sod, with Irrigation | SF | 20,000 | \$1.20 | \$24,000 |
| | Seeding, with Irrigation | SF | 35,000 | \$0.72 | \$25,200 |
| | Total - Site Work | | | | \$205,800 |
| <u>Additional Improvements</u> | | | | | |
| | Batting Cage Metal Building and Erection | s.f. | 3,840 | \$19.60 | \$75,264 |
| | Building Concrete- perimeter footings only | s.f. | 3,840 | \$2.75 | \$10,560 |
| | Perimeter Fencing, 6' Chain Link | LF | 2,700 | \$40.00 | \$108,000 |
| | Concrete Floor - Batting Cages | s.f. | 3,840 | \$4.00 | \$15,360 |
| | Electrical - Batting Cages | s.f. | 3,840 | \$8.80 | \$33,792 |
| | Storage Metal Building and Erection | s.f. | 625 | \$21.00 | \$13,125 |
| | Building concrete- with 5" floor | s.f. | 625 | \$16.25 | \$10,156 |
| | Doors, frames, and hardware | s.f. | 625 | \$8.25 | \$5,156 |
| | Electrical - Storage | s.f. | 625 | \$8.80 | \$5,500 |
| | Trees & Plantings | EA | 27 | \$500.00 | \$13,500 |
| | Playground (ages 2-5) | LS | 1 | \$10,000.00 | \$10,000 |
| | Playground Shade Structure | LS | 1 | \$30,000.00 | \$30,000 |
| | Flag Pole | EA | 1 | \$3,000.00 | \$3,000 |
| | Signage | LS | 1 | \$25,000.00 | \$25,000 |
| | Field Lighting Replacement (LED) | EA | 4 | \$25,000.00 | \$100,000 |
| | New Batting Cages - Netting | LS | 1 | \$32,000.00 | \$32,000 |
| | Total - Additional Improvements | | | | \$490,414 |
| | Total All Phases | | | | \$1,300,141 |
| | Project Contingency (5%) | | | | \$65,007 |
| | Total Construction Costs w/ Contingency | | | | \$1,365,148 |

Engineer's opinions of probable Construction Cost are to be made on the basis of Engineer's experience and qualifications and represent Engineer's best judgment as an experienced and qualified professional generally familiar with the construction industry. However, since Engineer has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Engineer cannot and does not guarantee that proposals, bids, or actual Construction Cost will not vary from opinions of probable Construction Cost prepared by Engineer. If Owner wishes greater assurance as to probable Construction Cost, Owner shall employ an independent cost estimator.



BATTING CAGE COVER & STORAGE BLDG.

STREET ADDRESS, CITY, STATE, ZIP CODE



1 Project View

PROJECT PICTURE



VICINITY MAP



KEYPLAN

| Drawing Sheet Index - General | |
|-------------------------------|-------------|
| Sheet Number | Sheet Title |
| 0 | COVER SHEET |
| Total Number of Sheets: 1 | |

| Drawing Sheet Index - Civil | |
|-----------------------------|--|
| Sheet Number | Sheet Title |
| C-1.00 | Existing Site Plan, Symbols, Linetypes and Notes |
| C-1.01 | Demolition Site Plan |
| C-2.00 | Proposed Site Plan |
| C-5.00 | Sheet Title |
| C-5.01 | Sheet Title |
| C-7.00 | Details |
| Total Number of Sheets: 6 | |

| Drawing Sheet Index - Demolition | |
|----------------------------------|-------------|
| Sheet Number | Sheet Title |

| Drawing Sheet Index - Structural | |
|----------------------------------|-------------|
| Sheet Number | Sheet Title |

| Drawing Sheet Index - Electrical | |
|----------------------------------|-------------|
| Sheet Number | Sheet Title |

| Drawing Sheet Index - Architectural | |
|-------------------------------------|---|
| Sheet Number | Sheet Title |
| A-0.01 | ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND |
| A-1.00 | GROUND LEVEL & CEILING PLAN - STORAGE BUILDING |
| A-1.10 | GROUND LEVEL PLAN - BATting CAGE BUILDING |
| A-2.10 | GROUND LEVEL REFLECTED CEILING PLAN FOR BATting CAGE BUILDING |
| A-3.00 | EXTERIOR BUILDING ELEVATIONS - STORAGE BUILDING |
| A-3.10 | EXTERIOR BUILDING ELEVATIONS - BATting CAGE BUILDING |
| Total Number of Sheets: 6 | |

PROJECT CONTACTS

OWNER

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

CIVIL

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

ARCHITECTURAL

Studio 120 Architecture
Tearle Schier
120 East 16th Street
Scottsbluff, Nebraska, 69361
Phone: (308) 635-1531
tearle@studio120arch.com

STRUCTURAL

Elevation Structural Design
Stephen R. Klaas, P.E., S.E.
P.O. Box 624
Cheyenne, Wyoming 82003
Phone: (308) 631-3873
klaas@elevation-sd.com

ELECTRICAL

NAME OF COMPANY
NAME OF CONTACT
Street
City, State, Zip
Phone: (XXX) XXX-XXXX ext. XXX
Email@provider.com

ONE CALL

Nebraska Contact
Phone: 1-800-331-5666
www.ne-diggers.com

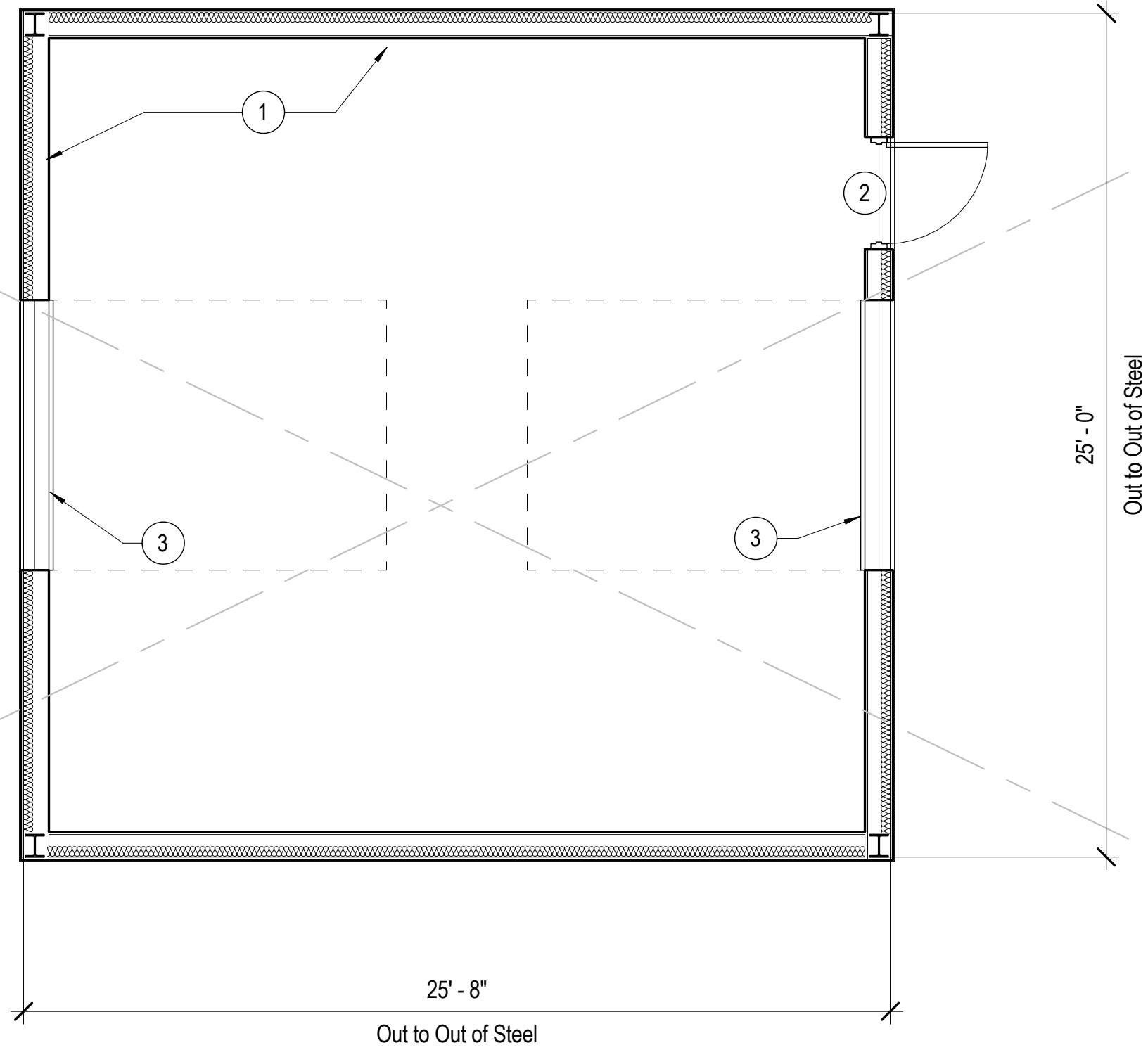
I, (NAME OF LICENSEE), am the coordinating professional on the (INSERT PROJECT NAME) project.



1

1/4" = 1'-0"

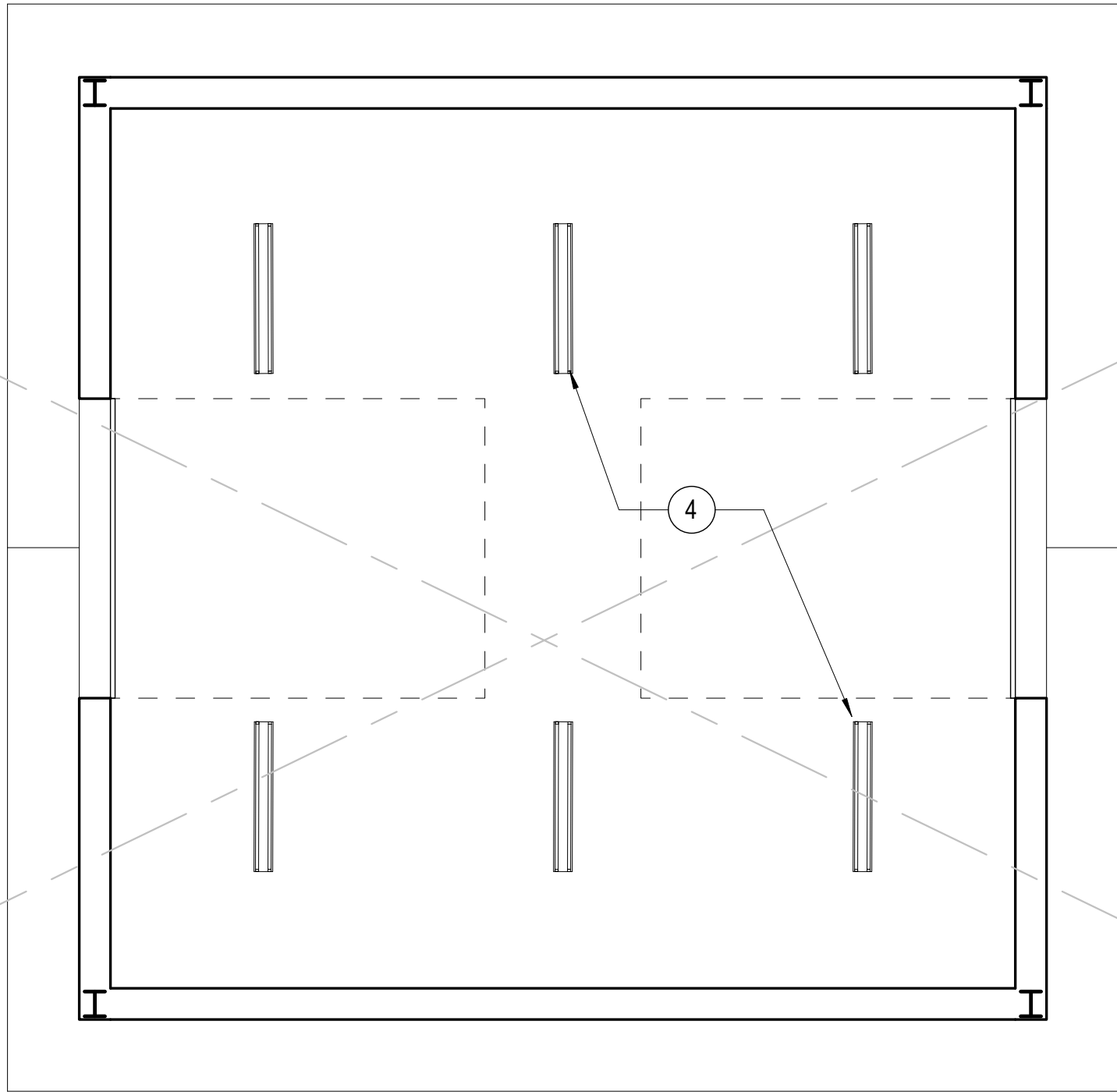
GROUND LEVEL - STORAGE BUILDING



2

1/4" = 1'-0"

REFLECTED CEILING PLAN - STORAGE BUILDING



KEYNOTE LEGEND

- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.
- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.
- Sample keynote

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

SHEET TITLE:
GROUND LEVEL & CEILING PLAN -
STORAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

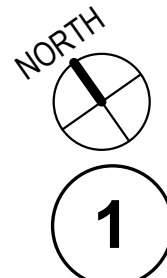
A-1.00

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

SUB-CONSULTANT:



©2018



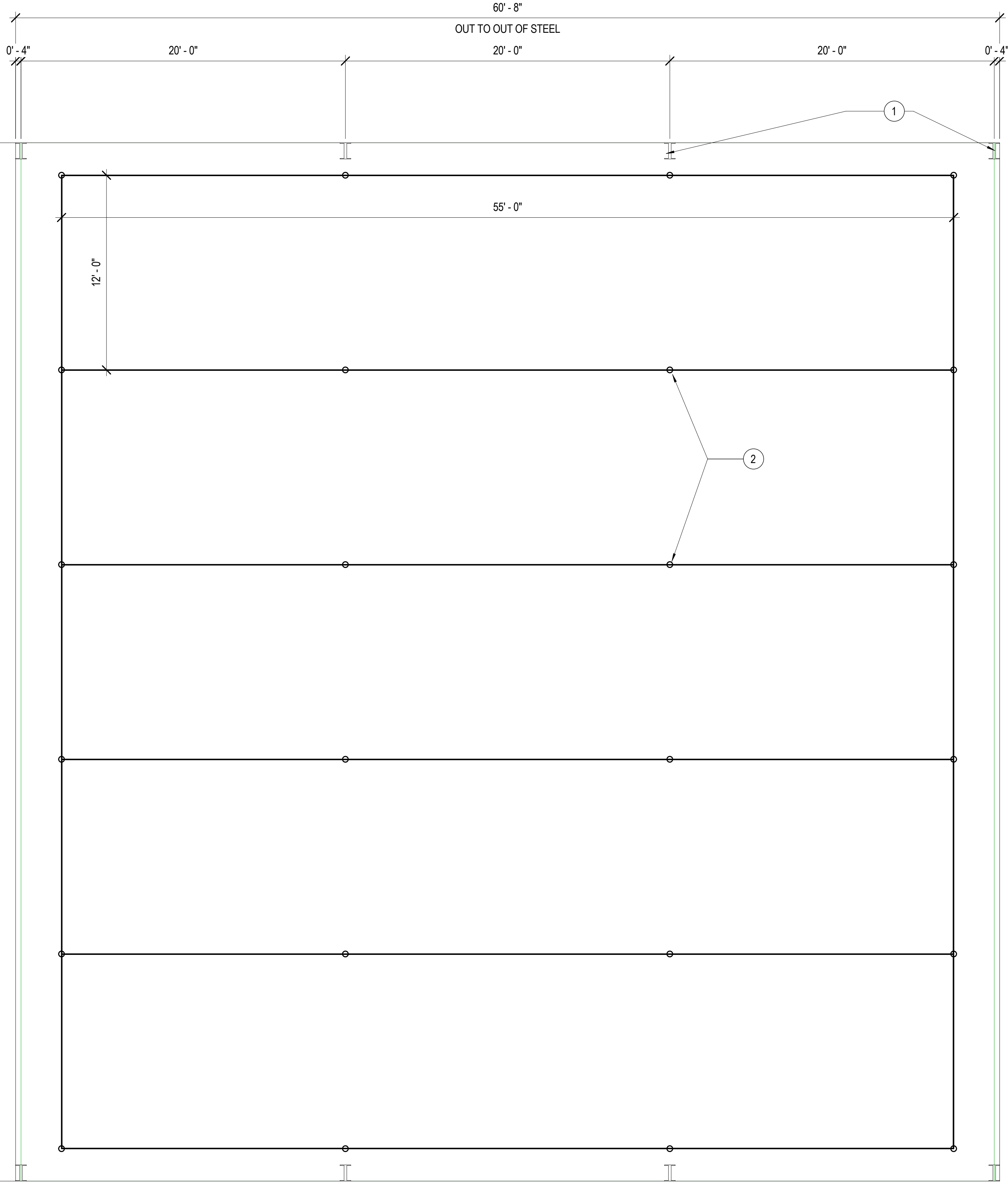
1

BATTING CAGE COVER

1/4" = 1'-0"

A-3.10
WEST
ELEVATION -
BATTING
CAGE
BUILDING

64' - 0"
OUT TO OUT OF STEEL



A-3.10
SOUTH
ELEVATION -
BATTING
CAGE
BUILDING

A-3.10
NORTH
ELEVATION -
BATTING
CAGE
BUILDING

A-3.10
EAST
ELEVATION -
BATTING
CAGE
BUILDING

KEYNOTE LEGEND

- 1
- 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- 2
- DEPICTS BATTING CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.
- 3
- Sample keynote

SHEET TITLE:
GROUND LEVEL PLAN - BATTING CAGE BUILDING

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

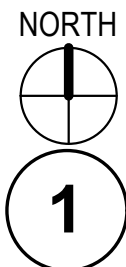
A-1.10

Revision Schedule
No. Date Description

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

SUB-CONSULTANT:

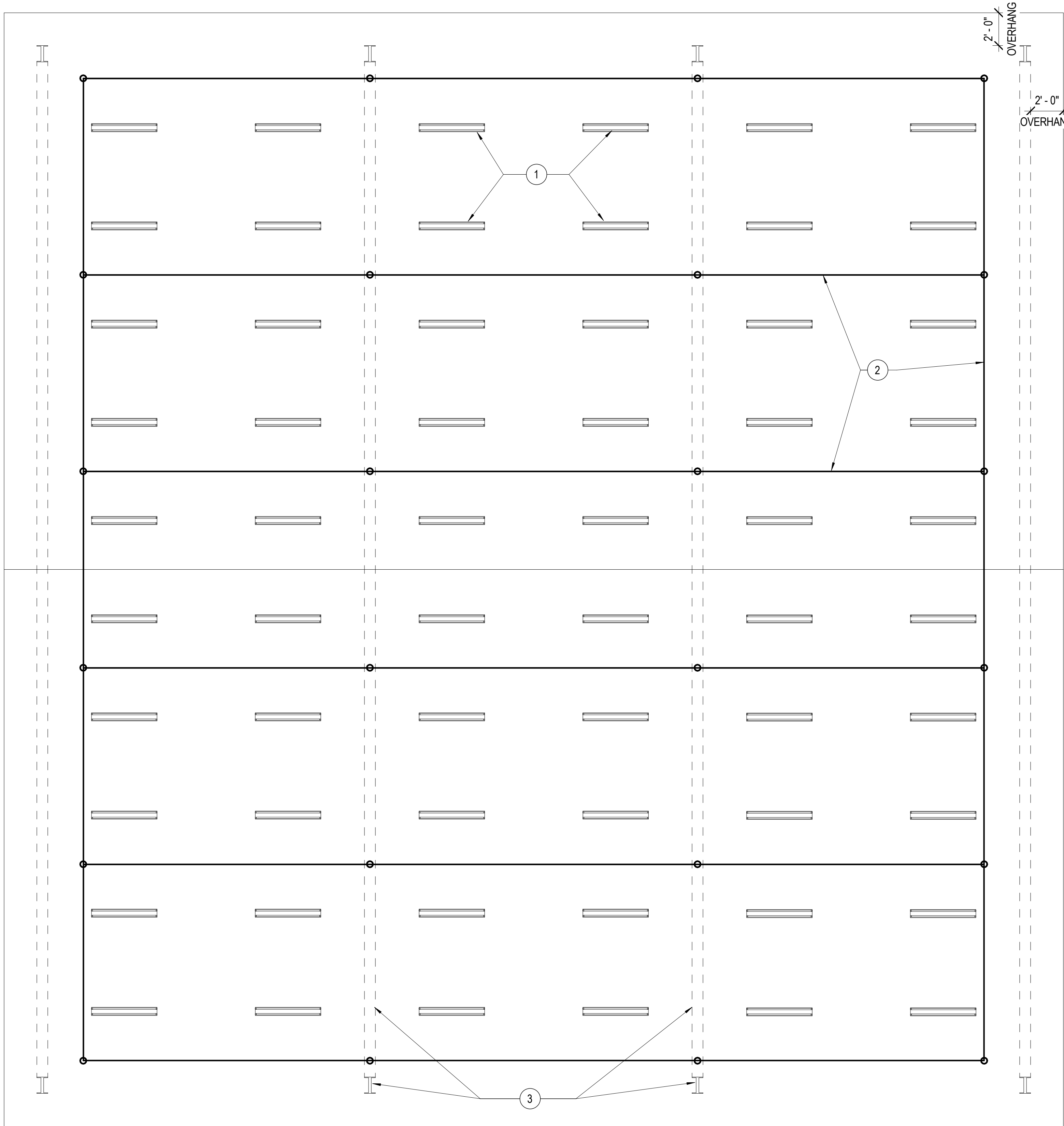




REFLECTED CEILING PLAN - BATTING CAGE BUILDING

1/4" = 1'-0"

A-3.10
WEST
ELEVATION -
BATTLING
CAGE
BUILDING



SOUTH
ELEVATION -
BATTLING
CAGE
BUILDING
A-3.10

A-3.10
NORTH
ELEVATION -
BATTLING
CAGE
BUILDING

EAST
ELEVATION -
BATTLING
CAGE
BUILDING
A-3.10

KEYNOTE LEGEND

- 1 SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINARE.
- 2 DEPICTS LOCATION OF BATTLING CAGES.
- 3 DEPICTS RIGID FRAME COLUMNS AND RAFTERS.

CEILING LEGEND

| GRAPHIC SYMBOL | DESCRIPTION |
|----------------|--------------------------------------|
| | RECESSED TROFFER LIGHT FIXTURE |
| | RECESSED INDIRECT LIGHT FIXTURE |
| | WALL MOUNTED LINEAR LIGHT FIXTURE |
| | PENDANT LINEAR LIGHT FIXTURE |
| | STRIP LIGHT FIXTURE |
| | RECESSED CAN LIGHT FIXTURE |
| | RECESSED CAN WALL WASH LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE |
| | WALL MOUNTED LIGHT FIXTURE |
| | EXIT SIGN |
| | SUPPLY DIFFUSER - SEE MECHANICAL |
| | RETURN GRILLE - SEE MECHANICAL |
| | GWB CEILING |
| | ACOUSTIC TILE CEILING |
| | EXISTING SMOKE PARTITION |
| | NEW SMOKE PARTITION |

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

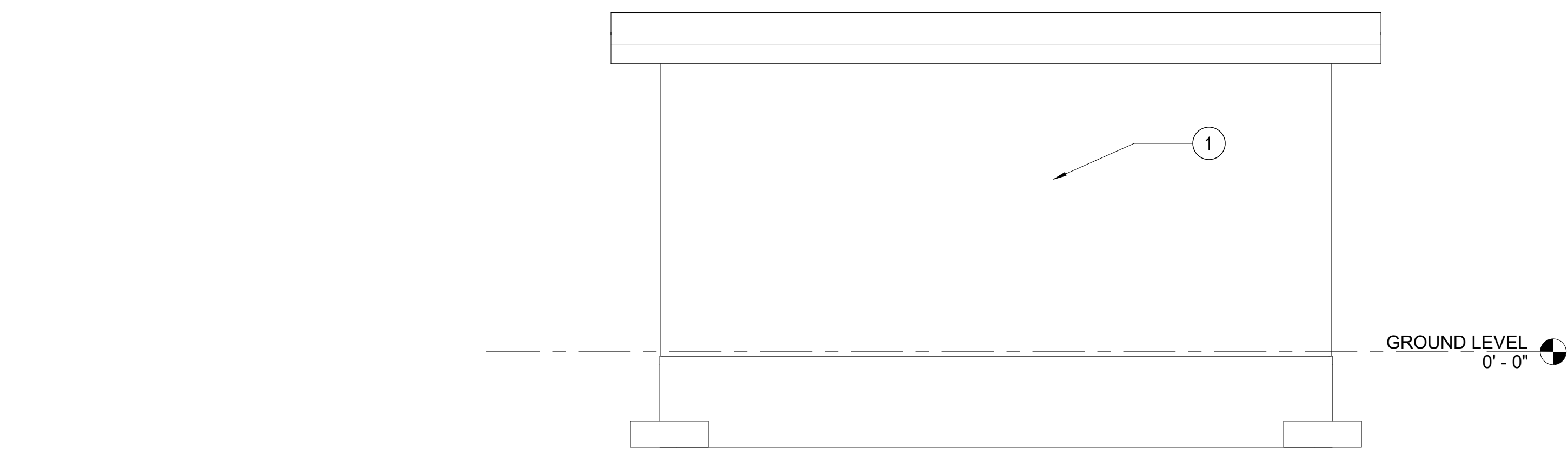
SHEET TITLE:
GROUND LEVEL REFLECTED CEILING
PLAN FOR BATTLING CAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

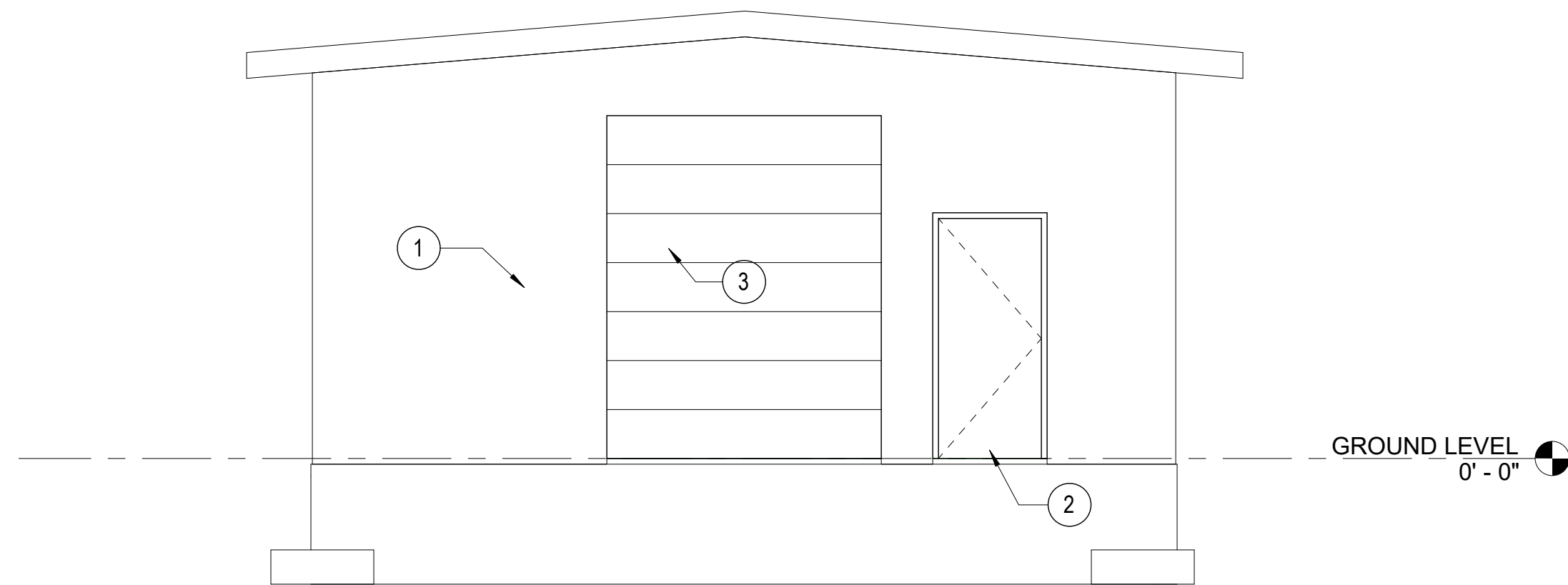
A-2.10



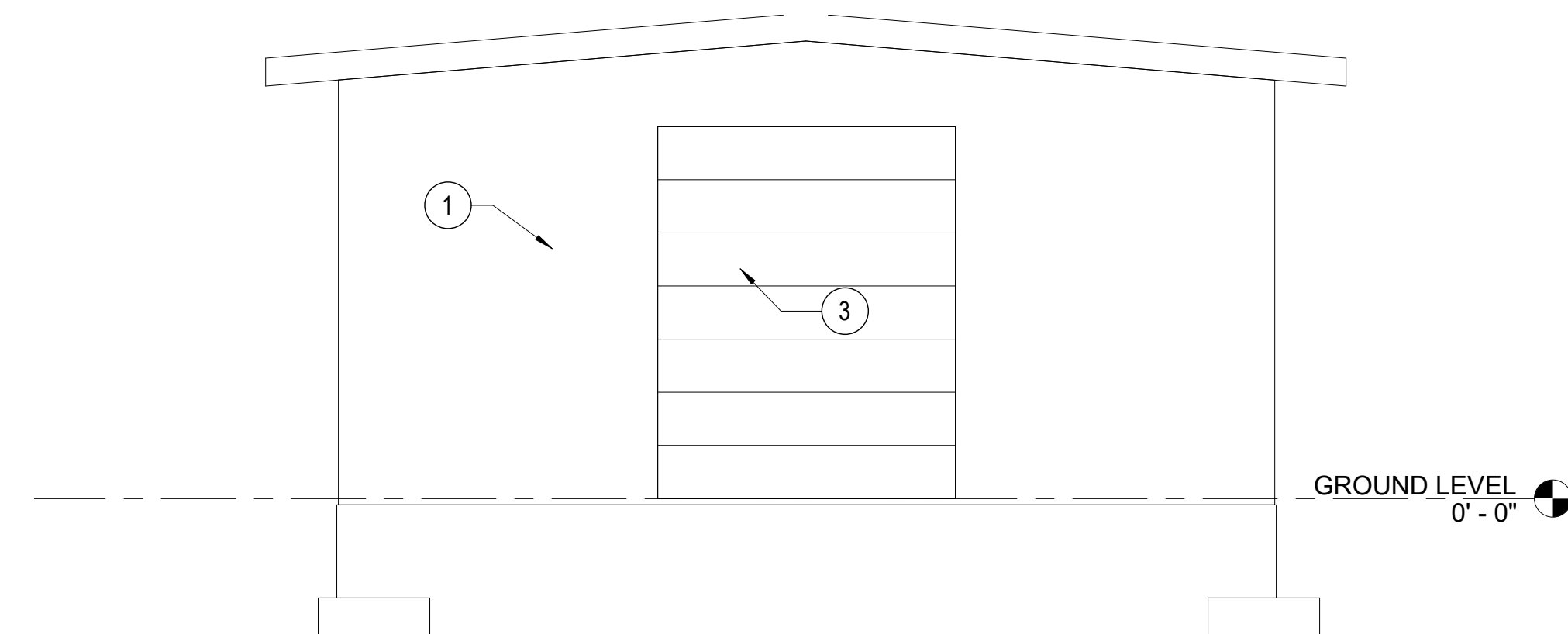
1 SOUTH ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



2 NORTH ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



3 EAST ELEVATION - STORAGE BUILDING
1/4" = 1'-0"



4 WEST ELEVATION - STORAGE BUILDING
1/4" = 1'-0"

KEYNOTE LEGEND

- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.

STUDIO 120 ARCHITECTURE
120 EAST 10TH STREET, SCOTTSBLUFF, NE 69363
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM

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SUB-CONSULTANT:

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CLIENT NAME

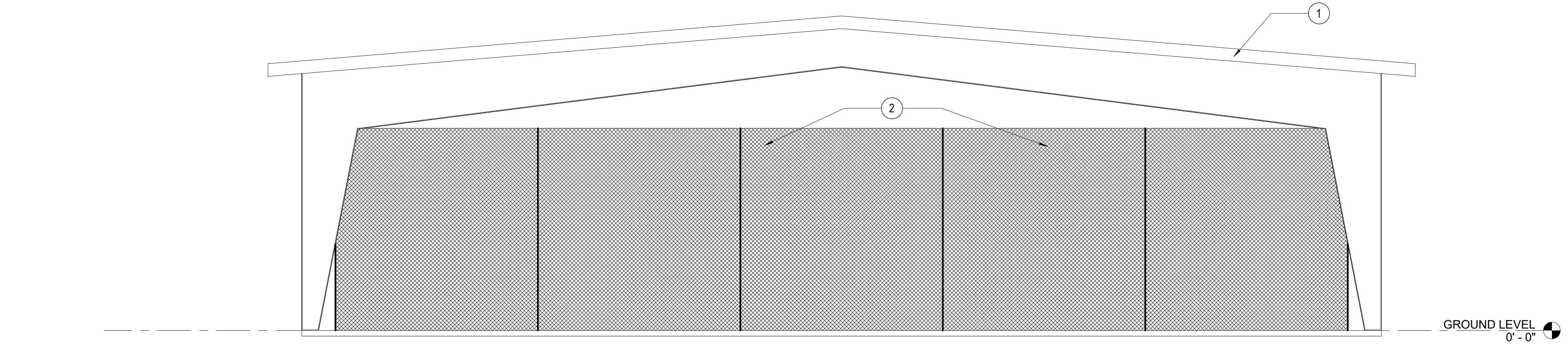
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EXTERIOR BUILDING ELEVATIONS -
STORAGE BUILDING

COMPLETION: Project Status
DATE ISSUED: Issue Date

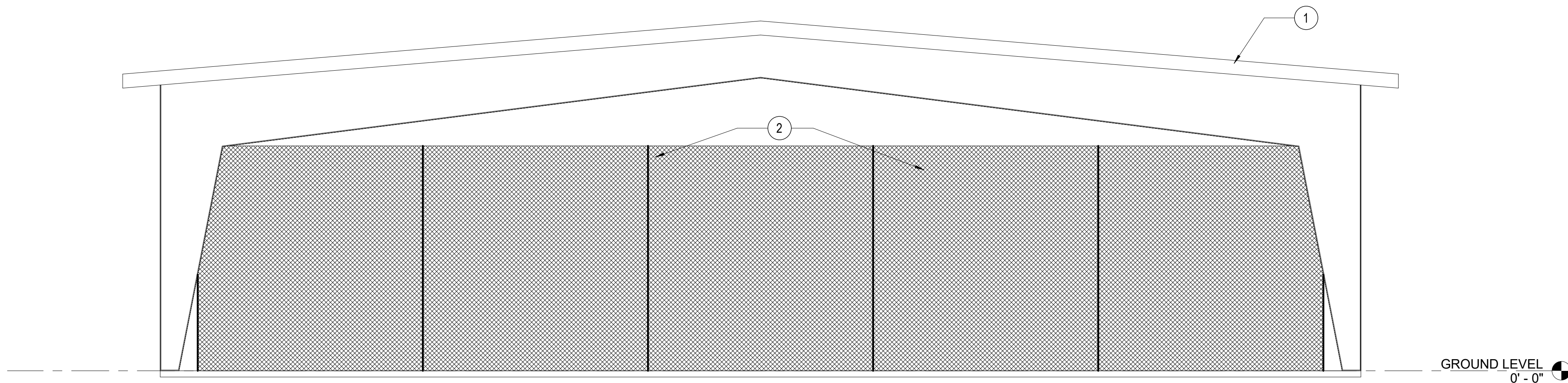
PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

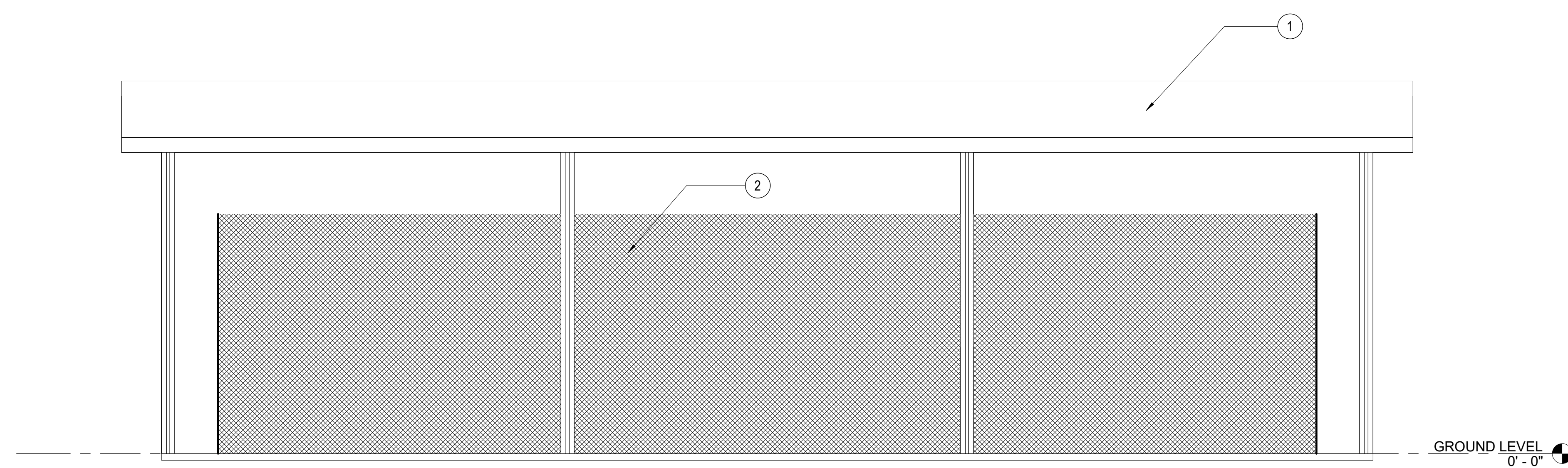
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A-3.00



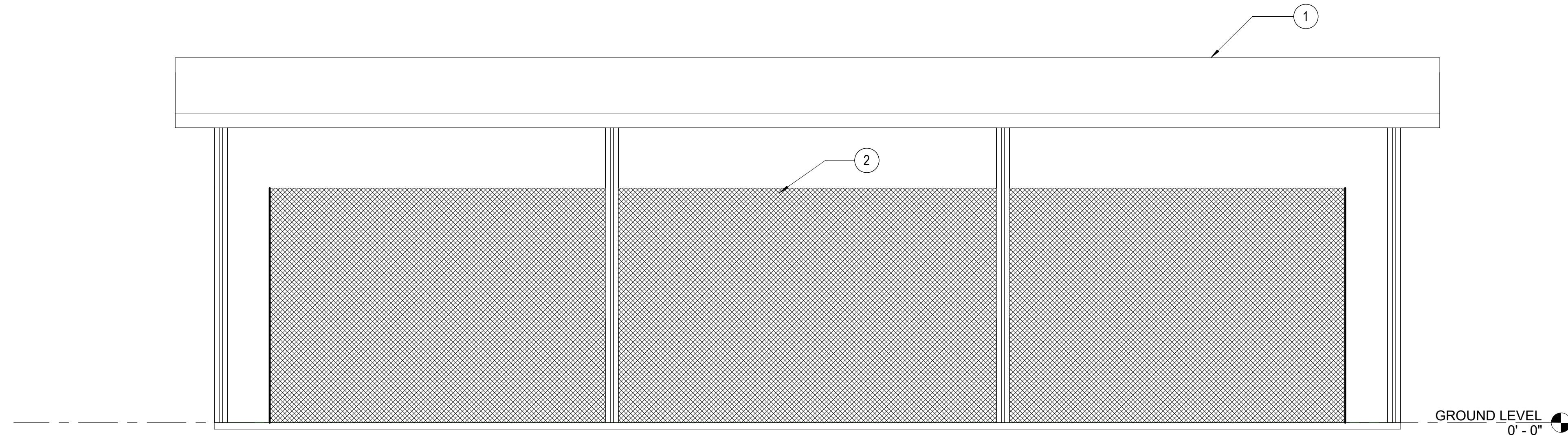
1 EAST ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



2 WEST ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



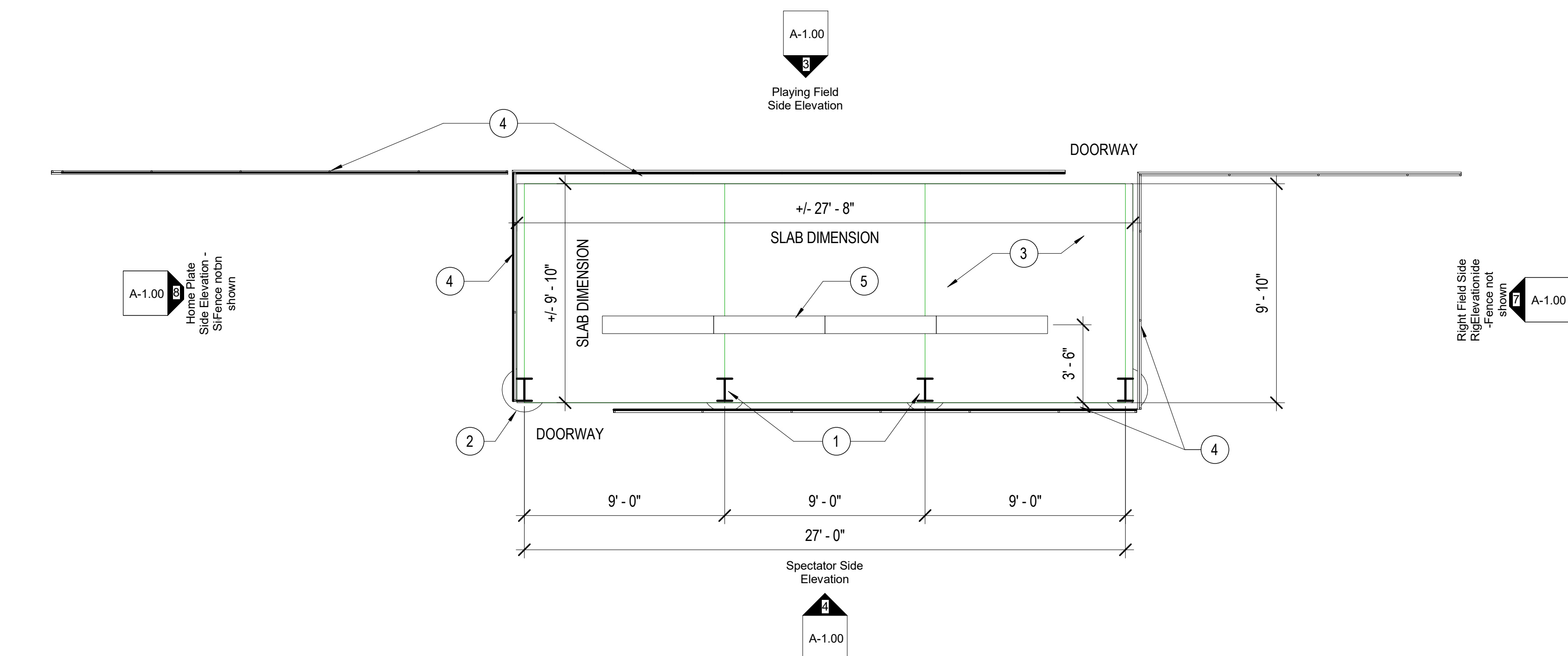
3 NORTH ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"



4 SOUTH ELEVATION - BATTING CAGE BUILDING
1/4" = 1'-0"

KEYNOTE LEGEND

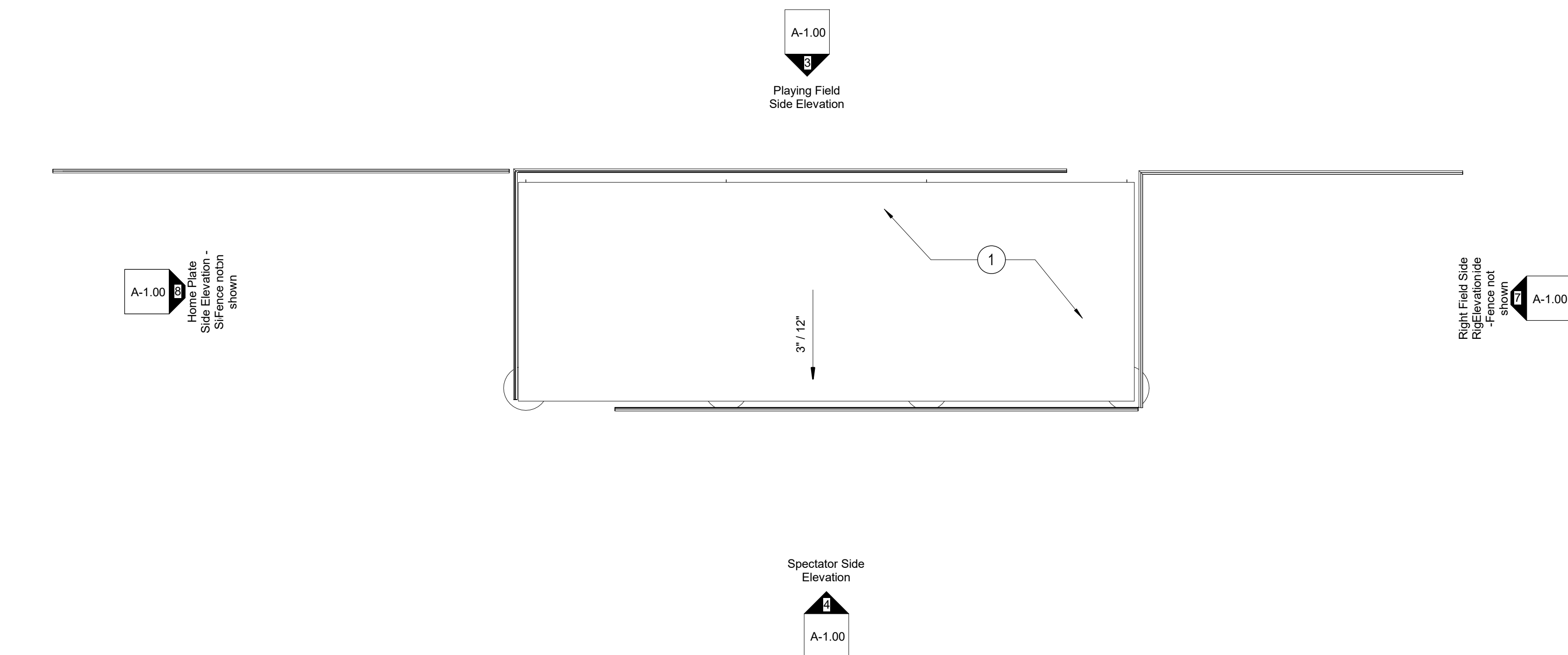
- 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- DEPICTS BATTING CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.



① Represents Dugout along 1st Base Line

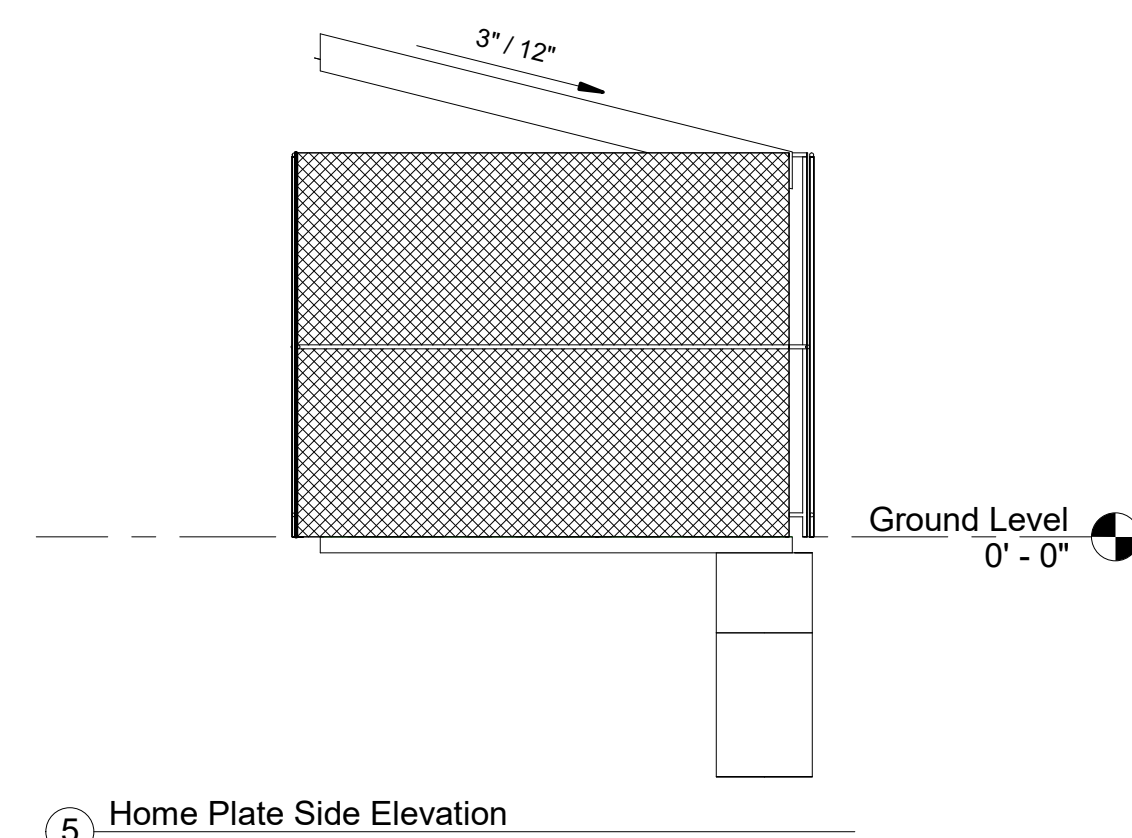
1/4" = 1'-0'

FOUR DUGOUT UNITS TO BE BUILT AS SHOWN, THESE TO BE LOCATED ON FIRST BASE SIDE OF FIELD,
FOUR DUGOUT UNITS TO BE OPPOSITE HAND, THESE TO BE LOCATED ON THIRD BASE SIDE OF FIELD.

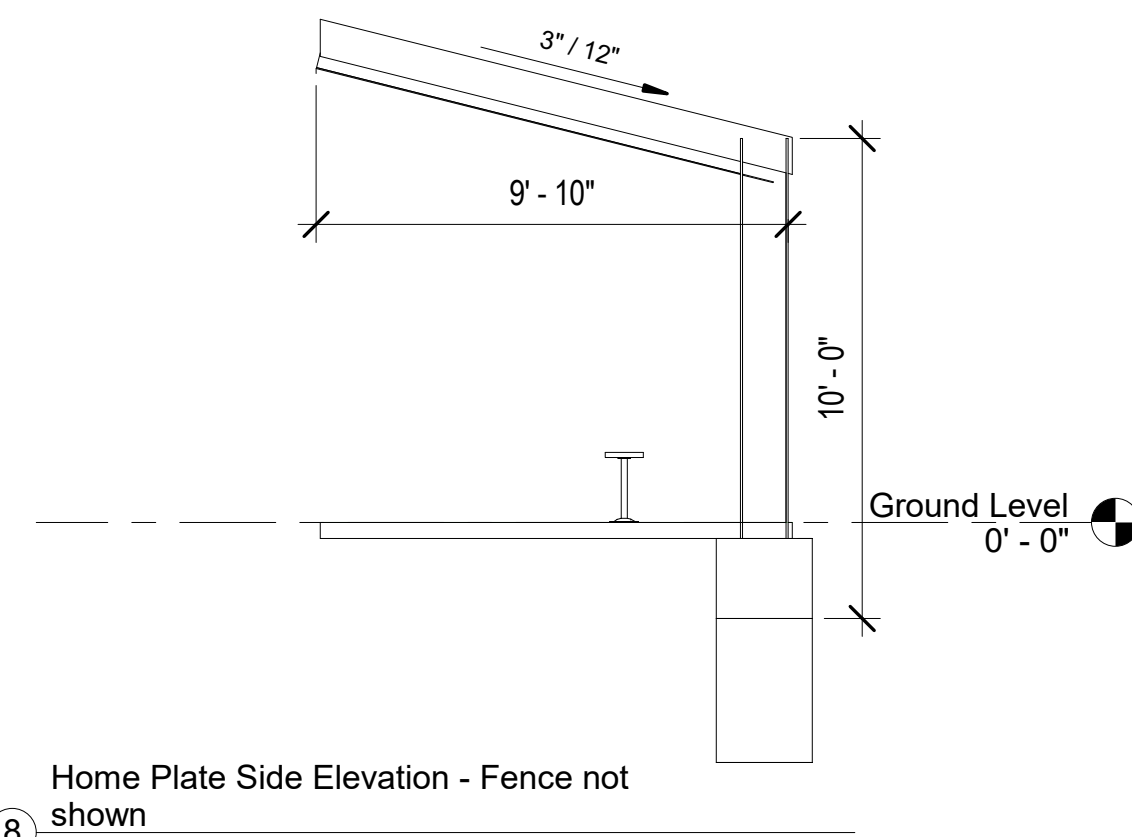


2 Site / Roof View

1/4" = 1'-0'

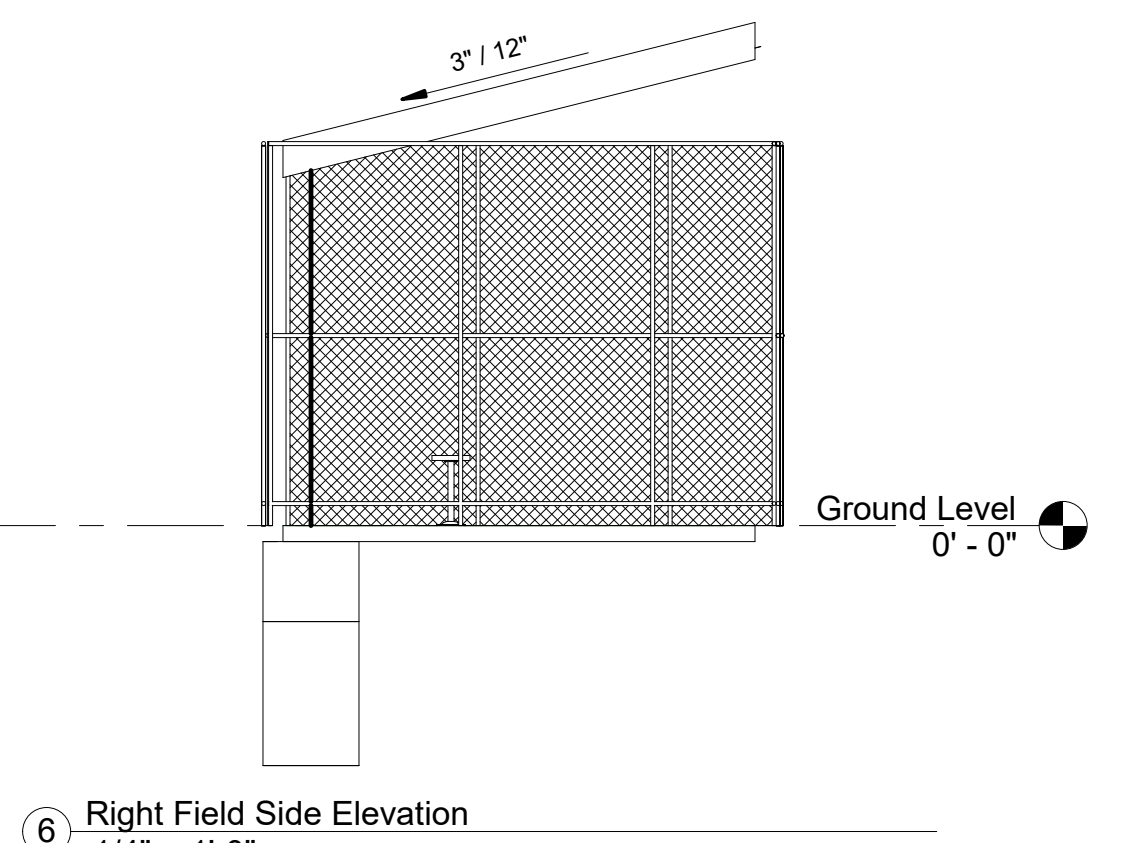


5 Home Plate Side Elevation
1/4" = 1'-0"

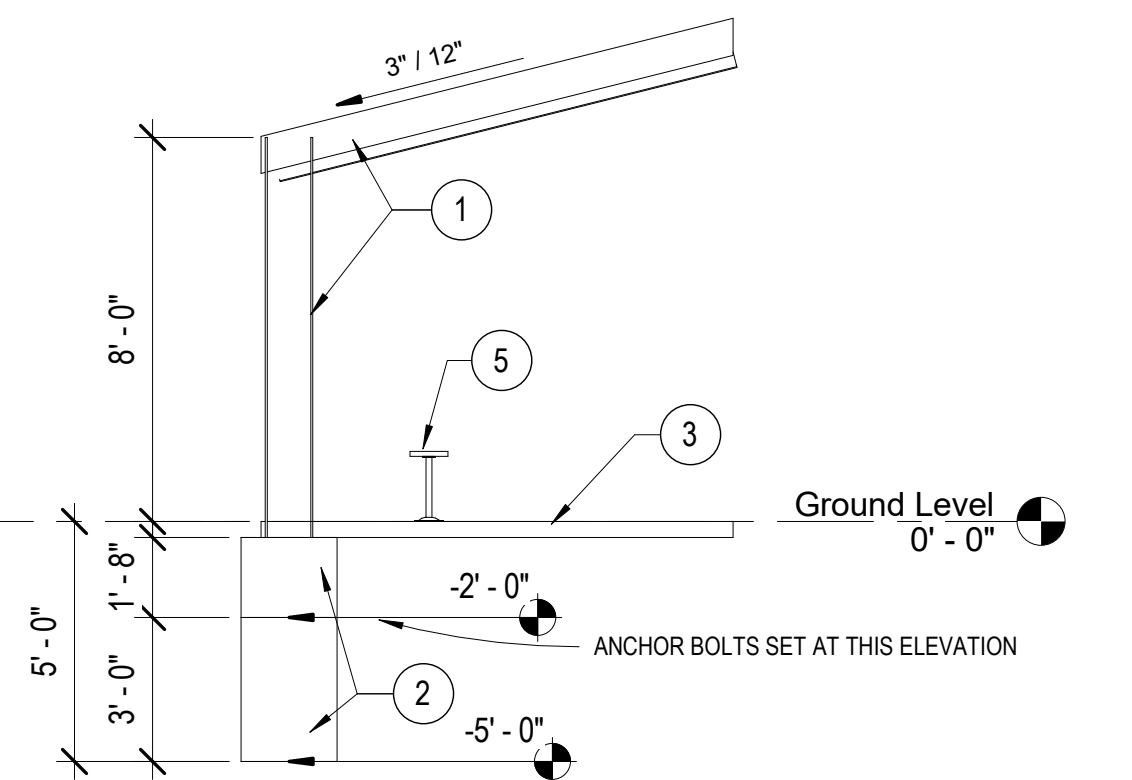


Home Plate Side Elevation - Fence not shown

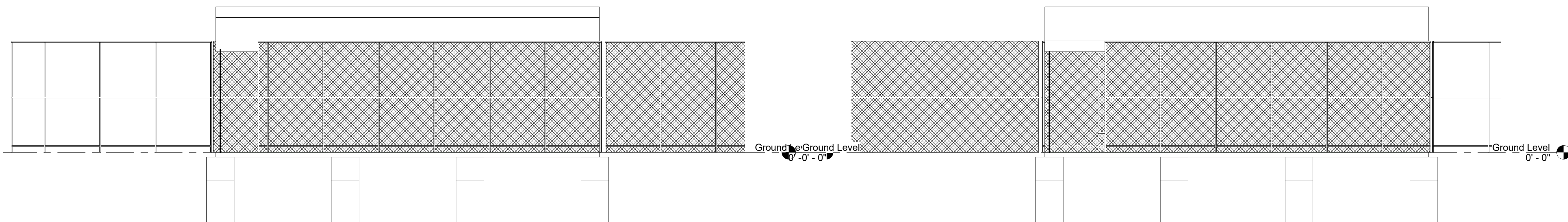
8 $1/4" = 1'-0"$



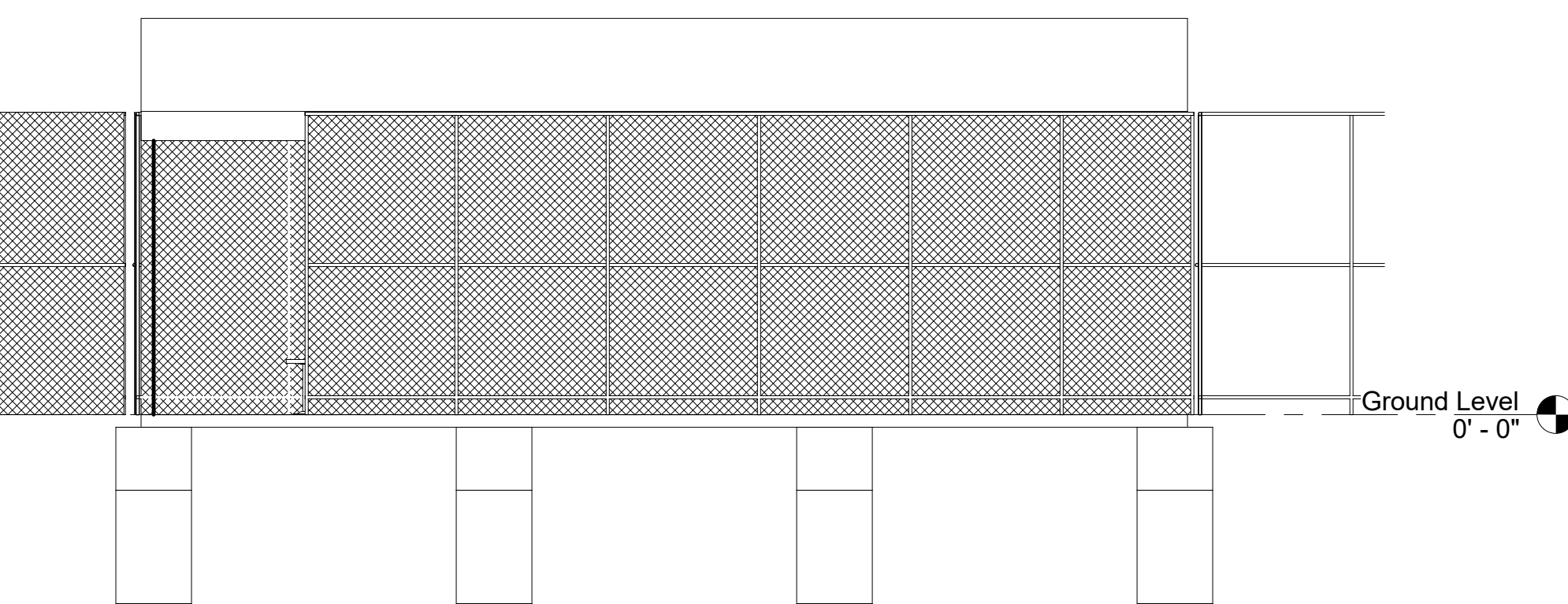
⑥ Right Field Side Elevation
1/4" = 1'-0"



7 Right Field Side Elevation - Fence not shown
1/4" = 1'-0"



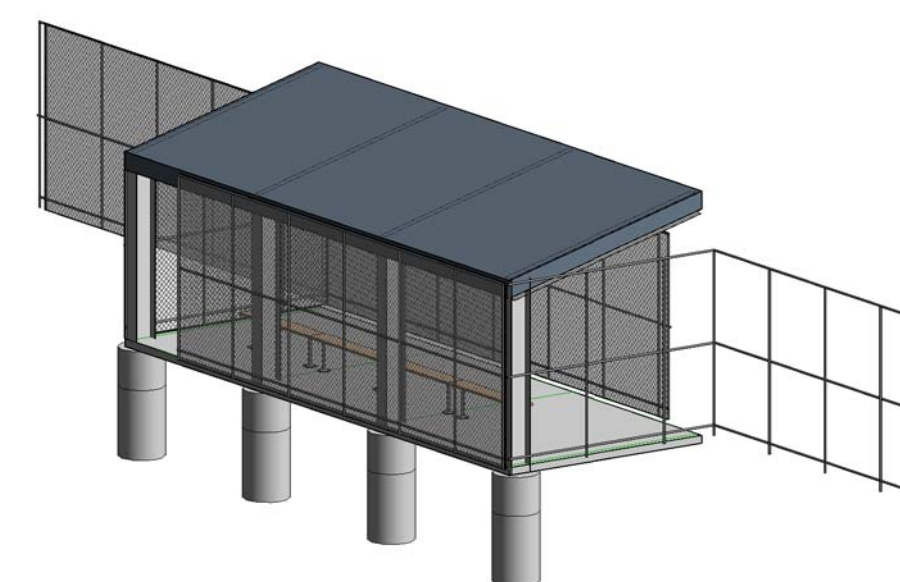
③ Playing Field Side Elevation
1/4" = 1'-0"



④ Spectator Side Elevation
1/4" = 1'-0"

KEYNOTE LEGEND

- 1 DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS, RIGID FRAME IN INSET ROOF PURLINS, ROOF COVER AND TRIM TO BE 26 GAUGE METAL, COLOR BY OWNER. BASE PLATE OF RIDGE FRAME COLUMN TO BE SET AT 24" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
- 2 24" DIAMETER CONCRETE PILASTER TO SUPPORT BUILDING FRAME COLUMN. FIRST SECTION TO DEPTH OF 5'-0" / 4'-0" ELEV. BELOW FINISH SLAB SURFACE. 2ND SECTION TO BE POURED TO A HEIGHT OF 3'-0" / 2'-0" (ELEV.) OR 2'-0" BELOW FINISH SLAB SURFACE. PLACE ANCHOR BOLTS AS PER BUILDING SUPPLIER REQUIREMENTS. REINFORCE WITH #3 CIRCULAR TIES AT 12" o.c. HORIZONTAL, AND 4 #5 x 4'-6" LENGTH VERTICAL REBAR EXTENDING INTO SECOND PILASTER POUR 18". AFTER COLUMNS ARE SET, ADD SECOND PILASTER SECTION TO A LEVEL OF APPROXIMATELY 4'4" BELOW FINISH SURFACE.
- 3 4" CONCRETE FLOOR SLAB TO SERVE AS FLOOR OF DUG-OUT.
- 4 DUG-OUT FENCING - NOT A PART OF DUG-OUT STRUCTURE DRAWINGS.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
- 2 Sample keynote

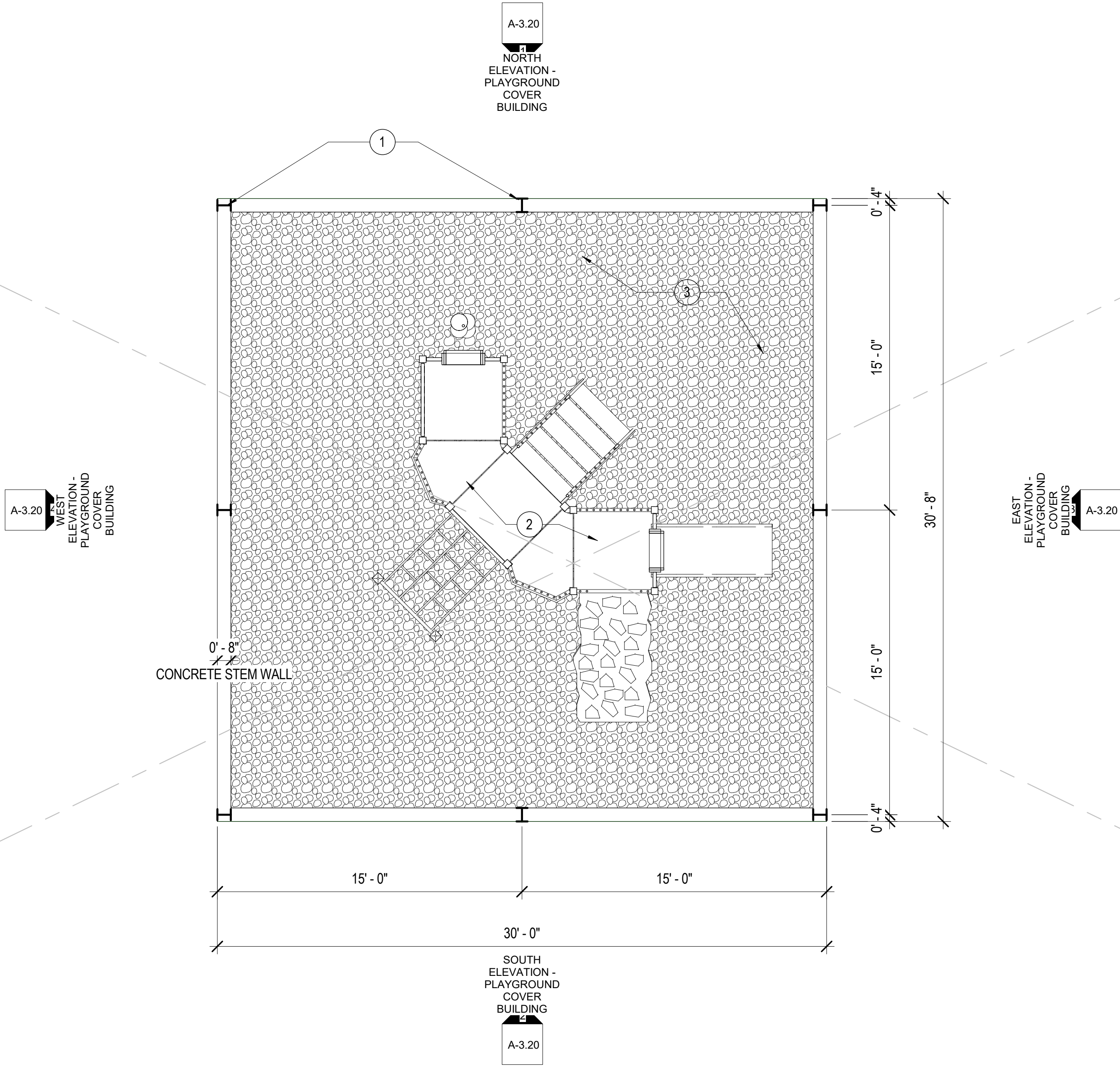


9 Perspective View

1

1/4" = 1'-0"

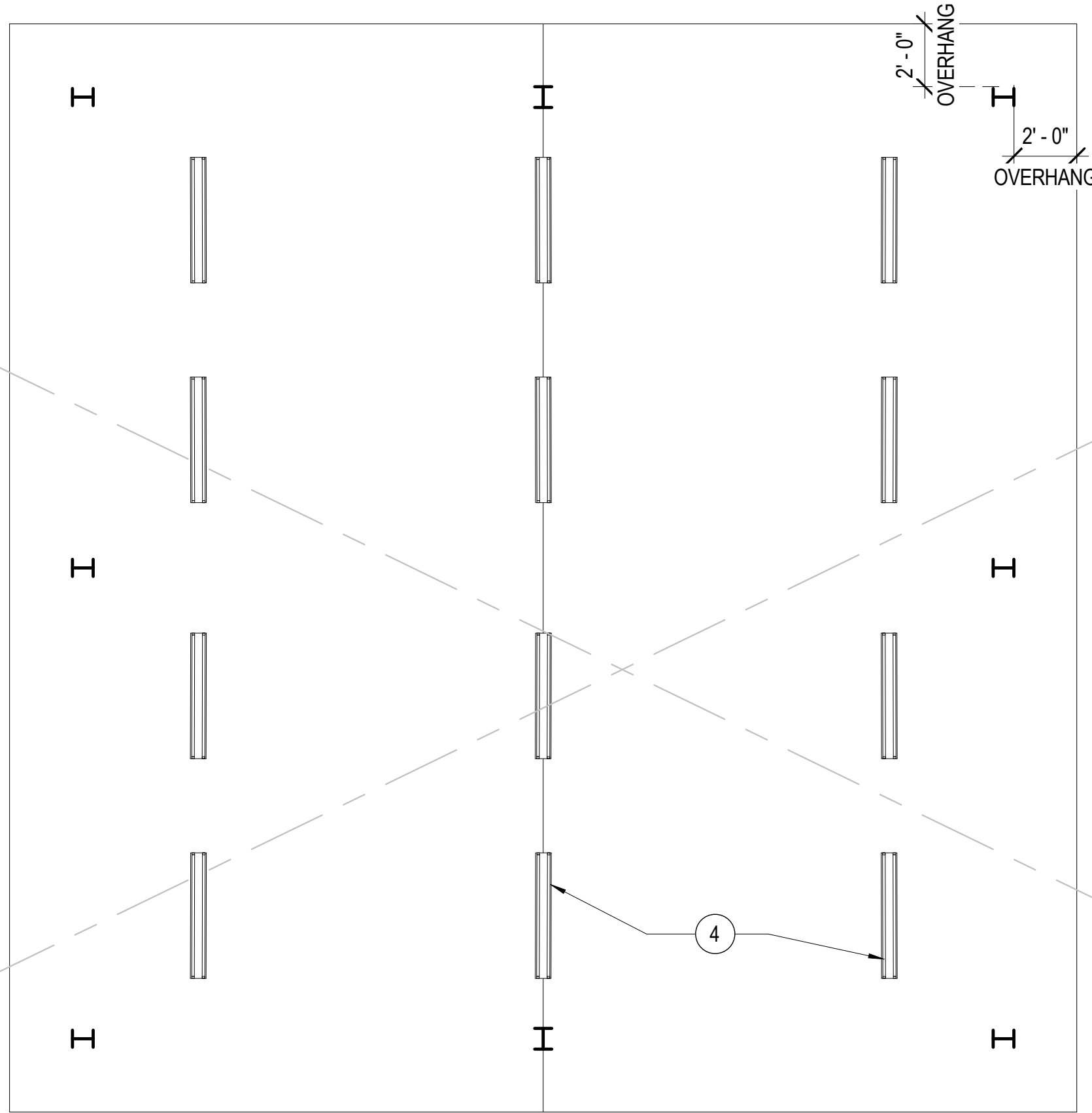
GROUND LEVEL- PLAYGROUND COVER BUILDING



2

1/4" = 1'-0"

REFLECTED CEILING PLAN- PLAYGROUND COVER BUILDING



KEYNOTE LEGEND

- 30' x 30' x 14' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL ROOF, AND TRIM. OWNER TO CHOOSE COLORS..
- PLAYGROUND EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- PLAYGROUND SURFACE - TO BE DETERMINED BY OWNER - PEA GRAVEL, SHREDDED RUBBER MULCH, POURED RUBBER, OR RUBBER TILES.
- SUPPORTED FROM ROOF PURLINS. 4' LED LIGHT FIXTURE - TWO LUMINARE.



3 PERSPECTIVE

Revision Schedule

| No. | Date | Description |
|-----|--------|-------------|
| 1 | Date 1 | Revision 1 |

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
GROUND LEVEL AND CEILING PLAN -
PLAYGROUND COVER BUILDING

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK
twb twb Checker

SHEET NUMBER

A-1.20

SUB-CONSULTANT:

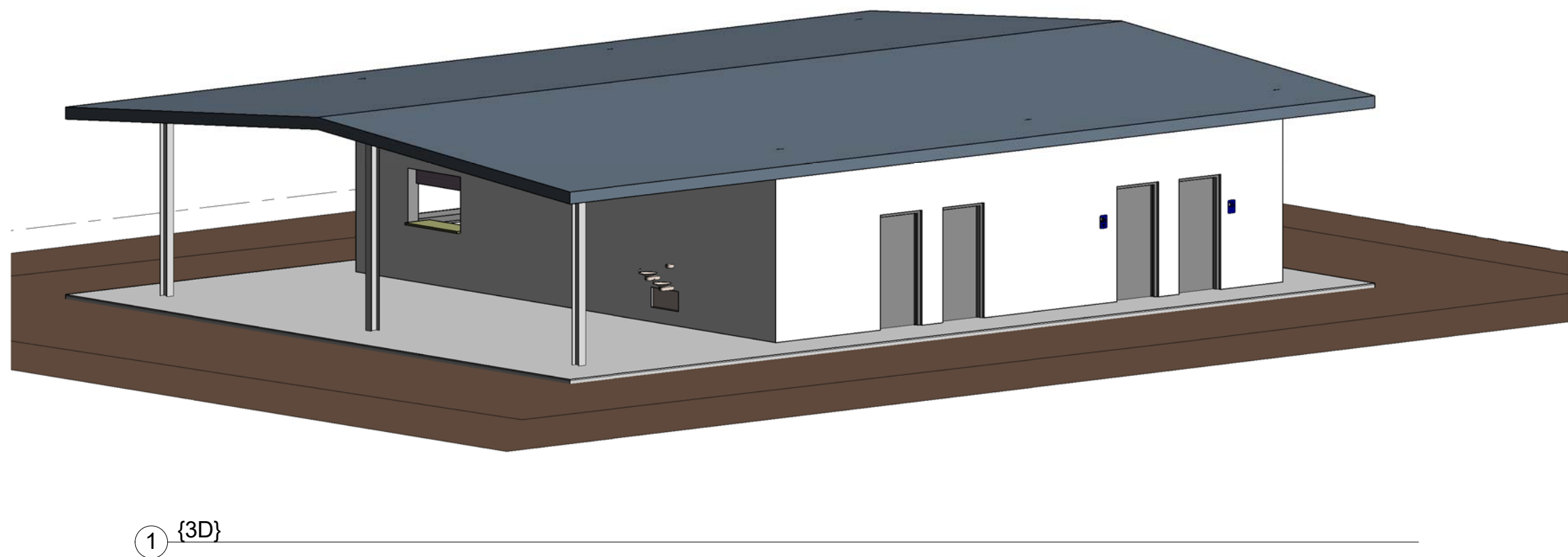
PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

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ARCHITECTURE
120 EAST 10TH STREET, SCOTTSBLUFF, NE 69363
308.635.1311 WWW.STUDIO120ARCHITECTURE.COM

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CONCESSIONS & RR'S BUILDING

STREET ADDRESS, CITY, STATE, ZIP CODE



PROJECT PICTURE



VICINITY MAP



KEYPLAN

PROJECT CONTACTS

OWNER

NAME OF COMPANY
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Street
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Email@provider.com

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STRUCTURAL

Elevation Structural Design
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Phone: (308) 631-3873
klaas@elevation-sd.com

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PLUMBING

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ELECTRICAL

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Email@provider.com

ONE CALL

Nebraska Contact
Phone: 1-800-331-5666
www.ne-diggers.com

Drawing Sheet Index - General

| Sheet Number | Sheet Title |
|--------------|-------------|
| 0 | COVER SHEET |

Total Number of Sheets: 1

Drawing Sheet Index - Civil

| Sheet Number | Sheet Title |
|--------------|--|
| C-1.00 | Existing Site Plan, Symbols, Linetypes and Notes |
| C-1.01 | Demolition Site Plan |
| C-2.00 | Proposed Site Plan |
| C-5.00 | Sheet Title |
| C-5.01 | Sheet Title |
| C-7.00 | Details |

Total Number of Sheets: 6

Drawing Sheet Index - Demolition

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Structural

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Mechanical

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Plumbing

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Fire Protection

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Electrical

| Sheet Number | Sheet Title |
|--------------|-------------|
|--------------|-------------|

Drawing Sheet Index - Architectural

| Sheet Number | Sheet Title |
|--------------|---|
| A-0.01 | ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND |
| A-1.00 | GROUND LEVEL PLAN CONCESSIONS BLDG. |
| A-1.10 | ROOF PLAN |
| A-2.00 | GROUND LEVEL REFLECTED CEILING PLAN |
| A-3.10 | EXTERIOR BUILDING ELEVATIONS |
| A-3.11 | EXTERIOR BUILDING ELEVATIONS |
| A-8.00 | INTERIOR ELEVATIONS |
| A-8.01 | INTERIOR ELEVATIONS |
| A-10.00 | ARCHITECTURAL DETAIL SHEET |

Total Number of Sheets: 9

ARCHITECTURAL GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO THE ARCHITECTURAL DRAWINGS:
- ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS AND ASSEMBLIES, MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE WORK CONTRARY TO GOVERNING REGULATIONS.
 - THE ARCHITECTURAL DRAWINGS ARE A PORTION OF THE SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSIST OF ALL DRAWINGS OF ALL DISCIPLINES LISTED BY THE OVERALL DRAWING INDEX. THE WORK DESCRIBED BY THE DRAWINGS ON ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
 - AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
 - IT IS THE INTENT OF THE ARCHITECTURAL DRAWINGS TO ESTABLISH AND COORDINATE THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. LOCATIONS SHOWN ON OTHER DISCIPLINE'S DRAWINGS ARE SCHEMATIC UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION AT ALL TIMES.
 - DO NOT SCALE DRAWINGS.
 - WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER NOTES AND TYPICAL DETAILS. DETAILS NOTED AS TYPICAL APPLY TO ALL SIMILAR CONDITIONS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.
 - THE ARCHITECTURAL FLOOR PLANS, REFLECTED CEILING PLANS, SECTIONS AND ELEVATIONS ILLUSTRATE THE EXACT LOCATION OF MANY, BUT NOT ALL EXPOSED PARTS OF THE WORK. APPLY THE FOLLOWING RULES IN ORDER, TO DETERMINE THE EXACT LOCATION OF EACH EXPOSED PART OF THE WORK:
 - REFER TO THE SPECIFIC APPLICABLE LARGE-SCALE ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS OR DETAILS. LOCATE AS DIMENSIONED.
 - IF NOT SHOWN OR UNIQUELY DIMENSIONED, REFER TO THE APPLICABLE TYPICAL ARCHITECTURAL MOUNTING HEIGHT AND/OR CONFIGURATION DETAILS. LOCATE AS INDICATED BY THE APPLICABLE DETAIL OR RULE.
 - IF NOT SHOWN OR DIMENSIONED ON TYPICAL ARCHITECTURAL DETAILS, LOCATE AS DIMENSIONED BY THE DRAWINGS OF OTHER DISCIPLINES.
 - IF NOT SHOWN OR DIMENSIONED ON DRAWINGS OF OTHER DISCIPLINES, PLACE AT THE APPROXIMATE LOCATION SHOWN BY THE DRAWINGS OF OTHER DISCIPLINES.
 - STUDIO 120 ARCHITECTURE CONSIDERS THAT PLANS AND SPECIFICATIONS ARE APPROVED DOCUMENTS ONLY IF:
 - THE DOCUMENTS ARE PAPER COPIES WITH SIGNATURES AND PROFESSIONAL CERTIFICATION VISIBLE PRESENT ON THE PAPER COPIES OR
 - ELECTRONIC FILES IN ADOBE® PORTABLE DOCUMENT FILE (PDF) FORMAT ISSUED DIRECTLY BY STUDIO 120 ARCHITECTURE (HEREINAFTER REFERRED TO AS ELECTRONICALLY TRANSMITTED DATA).

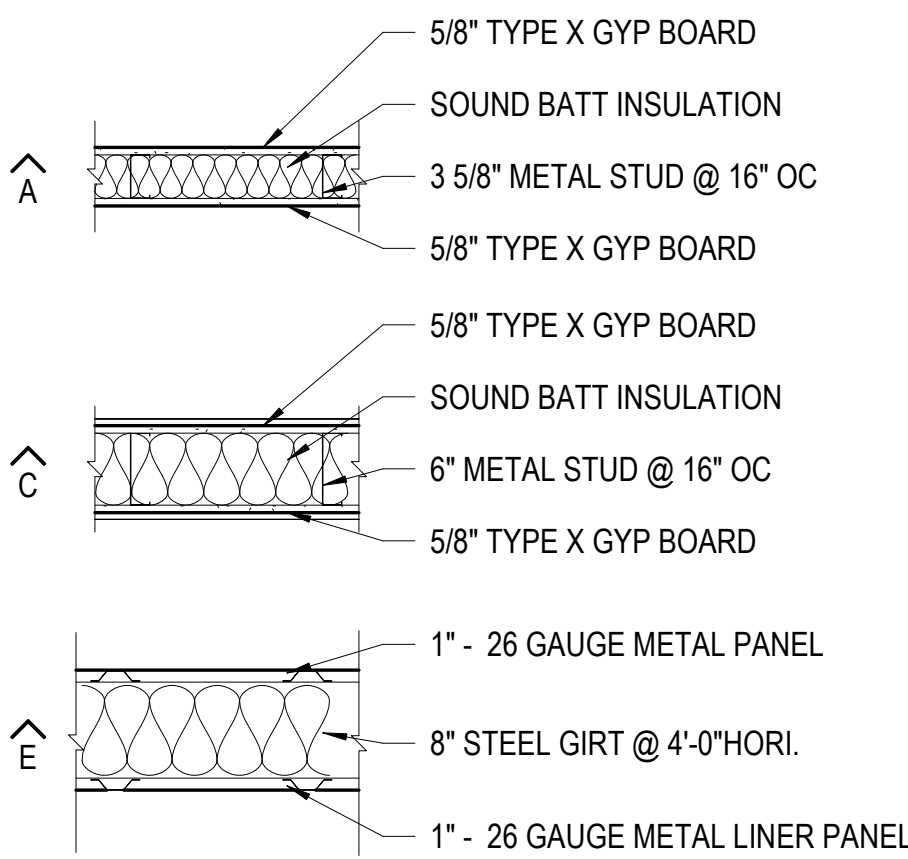
INFORMATION SUPPLIED VIA METHODS OTHER THAN THOSE NOTED ABOVE ARE NOT TO BE CONSIDERED APPROVED DOCUMENTS. THE RECEIVER OF ELECTRONICALLY TRANSMITTED DOCUMENTS IS RESPONSIBLE FOR VERIFYING THE INFORMATION PROVIDED IS AN APPROVED DOCUMENT. THE USE OF ELECTRONICALLY TRANSMITTED DRAWINGS IS CONSIDERED TO BE AT THE USER'S RISK. STUDIO 120 ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR ANY CLAIMS OR DAMAGES RESULTING FROM USE OF THIS ELECTRONIC INFORMATION.

ELECTRONIC INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT ONLY. THE ELECTRONIC INFORMATION IS COPYRIGHTED AND MAY NOT BE TRANSFERRED TO ANY OTHER PARTY WITHOUT THE PERMISSION OF STUDIO 120 ARCHITECTURE.
 - REASONABLE EFFORT HAS BEEN MADE BY THE ENGINEER TO INDICATE THE TYPE, SIZE, LOCATION, AND NUMBER OF KNOWN UNDERGROUND FACILITIES ON THE DRAWING(S). HOWEVER, NO GUARANTEE IS MADE AS TO THE TRUE TYPE, SIZE, LOCATION, OR NUMBER OF SUCH FACILITIES. THE OMISSION FROM OR THE INCLUSION OF, UTILITY LOCATIONS ON THE DRAWING(S) IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR AN ABSOLUTE LOCATION OF, EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE NEBRASKA ONE-CALL NOTIFICATION ACT (STATE OF NEBRASKA TITLE 155, CHAPTER 2) OR WYOMING UNDERGROUND FACILITIES NOTIFICATION ACT (STATE OF WYOMING TITLE 37, CHAPTER 12) AS APPROPRIATE.

ARCHITECTURAL SUPPLEMENTAL NOTES

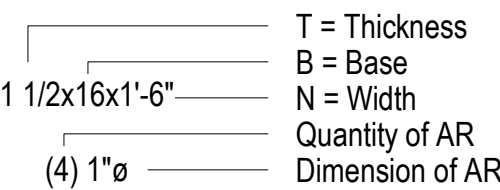
- ALL NEW CONSTRUCTION IS TO CONFORM TO LOCAL, STATE AND NATIONAL BUILDING AND SAFETY GOVERNING AGENCIES. THE FOLLOWING DRAWINGS ARE SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY LOCAL, STATE AND NATIONAL GOVERNING AGENCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR TOTAL FAMILIARITY WITH EXISTING CONDITIONS. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO SUBMITTAL OF BID TO BUILDING REPRESENTATIVE.
- CONTRACTOR IS TO COORDINATE BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS ALONG WITH THE DESIGNATED SUB-CONTRACTORS FOR ALL OF THE TRADES.
- ALL NEW CONSTRUCTION DETAILS, FINISHES, TEXTURES, ETC., ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR BUILDING INDUSTRY STANDARDS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO COORDINATE WITH OWNER'S VENDORS ON SCHEDULING REQUIREMENTS AND INSTALLATION OF ITEMS BEING SUPPLIED AND INSTALLED BY THEM IF THEY ARE NOT A PART OF THE CONSTRUCTION CONTRACT.
- ALL THE FIRE PROTECTION AND LIFE SAFETY SYSTEMS ARE TO BE PROVIDED AS REQUIRED PER THE CODE REQUIREMENTS. VERIFY WITH THE BUILDING DEPARTMENT AND FIRE DEPARTMENT. INCLUDE ADDITIONAL SMOKE DETECTORS AND INDICATOR LIGHTS AS REQUIRED AND TYING INTO THE FIRE PROTECTION SYSTEM.
- ALL NEW CONSTRUCTION IS TO ADHERE TO A.D.A. REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE OWNER, SUCH AS LATCH SETS, MOUNTING HEIGHTS, CLEARANCES, SLOPES, GRADES, ETC.
- THE FLOOR SLAB IS NOT TO BE POURED UNTIL ALL EQUIPMENT CONDUIT, PLUMBING, POWER, ETC. HAS BEEN ROUGHED IN.
- PROVIDE TYPE "X" 5/8" GYPSUM BOARD THROUGHOUT NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROVIDE RATED WALLS AS REQUIRED FOR NEW CONSTRUCTION. THIS INCLUDES WALLS, CEILINGS, DUCTWORK, DOORS, FRAMES, HARDWARE, ETC.
- ALL INTERIOR COLORS, TEXTURES AND FINISHES ARE TO BE SELECTED BY THE OWNER/ARCHITECT.
- ANY NOTES MENTIONED ON THIS SHEET OR ON ANY OTHER SHEET SHALL PERTAIN TO ALL SHEETS.
- ALL WORK AND DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

ARCHITECTURAL WALL TYPES

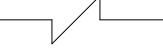


ARCHITECTURAL SYMBOL LEGEND

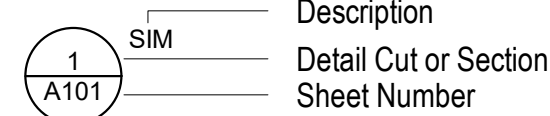
Base Plate Tag



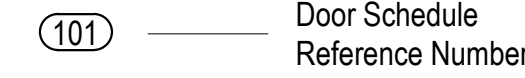
Break Line Symbol



Callout Head Symbol



Door Tag



Drawing Revision Tag



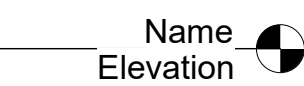
Grid Head Symbol



Key Note Symbol



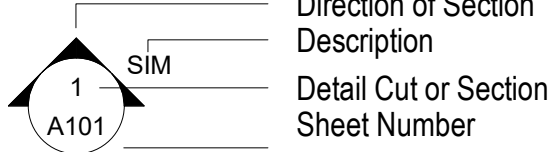
Level Head Symbol



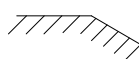
Room Tag



Section Head Symbol



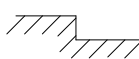
Slope Down Symbol



Spot Elevation Symbol



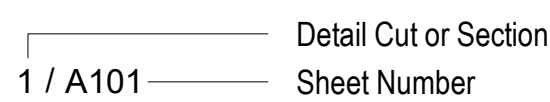
Step Down Symbol



Valley Symbol



View Reference Symbol



Wall Tag



Window Tag



BUILDING STATISTICS

| AREA (GROSS SQUARE FOOTAGE) | |
|-----------------------------|----------|
| Basement | NA |
| Non -occupied | NA |
| First Floor | 1,600 SF |
| Second Floor | NA |
| Third Floor | NA |
| Fourth Floor | NA |

OCCUPIED SPACE TOTAL

SF

NUMBER OF STORIES

One

CODE SUMMARY

APPLICABLE CODES

| | |
|-------------|---|
| BUILDING | INTERNATIONAL BUILDING CODE - 2009 |
| LIFE SAFETY | NFPA 101 - 2000 |
| ENERGY | INTERNATIONAL ENERGY CONSERVATION CODE - 2009 |
| MECHANICAL | UNIFORM MECHANICAL CODE - 2012 |
| PLUMBING | UNIFORM PLUMBING CODE - 2012 |
| ELECTRICAL | NATIONAL ELECTRICAL CODE - 2011 |

ACCESSIBILITY

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

FIRE PROTECTIVE SYSTEMS

| | |
|-----------------------|----|
| AUTO FIRE SUPPRESSION | NO |
| STANDPIPE | NO |
| FIRE ALARM SYSTEM | NO |
| AUTO FIRE DETECTION | NO |
| SMOKE DETECTION | NO |

OCCUPANCY GROUP

Assembly Group - A5

TYPE OF CONSTRUCTION

Type II B



SUB-CONSULTANT:

PRELIMINARY PLAN
NOT TO BE USED FOR
CONSTRUCTION

Revision Schedule
No. Date Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

SHEET TITLE:
ARCHITECTURAL NOTES, CODE
SUMMARY AND SYMBOL LEGEND

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

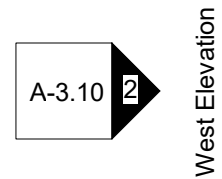
SHEET NUMBER

A-0.01

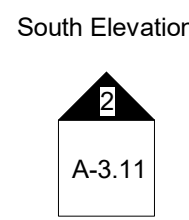
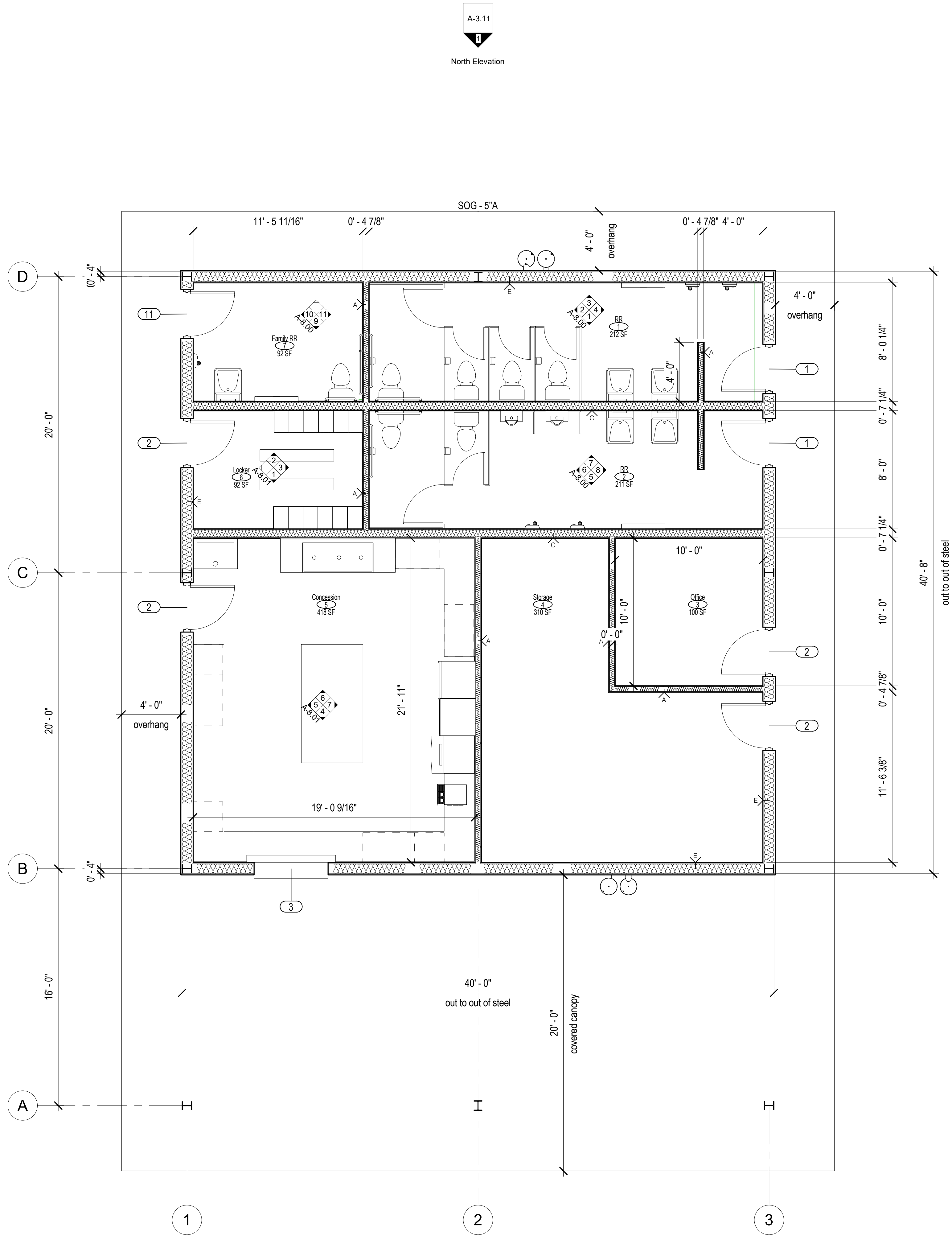


1 Ground Level Plan

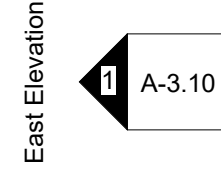
1/4" = 1'-0"



West Elevation



South Elevation



East Elevation

KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

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SHEET TITLE:
GROUND LEVEL PLAN CONCESSIONS BLDG.

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

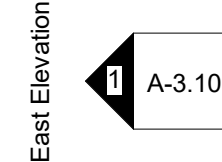
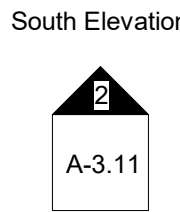
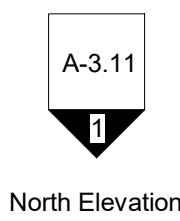
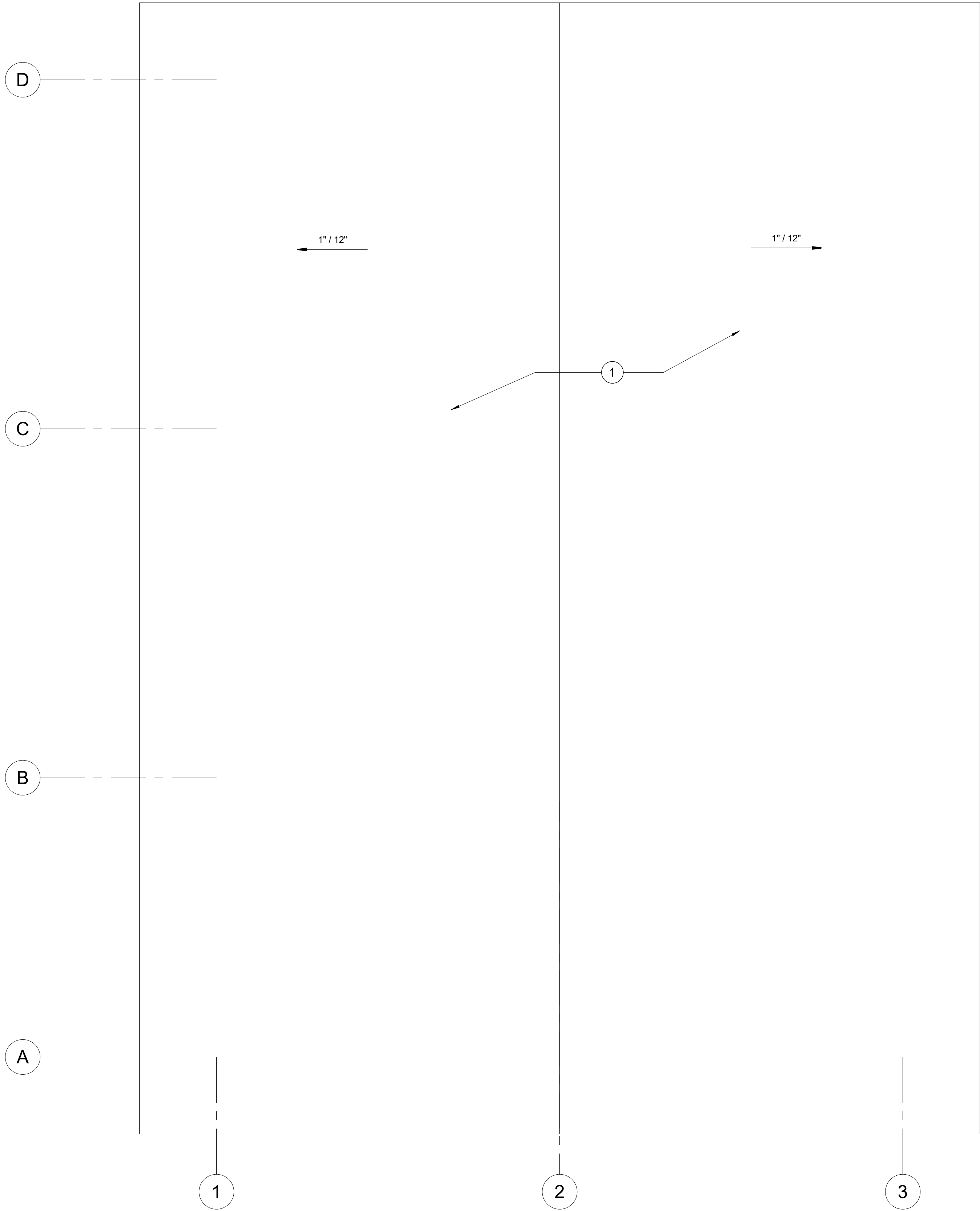
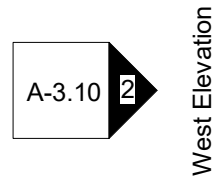
| DESIGN | DRAWN | CHECK |
|----------|--------|---------|
| Designer | Author | Checker |
| | | |

SHEET NUMBER
A-1.00



1 Roof Plan

1/4" = 1'-0"



KEYNOTE LEGEND

- 1 ENCLOSED PORTION METAL BUILDING ROOF SYSTEM TO HAVE R-30 VALUE INSULATION SYSTEM.
- 2 Sample keynote

Revision Schedule
No. | Date | Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS
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SHEET TITLE:
ROOF PLAN
COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

A-1.10

PRELIMINARY PLAN
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CONSTRUCTION

SUB-CONSULTANT:



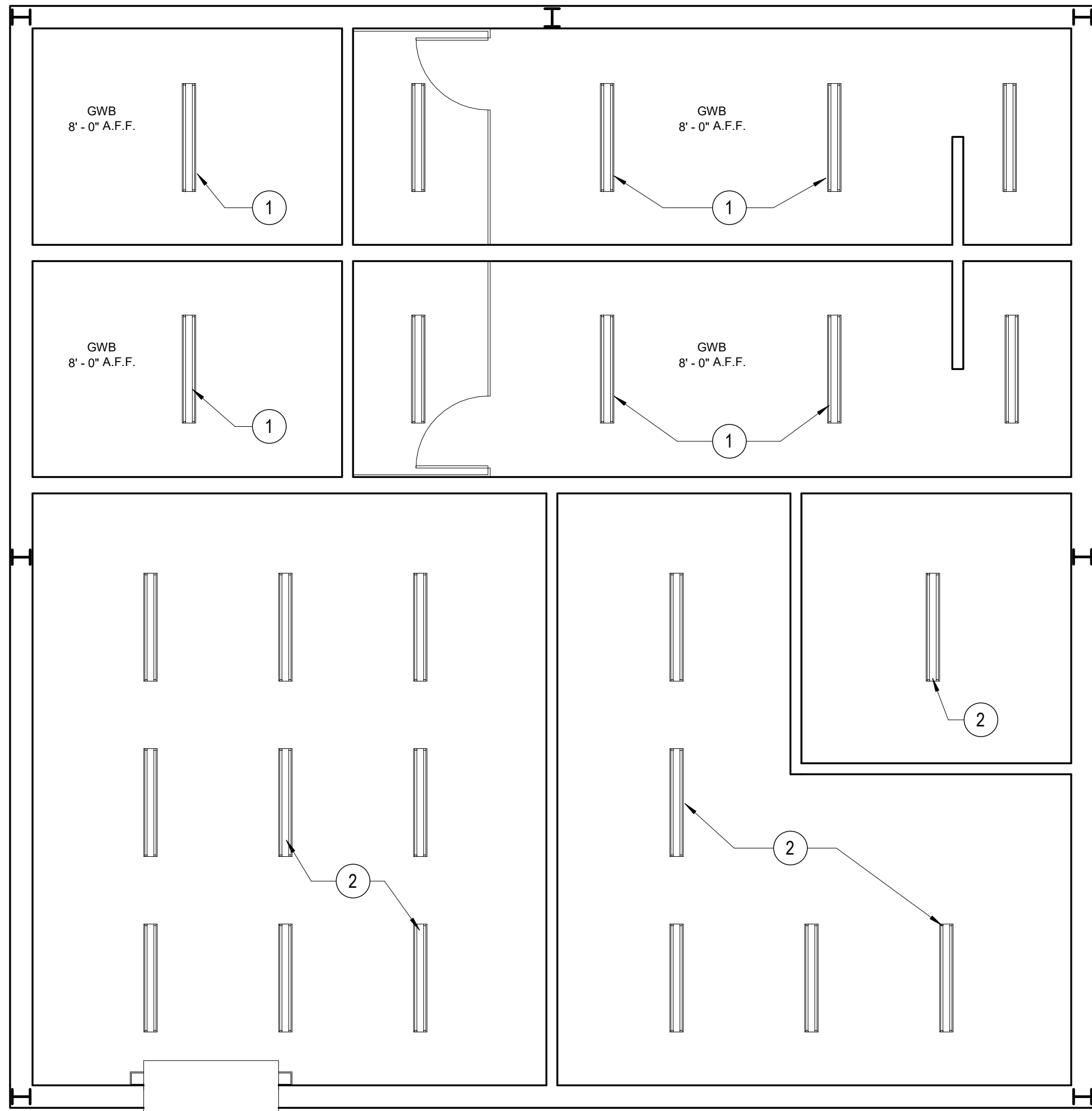
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1
1/4" = 1'-0"

Reflected Ceiling Plan

A-3.10
West Elevation



A-3.11
South Elevation

A-3.11
North Elevation

A-3.10
East Elevation

KEYNOTE LEGEND

- 1 CEILING MOUNTED LED TYPE LIGHT FIXTURES.
- 2 CEILING HUNG LED TYPE LIGHT FIXTURES. APPROXIMATE MOUNTING HEIGHT = 10'-0" ABOVE FLOOR.

Revision Schedule
No. Date Description

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS
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SHEET TITLE:
GROUND LEVEL REFLECTED CEILING
PLAN

PROJECT: Project Number

DESIGN DRAWN CHECK
Designer Author Checker

SHEET NUMBER

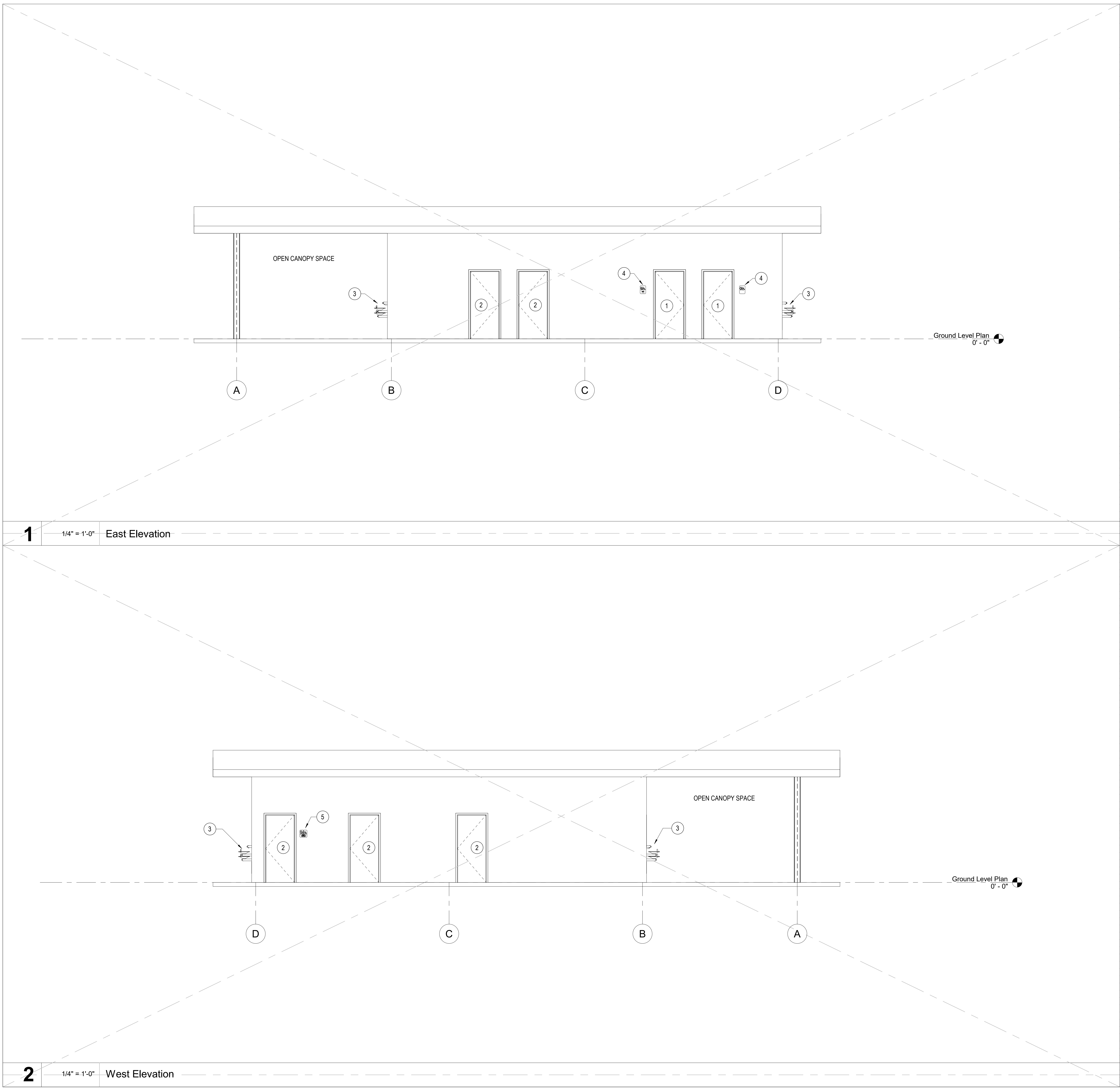
A-2.00

SUB-CONSULTANT:

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KEYNOTE LEGEND

- 1 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- 4 A.D.A. COMPLIANT MENS AND WOMENS RESTROOM SIGNAGE.
- 5 A.D.A. COMPLIANT FAMILY RESTROOM SIGNAGE.



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PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185
SCOTTSBLUFF, NEBRASKA 69363
CITY OF SCOTTSBLUFF

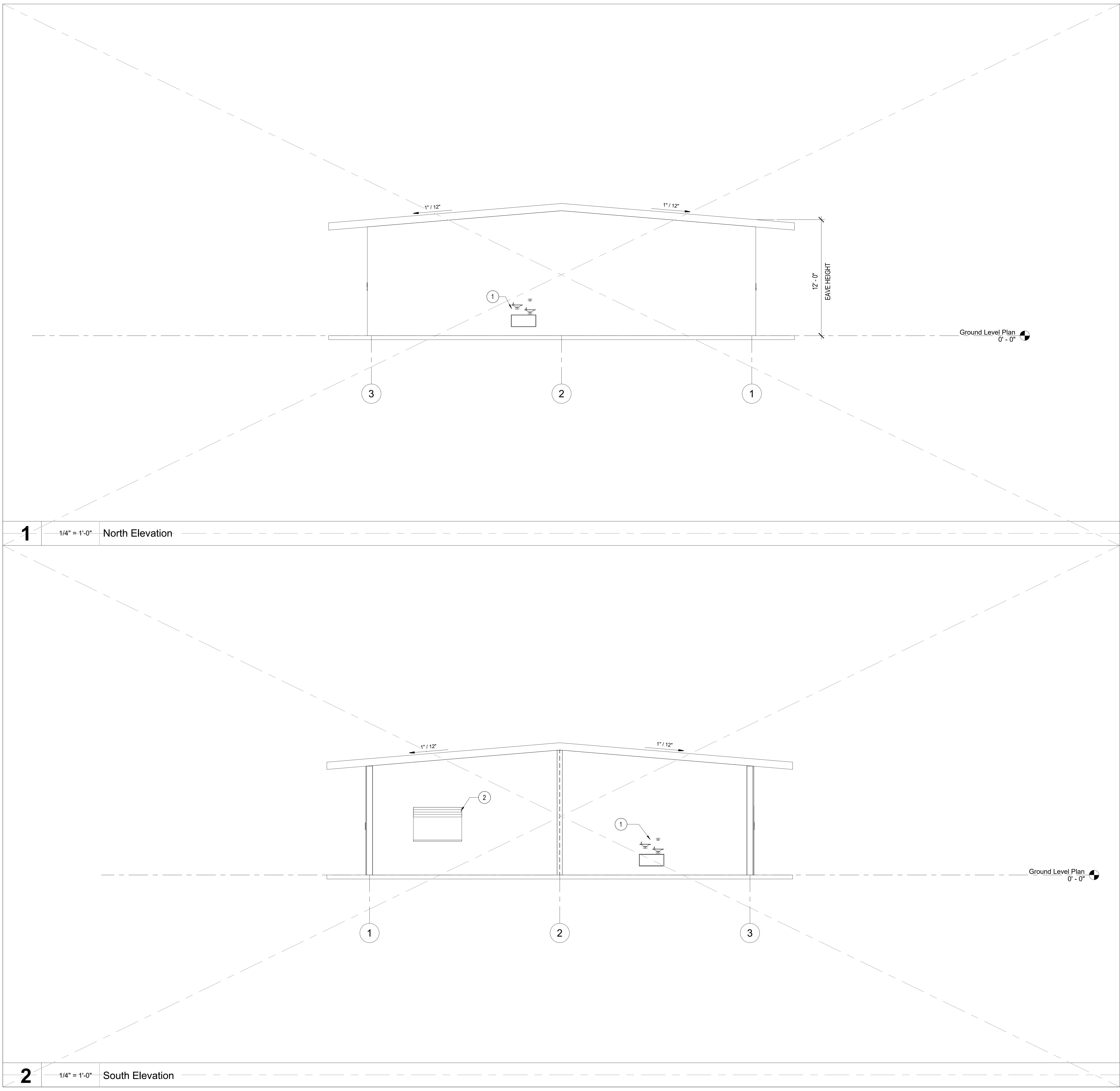
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

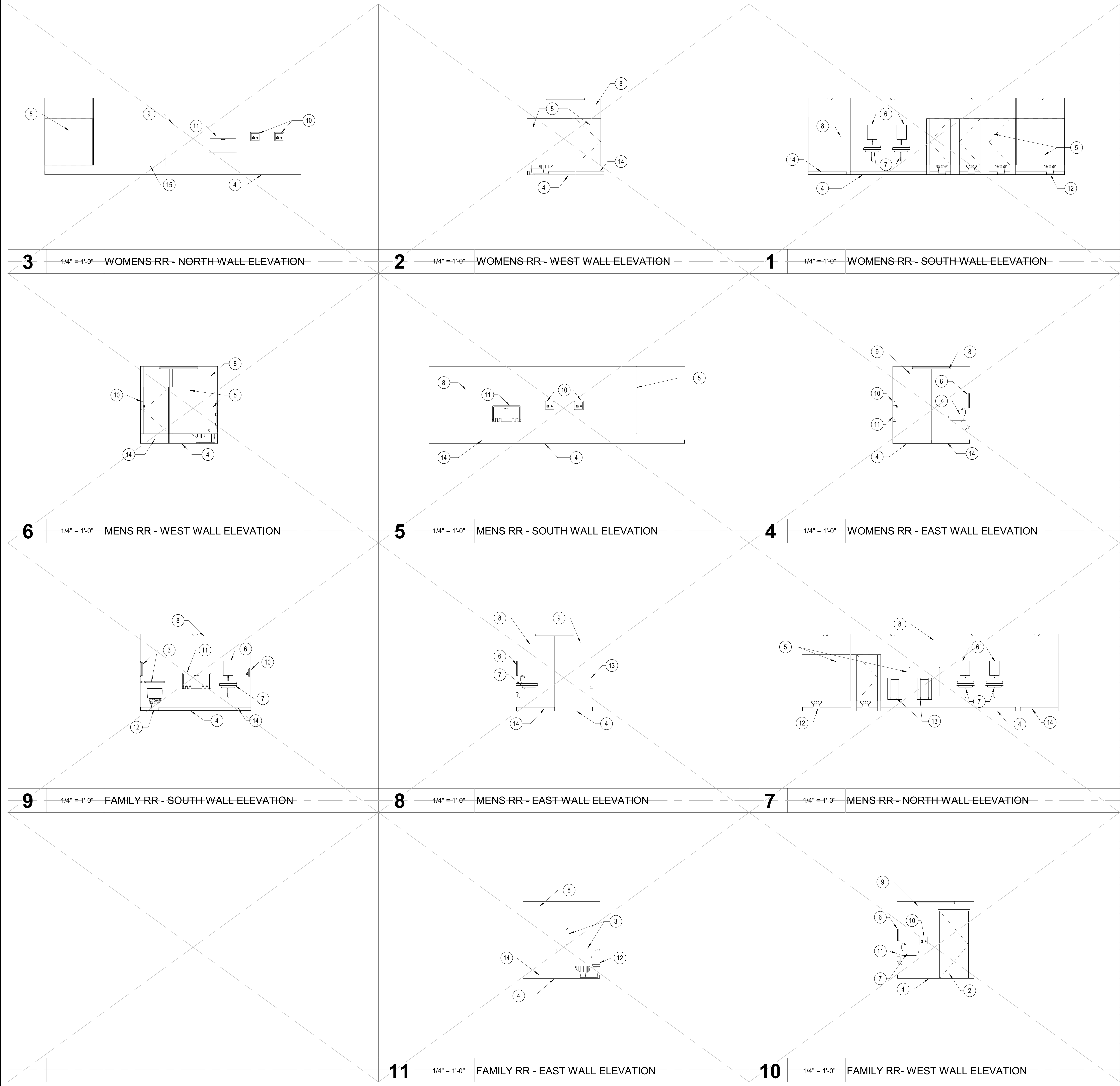
| DESIGN | DRAWN | CHECK |
|----------|--------|---------|
| Designer | Author | Checker |

SHEET NUMBER
A-3.10



KEYNOTE LEGEND

- 1 TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- 2 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.
- 3 Sample keynote
- 4 Sample keynote



KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- A.D.A. GRAB BARS AS SHOWN ON DETAILS- A-10.00.
- SEALED CONCRETE FLOOR ENTIRE BUILDING.
- SOLID POLYMER TYPE TOILET PARTITION UNIT MADE OF SOLID, HIGH DENSITY POLYETHYLENE (HDPE) PANEL MATERIAL NOT LESS THAN 1" THICK. DOOR MANUFACTURERS SUBJECT TO COMPLIANCE BUT NOT LIMITED TO SCRANTON PRODUCTS, OR BRADLEY PRODUCTS. MANUFACTURER'S STANDARD HINGES, LATCH AND KEEPERS, COAT HOOKS SHALL BE ACCEPTABLE. ANCHORAGES AND FASTENERS TO BE MANUFACTURER'S STANDARD NON-CORROSION ANCHORING ASSEMBLIES. SAME CONSTRUCTION FOR URINAL PARTITION.
- A.D.A. STYLE WALL MIRROR - STAINLESS STEEL
- WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- METAL BUILDING LINER PANEL WALL COVER- WHITE.
- ELECTRIC HAND DRYER, FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- BABY CHANGING STATION. FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- A.D.A. APPROPRIATE HEIGHT TOILET- SEE DETAILS SHEET A-2.00.
- URINAL.
- 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY. COLOR BY OWNER.
- WALL ACCESS DOOR PANEL TO ACCESS DRINKING FOUNTAIN.

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CITY OF SCOTTSBLUFF

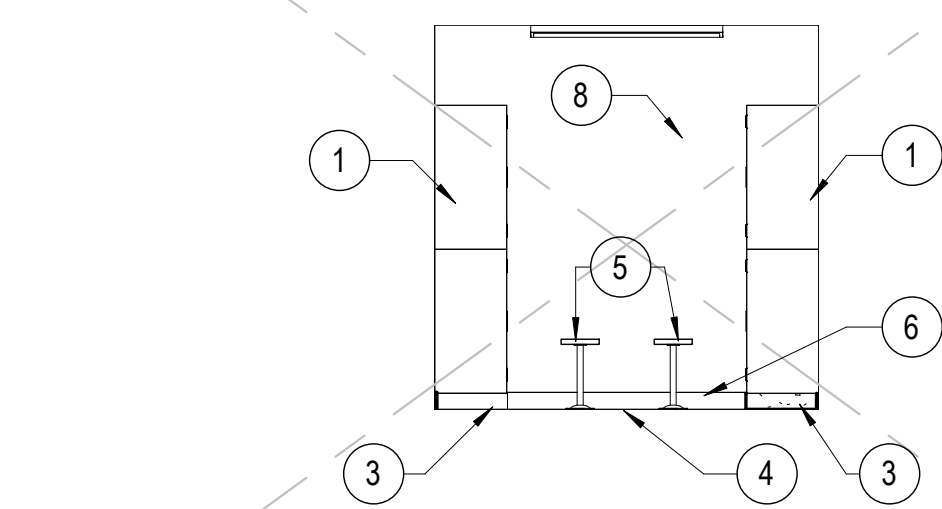
SHEET TITLE:
INTERIOR ELEVATIONS

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|----------|--------|---------|
| DESIGN | DRAWN | CHECK |
| Designer | Author | Checker |

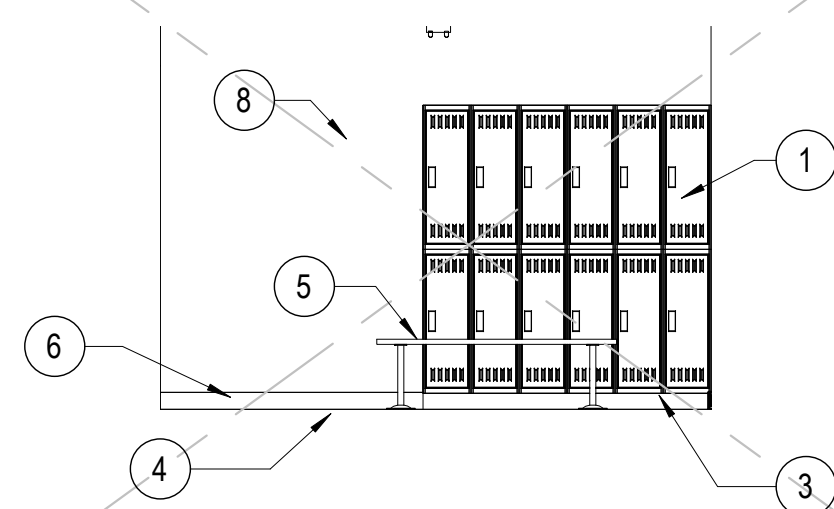
COMPLETION: Project Status
DATE ISSUED: Issue Date

PROJECT: Project Number

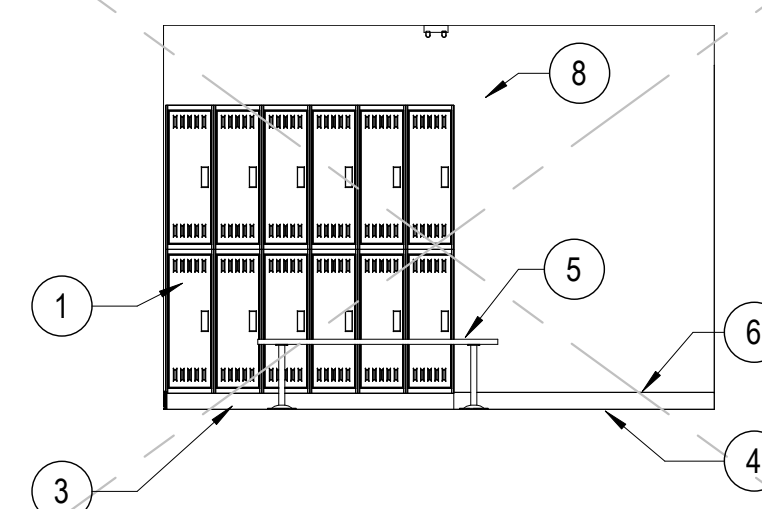
SHEET NUMBER
A-8.00



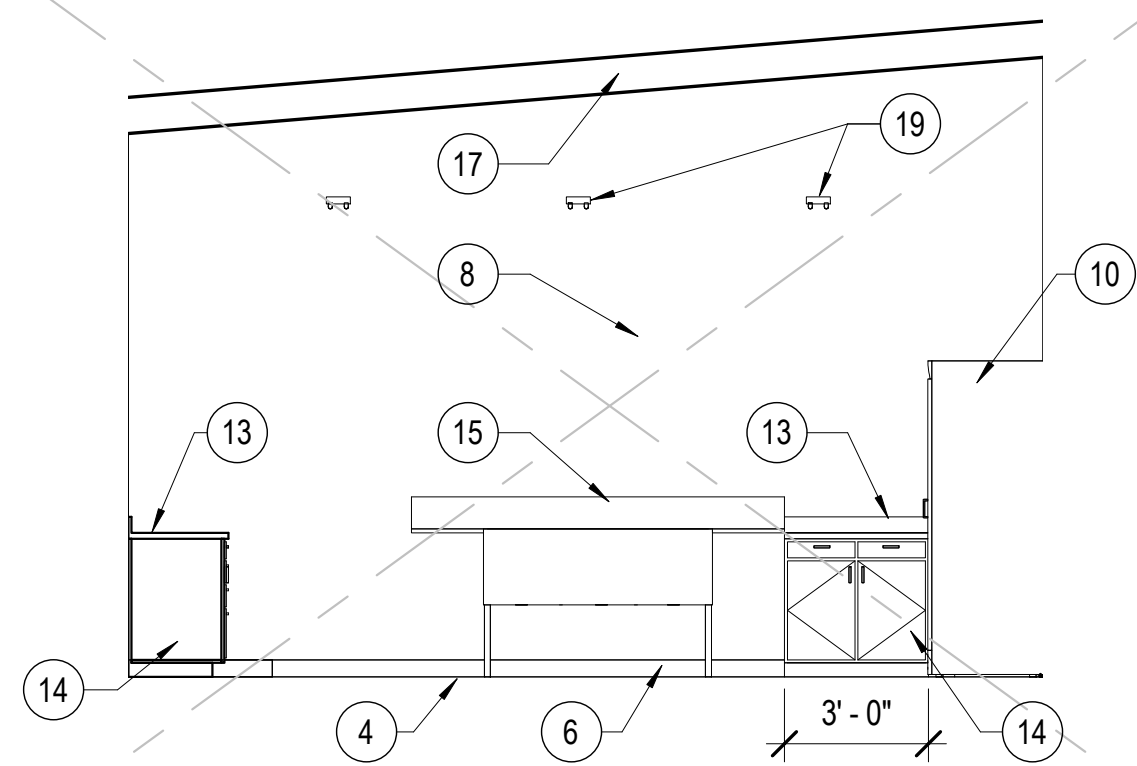
3 1/4" = 1'-0" LOCKER ROOM - EAST WALL ELEVATION



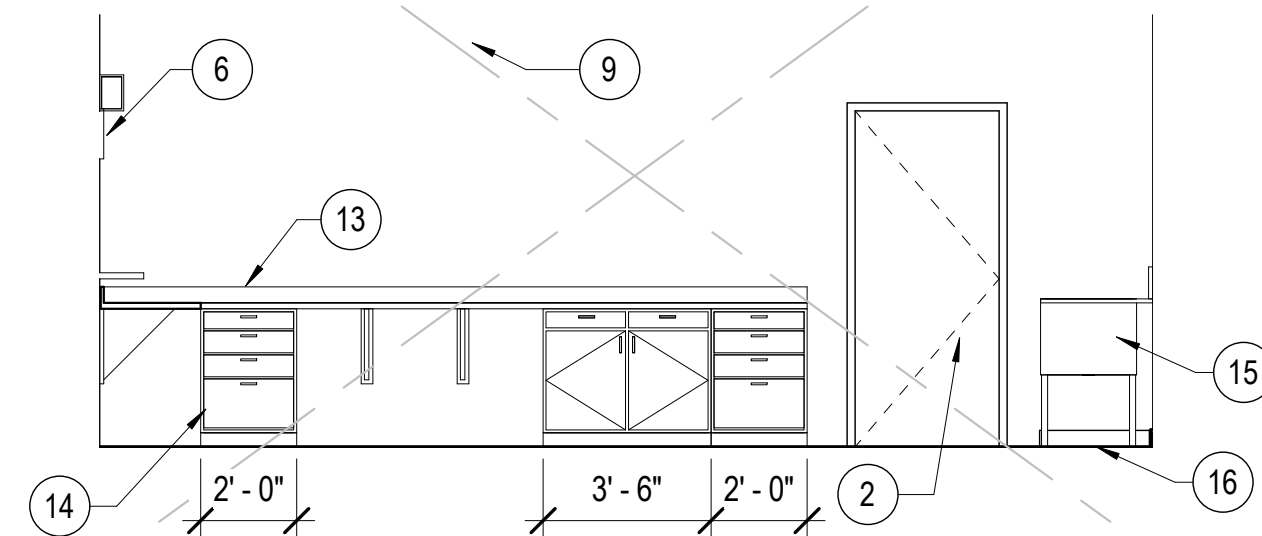
2 1/4" = 1'-0" LOCKER ROOM - NORTH WALL ELEVATION



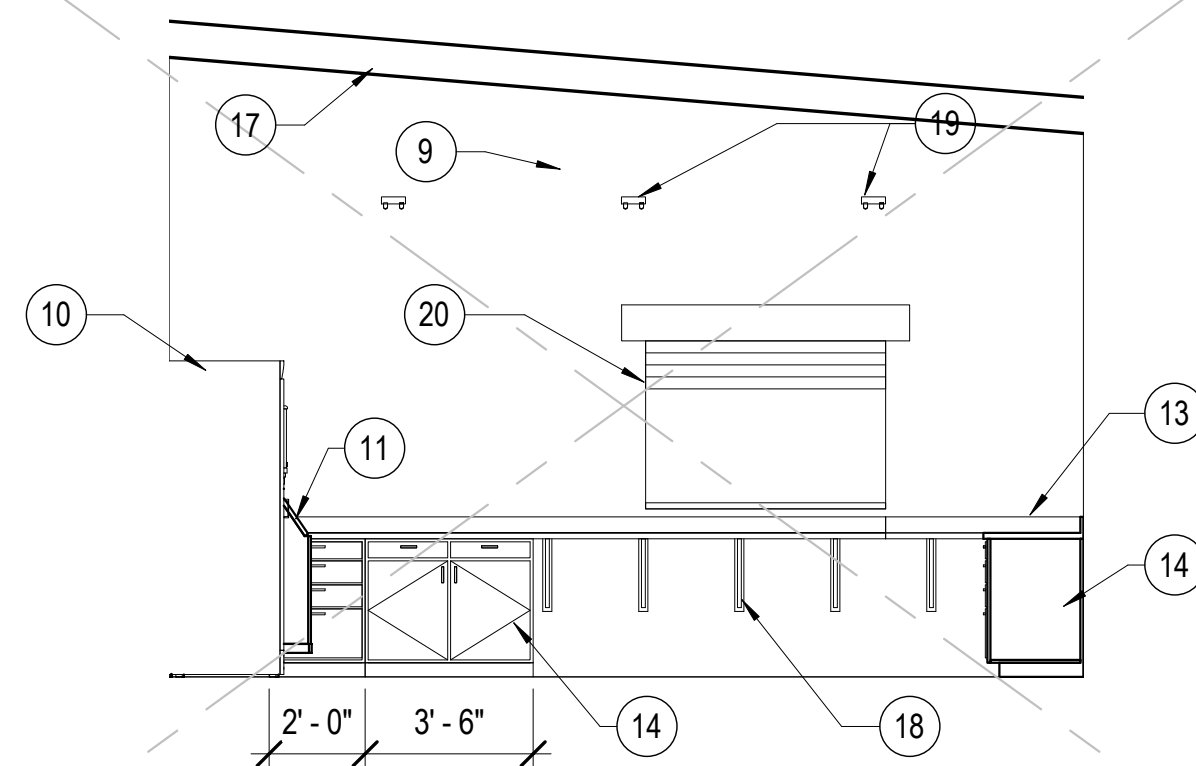
1 1/4" = 1'-0" LOCKER ROOM - SOUTH WALL ELEVATION



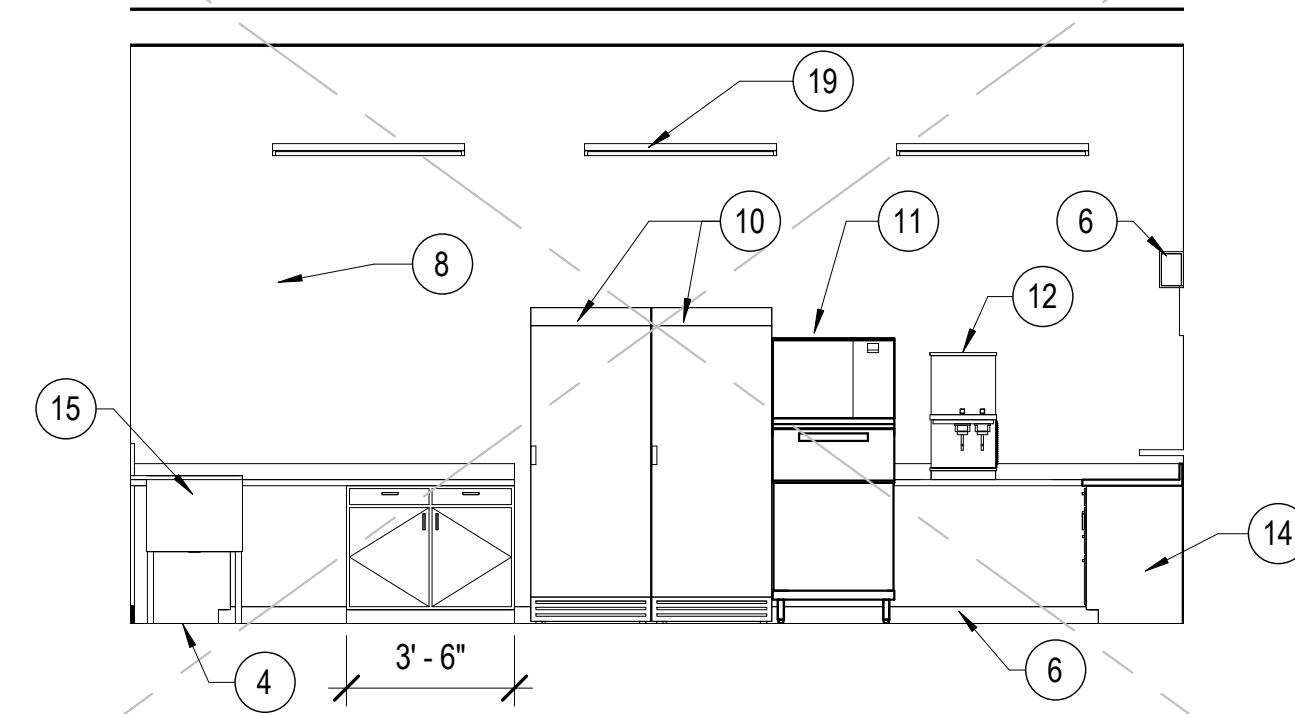
| | | |
|----------|--------------|-----------------|
| 6 | 1/4" = 1'-0" | Elevation 5 - b |
|----------|--------------|-----------------|



| | | |
|---|--------------|-----------------|
| 5 | 1/4" = 1'-0" | Elevation 6 - a |
|---|--------------|-----------------|



4 | $1/4" = 1'-0"$ | Elevation 2 - d



| | | |
|---|--------------|-----------------|
| 7 | 1/4" = 1'-0" | Elevation 5 - c |
|---|--------------|-----------------|

KEYNOTE LEGEND

- 1 DOUBLE TIER METAL ATHLETIC LOCKERS- 12" WIDE X 36" HIGH X 18" DEEP, BAKED ENAMEL OR POWDER COAT, COLOR BY OWNER, BASIS OF DESIGN- HADRIAN, GLADIATOR, OR AN APPROVED EQUAL.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 4" LOCKER SUPPORT RISER, EITHER CONCRETE OR WOOD CONSTRUCTION.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
- 6 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY, COLOR BY OWNER.
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WALL COVER- WHITE.
- 10 DEPICTS POP COOLER- N.I.C.
- 11 DEPICTS ICE MACHINE- N.I.C.
- 12 DEPICTS SODA DISPENSER- N.I.C.
- 13 COUNTER TOPS WITH PLASTIC LAMINATE FINISH.
- 14 BASE CABINETS.
- 15 THREE COMPARTMENT STAINLESS STEEL SINK.
- 16 MOP SINK.
- 17 BUILDING STRUCTURE- ROOF LINE.
- 18 COUNTER TOP SUPPORT BRACKET- SPACED 2'-0" o.c..
- 19 CEILING MOUNTED OR HUNG LIGHT FIXTURES.
- 20 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

| Revision Schedule | | |
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| No. | Date | Description |

PROJECT TITLE:
23 CLUB BASEBALL IMPROVEMENTS

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SHEET TITLE:
INTERIOR ELEVATIONS

COMPLETION: Project Status
DATE ISSUED: Issue Date

| | |
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| PROJECT: | Project Number |
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| DESIGN | DRAWN | CHECK |
| Designer | Author | Checker |

SHEET NUMBER

A-8.01

