

**CITY OF SCOTTSBLUFF**  
**Scottsbluff City Hall Council Chambers**  
**2525 Circle Drive, Scottsbluff, NE 69361**  
**CITY COUNCIL AGENDA**

**Regular Meeting**  
**January 7, 2019**  
**6:00 PM**

1. Roll Call
2. Pledge of Allegiance.
3. **For public information, a copy of the Nebraska Open Meetings Act is available for review.**
4. Notice of changes in the agenda by the city clerk (Additions may not be made to this agenda less than 24 hours before the beginning of the meeting unless added under Item 5 of this agenda.)
5. Citizens with business not scheduled on the agenda (As required by state law, no matter may be considered under this item unless council determines that the matter requires emergency action.)
6. Closed Session
  - a) Council reserves the right to enter into closed session if deemed necessary if the item is on the agenda as per Section 84-1410 of the Nebraska Revised Statutes.
7. Consent Calendar: (Items in the consent calendar are proposed for adoption by one action for all items unless any member of the council requests that an item be considered separately.)
  - a) Approve the minutes of the December 17, 2018 Regular Meeting.
8. Claims
  - a) Regular claims
9. Financial Report
  - a) Council to receive the November 2018 Financial Report.
10. Petitions, Communications, Public Input:
  - a) Council to consider approval of the change of location regarding the existing liquor license for Peggy S McVay/A Lil Bit of Everything from 1610 Broadway to 2302 Frontage Road #44.
11. Resolution & Ordinances:
  - a) Council to consider an Ordinance regarding a Zone Change for parcel Lot 1, Block 1, Northern Heights by Foos from an R-1A Single Family to Office & Professional (O&P). (third reading)
12. Reports from Staff, Boards & Commissions:
  - a) Council to consider approval of Water Tower Lease Agreements with Inventive

Wireless of Nebraska, LLC d/b/a Vistabeam to put wireless internet transmission equipment on three water towers.

- b) Council to receive an update on bid proposals for the sanitation department.
  - c) Council discussion and instruction to staff regarding the Scottsbluff City Youth Council.
  - d) Council to discuss and consider action on implementing a restaurant occupation tax.
  - e) Council to discuss and consider action on implementing a cell phone occupation tax.
  - f) Council to receive a report on The 23 Club revitalization efforts and consider action on a letter of intent to apply for grant funding.
  - g) Council to receive an update on Economic Development Activities.
  - h) Council to consider approval of a License Agreement with BDS3C, LLC dba Flyover Brewery at 1824 Broadway and authorize the Mayor to execute the agreement.
  - i) Council to consider amended Fire Contract ARTICLE XXI - HEALTH & DENTAL INSURANCE.
13. Public Comments: The purpose of this agenda item is to allow for public comment of items for potential discussion at a future Council Meeting. Comments brought to the Council are for information only. The Council will not take any action on the item except for referring it to staff to address or placement on a future Council Agenda. This comment period will be limited to three (3) minutes per person
14. Council reports (informational only):
15. Adjournment.



# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

**Item Closed1**

**Council reserves the right to enter into closed session if deemed necessary if the item is on the agenda as per Section 84-1410 of the Nebraska Revised Statutes.**

**Staff Contact: City Council**

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Consent1**

**Approve the minutes of the December 17, 2018 Regular Meeting.**

**Staff Contact: City Council**

The Scottsbluff City Council met in a regular meeting on December 17, 2018 at 6:00 p.m. in the Council Chambers of City Hall, 2525 Circle Drive, Scottsbluff. A notice of the meeting had been published on December 14, 2018, in the Star Herald, a newspaper published and of general circulation in the City. The notice stated the date, hour and place of the meeting, that the meeting would be open to the public, that anyone with a disability desiring reasonable accommodations to attend the Council meeting should contact the City Clerk's Office, and that an agenda of the meeting kept continuously current was available for public inspection at the office of the City Clerk in City Hall; provided, the City Council could modify the agenda at the meeting if it determined that an emergency so required. A similar notice, together with a copy of the agenda, also had been emailed to each council member, made available to radio stations KNEB, KMOR, KOAQ, and television stations KSTF and NBC Nebraska, and the Star Herald. The notice was also available on the city's website on December 14, 2018.

Mayor Gonzales presided and City Clerk Wright recorded the proceedings. The Pledge of Allegiance was recited. Mayor Gonzales welcomed everyone in attendance and encouraged all citizens to participate in the Council meeting asking those wishing to speak to come to the microphone and state their name and who they are representing for the record. Mayor Gonzales informed those in attendance that a copy of the Nebraska open meetings act is posted in the back of the room on the west wall for the public's review. The following Council Members were present: Raymond Gonzales, Scott Shaver, Jeanne McKerrigan, Nathan Green, and Terry Schaub. Also present were City Manager Johnson and Deputy City Attorney John L. Selzer.

Mayor Gonzales asked if there were any changes to the agenda. Council Member Shaver asked that agenda item 7b be moved off of consent agenda. Council Member Shaver made the motion, seconded by Council Member Green "to move item 7b releasing the lien for special assessments set forth from Ordinance No. 3881, dated November 21, 2005 for improvements made by the City in Paving District No. 306 from the consent agenda," "YEAS," McKerrigan, Shaver, Green, and Gonzales. "NAYS," Schaub. Absent: None. The item was moved to 8b on the agenda.

Mayor Gonzales asked if any citizens with business not scheduled on the agenda wished to include an item providing the City Council determines the item requires emergency action. There were none.

Moved by Council Member McKerrigan, seconded by Mayor Gonzales that,

- a) "The minutes of the December 3, 2018 Regular Meeting be approved,"
- c) "The December 31, 2018 Regular Council Meeting be cancelled, as two regular meetings will have already been held in the month of December." "YEAS," Green, Schaub, Gonzales, and McKerrigan" "NAYS," Shaver. Absent: None.

Moved by Council Member Shaver, seconded by Mayor Gonzales, "that the following claims be approved and paid as provided by law out of the respective funds designated in the list of claims dated December 17, 2018, as on file with the City Clerk and submitted to the City Council," "YEAS," Shaver, Gonzales, Schaub, McKerrigan, and Green. "NAYS," None. Absent: None.

#### CLAIMS

ACTION COMMUNICATIONS INC.,EQUIP MAINT-PD,640.48; ADVANCED CUTTING SYSTEMS, INC,SIGNING MATERIAL - CLEAR TRANSFER TAPE,415.25; ALLO COMMUNICATIONS,LLC,LOCAL TELEPHONE CHARGES,4675.3; ANITA'S GREENSCAPING INC,CONT. SRVCS.,242; ASSURITY LIFE INSURANCE CO,LIFE INSURANCE,32.95; AUTOZONE STORES, INC,SUPP - CAR WAX & INTERIOR

DETAILER,27.96; B & H INVESTMENTS, INC,SUPP - WATER,268.5; BIRUTA D. WALTON,EQUIP MAINT,132.79; BLUFFS SANITARY SUPPLY INC.,DEPT SUP,949.7; BROWN CO,EQUIP MAINT,387.94; CAPITAL BUSINESS SYSTEMS INC.,CONT. SRVCS.,305.82; CARR- TRUMBULL LUMBER CO, INC.,DEPT SUP,208.8; CELLCO PARTNERSHIP,CELL PHONES,182.98; CITIBANK, N.A.,DEPT SUP,84.58; CITY OF GERING,DISPOSAL FEES,42133.65; CLARK PRINTING LLC,SUPP - DAILY TIME SHEETS,342.6; COATS CALEB, CONTRACTUAL,15; COMPUTER CONNECTION INC,CONTRACTUAL-PD,44; CONTRACTORS MATERIALS INC.,GLOVES & GLOVE LINERS,419.39; COPIER CONNECTION,CONTRACTUAL SVC,374.5; CORE & MAIN LP,DEPT SUP,3364.65; CREDIT BUREAU OF COUNCIL BLUFFS,FEE - NOVEMBER 2018,50; CRESCENT ELECT. SUPPLY COMP INC,DEPT SUPP,19.86; CROELL INC,GROUND MAINT,900; CYNTHIA GREEN,DEPT SUPP,34.99; DUANE E. WOHLERS,DISPOSAL FEES,1600; ELLIOTT EQUIPMENT COMPANY INC.,EQUIP MTNC,4740.48; ENVIRONMENTAL ANALYSIS SOUTH, INC,CONTRACTUAL SVC,454.5; ENVIRONMENTAL SYSTEMS RESEARCH INSTITUTE INC,GID & DS EQPMNT MNTNC,10600; FARMERS IRRIGATION DISTRICT,2019 O & M ASSESSMENT - SOCCER FIELD,2106; FASTENAL COMPANY,EQUIP MAINT,30.43; FEDERAL EXPRESS CORPORATION,POSTAGE,161.35; FERNANDEZ ROBERTO,CONTRACTUAL,60; FLOYD'S TRUCK CENTER, INC,EQUIP MTNC,15.24; FREMONT MOTOR SCOTTSBLUFF, LLC,EQUIP MTNC,381.97; GALLS INC,UNIFORMS-PD,158.8; GENERAL ELECTRIC CAPITALCORPORATION,SUPPLIES,25.04;GRAYTELEVISION GROUP INC,CONTRACTUAL SVC,1390; HD SUPPLY FACILITIES MAINTENANCE LTD,DEPT SUP,742.63; HEARTLAND EXPRESSWAY ASSOCIATION,2019 MEMBERSHIP - HEARTLAND EXPRESSWAY ASSN.,5377.32; HOBBS, CHAD,TUITION REIMBURSEMENT,600; HULLINGER GLASS & LOCKS INC.,BLDG MAINT,73.25; HYDROTEX PARTNERS, LTD,OIL & ANTIFREEZE,3489.58; IDEAL LAUNDRY AND CLEANERS, INC.,UNIFORMS-PD,834.88; INDEPENDENT PLUMBING AND HEATING, INC,GROUND MAINT,907.83; INGRAM LIBRARYSERVICESINC,BKS.,922.76;INTERNALREVENUESERVICE,WITHHOLDINGS,5862 3.42; INTERNATIONAL PUBLIC MANAGEMENT ASSOCIATION-HR,TESTING MATERIALS - POLICE,201; INTRALINKS, INC,CONTRACT SERVICES - NOVEMBER 2019,2322.47; INVENTIVE WIRELESS OF NE, LLC,CONTRACTUAL,17.95; J G ELLIOTT CO.INC.,BOND RENEWAL - C.BURBACH,875; KANZLER MIKE,UNIFORMS & CLOTHING,150; KNOW HOW LLC,SUPP - POWER LUBER & WHEEL CHARGER,1881.08; KOLB T NATHAN,CONTRACTUAL,75; LAWSON PRODUCTS, INC,DEPT SUPPLIES,100.47;LEXISNEXIS RISK DATA MANAGEMENT,CONSULTING-PD,100; LITZELMAN KALE,CONTRACTUAL,15; LOFINK BRADEN,CONTRACTUAL,75; M.C. SCHAFF & ASSOCIATES, INC,DEPT CNTRCL SRVCS,1270; MADISON NATIONAL LIFE,LIFE INSURANCE,1839.79; MALTOS-GARCIA ARNOLDO,CONTRACTUAL,75; MATHESON TRI-GAS INC,DEPT SUPP,332.86; MENARDS, INC,DEPT SUPP PK,1181.73; MICHAELBKEMBEL,REPAIRDOOROPERATORFORTOWERBAY,98.35;MIDLANDFUNDIN GLLC,WAGEATTACHMENT,363.44;MIDLANDSNEWSPAPERS,INC,LEGALPUBLISHING,66 6.57; MONUMENT PREVENTION COALITION, CONTRACTUAL- PD, 1879.88; MULLEN MITCH,CONTRACTUAL,60; MUNIMETRIX SYSTEMS CORP,IMAGESILO - NOVEMBER 2018,39.99; NE CHILD SUPPORT PAYMENT CENTER,NE CHILD SUPPORT PYBLE,1350.55; NEBRASKA MACHINERY CO,EQUIP MTNC,302.79; NEBRASKA PUBLIC POWER DISTRICT,ELECTRIC,38653.9; NEBRASKA RURAL RADIO ASSOCIATION,CONTRACTUAL SVC,225; NEBRASKA SALT AND GRAIN CO,2 LOADS ICE SLICER,7718.82;

NEBRASKALAND TIRE, INC,EQUIP MTNC,140.62; NEOPOST,POSTAGE,1000; NETWORKFLEET, INC,GPS FOR VEHICLES,180.1; NEWMAN, TIMOTHY,EXPENSES - NACO CONF. DEC 12-14, 2018,105; NORTHWEST PIPE FITTINGS, INC. OF SCOTTSBLUFF,GROUND MAINT,669.39; OCLC ONLINE COMPUTER LIBRARY CENTER, INC,CONT. SRVCS.,364.49; OLSON JOSEPH,CONTRACTUAL,45;ONE CALL CONCEPTS, INC,CONTRACTUAL,77.19; PANHANDLE CLERK'S ASSOC,DUES 2018 & 2019,80; PANHANDLE COLLECTIONS INC,WAGE ATTACHMENT,194.92; PANHANDLE COOPERATIVE ASSOCIATION,OTHER FUEL,28044.63; PANHANDLE ENVIRONMENTAL SERVICES INC,SAMPLES,140; PELCO CORP,DEPT SUPP,420; PH&S PRODUCTS LLC,INVEST SUPPL-PD,98; PLATTE VALLEY BANK,HEALTH SAVINGS ACCOUNT,14805.6; PLATTE VALLEY BANK,ECON. DEV. ASSISTANCE AGREEMENT,117723.71; POSTMASTER,P,630.21; PRO OVERHEAD DOOR,BLDG MAINT,967; QUILL CORPORATION,DEPT SUPPL-PD,213.66; RAILROAD MANAGEMENT CO III, LLC,RENT - LAND,868.79; REG OKLAHOMA ACQUISITIONS,DEP. SUP.,38.07; REGANIS AUTO CENTER, INC,EQUIP MTNC,2591.97; REGIONAL CARE INC,CLAIMS,540275.41; REGISTER OF DEEDS,LEGAL,30; ROD CLAUSE,ECONOMIC DEV,1693.6; S M E C,EMPLOYEE DEDUCTION,160; SCB FIREFIGHTERS UNION LOCAL 1454,FIRE EE DUES,225; SCHROEDER MICHAEL,CONTRACTUAL,75; SCOTTIES POTTIES INC,CONTRACTUAL,675; SCOTTS BLUFF COUNTY COURT,LEGAL FEES-PD,187; SCOTTSBLUFF MOTOR CO, INC,VEH MAINT-PD,69.25; SCOTTSBLUFF POLICE OFFICERS ASSOCIATION,POLICE EE DUES,576; SCOTTSBLUFF SCREENPRINTING & EMBROIDERY, LLC,NAME PLATES & PLAQUE - COUNCIL,64; SCOTTSBLUFF WINSUPPLYCOMPANY,GROUNDMAINT,1001.09;SIMMONSJACOB,CONTRACTUAL,45;SI MONCONTRACTORS,DE-CER,68.45;SIRSI CORPORATION,EQUIPMAIN.,12511.67; SONNY'S TOWING,TOW SERVICE-PD,763; SUPERIOR SIGNALS, INC,EQUIP MTNC,404.55; THE CHICAGO LUMBER COMPANY OF OMAHA INC,DEPT SUPPLIES,32.67; THOMPSON GLASS, INC,VEH MAINT,209.12; TWIN CITY AUTO, INC,CUTTING EDGES FOR SNOW PLOWS,1065.99; UNION BANK & TRUST,RETIREMENT,36760.11; UNIQUE MANAGEMENT SERVICES, INC,CONT. SRVCS.,187.95; UNITED STATES WELDING,WELD. SUPP - OXYGEN, ACET,360.2; WEITZEL JOHN,SCHOOLS & CONF-PD,600; WESTERN COOPERATIVE COMPANY,EQUIP MAINT,196.2; WESTERN PATHOLOGY CONSULTANTS, INC,RANDOM DOT & PRE-EMPL.SCREENINGS NOVEMBER 2018,97.5; WESTERN PLAINS BUSINESS FORMS INC,DEPT SUPPLIES,705; WESTERN TRAVEL TERMINAL, LLC,VEH MAINT-PD,290; WHITING SIGNS,DEPT SUPPLIES,900; WOODS & AITKEN LLP,CIR CASE 1464-IBEW 1597,10821.49; WYOMING CHILD SUPPORT ENFORCEMENT,CHILD SUPPORT,738.08; WYOMING WATER DEVELOPMENT OFF,PAWS FEASIBILITY STUDY,2337; YOUNG MEN'S CHRISTIAN ASSOCIATION OF SCOTTSBLUFF, NE,YMCA,1699; ZM LUMBER INC,BLDG MAINT,34.45; REFUNDS: JUSTIN R SHADDICK, 56.24; JUDY K PEDERSEN, 39.80; FERGUSON REAL ESTATE, 2.55; JENNIE BREHM, 11.31

At the request of Council Member Shaver, moving consent item 7b, due to questioning what it entails, City Manager Johnson explained the City has received the entire payment for the paving district created in 2005 and since the City has been paid for the improvements is requesting the release of lien. Council Member Green made the motion, seconded by Council Member Shaver, "to approve the release of lien for special assessments set forth from Ordinance No. 3881, dated

November 21, 2005 for improvements made by the City in Paving District No. 306,” “YEAS,” Schaub, McKerrigan, Gonzales, Green, and Shaver. “NAYS,” None. Absent: None.

Regarding the October financial report, Mr. Johnson reported this is the first month of the fiscal year; highlighting payments paid, including - LARM insurance premium; annual payment to Scotts Bluff County Communication Center; Keno items of Balloon Fest and playground equipment; and 42<sup>nd</sup> Street related items. He also mentioned sales tax numbers for the reporting month of December compared to this time last year are down \$373.00 or -.08%; YTD down \$25,209.00.

Mayor Gonzales opened the public hearing at 6:06 p.m. to consider a Redevelopment Plan by PIVO, Inc. for the HPB Expansion Project. Deputy City Attorney Selzer presented and explained to Council the plan is to expand the current High Plains Budweiser building which is located at 2810 Ave M. Tax Increment Financing is to be used for demolition, site preparation, and civil engineering; also to move a current storm drain, which is under the property, to a different location. The area of town is zoned C-3 heavy commercial and falls into the conformity of the comprehensive plan. This project will increase the valuation of the property 850,000.00 with the tax increment being around \$18,400.00 per year. The Cost Benefit Analysis supports this project as the business currently employs twenty people, with that increasing as the project moves forward and there are no negative impacts on other employers in the area or Scottsbluff Public Schools.

Mr. Jeff Scheinost, President of High Plains Budweiser, approached Council and explained the storm drain did not show up on any deeds or easements and was located by accident when looking in a manhole. They would like to move forward with the project and because of the storm drain replacement and expansion of the facility, need tax increment financing to do so. He stated with the expansion, they plan on implementing three truck docks for adding a non-alcoholic product to their inventory.

There were no more comments from the public. Mayor Gonzales closed the public hearing at 6:17 p.m.

Mayor Gonzales opened the public hearing at 6:18 p.m. to consider a Redevelopment Plan by Auto Spa, LLC, for the Auto Spa Project. Deputy City Attorney Selzer presented and explained to Council the proposal is to build a car wash, which is landlocked by City property, on the SW corner of Ave I and 27<sup>th</sup> Street. Tax Increment Financing is to be used for sewer and water infrastructure and access to the lot from 27<sup>th</sup> Street. The area is zoned as M-1 light manufacturing industrial, allowing for a coin automated car wash and falling into the conformity of the comprehensive plan. The Cost Benefit Analysis supports this project as it is estimated to increase the tax value of the lot by \$240,000.00, which will result in tax revenues of about \$5,160.00 annually. There are no negative impacts to other employers or to the school district.

Mr. Casey York, owner of Auto Spa, explained to Council that it is not financially feasible to do this project without Tax Increment Financing and acknowledges the site faces issues regarding access to the property and sewer. Council Member Shaver questioned why Mr. York doesn't buy the City property so he could have more space and then it could also be taxable. Mr. Mark Bohl, Public Works Director, commented if that would be a possibility, the City would like to keep at least 30 feet because there is a controller at the base of the property and the City would possibly like to implement a turn lane off 27<sup>th</sup> Street and Ave I for trucks at some point. Legal Counsel Selzer reiterated that Council needs to address the tax increment financing portion only at this time and can revisit the property discussion later. There were no more comments from the public. Mayor Gonzales closed the public hearing at 6:36 p.m.

Ms. Michele Denton, Executive Director of the West Nebraska Arts Center, was present to request three special designated liquor licenses for special arts-related events happening at the Center. Police Chief Kevin Spencer added the police have never been called to an event and because of this has no problem with the request. Council Member Shaver asked if the alcohol would be contained within the Center; Ms. Denton stated it would. Council Member Schaub made the motion, seconded by Council Member Shaver, “to approve the issuance of special arts-related event wine

permits for the West Nebraska Arts Center, 106 East 18<sup>th</sup> Street and special designated liquor licenses for three events on January 19, 2019; January 31, 2019; and May 30, 2019,” “YEAS,” Gonzales, Green, McKerrigan, Shaver, and Schaub. “NAYS,” None. Absent: None.

Council Member Shaver made the motion, seconded by Council Member Schaub “ to approve Resolution No. 18-12-02 regarding the Redevelopment Plan by PIVO, Inc., for the HPB Expansion Project,” “YEAS,” McKerrigan, Shaver, Green, Schaub, and Gonzales. “NAYS,” None. Absent: None.

**RESOLUTION NO. 18-12-02**

**BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA:**

Recitals:

a. Pursuant to the Community Development Law, NEB. REV. STAT. § 18-2101 *et seq.* (the "Act"), a redevelopment plan for the *HPB Expansion*, submitted by Pivo, Inc. (the "Redevelopment Plan") has been submitted to the Scottsbluff Community Redevelopment Authority ("CRA"). The Redevelopment Plan proposes to redevelop an area of the City which the City Council has declared to be blighted and substandard and in need of redevelopment. The Redevelopment Plan includes the use of tax increment financing.

b. The Redevelopment Plan has been reviewed by the Planning Commission, which found that the Redevelopment Plan conforms to the 2016 Scottsbluff Comprehensive Plan (the "Comprehensive Plan"). The Planning Commission recommended approval of the Redevelopment Plan to the CRA and City Council.

c. The Redevelopment Plan has been reviewed by the CRA, which found that the Redevelopment Plan conforms to the Comprehensive Plan, that the project as proposed in the Redevelopment Plan would not be economically feasible or occur in the project area without tax increment financing, and that the costs and benefits of the project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services, having been analyzed by the CRA, are in the long term best interests of the community.

d. The CRA recommended approval of the Redevelopment Plan to the City Council.

e. On December 17, 2018, the City Council held a public hearing on the proposal to approve the Redevelopment Plan.

f. The City Council has reviewed and conducted a cost-benefit analysis of the Redevelopment Plan and makes the findings and recommendations as documented in writing in this Resolution.

**Resolved:**

1. The Redevelopment Plan is determined to be feasible and in conformity with the Comprehensive Plan and with the legislative declarations and determinations set forth in the Act.

2. The project as proposed in the Redevelopment Plan would not be economically feasible or occur in the project area without tax increment financing and the costs and benefits of the project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services, having been analyzed by the City Council, are in the long-term best interests of the community.

3. The City Council approves the Redevelopment Plan.

4. In accordance with NEB. REV. STAT. § 18-2147, and as proposed in the Redevelopment Plan, the City Council provides that any ad valorem tax on the Project Site as set forth in the Redevelopment Plan, for the benefit of any public body be divided for a period of 15 years after the effective date as provided in § 18-2147, which effective date shall be determined in a Redevelopment Contract entered into between the Redeveloper and the CRA. Said tax shall be divided as follows:

(a) That proportion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation (as defined in the Act) shall be paid into the funds of each such public body in the same proportion as all other taxes collected by or for the bodies;

(b) That proportion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the CRA to be used solely to pay the principal of, the interest on, and any premiums due in connection with the bonds of, loans, notes or advances of money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, the CRA for financing or refinancing, in whole or in part, the project set forth in the Redevelopment Plan. When such bonds, loans, notes, advances of money, or indebtedness, including interest and premiums due have been paid, the CRA shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon taxable real property in the redevelopment project shall be paid into the funds of the respective public bodies; and

(c) Any interest and penalties due for delinquent taxes shall be paid in the funds of each public body in the same proportion as are all other taxes collected by or for the public body.

5. The Mayor and Clerk are authorized and directed to execute such documents and take such further actions as are necessary to carry out the purposes and intent of this Resolution and the Redevelopment Plan.

6. This Resolution shall become effective immediately upon its adoption.

**PASSED and APPROVED** on December 17, 2018

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk (Seal)

Council Member Shaver, seconded by Council Member McKerrigan made the motion “to approve Resolution No. 18-12-03 regarding the Redevelopment Plan by Auto Spa, LLC, for the Auto Spa Project,” “YEAS,” Green, Schaub, Shaver, Gonzales, and McKerrigan. “NAYS,” None. Absent: None.



**RESOLUTION NO. 18-12-03**

**BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA:**

Recitals:

a. Pursuant to the Community Development Law, NEB. REV. STAT. § 18-2101 *et seq.* (the "Act"), a redevelopment plan for the *Auto Spa Development*, submitted by *Auto Spa, LLC* (the "Redevelopment Plan") has been submitted to the Scottsbluff Community Redevelopment Authority ("CRA"). The Redevelopment Plan proposes to redevelop an area of the City which the City Council has declared to be blighted and substandard and in need of redevelopment. The Redevelopment Plan includes the use of tax increment financing.

b. The Redevelopment Plan has been reviewed by the Planning Commission, which found that the Redevelopment Plan conforms to the 2016 Scottsbluff Comprehensive Plan (the "Comprehensive Plan"). The Planning Commission recommended approval of the Redevelopment Plan to the CRA and City Council.

c. The Redevelopment Plan has been reviewed by the CRA, which found that the Redevelopment Plan conforms to the Comprehensive Plan, that the project as proposed in the Redevelopment Plan would not be economically feasible or occur in the project area without tax increment financing, and that the costs and benefits of the project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services, having been analyzed by the CRA, are in the long term best interests of the community.

d. The CRA recommended approval of the Redevelopment Plan to the City Council.

e. On December 17, 2018, the City Council held a public hearing on the proposal to approve the Redevelopment Plan.

f. The City Council has reviewed and conducted a cost-benefit analysis of the Redevelopment Plan and makes the findings and recommendations as documented in writing in this Resolution.

Resolved:

1. The Redevelopment Plan is determined to be feasible and in conformity with the Comprehensive Plan and with the legislative declarations and determinations set forth in the Act.

2. The project as proposed in the Redevelopment Plan would not be economically feasible or occur in the project area without tax increment financing and the costs and benefits of the project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services, having been analyzed by the City Council, are in the long-term best interests of the community.

3. The City Council approves the Redevelopment Plan.

4. In accordance with NEB. REV. STAT. § 18-2147, and as proposed in the Redevelopment Plan, the City Council provides that any ad valorem tax on the Project Site as set forth in the Redevelopment Plan, for the benefit of any public body be divided for a period of 15 years after the effective date as provided in § 18-2147, which effective date shall be determined in a Redevelopment Contract entered into between the Redeveloper and the CRA. Said tax shall be divided as follows:

(a) That proportion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation (as defined in the Act) shall be paid into the funds of each such public body in the same proportion as all other taxes collected by or for the bodies;

(b) That proportion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the CRA to be used solely to pay the principal of, the interest on, and any premiums due in connection with the bonds of, loans, notes or advances of money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, the CRA for financing or refinancing, in whole or in part, the project set forth in the Redevelopment Plan. When such bonds, loans, notes, advances of money, or indebtedness, including interest and premiums due have been paid, the CRA shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon taxable real property in the redevelopment project shall be paid into the funds of the respective public bodies; and

(c) Any interest and penalties due for delinquent taxes shall be paid in the funds of each public body in the same proportion as are all other taxes collected by or for the public body.

5. The Mayor and Clerk are authorized and directed to execute such documents and take such further actions as are necessary to carry out the purposes and intent of this Resolution and the Redevelopment Plan.

6. This Resolution shall become effective immediately upon its adoption.

**PASSED and APPROVED** on December 17, 2018

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk (Seal)

Council introduced the Ordinance No. 4240 requesting annexation from property owners Western Sugar Company and Eric and Brandy Reichert and was read by title on third reading: **AN ORDINANCE**

**OF THE CITY OF SCOTTSBLUFF, NEBRASKA, ANNEXING TRACTS OF LAND KNOWN AS LOT 1, BLOCK 1, WESTERN ADDITION AND TRACTS OF LAND SITUATED IN THE W1/2 SW1/4 OF SECTION 19, TOWNSHIP 22 NORTH, RANGE 54 WEST OF THE 6<sup>TH</sup> P.M., ALL IN SCOTTS BLUFF COUNTY, NEBRASKA, AND PROVIDING FOR PUBLICATION IN PAMPHLET FORM.** There were no comments from the public regarding this Ordinance. Council Member Shaver made the motion, seconded by Council Member Green “to adopt Ordinance No. 4240 requesting the annexation from property owners Western Sugar Company and Eric and Brandy Reichert,” “YEAS,” Shaver, Gonzales, Schaub, McKerrigan, and Green. “NAYS,” None. Absent: None.

Council introduced Ordinance No. 4241 including definitions for Micro Distilleries and Distilleries and including such as a special permitted and permitted use in certain zoning districts within the City and was read by title on second reading: **AN ORDINANCE FOR THE CITY OF SCOTTSBLUFF, NEBRASKA, AMENDING ARTICLE 2, CHAPTER 25 OF THE MUNICIPAL CODE TO INCLUDE DEFINITIONS FOR A MICRO DISTILLERY AND DISTILLERY, CORRECTING A TYPOGRAPHIC ERROR IN SECTION 25-2-13.2, AND AMENDING ARTICLE 3 OF CHAPTER 25 BY INCLUDING SUCH A MICRO DISTILLERY AND DISTILLERY AS A SPECIAL PERMITTED AND A PERMITTED USE IN CERTAIN ZONING DISTRICTS WITHIN THE CITY, REPEALING ALL PRIOR ORDINANCES, PROVIDING FOR AN EFFECTIVE DATE AND PROVIDING FOR PUBLICATION IN PAMPHLET FORM.**

Moved by Council Member Schaub, seconded by Council Member McKerrigan, “that the statutory rule requiring the Ordinance be read by title on three different days be suspended,” “YEAS,” Schaub, McKerrigan, Gonzales, Green, and Shaver . NAYS,” None. Absent: None.

The motion carried having been approved by three-fourths of the Council Members. Moved by Council Member Schaub, seconded by Council Member Shaver, “that Ordinance No. 4241 be adopted,” “YEAS,” Gonzales, Green, McKerrigan, Shaver, and Schaub . “NAYS,” None. Absent: None.

Council introduced the Ordinance regarding a Zone Change for parcel Lot 1, Block 1, Northern Heights by Foos from an R-1A Single Family to Office & Professional (O&P) and was read by title on second reading: **AN ORDINANCE DEALING WITH ZONING, AMENDING SECTION 25-1-4 BY UPDATING THE OFFICIAL ZONING DISTRICT MAP TO SHOW THAT LOT 1, BLOCK 1, NORTHERN HEIGHTS BY FOOS, SCOTTS BLUFF COUNTY, NEBRASKA, CURRENTLY ZONED AS R-1A SINGLE FAMILY, WILL NOW BE INCLUDED IN O & P OFFICE AND PROFESSIONAL, AND REPEALING PRIOR SECTION 25-1-4.**

Mr. Leon Ross, resident, approached Council regarding traffic control in this area. He thinks the bank, when built, will be good for the community as far as employment and taxes, however he is concerned about traffic and how to exit the property due to an island on Avenue B. He feels the City should put a stop light at Avenue B and 35<sup>th</sup> Street to help with the influx of traffic due to the bank being built; asking that parking not be taken away from 35<sup>th</sup> Street.

Mr. Mike Bostock, resident, asked to have studies done and to have the State involved before this could potentially turn into a disaster due to the amount of traffic in the area.

Mr. Jack Baker of Baker and Associates expressed that the site plan design for the bank has not started yet and agrees that all the questions are valid. He stressed that Council is just working on the rezone at this point.

Council Member Schaub made a motion “that the statutory rule requiring the Ordinance be read by title on three different days be suspended,” The motion died for lack of a second.

Mr. Johnson explained that due to leadership positions being changed at the last Council meeting the bank needs an updated Resolution to add Raymond Gonzales and Jeanne McKerrigan to the bank signature card authorization. Council Member Schaub made the motion, seconded by Council Member

Green “to approve Resolution No. 18-12-04 updating the bank signature authorization,” “YEAS,” Green, Schaub, Shaver, Gonzales, and McKerrigan. “NAYS,” None. Absent: None.

**RESOLUTION NO. 18-12-04**

**BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA:**

1. US Bank NA, First National Bank, First State Bank, Platte Valley Bank, Western States Bank and Pinnacle Bank, all with local branches in Scotts Bluff County, Nebraska and the Nebraska Public Agency Investment Trust (NPAIT) as well as Moreton Capital Markets, LLC are designated as depositories and/or financial investment institutions for funds of the City.

a. Depository funds of the City deposited in each bank shall be subject to withdrawal upon checks, notes, drafts, or other orders for the payment of money when signed on the City’s behalf by any two of the following City officials:

Raymond Gonzales OR  
Jeanne McKerrigan AND

Kimberley Wright OR Christine Burbach

b. All investment funds of the City held as Government Money Market Funds, Certificates of Deposit, Treasury Notes, and other authorized securities purchased by the City shall be signed by the Finance Director for the City, Elizabeth Hilyard and one of the following City officials per the City’s Investment Policy:

Nathan Johnson OR Kimberley Wright

2. Provided, the Finance Director for the City, Elizabeth Hilyard, is authorized to make ACH drafts and withdrawals for payroll, electronic claims, utility payment drafts and debt payments on behalf of the City from any of the financial institutions named in paragraph 1. of this Resolution.

3. The banks are authorized to pay all orders and receive them for the credit of or in payment from the payee or any other holder without inquiring into the circumstances of the issue or the disposition of the proceeds.

4. US Bank is authorized to issue Visa credit cards to City personnel. The personnel to receive the cards and the credit limit on said cards shall be as approved by the City Manager or his/her designee.

5. This Resolution will revoke Resolution 18-5-01 and all prior banking resolutions and shall be delivered to all banks named in this Resolution. This Resolution will remain in effect until notice of revocation is delivered to any of these banks.

Passed, approved and effective this 17<sup>th</sup> day of December, 2018.

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Mayor

ATTEST:

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City Clerk

Mr. Johnson directed Council to the maintenance agreement regarding Highway 26 and the State of Nebraska Department of Transportation. The amount of the agreement is \$32,970.00, an increase from last year which was around \$26,000.00. Council Member Shaver put into motion, seconded by Council Member Schaub "to approve the Maintenance Agreement No. 22 renewal between the City of Scottsbluff and the Nebraska Department of Transportation," "YEAS," Shaver, Gonzales, Schaub, McKerrigan, and Green. "NAYS," None. Absent: None.

Regarding the Right of Way and License Agreement with Auto Spa, LLC, Mr. Johnson stated this gives Auto Spa the ability to bore under Avenue I to further the project. Council Member Shaver questioned if the City would have any expense; Mr. Johnson stated no. Council Member Shaver, seconded by Council Member Schaub made the motion "to approve a Right of Way and License Agreement with Auto Spa, LLC for the placement and maintenance of a sewer service line, clean outs and water service line and authorize the Mayor to execute the Agreement," "YEAS," Schaub, McKerrigan, Gonzales, Green, and Shaver. "NAYS," None. Absent: None.

Mr. Johnson explained the reason of conducting a goal setting/strategy session is to devise and formulate policy decisions to compile the upcoming budget, by aligning Council and staff goals. After discussion it was decided to set the goal setting/strategy session for January 7, 2019 at 4:30 p.m. before the regular Council meeting.

City Manager Johnson presented the lease for a new car for use by the WING investigator, to replace the existing lease. This lease is paid with funds from the HIDTA grant; the City pays for gasoline

and insurance. Moved by Council Member Shaver, seconded by Mayor Gonzales, “to approve a three-year lease agreement for the HIDTA investigator vehicle in the amount of \$340.00 per month and authorize the City Manager to execute the agreement,” “YEAS,” Gonzales, Green, McKerrigan, Shaver, and Schaub. “NAYS,” None. Absent: None.

Under Council Reports, Council Member Shaver requested information for the trash bids. Council Member Green stated the Zoo meeting was also tonight and he was unable to attend. Council Member McKerrigan attended the Senior Center and Tri City Active Meetings and Council Member Schaub attended the East Overland Steering Committee meeting. Mayor Gonzales asked about the Scottsbluff Youth Council and if there is any progress. City Manager Johnson stated not at this time, but it will be on the next agenda.

Council Member Schaub made the motion, seconded by Council Member McKerrigan “to adjourn the meeting at 7:16 p.m.,” “YEAS,” McKerrigan, Green, Schaub, and Gonzales. “NAYS,” Shaver. Absent: None.

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Mayor

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City Clerk

“SEAL”

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Claims1**

### **Regular claims**

**Staff Contact: Liz Hilyard, Finance Director**



City of Scottsbluff, NE

# Expense Approval Report

By Vendor Name

Post Dates 12/18/2018 - 01/07/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 00393 - ACTION COMMUNICATIONS INC.</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				55.00
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>55.00</b>
<b>Fund: 631 - WASTEWATER</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				55.00
				<b>Fund 631 - WASTEWATER Total:</b>	<b>55.00</b>
<b>Fund: 641 - WATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				126.26
				<b>Fund 641 - WATER Total:</b>	<b>126.26</b>
				<b>Vendor 00393 - ACTION COMMUNICATIONS INC. Total:</b>	<b>236.26</b>
<b>Vendor: 09663 - ALARM SECURITY TECHNICIANS</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL-PD	CONTRACTUAL SERVICES				14.95
				<b>Fund 111 - GENERAL Total:</b>	<b>14.95</b>
<b>Fund: 631 - WASTEWATER</b>					
DEPT SUP	EQUIPMENT				2,475.84
				<b>Fund 631 - WASTEWATER Total:</b>	<b>2,475.84</b>
<b>Fund: 641 - WATER</b>					
DEPT SUP	EQUIPMENT				2,649.15
				<b>Fund 641 - WATER Total:</b>	<b>2,649.15</b>
				<b>Vendor 09663 - ALARM SECURITY TECHNICIANS Total:</b>	<b>5,139.94</b>
<b>Vendor: 05887 - ALLO COMMUNICATIONS,LLC</b>					
<b>Fund: 111 - GENERAL</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				269.26
LOCAL TELEPHONE CHARGES	TELEPHONE				69.90
LOCAL TELEPHONE CHARGES	TELEPHONE				68.40
LOCAL TELEPHONE CHARGES	TELEPHONE				37.36
LOCAL TELEPHONE CHARGES	TELEPHONE				160.00
LOCAL TELEPHONE CHARGES	TELEPHONE				177.77
LOCAL TELEPHONE CHARGES	TELEPHONE				393.56
LOCAL TELEPHONE CHARGES	TELEPHONE				1,593.05
LOCAL TELEPHONE CHARGES	TELEPHONE				521.48
LOCAL TELEPHONE CHARGES	TELEPHONE				198.95
LOCAL TELEPHONE CHARGES	TELEPHONE				51.92
				<b>Fund 111 - GENERAL Total:</b>	<b>3,541.65</b>
<b>Fund: 212 - TRANSPORTATION</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				398.46
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>398.46</b>
<b>Fund: 213 - CEMETERY</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				69.90
				<b>Fund 213 - CEMETERY Total:</b>	<b>69.90</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				163.35
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>163.35</b>
<b>Fund: 631 - WASTEWATER</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				188.25
				<b>Fund 631 - WASTEWATER Total:</b>	<b>188.25</b>



## Expense Approval Report

Post Dates: 12/18/2018 - 01/07/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 641 - WATER</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				153.36
<b>Fund 641 - WATER Total:</b>					<b>153.36</b>
<b>Fund: 661 - STORMWATER</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				33.52
<b>Fund 661 - STORMWATER Total:</b>					<b>33.52</b>
<b>Fund: 721 - GIS SERVICES</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				34.36
<b>Fund 721 - GIS SERVICES Total:</b>					<b>34.36</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
LOCAL TELEPHONE CHARGES	TELEPHONE				92.45
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>92.45</b>
<b>Vendor 05887 - ALLO COMMUNICATIONS,LLC Total:</b>					<b>4,675.30</b>
<b>Vendor: 03711 - AMAZON.COM HEADQUARTERS</b>					
<b>Fund: 111 - GENERAL</b>					
Misc.	DEPARTMENT SUPPLIES				206.09
Misc.	AUDIOVISUAL SUPPLIES				243.72
Misc.	BOOKS				92.66
Misc.	PROGRAMMING				106.73
<b>Fund 111 - GENERAL Total:</b>					<b>649.20</b>
<b>Vendor 03711 - AMAZON.COM HEADQUARTERS Total:</b>					<b>649.20</b>
<b>Vendor: 00011 - AMERICAN LIBRARY ASSOCIATION</b>					
<b>Fund: 111 - GENERAL</b>					
Mmbrshp. rnw.	MEMBERSHIPS				60.00
<b>Fund 111 - GENERAL Total:</b>					<b>60.00</b>
<b>Vendor 00011 - AMERICAN LIBRARY ASSOCIATION Total:</b>					<b>60.00</b>
<b>Vendor: 02118 - ANITA'S GREENSCAPING INC</b>					
<b>Fund: 111 - GENERAL</b>					
Cont. srvc.	CONTRACTUAL SERVICES				242.00
<b>Fund 111 - GENERAL Total:</b>					<b>242.00</b>
<b>Vendor 02118 - ANITA'S GREENSCAPING INC Total:</b>					<b>242.00</b>
<b>Vendor: 04575 - AUTOZONE STORES, INC</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				71.50
EQUIP MTNC	EQUIPMENT MAINTENANCE				83.45
EQUIP MAINT	EQUIPMENT MAINTENANCE				107.24
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>262.19</b>
<b>Vendor 04575 - AUTOZONE STORES, INC Total:</b>					<b>262.19</b>
<b>Vendor: 00295 - B &amp; H INVESTMENTS, INC</b>					
<b>Fund: 111 - GENERAL</b>					
BLDG MAINT-PD	BUILDING MAINTENANCE				6.00
BLDG MAINT-PD	BUILDING MAINTENANCE				6.00
Dep. sup. - LIBRARY	DEPARTMENT SUPPLIES				50.00
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
BLDG MAINT-PD	BUILDING MAINTENANCE				10.75
Dep. sup. - LIBRARY	DEPARTMENT SUPPLIES				40.50
<b>Fund 111 - GENERAL Total:</b>					<b>124.00</b>
<b>Fund: 212 - TRANSPORTATION</b>					
SUPP - WATER	DEPARTMENT SUPPLIES				25.00
SUPP - WATER	DEPARTMENT SUPPLIES				32.50
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>57.50</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				25.00
DEPT SUPPLIES	DEPARTMENT SUPPLIES				25.00

## Expense Approval Report

Post Dates: 12/18/2018 - 01/07/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
DEPT SUPPLIES	DEPARTMENT SUPPLIES				20.00
Fund 621 - ENVIRONMENTAL SERVICES Total:					70.00
Vendor 00295 - B & H INVESTMENTS, INC Total:					251.50
Vendor: 00241 - BAKER & ASSOCIATES INC					
Fund: 223 - KENO					
23 CLUB IMPROVEMENTS	CONTRACTUAL SERVICES				21,800.00
Fund 223 - KENO Total:					21,800.00
Vendor 00241 - BAKER & ASSOCIATES INC Total:					21,800.00
Vendor: 08787 - BEEHIVE INDUSTRIES,LLC					
Fund: 721 - GIS SERVICES					
GIS CNTRCL SRVCS	CONTRACTUAL SERVICES				3,000.00
Fund 721 - GIS SERVICES Total:					3,000.00
Vendor 08787 - BEEHIVE INDUSTRIES,LLC Total:					3,000.00
Vendor: 00734 - BIRUTA D. WALTON					
Fund: 621 - ENVIRONMENTAL SERVICES					
EQUIP MTNC	EQUIPMENT MAINTENANCE				80.00
Fund 621 - ENVIRONMENTAL SERVICES Total:					80.00
Vendor 00734 - BIRUTA D. WALTON Total:					80.00
Vendor: 09716 - BLACK HILLS GAS DISTRIBUTION LLC					
Fund: 111 - GENERAL					
Monthly Energy Bill	HEATING FUEL				412.92
Monthly Energy Bill	HEATING FUEL				302.87
Monthly Energy Bill	HEATING FUEL				302.87
Monthly Energy Bill	HEATING FUEL				130.78
Monthly Energy Bill	HEATING FUEL				389.53
Monthly Energy Bill	HEATING FUEL				646.14
Monthly Energy Bill	HEATING FUEL				126.02
Fund 111 - GENERAL Total:					2,311.13
Fund: 212 - TRANSPORTATION					
Monthly Energy Bill	HEATING FUEL				1,529.90
Fund 212 - TRANSPORTATION Total:					1,529.90
Fund: 621 - ENVIRONMENTAL SERVICES					
Monthly Energy Bill	HEATING FUEL				353.37
Fund 621 - ENVIRONMENTAL SERVICES Total:					353.37
Fund: 641 - WATER					
Monthly Energy Bill	HEATING FUEL				133.31
Fund 641 - WATER Total:					133.31
Fund: 725 - CENTRAL GARAGE					
Monthly Energy Bill	HEATING FUEL				288.14
Fund 725 - CENTRAL GARAGE Total:					288.14
Vendor 09716 - BLACK HILLS GAS DISTRIBUTION LLC Total:					4,615.85
Vendor: 00405 - BLUFFS SANITARY SUPPLY INC.					
Fund: 111 - GENERAL					
EQUIP MAINT-PD	EQUIPMENT MAINTENANCE				12.50
EQUIP MAINT-PD	EQUIPMENT MAINTENANCE				12.50
JANIT SUPPL-PD	JANITORIAL SUPPLIES				29.05
JANIT SUPPL-PD	JANITORIAL SUPPLIES				29.06
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				43.46
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				43.46
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				71.90
JANIT SUPPL-PD	JANITORIAL SUPPLIES				23.20
JANIT SUPPL-PD	JANITORIAL SUPPLIES				23.20
Jan. sup.	JANITORIAL SUPPLIES				50.42
Fund 111 - GENERAL Total:					338.75

## Expense Approval Report

Post Dates: 12/18/2018 - 01/07/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				46.80
DEPT SUPPLIES	DEPARTMENT SUPPLIES				28.95
<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>					<b>75.75</b>
<b>Vendor 00405 - BLUFFS SANITARY SUPPLY INC. Total:</b>					<b>414.50</b>
<b>Vendor: 09410 - BROWN, MATTHEW</b>					
<b>Fund: 111 - GENERAL</b>					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				2,142.00
<b>Fund 111 - GENERAL Total:</b>					<b>2,142.00</b>
<b>Vendor 09410 - BROWN, MATTHEW Total:</b>					<b>2,142.00</b>
<b>Vendor: 00735 - CAPITAL BUSINESS SYSTEMS INC.</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL-PD	CONTRACTUAL SERVICES				38.00
<b>Fund 111 - GENERAL Total:</b>					<b>38.00</b>
<b>Vendor 00735 - CAPITAL BUSINESS SYSTEMS INC. Total:</b>					<b>38.00</b>
<b>Vendor: 00055 - CARR- TRUMBULL LUMBER CO, INC.</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT-PD	EQUIPMENT MAINTENANCE				7.02
<b>Fund 111 - GENERAL Total:</b>					<b>7.02</b>
<b>Vendor 00055 - CARR- TRUMBULL LUMBER CO, INC. Total:</b>					<b>7.02</b>
<b>Vendor: 07911 - CELLCO PARTNERSHIP</b>					
<b>Fund: 111 - GENERAL</b>					
CELLPHONE AND MODEMS	CELLULAR PHONE				260.47
CELL PHONES-PD	TELEPHONE				1,124.76
<b>Fund 111 - GENERAL Total:</b>					<b>1,385.23</b>
<b>Vendor 07911 - CELLCO PARTNERSHIP Total:</b>					<b>1,385.23</b>
<b>Vendor: 02396 - CITIBANK N.A.</b>					
<b>Fund: 111 - GENERAL</b>					
SHIPPING ITEMS TO DIVE RESC...	POSTAGE				9.47
DEPT SUPP	DEPARTMENT SUPPLIES				257.98
SHIPPING OF MATERIALS	POSTAGE				9.38
Dep. sup.	DEPARTMENT SUPPLIES				11.97
SHIPPING-PD	POSTAGE				33.57
<b>Fund 111 - GENERAL Total:</b>					<b>322.37</b>
<b>Fund: 212 - TRANSPORTATION</b>					
OFFICE SUPPLIES	DEPARTMENT SUPPLIES				39.98
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>39.98</b>
<b>Fund: 213 - CEMETERY</b>					
DEPT SUPPP	DEPARTMENT SUPPLIES				68.98
<b>Fund 213 - CEMETERY Total:</b>					<b>68.98</b>
<b>Fund: 641 - WATER</b>					
DEPT SUP	DEPARTMENT SUPPLIES				287.51
DEPT SUP	DEPARTMENT SUPPLIES				246.09
<b>Fund 641 - WATER Total:</b>					<b>533.60</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				65.46
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>65.46</b>
<b>Vendor 02396 - CITIBANK N.A. Total:</b>					<b>1,030.39</b>
<b>Vendor: 00367 - CITY OF SCB</b>					
<b>Fund: 111 - GENERAL</b>					
PETTY CASH	POSTAGE				1.50
PETTY CASH	POSTAGE				10.54
<b>Fund 111 - GENERAL Total:</b>					<b>12.04</b>
<b>Vendor 00367 - CITY OF SCB Total:</b>					<b>12.04</b>

## Expense Approval Report

Post Dates: 12/18/2018 - 01/07/2019

Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 03010 - COLONIAL LIFE &amp; ACCIDENT INSURANCE COMPANY</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
LIFE/ACCIDENT INS	LIFE INS EE PAYABLE				22.75
LIFE/ACCIDENT INS	DIS INC INS EE PAYABLE				25.95
<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>					<b>48.70</b>
<b>Vendor 03010 - COLONIAL LIFE &amp; ACCIDENT INSURANCE COMPANY Total:</b>					<b>48.70</b>
<b>Vendor: 07359 - CONSERV FLAG COMPANY</b>					
<b>Fund: 111 - GENERAL</b>					
Dep. sup.	DEPARTMENT SUPPLIES				61.95
<b>Fund 111 - GENERAL Total:</b>					<b>61.95</b>
<b>Vendor 07359 - CONSERV FLAG COMPANY Total:</b>					<b>61.95</b>
<b>Vendor: 00267 - CONTRACTORS MATERIALS INC.</b>					
<b>Fund: 111 - GENERAL</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				17.64
EQUIP MAINT	EQUIPMENT MAINTENANCE				14.65
DEPT SUPP	DEPARTMENT SUPPLIES				90.16
<b>Fund 111 - GENERAL Total:</b>					<b>122.45</b>
<b>Fund: 212 - TRANSPORTATION</b>					
SIGNING SUPP - BANDING	DEPARTMENT SUPPLIES				410.85
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>410.85</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				101.92
<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>					<b>101.92</b>
<b>Vendor 00267 - CONTRACTORS MATERIALS INC. Total:</b>					<b>635.22</b>
<b>Vendor: 09824 - CORE &amp; MAIN LP</b>					
<b>Fund: 641 - WATER</b>					
METERS	METERS				3,760.02
METERS	METERS				569.70
<b>Fund 641 - WATER Total:</b>					<b>4,329.72</b>
<b>Vendor 09824 - CORE &amp; MAIN LP Total:</b>					<b>4,329.72</b>
<b>Vendor: 09767 - CROELL INC</b>					
<b>Fund: 641 - WATER</b>					
DEPT SUP	DEPARTMENT SUPPLIES				141.78
<b>Fund 641 - WATER Total:</b>					<b>141.78</b>
<b>Vendor 09767 - CROELL INC Total:</b>					<b>141.78</b>
<b>Vendor: 07689 - CYNTHIA GREEN</b>					
<b>Fund: 111 - GENERAL</b>					
Dep. sup.	DEPARTMENT SUPPLIES				144.00
Dep. sup.	DEPARTMENT SUPPLIES				101.71
DEPT SUPP	DEPARTMENT SUPPLIES				16.68
DEPT SUPP	DEPARTMENT SUPPLIES				8.78
DEPT SUPP	DEPARTMENT SUPPLIES				101.76
Dep. sup.	DEPARTMENT SUPPLIES				87.60
<b>Fund 111 - GENERAL Total:</b>					<b>460.53</b>
<b>Vendor 07689 - CYNTHIA GREEN Total:</b>					<b>460.53</b>
<b>Vendor: 03321 - DALE'S TIRE &amp; RETREADING, INC.</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				40.18
EQUIP MTNC	EQUIPMENT MAINTENANCE				14.00
<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>					<b>54.18</b>
<b>Vendor 03321 - DALE'S TIRE &amp; RETREADING, INC. Total:</b>					<b>54.18</b>
<b>Vendor: 00404 - DAS STATE ACCOUNTING-CENTRAL FINANCE</b>					
<b>Fund: 111 - GENERAL</b>					
Monthly Long Distance	TELEPHONE				4.68
Monthly Long Distance	TELEPHONE				2.24

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
Monthly Long Distance	TELEPHONE				5.24
Monthly Long Distance	TELEPHONE				1.41
Monthly Long Distance	TELEPHONE				3.62
Monthly Long Distance	TELEPHONE				7.93
Monthly Long Distance	TELEPHONE				44.22
Monthly Long Distance	TELEPHONE				28.70
Monthly Long Distance	TELEPHONE				2.35
Monthly Long Distance	TELEPHONE				2.42
LONG DISTANCE	TELEPHONE				2.17
Fund 111 - GENERAL Total:					104.98
<b>Fund: 212 - TRANSPORTATION</b>					
Monthly Long Distance	TELEPHONE				6.24
Fund 212 - TRANSPORTATION Total:					6.24
<b>Fund: 213 - CEMETERY</b>					
Monthly Long Distance	TELEPHONE				1.66
Fund 213 - CEMETERY Total:					1.66
<b>Fund: 224 - ECONOMIC DEVELOPMENT</b>					
Monthly Long Distance	TELEPHONE				0.59
Fund 224 - ECONOMIC DEVELOPMENT Total:					0.59
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
Monthly Long Distance	TELEPHONE				5.28
Fund 621 - ENVIRONMENTAL SERVICES Total:					5.28
<b>Fund: 631 - WASTEWATER</b>					
Monthly Long Distance	TELEPHONE				2.01
Fund 631 - WASTEWATER Total:					2.01
<b>Fund: 641 - WATER</b>					
Monthly Long Distance	TELEPHONE				2.07
Fund 641 - WATER Total:					2.07
<b>Fund: 661 - STORMWATER</b>					
Monthly Long Distance	TELEPHONE				2.97
Fund 661 - STORMWATER Total:					2.97
<b>Fund: 721 - GIS SERVICES</b>					
Monthly Long Distance	TELEPHONE				0.47
Fund 721 - GIS SERVICES Total:					0.47
<b>Fund: 725 - CENTRAL GARAGE</b>					
Monthly Long Distance	TELEPHONE				2.13
Fund 725 - CENTRAL GARAGE Total:					2.13
Vendor 00404 - DAS STATE ACCOUNTING-CENTRAL FINANCE Total:					128.40
<b>Vendor: 09692 - DOOLEY OIL INC</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				135.35
Fund 725 - CENTRAL GARAGE Total:					135.35
Vendor 09692 - DOOLEY OIL INC Total:					135.35
<b>Vendor: 07421 - DUANE E. WOHLERS</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DISPOSAL FEES	DISPOSAL FEES				800.00
Fund 621 - ENVIRONMENTAL SERVICES Total:					800.00
Vendor 07421 - DUANE E. WOHLERS Total:					800.00
<b>Vendor: 08173 - DXP ENTERPRISES INC</b>					
<b>Fund: 111 - GENERAL</b>					
O2 SENSOR FOR MX6	DEPARTMENT SUPPLIES				207.29
Fund 111 - GENERAL Total:					207.29
Vendor 08173 - DXP ENTERPRISES INC Total:					207.29

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 01617 - DYNA-TECH ELECTRIC INC</b>					
<b>Fund: 111 - GENERAL</b>					
BLDG MAINT-PD	BUILDING MAINTENANCE				710.50
BLDG MAINT-PD	BUILDING MAINTENANCE				710.50
<b>Fund 111 - GENERAL Total:</b>					<b>1,421.00</b>
<b>Vendor 01617 - DYNA-TECH ELECTRIC INC Total:</b>					<b>1,421.00</b>
<b>Vendor: 03950 - ENERGY LABORATORIES, INC</b>					
<b>Fund: 641 - WATER</b>					
SAMPLES	SAMPLES				135.00
<b>Fund 641 - WATER Total:</b>					<b>135.00</b>
<b>Vendor 03950 - ENERGY LABORATORIES, INC Total:</b>					<b>135.00</b>
<b>Vendor: 01790 - ENVIRONMENTAL SYSTEMS RESEARCH INSTITUTE INC</b>					
<b>Fund: 213 - CEMETERY</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				500.00
<b>Fund 213 - CEMETERY Total:</b>					<b>500.00</b>
<b>Fund: 721 - GIS SERVICES</b>					
GIS DEPT SUP	EQUIPMENT MAINTENANCE				100.00
<b>Fund 721 - GIS SERVICES Total:</b>					<b>100.00</b>
<b>Vendor 01790 - ENVIRONMENTAL SYSTEMS RESEARCH INSTITUTE INC Total:</b>					<b>600.00</b>
<b>Vendor: 02460 - FASTENAL COMPANY</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				12.89
<b>Fund 111 - GENERAL Total:</b>					<b>12.89</b>
<b>Vendor 02460 - FASTENAL COMPANY Total:</b>					<b>12.89</b>
<b>Vendor: 07574 - FAT BOYS TIRE AND AUTO</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				113.02
EQUIP MTNC	EQUIPMENT MAINTENANCE				644.00
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>757.02</b>
<b>Vendor 07574 - FAT BOYS TIRE AND AUTO Total:</b>					<b>757.02</b>
<b>Vendor: 00548 - FEDERAL EXPRESS CORPORATION</b>					
<b>Fund: 641 - WATER</b>					
POSTAGE	POSTAGE				44.55
<b>Fund 641 - WATER Total:</b>					<b>44.55</b>
<b>Vendor 00548 - FEDERAL EXPRESS CORPORATION Total:</b>					<b>44.55</b>
<b>Vendor: 00794 - FLOYD'S TRUCK CENTER, INC</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
VEHICLE MTNC	VEHICLE MAINTENANCE				1,154.46
<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>					<b>1,154.46</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				925.94
EQUIP MTNC	EQUIPMENT MAINTENANCE				46.18
EQUIP MTNC	EQUIPMENT MAINTENANCE				223.99
EQUIP MTNC	EQUIPMENT MAINTENANCE				74.96
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>1,271.07</b>
<b>Vendor 00794 - FLOYD'S TRUCK CENTER, INC Total:</b>					<b>2,425.53</b>
<b>Vendor: 00887 - FYR-TEK INC</b>					
<b>Fund: 218 - PUBLIC SAFETY</b>					
TURNOUT GEAR FOR KELLEY A...	DEPARTMENT SUPPLIES				4,175.00
<b>Fund 218 - PUBLIC SAFETY Total:</b>					<b>4,175.00</b>
<b>Vendor 00887 - FYR-TEK INC Total:</b>					<b>4,175.00</b>
<b>Vendor: 05600 - GALLS INC</b>					
<b>Fund: 111 - GENERAL</b>					
UNIFORMS-PD	UNIFORMS & CLOTHING				125.84

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
UNIFORMS-PD	UNIFORMS & CLOTHING				107.98
Fund 111 - GENERAL Total:					233.82
Vendor 05600 - GALLS INC Total:					233.82
<b>Vendor: 00022 - GENERAL ELECTRIC CAPITAL CORPORATION</b>					
<b>Fund: 111 - GENERAL</b>					
Dep. sup.	DEPARTMENT SUPPLIES				3.32
Dep. sup.	DEPARTMENT SUPPLIES				25.84
DETERGENT AND SANITIZER FO...	DEPARTMENT SUPPLIES				102.33
Dep. sup.	DEPARTMENT SUPPLIES				7.88
DEPT SUPP	DEPARTMENT SUPPLIES				39.84
DEPT SUPP	DEPARTMENT SUPPLIES				29.88
Dep. sup.	DEPARTMENT SUPPLIES				30.43
DEPT SUPP	DEPARTMENT SUPPLIES				83.09
DEPT SUPP	DEPARTMENT SUPPLIES				24.47
PLUMBING PARTS FOR KITCHEN...	BUILDING MAINTENANCE				40.34
Prgm.	PROGRAMMING				17.82
TOWELS FOR STATION	DEPARTMENT SUPPLIES				60.18
Fund 111 - GENERAL Total:					465.42
<b>Fund: 212 - TRANSPORTATION</b>					
TV & ACCES. FOR GPS MONITOR...	DEPARTMENT SUPPLIES				260.94
Fund 212 - TRANSPORTATION Total:					260.94
<b>Fund: 725 - CENTRAL GARAGE</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				242.88
Fund 725 - CENTRAL GARAGE Total:					242.88
Vendor 00022 - GENERAL ELECTRIC CAPITAL CORPORATION Total:					969.24
<b>Vendor: 00397 - GFOA</b>					
<b>Fund: 111 - GENERAL</b>					
MEMBERSHIP - C.BURBACH	MEMBERSHIPS				150.00
Fund 111 - GENERAL Total:					150.00
Vendor 00397 - GFOA Total:					150.00
<b>Vendor: 04371 - HAWKINS, INC.</b>					
<b>Fund: 641 - WATER</b>					
CHEMICALS	CHEMICALS				1,444.90
CHEMICALS	CHEMICALS				1,671.40
Fund 641 - WATER Total:					3,116.30
Vendor 04371 - HAWKINS, INC. Total:					3,116.30
<b>Vendor: 04299 - HD SUPPLY FACILITIES MAINTENANCE LTD</b>					
<b>Fund: 631 - WASTEWATER</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				519.12
Fund 631 - WASTEWATER Total:					519.12
Vendor 04299 - HD SUPPLY FACILITIES MAINTENANCE LTD Total:					519.12
<b>Vendor: 05667 - HOA SOLUTIONS, INC</b>					
<b>Fund: 631 - WASTEWATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				214.00
Fund 631 - WASTEWATER Total:					214.00
<b>Fund: 641 - WATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				214.00
Fund 641 - WATER Total:					214.00
Vendor 05667 - HOA SOLUTIONS, INC Total:					428.00
<b>Vendor: 10007 - HOMEWOOD SUITES</b>					
<b>Fund: 111 - GENERAL</b>					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				4,514.10
Fund 111 - GENERAL Total:					4,514.10
Vendor 10007 - HOMEWOOD SUITES Total:					4,514.10

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 00299 - HULLINGER GLASS &amp; LOCKS INC.</b>					
<b>Fund: 212 - TRANSPORTATION</b>					
SUPP - KEYS CUT	DEPARTMENT SUPPLIES				8.25
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>8.25</b>
<b>Vendor 00299 - HULLINGER GLASS &amp; LOCKS INC. Total:</b>					<b>8.25</b>
<b>Vendor: 06423 - HYDROTEX PARTNERS, LTD</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				570.93
EQUIP MTNC	EQUIPMENT MAINTENANCE				190.31
EQUIP MTNC	EQUIPMENT MAINTENANCE				570.93
OIL & ANTIFREEZE	OIL & ANTIFREEZE				1,393.25
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>2,725.42</b>
<b>Vendor 06423 - HYDROTEX PARTNERS, LTD Total:</b>					<b>2,725.42</b>
<b>Vendor: 05499 - ICC CERTIFICATION SERVICES</b>					
<b>Fund: 111 - GENERAL</b>					
DEPT MMBRSH	MEMBERSHIPS				135.00
<b>Fund 111 - GENERAL Total:</b>					<b>135.00</b>
<b>Vendor 05499 - ICC CERTIFICATION SERVICES Total:</b>					<b>135.00</b>
<b>Vendor: 00525 - IDEAL LAUNDRY AND CLEANERS, INC.</b>					
<b>Fund: 111 - GENERAL</b>					
dept supp	DEPARTMENT SUPPLIES				52.41
DEPT SUPP	DEPARTMENT SUPPLIES				52.41
Jan. sup.	JANITORIAL SUPPLIES				89.25
DEPT SUPP	DEPARTMENT SUPPLIES				52.41
Jan. sup.	JANITORIAL SUPPLIES				89.25
DEPT SUPP	DEPARTMENT SUPPLIES				52.41
<b>Fund 111 - GENERAL Total:</b>					<b>388.14</b>
<b>Fund: 212 - TRANSPORTATION</b>					
SUPP - MATS, TOWELS	DEPARTMENT SUPPLIES				31.99
SUPP - TOWELS FOR SHOPS	DEPARTMENT SUPPLIES				198.64
SUPP - MATS, TOWELS	DEPARTMENT SUPPLIES				31.99
SUPP - MATS, TOWELS	DEPARTMENT SUPPLIES				31.99
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>294.61</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				93.41
DEPT SUPPLIES	DEPARTMENT SUPPLIES				93.41
<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>					<b>186.82</b>
<b>Fund: 631 - WASTEWATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				25.00
<b>Fund 631 - WASTEWATER Total:</b>					<b>25.00</b>
<b>Fund: 641 - WATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				25.00
<b>Fund 641 - WATER Total:</b>					<b>25.00</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
UNIFORMS & CLOTHING	DEPARTMENT SUPPLIES				31.24
UNIFORMS & CLOTHING	UNIFORMS & CLOTHING				8.96
DEPT SUPPLIES	DEPARTMENT SUPPLIES				33.24
DEPT SUPPLIES	UNIFORMS & CLOTHING				8.96
CLOTHING & UNIFORMS	DEPARTMENT SUPPLIES				33.24
CLOTHING & UNIFORMS	UNIFORMS & CLOTHING				8.96
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>124.60</b>
<b>Vendor 00525 - IDEAL LAUNDRY AND CLEANERS, INC. Total:</b>					<b>1,044.17</b>
<b>Vendor: 02578 - INFINITY CONSTRUCTION, INC.</b>					
<b>Fund: 212 - TRANSPORTATION</b>					
42ND ST. (AVE I - 5TH AVE)	STREET PROJECTS				11,514.00
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>11,514.00</b>



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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 631 - WASTEWATER</b>					
42ND ST. (AVE I - 5TH AVE)	STRUCTURES				100,234.67
				<b>Fund 631 - WASTEWATER Total:</b>	<b>100,234.67</b>
<b>Fund: 661 - STORMWATER</b>					
42ND ST. (AVE I - 5TH AVE)	STRUCTURES				8,977.50
				<b>Fund 661 - STORMWATER Total:</b>	<b>8,977.50</b>
				<b>Vendor 02578 - INFINITY CONSTRUCTION, INC. Total:</b>	<b>120,726.17</b>
<b>Vendor: 09291 - INGRAM LIBRARY SERVICES INC</b>					
<b>Fund: 111 - GENERAL</b>					
Bks.	BOOKS				96.75
Bks.	BOOKS				80.71
Bks.	BOOKS				10.84
Bks.	BOOKS				16.69
Bks.	BOOKS				49.85
				<b>Fund 111 - GENERAL Total:</b>	<b>254.84</b>
				<b>Vendor 09291 - INGRAM LIBRARY SERVICES INC Total:</b>	<b>254.84</b>
<b>Vendor: 08154 - INTERNAL REVENUE SERVICE</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
WITHHOLDINGS	MEDICARE W/H EE PAYABLE				3,721.52
WITHHOLDINGS	MEDICARE W/H EE PAYABLE				3,721.52
WITHHOLDINGS	FICA W/H EE PAYABLE				13,818.34
WITHHOLDINGS	FICA W/H EE PAYABLE				13,818.34
WITHHOLDINGS	FED W/H EE PAYABLE				21,844.69
				<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>	<b>56,924.41</b>
				<b>Vendor 08154 - INTERNAL REVENUE SERVICE Total:</b>	<b>56,924.41</b>
<b>Vendor: 00192 - J G ELLIOTT CO.INC.</b>					
<b>Fund: 111 - GENERAL</b>					
BONDS - NEW COUNCIL MEMB...	BONDING				300.00
				<b>Fund 111 - GENERAL Total:</b>	<b>300.00</b>
				<b>Vendor 00192 - J G ELLIOTT CO.INC. Total:</b>	<b>300.00</b>
<b>Vendor: 06131 - JOHN DEERE FINANCIAL</b>					
<b>Fund: 111 - GENERAL</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				12.99
				<b>Fund 111 - GENERAL Total:</b>	<b>12.99</b>
<b>Fund: 212 - TRANSPORTATION</b>					
CLOTHING ALLOWANCE	UNIFORMS & CLOTHING				60.00
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>60.00</b>
				<b>Vendor 06131 - JOHN DEERE FINANCIAL Total:</b>	<b>72.99</b>
<b>Vendor: 08067 - JOHN DEERE FINANCIAL</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				25.98
				<b>Fund 111 - GENERAL Total:</b>	<b>25.98</b>
				<b>Vendor 08067 - JOHN DEERE FINANCIAL Total:</b>	<b>25.98</b>
<b>Vendor: 09474 - JOHN DEERE FINANCIAL</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				6.90
EQUIP MAINT	EQUIPMENT MAINTENANCE				122.40
EQUIP MAINT	EQUIPMENT MAINTENANCE				243.87
EQUIP MAINT	EQUIPMENT MAINTENANCE				129.69
EQUIP MAINT	EQUIPMENT MAINTENANCE				24.90
EQUIP MAINT	EQUIPMENT MAINTENANCE				2,584.10
				<b>Fund 111 - GENERAL Total:</b>	<b>3,111.86</b>
				<b>Vendor 09474 - JOHN DEERE FINANCIAL Total:</b>	<b>3,111.86</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 05116 - JOHN P. VAN DYKE</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				834.00
				<b>Fund 111 - GENERAL Total:</b>	<b>834.00</b>
				<b>Vendor 05116 - JOHN P. VAN DYKE Total:</b>	<b>834.00</b>
<b>Vendor: 00289 - JOHNSEN CORROSION ENGINEERING, INC</b>					
<b>Fund: 641 - WATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				11,056.00
				<b>Fund 641 - WATER Total:</b>	<b>11,056.00</b>
				<b>Vendor 00289 - JOHNSEN CORROSION ENGINEERING, INC Total:</b>	<b>11,056.00</b>
<b>Vendor: 10003 - KANZLER MIKE</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
UNIFORMS & CLOTHING	UNIFORMS & CLOTHING				106.99
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>106.99</b>
				<b>Vendor 10003 - KANZLER MIKE Total:</b>	<b>106.99</b>
<b>Vendor: 00098 - KENNETH LEROY DODGE</b>					
<b>Fund: 111 - GENERAL</b>					
BLDG MAINT	BUILDING MAINTENANCE				80.00
				<b>Fund 111 - GENERAL Total:</b>	<b>80.00</b>
				<b>Vendor 00098 - KENNETH LEROY DODGE Total:</b>	<b>80.00</b>
<b>Vendor: 09747 - KNOW HOW LLC</b>					
<b>Fund: 111 - GENERAL</b>					
HYDRAULIC HOSE AND FITTINGS...	DEPARTMENT SUPPLIES				85.99
OIL FILTER AND OIL FOR BRUSH...	DEPARTMENT SUPPLIES				48.03
ENGINE DEGREASER FOR STATI...	DEPARTMENT SUPPLIES				5.00
VEHICLE MAINT	VEHICLE MAINTENANCE				6.68
AIR FILTER AND SPARK PLUG B...	DEPARTMENT SUPPLIES				11.55
EQUIP MAINT	EQUIPMENT MAINTENANCE				47.04
EQUIP MAINT	EQUIPMENT MAINTENANCE				11.29
EQUIP MAINT	EQUIPMENT MAINTENANCE				33.71
EQUIP MAINT	EQUIPMENT MAINTENANCE				28.15
EQUIP MAINT	EQUIPMENT MAINTENANCE				47.13
EQUIP MAINT	EQUIPMENT MAINTENANCE				16.27
				<b>Fund 111 - GENERAL Total:</b>	<b>340.84</b>
<b>Fund: 212 - TRANSPORTATION</b>					
PARTS FOR PRESSURE WASHER	EQUIPMENT MAINTENANCE				16.09
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>16.09</b>
<b>Fund: 213 - CEMETERY</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				124.66
EQUIP MAINT	EQUIPMENT MAINTENANCE				1.14
				<b>Fund 213 - CEMETERY Total:</b>	<b>125.80</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				51.30
DEPT SUPPLIES	DEPARTMENT SUPPLIES				115.50
DEPT SUPPLIES	DEPARTMENT SUPPLIES				15.36
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>182.16</b>
<b>Fund: 631 - WASTEWATER</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				66.56
VEH MAINT	VEHICLE MAINTENANCE				220.46
				<b>Fund 631 - WASTEWATER Total:</b>	<b>287.02</b>
<b>Fund: 641 - WATER</b>					
VEH MAINT	VEHICLE MAINTENANCE				215.44
VEH MAINT	VEHICLE MAINTENANCE				-18.99
				<b>Fund 641 - WATER Total:</b>	<b>196.45</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				13.94

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
EQUIP MTNC	EQUIPMENT MAINTENANCE				199.90
EQUIP MTNC	EQUIPMENT MAINTENANCE				58.75
EQUIP MTNC	EQUIPMENT MAINTENANCE				14.80
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.07
EQUIP MTNC	EQUIPMENT MAINTENANCE				378.03
EQUIP MTNC	EQUIPMENT MAINTENANCE				114.42
EQUIP MTNC	EQUIPMENT MAINTENANCE				17.05
EQUIP MTNC	EQUIPMENT MAINTENANCE				90.28
EQUIP MTNC	EQUIPMENT MAINTENANCE				20.85
EQUIP MTNC	EQUIPMENT MAINTENANCE				19.82
EQUIP MTNC	EQUIPMENT MAINTENANCE				10.67
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.14
EQUIP MTNC	EQUIPMENT MAINTENANCE				3.14
EQUIP MTNC	EQUIPMENT MAINTENANCE				24.80
DEPT SUPPLIES	EQUIPMENT MAINTENANCE				6.11
EQUIP MTNC	EQUIPMENT MAINTENANCE				21.90
DEPT SUPPLIES	DEPARTMENT SUPPLIES				15.18
EQUIP MTNC	EQUIPMENT MAINTENANCE				104.21
EQUIP MTNC	EQUIPMENT MAINTENANCE				99.95
EQUIP MTNC	EQUIPMENT MAINTENANCE				2.89
EQUIP MTNC	EQUIPMENT MAINTENANCE				24.75
EQUIP MTNC	EQUIPMENT MAINTENANCE				24.75
EQUIP MTNC	EQUIPMENT MAINTENANCE				7.24
EQUIP MTNC	EQUIPMENT MAINTENANCE				17.51
EQUIP MTNC	EQUIPMENT MAINTENANCE				20.18
EQUIP MTNC	EQUIPMENT MAINTENANCE				20.01
Fund 725 - CENTRAL GARAGE Total:					1,337.34
Vendor 09747 - KNOW HOW LLC Total:					2,485.70

## Vendor: 05991 - KOVARIK, ELLISON &amp; MATHIS PC

## Fund: 224 - ECONOMIC DEVELOPMENT

PROF.SERVICES - PRIME METAL ...CONTRACTUAL SERVICES	1,015.00
Fund 224 - ECONOMIC DEVELOPMENT Total:	1,015.00
Vendor 05991 - KOVARIK, ELLISON & MATHIS PC Total:	1,015.00

## Vendor: 09872 - KRIZ DAVIS

## Fund: 111 - GENERAL

EQUIP MAINT-PD	EQUIPMENT MAINTENANCE		218.82
		<b>Fund 111 - GENERAL Total:</b>	<b>218.82</b>

## Fund: 212 - TRANSPORTATION

SUPP - BULBS	DEPARTMENT SUPPLIES	130.05
		<hr/>
	Fund 212 - TRANSPORTATION Total:	130.05
		<hr/>
	Vendor 09872 - KRIZ DAVIS Total:	348.87

## Vendor: 03941 - LAWSON PRODUCTS, INC

## Fund: 111 - GENERAL

DEPT SUPP	DEPARTMENT SUPPLIES	100.09
	Fund 111 - GENERAL Total:	100.09
	Vendor 03941 - LAWSON PRODUCTS, INC Total:	100.09

## Vendor: 00627 - LOGAN CONTRACTORS SUPPLY INC

## Fund: 212 - TRANSPORTATION

STREET REP. SUPP - DETACK	STREET REPAIR SUPPLIES	219.98
Fund 212 - TRANSPORTATION Total:		219.98
Vendor 00627 - LOGAN CONTRACTORS SUPPLY INC Total:		219.98

## Vendor: 00242 - M.C. SCHAFF &amp; ASSOCIATES, INC

## Fund: 212 - TRANSPORTATION

PROF. SERVICES - 42ND ST (AVE ...STREET PROJECTS	12,343.49
Fund 212 - TRANSPORTATION Total:	12,343.49

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 631 - WASTEWATER</b>					
PROF. SERVICES - 42ND ST (AVE ...ENGINEERING/DESIGN					2,043.06
				<b>Fund 631 - WASTEWATER Total:</b>	<b>2,043.06</b>
<b>Fund: 661 - STORMWATER</b>					
PROF. SERVICES - 42ND ST (AVE ...ENGINEERING/DESIGN					2,638.95
				<b>Fund 661 - STORMWATER Total:</b>	<b>2,638.95</b>
				<b>Vendor 00242 - M.C. SCHAFF &amp; ASSOCIATES, INC Total:</b>	<b>17,025.50</b>
<b>Vendor: 07838 - MAILFINANCE INC</b>					
<b>Fund: 111 - GENERAL</b>					
MONTHLY LEASE	RENT-MACHINES				148.76
				<b>Fund 111 - GENERAL Total:</b>	<b>148.76</b>
				<b>Vendor 07838 - MAILFINANCE INC Total:</b>	<b>148.76</b>
<b>Vendor: 05099 - MARKETING CONSULTANTS</b>					
<b>Fund: 111 - GENERAL</b>					
Dep. sup.	DEPARTMENT SUPPLIES				22.00
				<b>Fund 111 - GENERAL Total:</b>	<b>22.00</b>
				<b>Vendor 05099 - MARKETING CONSULTANTS Total:</b>	<b>22.00</b>
<b>Vendor: 08317 - MATHESON TRI-GAS INC</b>					
<b>Fund: 641 - WATER</b>					
RENT - MACHINES	RENT-MACHINES				55.25
				<b>Fund 641 - WATER Total:</b>	<b>55.25</b>
				<b>Vendor 08317 - MATHESON TRI-GAS INC Total:</b>	<b>55.25</b>
<b>Vendor: 07628 - MENARDS, INC</b>					
<b>Fund: 111 - GENERAL</b>					
VALVES FOR BRUSH TRUCK	DEPARTMENT SUPPLIES				219.89
GLOVES AND MASK FOR FIRE I...	DEPARTMENT SUPPLIES				34.94
STORAGE BOX, AIR HOSE FOR A...	DEPARTMENT SUPPLIES				41.01
BATTERIES AND STEEL PLUGS	DEPARTMENT SUPPLIES				42.30
EQUIP MAINT	EQUIPMENT MAINTENANCE				30.88
LIGHT BULBS, PRESSURE GAUGE...	DEPARTMENT SUPPLIES				16.06
				<b>Fund 111 - GENERAL Total:</b>	<b>385.08</b>
<b>Fund: 212 - TRANSPORTATION</b>					
SUPP - FLEX GLUE	DEPARTMENT SUPPLIES				12.88
SUPP - LEVEL, BIT, LOBE	DEPARTMENT SUPPLIES				35.09
SUPP - BATTERIES & CPLR KIT	DEPARTMENT SUPPLIES				10.93
SUPP - 7 PLY POLY	DEPARTMENT SUPPLIES				77.99
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>136.89</b>
<b>Fund: 213 - CEMETERY</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				11.88
				<b>Fund 213 - CEMETERY Total:</b>	<b>11.88</b>
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				22.44
DEPT SUPPLIES	DEPARTMENT SUPPLIES				29.26
DEPT SUPPLIES	BUILDING MAINTENANCE				54.95
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>106.65</b>
<b>Fund: 631 - WASTEWATER</b>					
DEPT SUP	DEPARTMENT SUPPLIES				143.48
DEPT SUP	DEPARTMENT SUPPLIES				7.92
EQUIP MAINT	EQUIPMENT MAINTENANCE				5.37
BLDG MAINT	BUILDING MAINTENANCE				89.50
ELECTRICAL MAINT	ELECTRICAL MAINTENANCE				86.10
				<b>Fund 631 - WASTEWATER Total:</b>	<b>332.37</b>
<b>Fund: 641 - WATER</b>					
BUILDING MAINT	BUILDING MAINTENANCE				83.25

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DEPT SUP	DEPARTMENT SUPPLIES				21.27
				Fund 641 - WATER Total:	104.52
				Vendor 07628 - MENARDS, INC Total:	1,077.39
<b>Vendor: 09887 - MIDLAND FUNDING LLC</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
WAGE ATTACHMENT	WAGE ATTACHMENT EE PAY				338.69
				Fund 713 - CASH & INVESTMENT POOL Total:	338.69
				Vendor 09887 - MIDLAND FUNDING LLC Total:	338.69
<b>Vendor: 00705 - MIDLANDS NEWSPAPERS, INC</b>					
<b>Fund: 111 - GENERAL</b>					
LEGAL NOTICE	LEGAL PUBLICATIONS				15.27
PUBLICATION-PD	PUBLICATIONS				110.52
PUBLICATION-PD	PUBLICATIONS				110.52
				Fund 111 - GENERAL Total:	236.31
<b>Fund: 212 - TRANSPORTATION</b>					
1 YEAR NEWSPAPER SUBSCRIPT...	PUBLICATIONS				187.20
				Fund 212 - TRANSPORTATION Total:	187.20
				Vendor 00705 - MIDLANDS NEWSPAPERS, INC Total:	423.51
<b>Vendor: 00661 - MID-STATES ORGANIZED CRIME INFORMATION CENTER</b>					
<b>Fund: 111 - GENERAL</b>					
MEMBERSHIP-PD	MEMBERSHIPS				200.00
				Fund 111 - GENERAL Total:	200.00
				Vendor 00661 - MID-STATES ORGANIZED CRIME INFORMATION CENTER Total:	200.00
<b>Vendor: 00748 - MOTOROLA SOLUTIONS, INC</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT-PD	EQUIPMENT MAINTENANCE				388.35
				Fund 111 - GENERAL Total:	388.35
				Vendor 00748 - MOTOROLA SOLUTIONS, INC Total:	388.35
<b>Vendor: 07788 - MUNICIPAL EMERGENCY SERVICES INC</b>					
<b>Fund: 111 - GENERAL</b>					
BATTERIES FOR THERMAL IMA...	DEPARTMENT SUPPLIES				90.00
				Fund 111 - GENERAL Total:	90.00
				Vendor 07788 - MUNICIPAL EMERGENCY SERVICES INC Total:	90.00
<b>Vendor: 02569 - MUNIMETRIX SYSTEMS CORP</b>					
<b>Fund: 111 - GENERAL</b>					
IMAGESILO - DECEMBER 2018	CONTRACTUAL SERVICES				39.99
				Fund 111 - GENERAL Total:	39.99
				Vendor 02569 - MUNIMETRIX SYSTEMS CORP Total:	39.99
<b>Vendor: 06554 - NAEM</b>					
<b>Fund: 111 - GENERAL</b>					
NAEM MEMBERSHIP RENEWAL	MEMBERSHIPS				50.00
				Fund 111 - GENERAL Total:	50.00
				Vendor 06554 - NAEM Total:	50.00
<b>Vendor: 04082 - NE CHILD SUPPORT PAYMENT CENTER</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
NE CHILD SUPPORT PYBLE	CHILD SUPPORT EE PAY				1,350.55
				Fund 713 - CASH & INVESTMENT POOL Total:	1,350.55
				Vendor 04082 - NE CHILD SUPPORT PAYMENT CENTER Total:	1,350.55
<b>Vendor: 08083 - NE COLORADO CELLULAR, INC</b>					
<b>Fund: 631 - WASTEWATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				16.38
				Fund 631 - WASTEWATER Total:	16.38

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 641 - WATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				59.14
				<b>Fund 641 - WATER Total:</b>	<b>59.14</b>
				<b>Vendor 08083 - NE COLORADO CELLULAR, INC Total:</b>	<b>75.52</b>
<b>Vendor: 00797 - NE DEPT OF REVENUE</b>					
<b>Fund: 111 - GENERAL</b>					
TAX PAYMENT	SALES TAX PAYABLE				301.03
				<b>Fund 111 - GENERAL Total:</b>	<b>301.03</b>
<b>Fund: 641 - WATER</b>					
TAX PAYMENT	SALES TAX PAYABLE				13,475.09
TAX PAYMENT	SALES TAX PAYABLE				10,007.44
				<b>Fund 641 - WATER Total:</b>	<b>23,482.53</b>
<b>Fund: 661 - STORMWATER</b>					
TAX PAYMENT	SALES TAX PAYABLE				496.79
				<b>Fund 661 - STORMWATER Total:</b>	<b>496.79</b>
				<b>Vendor 00797 - NE DEPT OF REVENUE Total:</b>	<b>24,280.35</b>
<b>Vendor: 01358 - NE LAW ENFORCEMENT TRAINING CENTER</b>					
<b>Fund: 111 - GENERAL</b>					
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				135.00
				<b>Fund 111 - GENERAL Total:</b>	<b>135.00</b>
				<b>Vendor 01358 - NE LAW ENFORCEMENT TRAINING CENTER Total:</b>	<b>135.00</b>
<b>Vendor: 05998 - NEBRASKA FLOODPLAIN &amp; STORMWATER MANAGERS ASSOC</b>					
<b>Fund: 661 - STORMWATER</b>					
MEMBERSHIPS	MEMBERSHIPS				35.00
				<b>Fund 661 - STORMWATER Total:</b>	<b>35.00</b>
				<b>Vendor 05998 - NEBRASKA FLOODPLAIN &amp; STORMWATER MANAGERS ASSOC Total:</b>	<b>35.00</b>
<b>Vendor: 00402 - NEBRASKA MACHINERY CO</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				590.64
EQUIP MTNC	EQUIPMENT MAINTENANCE				98.47
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>689.11</b>
				<b>Vendor 00402 - NEBRASKA MACHINERY CO Total:</b>	<b>689.11</b>
<b>Vendor: 00578 - NEBRASKA PUBLIC POWER DISTRICT</b>					
<b>Fund: 631 - WASTEWATER</b>					
ELECTRICITY	ELECTRIC POWER				196.66
ELECTRICITY	ELECTRIC POWER				14,776.14
				<b>Fund 631 - WASTEWATER Total:</b>	<b>14,972.80</b>
<b>Fund: 641 - WATER</b>					
ELECTRICITY	ELECTRIC POWER				4,410.68
ELECTRICITY	ELECTRIC POWER				2,310.20
				<b>Fund 641 - WATER Total:</b>	<b>6,720.88</b>
				<b>Vendor 00578 - NEBRASKA PUBLIC POWER DISTRICT Total:</b>	<b>21,693.68</b>
<b>Vendor: 00722 - NEBRASKA SALT AND GRAIN CO</b>					
<b>Fund: 212 - TRANSPORTATION</b>					
1 LOAD ICE SLICER	STREET REPAIR SUPPLIES				4,227.97
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>4,227.97</b>
				<b>Vendor 00722 - NEBRASKA SALT AND GRAIN CO Total:</b>	<b>4,227.97</b>
<b>Vendor: 09509 - NEMNICH AUTOMOTIVE</b>					
<b>Fund: 111 - GENERAL</b>					
VEH MAINT-PD	VEHICLE MAINTENANCE				109.88
				<b>Fund 111 - GENERAL Total:</b>	<b>109.88</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				79.88
				<b>Fund 725 - CENTRAL GARAGE Total:</b>	<b>79.88</b>
				<b>Vendor 09509 - NEMNICH AUTOMOTIVE Total:</b>	<b>189.76</b>
<b>Vendor: 08840 - ONE CALL CONCEPTS, INC</b>					
<b>Fund: 212 - TRANSPORTATION</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				10.07
				<b>Fund 212 - TRANSPORTATION Total:</b>	<b>10.07</b>
<b>Fund: 631 - WASTEWATER</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				10.07
				<b>Fund 631 - WASTEWATER Total:</b>	<b>10.07</b>
<b>Fund: 641 - WATER</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				10.07
				<b>Fund 641 - WATER Total:</b>	<b>10.07</b>
				<b>Vendor 08840 - ONE CALL CONCEPTS, INC Total:</b>	<b>30.21</b>
<b>Vendor: 00285 - OREGON TRAIL PLUMBING, HEATING &amp; COOLING INC</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
BUILDING MTNC	BUILDING MAINTENANCE				72.00
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>72.00</b>
				<b>Vendor 00285 - OREGON TRAIL PLUMBING, HEATING &amp; COOLING INC Total:</b>	<b>72.00</b>
<b>Vendor: 03039 - PANHANDLE COLLECTIONS INC</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
WAGE ATTACHMENT	WAGE ATTACHMENT EE PAY				194.92
				<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>	<b>194.92</b>
				<b>Vendor 03039 - PANHANDLE COLLECTIONS INC Total:</b>	<b>194.92</b>
<b>Vendor: 00550 - PANHANDLE COOPERATIVE ASSOCIATION</b>					
<b>Fund: 111 - GENERAL</b>					
FUEL	GASOLINE				136.50
				<b>Fund 111 - GENERAL Total:</b>	<b>136.50</b>
				<b>Vendor 00550 - PANHANDLE COOPERATIVE ASSOCIATION Total:</b>	<b>136.50</b>
<b>Vendor: 00487 - PANHANDLE ENVIRONMENTAL SERVICES INC</b>					
<b>Fund: 631 - WASTEWATER</b>					
CONTRACTUAL SVC	CONTRACTUAL SERVICES				90.50
				<b>Fund 631 - WASTEWATER Total:</b>	<b>90.50</b>
<b>Fund: 641 - WATER</b>					
SAMPLES	SAMPLES				80.00
SAMPLES	SAMPLES				80.00
SAMPLES	SAMPLES				140.00
				<b>Fund 641 - WATER Total:</b>	<b>300.00</b>
				<b>Vendor 00487 - PANHANDLE ENVIRONMENTAL SERVICES INC Total:</b>	<b>390.50</b>
<b>Vendor: 00017 - PANHANDLE HUMANE SOCIETY</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				5,174.59
				<b>Fund 111 - GENERAL Total:</b>	<b>5,174.59</b>
				<b>Vendor 00017 - PANHANDLE HUMANE SOCIETY Total:</b>	<b>5,174.59</b>
<b>Vendor: 01276 - PLATTE VALLEY BANK</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
HEALTH SAVINGS ACCOUNT	HSA EE PAYABLE				13,555.60
HEALTH SAVINGS ACCOUNT	HSA ER PAYABLE				1,250.00
				<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>	<b>14,805.60</b>
				<b>Vendor 01276 - PLATTE VALLEY BANK Total:</b>	<b>14,805.60</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 09807 - POLYDYNE INC</b>					
<b>Fund: 631 - WASTEWATER</b>					
CHEMICALS	CHEMICALS				5,379.93
				<b>Fund 631 - WASTEWATER Total:</b>	<b>5,379.93</b>
				<b>Vendor 09807 - POLYDYNE INC Total:</b>	<b>5,379.93</b>
<b>Vendor: 00272 - POSTMASTER</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
Postage	POSTAGE				130.53
Postage	POSTAGE				139.24
Postage	POSTAGE				120.92
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>390.69</b>
<b>Fund: 631 - WASTEWATER</b>					
Postage	POSTAGE				130.53
Postage	POSTAGE				139.23
Postage	POSTAGE				120.91
				<b>Fund 631 - WASTEWATER Total:</b>	<b>390.67</b>
<b>Fund: 641 - WATER</b>					
Postage	POSTAGE				130.53
Postage	POSTAGE				139.23
Postage	POSTAGE				120.91
				<b>Fund 641 - WATER Total:</b>	<b>390.67</b>
				<b>Vendor 00272 - POSTMASTER Total:</b>	<b>1,172.03</b>
<b>Vendor: 00796 - POWERPLAN</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				513.60
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>513.60</b>
				<b>Vendor 00796 - POWERPLAN Total:</b>	<b>513.60</b>
<b>Vendor: 00266 - QUILL CORPORATION</b>					
<b>Fund: 111 - GENERAL</b>					
INVEST SUPPL-PD	INVESTIGATIVE EXPENSES				25.99
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				3.11
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				3.11
DEPT SUPP	DEPARTMENT SUPPLIES				114.96
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				58.83
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				58.84
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				219.99
				<b>Fund 111 - GENERAL Total:</b>	<b>484.83</b>
				<b>Vendor 00266 - QUILL CORPORATION Total:</b>	<b>484.83</b>
<b>Vendor: 10000 - RAAJ LINCOLN LESSE, LLC</b>					
<b>Fund: 661 - STORMWATER</b>					
SCHOOLS & CONF	SCHOOL & CONFERENCE				109.00
				<b>Fund 661 - STORMWATER Total:</b>	<b>109.00</b>
				<b>Vendor 10000 - RAAJ LINCOLN LESSE, LLC Total:</b>	<b>109.00</b>
<b>Vendor: 04576 - REGANIS AUTO CENTER, INC</b>					
<b>Fund: 111 - GENERAL</b>					
VEH MAINT-PD	VEHICLE MAINTENANCE				364.37
VEH MAINT-PD	VEHICLE MAINTENANCE				133.45
				<b>Fund 111 - GENERAL Total:</b>	<b>497.82</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				100.30
EQUIP MTNC	EQUIPMENT MAINTENANCE				34.94
EQUIP MTNC	EQUIPMENT MAINTENANCE				99.10
EQUIP MTNC	EQUIPMENT MAINTENANCE				-34.94
				<b>Fund 725 - CENTRAL GARAGE Total:</b>	<b>199.40</b>
				<b>Vendor 04576 - REGANIS AUTO CENTER, INC Total:</b>	<b>697.22</b>



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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 04089 - REGIONAL CARE INC</b>					
<b>Fund: 812 - HEALTH INSURANCE</b>					
FLEX FUNDING	FLEXIBLE BENFT EXPENSES				1,476.30
FLEX FUNDING	FLEXIBLE BENFT EXPENSES				192.00
HEALTH INS. PREMIUM - JANU...	PREMIUM EXPENSE				33,178.38
FLEX FUNDING	FLEXIBLE BENFT EXPENSES				1,123.00
<b>Fund 812 - HEALTH INSURANCE Total:</b>					<b>35,969.68</b>
<b>Vendor 04089 - REGIONAL CARE INC Total:</b>					<b>35,969.68</b>
<b>Vendor: 08204 - RIVERSIDE ZOOLOGICAL FOUNDATION</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				87,500.00
<b>Fund 111 - GENERAL Total:</b>					<b>87,500.00</b>
<b>Vendor 08204 - RIVERSIDE ZOOLOGICAL FOUNDATION Total:</b>					<b>87,500.00</b>
<b>Vendor: 00366 - ROOSEVELT PUBLIC POWER DISTRICT</b>					
<b>Fund: 641 - WATER</b>					
ELECTRIC POWER	ELECTRIC POWER				1,769.05
<b>Fund 641 - WATER Total:</b>					<b>1,769.05</b>
<b>Vendor 00366 - ROOSEVELT PUBLIC POWER DISTRICT Total:</b>					<b>1,769.05</b>
<b>Vendor: 00463 - RR DONNELLEY</b>					
<b>Fund: 111 - GENERAL</b>					
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				305.14
<b>Fund 111 - GENERAL Total:</b>					<b>305.14</b>
<b>Vendor 00463 - RR DONNELLEY Total:</b>					<b>305.14</b>
<b>Vendor: 09997 - RURAL HEALTH DEVELOPMENT, INC.</b>					
<b>Fund: 224 - ECONOMIC DEVELOPMENT</b>					
ECONOMIC DEV	ECONOMIC DEVELOPMENT				6,383.33
<b>Fund 224 - ECONOMIC DEVELOPMENT Total:</b>					<b>6,383.33</b>
<b>Vendor 09997 - RURAL HEALTH DEVELOPMENT, INC. Total:</b>					<b>6,383.33</b>
<b>Vendor: 00026 - S M E C</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
SMEC	SMEC EE PAYABLE				160.00
<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>					<b>160.00</b>
<b>Vendor 00026 - S M E C Total:</b>					<b>160.00</b>
<b>Vendor: 01555 - SAFELITE FULFILLMENT, INC</b>					
<b>Fund: 111 - GENERAL</b>					
VEH MAINT-PD	VEHICLE MAINTENANCE				267.98
<b>Fund 111 - GENERAL Total:</b>					<b>267.98</b>
<b>Vendor 01555 - SAFELITE FULFILLMENT, INC Total:</b>					<b>267.98</b>
<b>Vendor: 00257 - SANDBERG IMPLEMENT, INC</b>					
<b>Fund: 111 - GENERAL</b>					
EQUIP MAINT	EQUIPMENT MAINTENANCE				46.44
EQUIP MAINT	EQUIPMENT MAINTENANCE				81.20
EQUIP MAINT	EQUIPMENT MAINTENANCE				77.98
EQUIP MAINT	EQUIPMENT MAINTENANCE				372.91
EQUIP MAINT	EQUIPMENT MAINTENANCE				60.59
EQUIP MAINT	EQUIPMENT MAINTENANCE				412.92
<b>Fund 111 - GENERAL Total:</b>					<b>1,052.04</b>
<b>Fund: 212 - TRANSPORTATION</b>					
SUPP - QUICK CAP	DEPARTMENT SUPPLIES				3.94
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>3.94</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				144.97
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>144.97</b>
<b>Vendor 00257 - SANDBERG IMPLEMENT, INC Total:</b>					<b>1,200.95</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 02531 - SCB FIREFIGHTERS UNION LOCAL 1454</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
FIRE EE DUES	FIRE UNION DUES EE PAY				225.00
<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>					<b>225.00</b>
<b>Vendor 02531 - SCB FIREFIGHTERS UNION LOCAL 1454 Total:</b>					<b>225.00</b>
<b>Vendor: 00503 - SCB TENT &amp; AWNING</b>					
<b>Fund: 111 - GENERAL</b>					
VEH MAINT	VEHICLE MAINTENANCE				95.00
<b>Fund 111 - GENERAL Total:</b>					<b>95.00</b>
<b>Vendor 00503 - SCB TENT &amp; AWNING Total:</b>					<b>95.00</b>
<b>Vendor: 09759 - SCOTTIES POTTIES INC</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL	CONTRACTUAL SERVICES				725.00
<b>Fund 111 - GENERAL Total:</b>					<b>725.00</b>
<b>Vendor 09759 - SCOTTIES POTTIES INC Total:</b>					<b>725.00</b>
<b>Vendor: 00111 - SCOTTSBLUFF BODY &amp; PAINT</b>					
<b>Fund: 111 - GENERAL</b>					
VEH MAINT-PD	VEHICLE MAINTENANCE				60.00
<b>Fund 111 - GENERAL Total:</b>					<b>60.00</b>
<b>Vendor 00111 - SCOTTSBLUFF BODY &amp; PAINT Total:</b>					<b>60.00</b>
<b>Vendor: 00704 - SCOTTSBLUFF MOTOR CO, INC</b>					
<b>Fund: 218 - PUBLIC SAFETY</b>					
HIDTA CAR LEASE	DEPARTMENT SUPPLIES				343.53
<b>Fund 218 - PUBLIC SAFETY Total:</b>					<b>343.53</b>
<b>Vendor 00704 - SCOTTSBLUFF MOTOR CO, INC Total:</b>					<b>343.53</b>
<b>Vendor: 00273 - SCOTTSBLUFF POLICE OFFICERS ASSOCIATION</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
POLICE EE DUES	POL UNION DUES EE PAY				576.00
<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>					<b>576.00</b>
<b>Vendor 00273 - SCOTTSBLUFF POLICE OFFICERS ASSOCIATION Total:</b>					<b>576.00</b>
<b>Vendor: 01271 - SCOTTSBLUFF SCREENPRINTING &amp; EMBROIDERY, LLC</b>					
<b>Fund: 111 - GENERAL</b>					
UNIFORMS	UNIFORMS & CLOTHING				368.00
<b>Fund 111 - GENERAL Total:</b>					<b>368.00</b>
<b>Vendor 01271 - SCOTTSBLUFF SCREENPRINTING &amp; EMBROIDERY, LLC Total:</b>					<b>368.00</b>
<b>Vendor: 00759 - SCOTTSBLUFF/GERING CHAMBER OF COMMERCE</b>					
<b>Fund: 111 - GENERAL</b>					
MEMBERSHIP INVESTMENT	MEMBERSHIPS				6,336.00
<b>Fund 111 - GENERAL Total:</b>					<b>6,336.00</b>
<b>Fund: 224 - ECONOMIC DEVELOPMENT</b>					
AMBASSADOR DUES STAR L	SCHOOL & CONFERENCE				35.00
<b>Fund 224 - ECONOMIC DEVELOPMENT Total:</b>					<b>35.00</b>
<b>Vendor 00759 - SCOTTSBLUFF/GERING CHAMBER OF COMMERCE Total:</b>					<b>6,371.00</b>
<b>Vendor: 00021 - SIMMONS OLSEN LAW FIRM, P.C.</b>					
<b>Fund: 111 - GENERAL</b>					
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				6,264.61
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				27.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				6,264.61
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				162.00
<b>Fund 111 - GENERAL Total:</b>					<b>12,718.22</b>
<b>Fund: 219 - INDUSTRIAL SITES</b>					
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				337.50
<b>Fund 219 - INDUSTRIAL SITES Total:</b>					<b>337.50</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Fund: 224 - ECONOMIC DEVELOPMENT</b>					
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				8.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				90.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				175.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				337.50
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				445.50
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				8.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				1,305.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				705.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				486.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				420.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				645.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				1,960.00
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				2,852.50
CONTRACTUAL SERVICES	CONTRACTUAL SERVICES				735.00
<b>Fund 224 - ECONOMIC DEVELOPMENT Total:</b>					<b>10,172.50</b>
<b>Fund: 661 - STORMWATER</b>					
CONTRACTUAL SERVICES	LEGAL FEES				378.00
CONTRACTUAL SERVICES	LEGAL FEES				1,863.00
CONTRACTUAL SERVICES	LEGAL FEES				135.00
<b>Fund 661 - STORMWATER Total:</b>					<b>2,376.00</b>
<b>Vendor 00021 - SIMMONS OLSEN LAW FIRM, P.C. Total:</b>					<b>25,604.22</b>
<b>Vendor: 00513 - SNELL SERVICES INC.</b>					
<b>Fund: 111 - GENERAL</b>					
ELECTRIC	ELECTRICAL MAINTENANCE				99.70
<b>Fund 111 - GENERAL Total:</b>					<b>99.70</b>
<b>Vendor 00513 - SNELL SERVICES INC. Total:</b>					<b>99.70</b>
<b>Vendor: 09772 - SONNY'S TOWING</b>					
<b>Fund: 111 - GENERAL</b>					
TOW SERVICE-PD	CONTRACTUAL SERVICES				110.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				75.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				75.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
TOW SERVICE-PD	CONTRACTUAL SERVICES				90.00
<b>Fund 111 - GENERAL Total:</b>					<b>890.00</b>
<b>Vendor 09772 - SONNY'S TOWING Total:</b>					<b>890.00</b>
<b>Vendor: 09718 - SPECTRUM PHOTO</b>					
<b>Fund: 111 - GENERAL</b>					
CITY COUNCIL PHOTOS	DEPARTMENT SUPPLIES				200.00
<b>Fund 111 - GENERAL Total:</b>					<b>200.00</b>
<b>Vendor 09718 - SPECTRUM PHOTO Total:</b>					<b>200.00</b>
<b>Vendor: 00054 - STATE HEALTH LAB</b>					
<b>Fund: 641 - WATER</b>					
SAMPLES	SAMPLES				200.00
<b>Fund 641 - WATER Total:</b>					<b>200.00</b>
<b>Vendor 00054 - STATE HEALTH LAB Total:</b>					<b>200.00</b>
<b>Vendor: 05814 - SUPERIOR SIGNALS, INC</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				404.55
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>404.55</b>
<b>Vendor 05814 - SUPERIOR SIGNALS, INC Total:</b>					<b>404.55</b>

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
<b>Vendor: 00325 - TEXAS PNEUDRAULIC INC</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				480.15
				<b>Fund 725 - CENTRAL GARAGE Total:</b>	<b>480.15</b>
				<b>Vendor 00325 - TEXAS PNEUDRAULIC INC Total:</b>	<b>480.15</b>
<b>Vendor: 01325 - THE PEAVEY CORP</b>					
<b>Fund: 111 - GENERAL</b>					
INVEST SUPPL-PD	INVESTIGATIVE EXPENSES				543.63
				<b>Fund 111 - GENERAL Total:</b>	<b>543.63</b>
				<b>Vendor 01325 - THE PEAVEY CORP Total:</b>	<b>543.63</b>
<b>Vendor: 01578 - THOMPSON GLASS, INC</b>					
<b>Fund: 111 - GENERAL</b>					
BLDG MAINT	BUILDING MAINTENANCE				120.00
				<b>Fund 111 - GENERAL Total:</b>	<b>120.00</b>
				<b>Vendor 01578 - THOMPSON GLASS, INC Total:</b>	<b>120.00</b>
<b>Vendor: 09769 - THOMPSON, NOELLE</b>					
<b>Fund: 111 - GENERAL</b>					
TUITION REIMBURSEMENT	TUITION SUPPORT				600.00
				<b>Fund 111 - GENERAL Total:</b>	<b>600.00</b>
				<b>Vendor 09769 - THOMPSON, NOELLE Total:</b>	<b>600.00</b>
<b>Vendor: 00072 - TRI-TECH FORENSICS INC.</b>					
<b>Fund: 111 - GENERAL</b>					
INVEST SUPPL-PD	INVESTIGATIVE EXPENSES				231.50
				<b>Fund 111 - GENERAL Total:</b>	<b>231.50</b>
				<b>Vendor 00072 - TRI-TECH FORENSICS INC. Total:</b>	<b>231.50</b>
<b>Vendor: 08821 - TYLER TECHNOLOGIES, INC</b>					
<b>Fund: 621 - ENVIRONMENTAL SERVICES</b>					
UB ONLINE 1/1/19 - 1/31/19	CONTRACTUAL SERVICES				116.00
				<b>Fund 621 - ENVIRONMENTAL SERVICES Total:</b>	<b>116.00</b>
<b>Fund: 631 - WASTEWATER</b>					
UB ONLINE 1/1/19 - 1/31/19	CONTRACTUAL SERVICES				116.00
				<b>Fund 631 - WASTEWATER Total:</b>	<b>116.00</b>
<b>Fund: 641 - WATER</b>					
UB ONLINE 1/1/19 - 1/31/19	CONTRACTUAL SERVICES				116.00
				<b>Fund 641 - WATER Total:</b>	<b>116.00</b>
				<b>Vendor 08821 - TYLER TECHNOLOGIES, INC Total:</b>	<b>348.00</b>
<b>Vendor: 09865 - UNION BANK &amp; TRUST</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
RETIREMENT	REGULAR RETIRE EE PAY				7,889.43
RETIREMENT	REGULAR RETIRE EE PAY				7,669.03
RETIREMENT	DEFERRED COMP EE PAY				540.00
RETIREMENT	DEFERRED COMP EE PAY				2,232.24
RETIREMENT	RETIRE FIRE EE PAYABLE				2,418.15
RETIREMENT	RETIRE FIRE EE PAYABLE				4,506.28
RETIREMENT	RETIRE POLICE EE PAY				5,141.08
RETIREMENT	RETIRE POLICE EE PAY				5,551.30
				<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>	<b>35,947.51</b>
				<b>Vendor 09865 - UNION BANK &amp; TRUST Total:</b>	<b>35,947.51</b>
<b>Vendor: 08828 - US BANK</b>					
<b>Fund: 111 - GENERAL</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				296.86
YEAR END TAX FORMS	DEPARTMENT SUPPLIES				443.50
SHIPPING FEES - SIGNATURE P...	CONTRACTUAL SERVICES				38.18
FUNDAMENTALS OF FIREFIGHT...	SCHOOL & CONFERENCE				76.46
REGISTRATION - C.BURBACH (C...	SCHOOL & CONFERENCE				393.00

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Description (Payable)	Account Name	(None)	(None)	(None)	Amount
BATTERIES FOR CO MONITORS	DEPARTMENT SUPPLIES				61.70
MEMBERSHIP-PD	MEMBERSHIPS				150.00
TEXTBOOKS FOR LT PROMOTIO...	SCHOOL & CONFERENCE				152.90
VACUUM BAGS FOR STATION	DEPARTMENT SUPPLIES				50.95
COMPRESSOR PUMP FOR STAT...	DEPARTMENT SUPPLIES				214.89
GASOLINE-PD	GASOLINE				27.00
GASOLINE-PD	GASOLINE				33.00
SCHOOLS & CONF-PD	SCHOOL & CONFERENCE				75.00
GASOLINE-PD	GASOLINE				17.37
GASOLINE-PD	GASOLINE				13.08
PROGRAMMING AND CONFER...	PROGRAMMING				331.60
PROGRAMMING AND CONFER...	SCHOOL & CONFERENCE				257.30
DEPT SUPPL-PD	DEPARTMENT SUPPLIES				-3.38
<b>Fund 111 - GENERAL Total:</b>					<b>2,629.41</b>
<b>Fund: 213 - CEMETERY</b>					
DEPT SUPP	DEPARTMENT SUPPLIES				61.11
<b>Fund 213 - CEMETERY Total:</b>					<b>61.11</b>
<b>Fund: 661 - STORMWATER</b>					
SCHOOLS & CONF	SCHOOL & CONFERENCE				42.71
SCHOOLS & CONF	SCHOOL & CONFERENCE				32.22
SCHOOLS & CONF	SCHOOL & CONFERENCE				18.15
CONTRACTUAL SVC	CONTRACTUAL SERVICES				4.99
<b>Fund 661 - STORMWATER Total:</b>					<b>98.07</b>
<b>Vendor 08828 - US BANK Total:</b>					<b>2,788.59</b>
<b>Vendor: 09448 - VERIZON WIRELESS-LERT B</b>					
<b>Fund: 111 - GENERAL</b>					
WIRELESS INTERNET MOBILE C...	DEPARTMENT SUPPLIES				76.79
<b>Fund 111 - GENERAL Total:</b>					<b>76.79</b>
<b>Vendor 09448 - VERIZON WIRELESS-LERT B Total:</b>					<b>76.79</b>
<b>Vendor: 07900 - WINTER EQUIPMENT COMPANY, INC</b>					
<b>Fund: 725 - CENTRAL GARAGE</b>					
EQUIP MTNC	EQUIPMENT MAINTENANCE				1,659.84
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>1,659.84</b>
<b>Vendor 07900 - WINTER EQUIPMENT COMPANY, INC Total:</b>					<b>1,659.84</b>
<b>Vendor: 03709 - WYOMING CHILD SUPPORT ENFORCEMENT</b>					
<b>Fund: 713 - CASH &amp; INVESTMENT POOL</b>					
CHILD SUPPORT	CHILD SUPPORT EE PAY				738.08
<b>Fund 713 - CASH &amp; INVESTMENT POOL Total:</b>					<b>738.08</b>
<b>Vendor 03709 - WYOMING CHILD SUPPORT ENFORCEMENT Total:</b>					<b>738.08</b>
<b>Vendor: 07239 - WYOMING FIRST AID &amp; SAFETY SUPPLY, LLC</b>					
<b>Fund: 212 - TRANSPORTATION</b>					
FIRST AID KIT SUPPLIES	DEPARTMENT SUPPLIES				46.04
<b>Fund 212 - TRANSPORTATION Total:</b>					<b>46.04</b>
<b>Fund: 725 - CENTRAL GARAGE</b>					
DEPT SUPPLIES	DEPARTMENT SUPPLIES				27.97
<b>Fund 725 - CENTRAL GARAGE Total:</b>					<b>27.97</b>
<b>Vendor 07239 - WYOMING FIRST AID &amp; SAFETY SUPPLY, LLC Total:</b>					<b>74.01</b>
<b>Grand Total:</b>					<b>589,145.37</b>

## Report Summary

## Fund Summary

Fund	Expense Amount	Payment Amount
111 - GENERAL	147,963.88	301.03
212 - TRANSPORTATION	31,902.45	0.00
213 - CEMETERY	839.33	0.00
218 - PUBLIC SAFETY	4,518.53	0.00
219 - INDUSTRIAL SITES	337.50	0.00
223 - KENO	21,800.00	0.00
224 - ECONOMIC DEVELOPMENT	17,606.42	0.00
621 - ENVIRONMENTAL SERVICES	5,277.33	390.69
631 - WASTEWATER	127,352.69	390.67
641 - WATER	56,064.66	23,873.20
661 - STORMWATER	14,767.80	496.79
713 - CASH & INVESTMENT POOL	111,309.46	111,309.46
721 - GIS SERVICES	3,134.83	0.00
725 - CENTRAL GARAGE	10,300.81	0.00
812 - HEALTH INSURANCE	35,969.68	2,791.30
<b>Grand Total:</b>	<b>589,145.37</b>	<b>139,553.14</b>

## Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
111-21311	SALES TAX PAYABLE	301.03	301.03
111-52111-111	DEPARTMENT SUPPLIES	1,330.80	0.00
111-52111-112	DEPARTMENT SUPPLIES	8.78	0.00
111-52111-113	DEPARTMENT SUPPLIES	200.00	0.00
111-52111-121	DEPARTMENT SUPPLIES	29.88	0.00
111-52111-141	DEPARTMENT SUPPLIES	1,397.51	0.00
111-52111-142	DEPARTMENT SUPPLIES	699.06	0.00
111-52111-143	DEPARTMENT SUPPLIES	76.79	0.00
111-52111-151	DEPARTMENT SUPPLIES	793.29	0.00
111-52111-171	DEPARTMENT SUPPLIES	478.86	0.00
111-52121-141	JANITORIAL SUPPLIES	52.25	0.00
111-52121-142	JANITORIAL SUPPLIES	52.26	0.00
111-52121-151	JANITORIAL SUPPLIES	228.92	0.00
111-52163-142	INVESTIGATIVE EXPENSES	801.12	0.00
111-52181-142	UNIFORMS & CLOTHING	233.82	0.00
111-52181-171	UNIFORMS & CLOTHING	368.00	0.00
111-52211-141	PUBLICATIONS	110.52	0.00
111-52211-142	PUBLICATIONS	110.52	0.00
111-52221-151	AUDIOVISUAL SUPPLIES	243.72	0.00
111-52222-151	BOOKS	347.50	0.00
111-52223-143	PROGRAMMING	331.60	0.00
111-52223-151	PROGRAMMING	124.55	0.00
111-52311-111	MEMBERSHIPS	150.00	0.00
111-52311-114	MEMBERSHIPS	6,336.00	0.00
111-52311-121	MEMBERSHIPS	135.00	0.00
111-52311-142	MEMBERSHIPS	350.00	0.00
111-52311-143	MEMBERSHIPS	50.00	0.00
111-52311-151	MEMBERSHIPS	60.00	0.00
111-52411-111	POSTAGE	1.50	0.00
111-52411-141	POSTAGE	29.39	0.00
111-52411-142	POSTAGE	33.57	0.00
111-52511-142	GASOLINE	90.45	0.00
111-52511-143	GASOLINE	136.50	0.00
111-53111-111	CONTRACTUAL SERVICES	38.18	0.00
111-53111-114	CONTRACTUAL SERVICES	12,691.22	0.00
111-53111-115	CONTRACTUAL SERVICES	39.99	0.00
111-53111-142	CONTRACTUAL SERVICES	6,117.54	0.00
111-53111-151	CONTRACTUAL SERVICES	242.00	0.00

## Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
111-53111-171	CONTRACTUAL SERVICES	752.00	0.00
111-53111-172	CONTRACTUAL SERVICES	87,500.00	0.00
111-53161-143	LEGAL PUBLICATIONS	15.27	0.00
111-53421-111	BUILDING MAINTENANCE	200.00	0.00
111-53421-141	BUILDING MAINTENANCE	767.59	0.00
111-53421-142	BUILDING MAINTENANCE	727.25	0.00
111-53431-111	ELECTRICAL MAINTENAN...	99.70	0.00
111-53441-141	EQUIPMENT MAINTENAN...	12.50	0.00
111-53441-142	EQUIPMENT MAINTENAN...	626.69	0.00
111-53441-171	EQUIPMENT MAINTENAN...	4,431.89	0.00
111-53441-172	EQUIPMENT MAINTENAN...	834.00	0.00
111-53451-142	VEHICLE MAINTENANCE	935.68	0.00
111-53451-171	VEHICLE MAINTENANCE	101.68	0.00
111-53521-111	HEATING FUEL	412.92	0.00
111-53521-141	HEATING FUEL	302.87	0.00
111-53521-142	HEATING FUEL	433.65	0.00
111-53521-151	HEATING FUEL	389.53	0.00
111-53521-171	HEATING FUEL	646.14	0.00
111-53521-172	HEATING FUEL	126.02	0.00
111-53561-111	TELEPHONE	273.94	0.00
111-53561-112	TELEPHONE	72.14	0.00
111-53561-114	TELEPHONE	73.64	0.00
111-53561-115	TELEPHONE	38.77	0.00
111-53561-116	TELEPHONE	160.00	0.00
111-53561-121	TELEPHONE	181.39	0.00
111-53561-141	TELEPHONE	401.49	0.00
111-53561-142	TELEPHONE	2,762.03	0.00
111-53561-143	TELEPHONE	2.17	0.00
111-53561-151	TELEPHONE	550.18	0.00
111-53561-171	TELEPHONE	201.30	0.00
111-53561-172	TELEPHONE	54.34	0.00
111-53571-141	CELLULAR PHONE	260.47	0.00
111-53631-111	RENT-MACHINES	148.76	0.00
111-53711-115	SCHOOL & CONFERENCE	393.00	0.00
111-53711-141	SCHOOL & CONFERENCE	229.36	0.00
111-53711-142	SCHOOL & CONFERENCE	6,866.10	0.00
111-53711-143	SCHOOL & CONFERENCE	257.30	0.00
111-53741-112	TUITION SUPPORT	600.00	0.00
111-53811-113	BONDING	300.00	0.00
212-52111-212	DEPARTMENT SUPPLIES	1,389.05	0.00
212-52171-212	STREET REPAIR SUPPLIES	4,447.95	0.00
212-52181-212	UNIFORMS & CLOTHING	60.00	0.00
212-52211-212	PUBLICATIONS	187.20	0.00
212-53111-212	CONTRACTUAL SERVICES	10.07	0.00
212-53441-212	EQUIPMENT MAINTENAN...	16.09	0.00
212-53521-212	HEATING FUEL	1,529.90	0.00
212-53561-212	TELEPHONE	404.70	0.00
212-54322-212	STREET PROJECTS	23,857.49	0.00
213-52111-213	DEPARTMENT SUPPLIES	141.97	0.00
213-53441-213	EQUIPMENT MAINTENAN...	625.80	0.00
213-53561-213	TELEPHONE	71.56	0.00
218-52111-141	DEPARTMENT SUPPLIES	4,175.00	0.00
218-52111-142	DEPARTMENT SUPPLIES	343.53	0.00
219-53111-111	CONTRACTUAL SERVICES	337.50	0.00
223-53111-113	CONTRACTUAL SERVICES	21,800.00	0.00
224-53111-114	CONTRACTUAL SERVICES	11,187.50	0.00
224-53561-113	TELEPHONE	0.59	0.00
224-53711-113	SCHOOL & CONFERENCE	35.00	0.00

## Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
224-59111-114	ECONOMIC DEVELOPME...	6,383.33	0.00
621-52111-621	DEPARTMENT SUPPLIES	723.35	0.00
621-52181-621	UNIFORMS & CLOTHING	106.99	0.00
621-52411-621	POSTAGE	390.69	390.69
621-53111-621	CONTRACTUAL SERVICES	116.00	0.00
621-53193-621	DISPOSAL FEES	800.00	0.00
621-53421-621	BUILDING MAINTENANCE	126.95	0.00
621-53441-621	EQUIPMENT MAINTENAN...	1,336.89	0.00
621-53451-621	VEHICLE MAINTENANCE	1,154.46	0.00
621-53521-621	HEATING FUEL	353.37	0.00
621-53561-621	TELEPHONE	168.63	0.00
631-52111-631	DEPARTMENT SUPPLIES	206.40	0.00
631-52411-631	POSTAGE	390.67	390.67
631-52611-631	CHEMICALS	5,379.93	0.00
631-53111-631	CONTRACTUAL SERVICES	471.95	0.00
631-53421-631	BUILDING MAINTENANCE	89.50	0.00
631-53431-631	ELECTRICAL MAINTENAN...	86.10	0.00
631-53441-631	EQUIPMENT MAINTENAN...	591.05	0.00
631-53451-631	VEHICLE MAINTENANCE	220.46	0.00
631-53531-631	ELECTRIC POWER	14,972.80	0.00
631-53561-631	TELEPHONE	190.26	0.00
631-54212-631	ENGINEERING/DESIGN	2,043.06	0.00
631-54311-631	STRUCTURES	100,234.67	0.00
631-54411-631	EQUIPMENT	2,475.84	0.00
641-21311	SALES TAX PAYABLE	23,482.53	23,482.53
641-52111-641	DEPARTMENT SUPPLIES	696.65	0.00
641-52116-641	METERS	4,329.72	0.00
641-52117-641	SAMPLES	635.00	0.00
641-52411-641	POSTAGE	435.22	390.67
641-52611-641	CHEMICALS	3,116.30	0.00
641-53111-641	CONTRACTUAL SERVICES	11,606.47	0.00
641-53421-641	BUILDING MAINTENANCE	83.25	0.00
641-53451-641	VEHICLE MAINTENANCE	196.45	0.00
641-53521-641	HEATING FUEL	133.31	0.00
641-53531-641	ELECTRIC POWER	8,489.93	0.00
641-53561-641	TELEPHONE	155.43	0.00
641-53631-641	RENT-MACHINES	55.25	0.00
641-54411-641	EQUIPMENT	2,649.15	0.00
661-21311	SALES TAX PAYABLE	496.79	496.79
661-52311-661	MEMBERSHIPS	35.00	0.00
661-53111-661	CONTRACTUAL SERVICES	4.99	0.00
661-53211-661	LEGAL FEES	2,376.00	0.00
661-53561-661	TELEPHONE	36.49	0.00
661-53711-661	SCHOOL & CONFERENCE	202.08	0.00
661-54212-661	ENGINEERING/DESIGN	2,638.95	0.00
661-54311-661	STRUCTURES	8,977.50	0.00
713-21512	MEDICARE W/H EE PAYAB...	7,443.04	7,443.04
713-21513	FICA W/H EE PAYABLE	27,636.68	27,636.68
713-21514	FED W/H EE PAYABLE	21,844.69	21,844.69
713-21517	POL UNION DUES EE PAY	576.00	576.00
713-21518	FIRE UNION DUES EE PAY	225.00	225.00
713-21523	LIFE INS EE PAYABLE	22.75	22.75
713-21524	SMEC EE PAYABLE	160.00	160.00
713-21527	WAGE ATTACHMENT EE ...	533.61	533.61
713-21528	REGULAR RETIRE EE PAY	15,558.46	15,558.46
713-21529	DEFERRED COMP EE PAY	2,772.24	2,772.24
713-21531	RETIRE FIRE EE PAYABLE	6,924.43	6,924.43
713-21533	RETIRE POLICE EE PAY	10,692.38	10,692.38



**Account Summary**

Account Number	Account Name	Expense Amount	Payment Amount
713-21534	DIS INC INS EE PAYABLE	25.95	25.95
713-21539	CHILD SUPPORT EE PAY	2,088.63	2,088.63
713-21541	HSA EE PAYABLE	13,555.60	13,555.60
713-21741	HSA ER PAYABLE	1,250.00	1,250.00
721-53111-721	CONTRACTUAL SERVICES	3,000.00	0.00
721-53441-721	EQUIPMENT MAINTENAN...	100.00	0.00
721-53561-721	TELEPHONE	34.83	0.00
725-52111-725	DEPARTMENT SUPPLIES	449.21	0.00
725-52181-725	UNIFORMS & CLOTHING	26.88	0.00
725-52531-725	OIL & ANTIFREEZE	1,393.25	0.00
725-53441-725	EQUIPMENT MAINTENAN...	8,048.75	0.00
725-53521-725	HEATING FUEL	288.14	0.00
725-53561-725	TELEPHONE	94.58	0.00
812-53861-112	PREMIUM EXPENSE	33,178.38	0.00
812-53863-112	FLEXIBLE BENFT EXPENSES	2,791.30	2,791.30
<b>Grand Total:</b>		<b>589,145.37</b>	<b>139,553.14</b>

**Project Account Summary**

Project Account Key	Expense Amount	Payment Amount
**None**	500,510.28	139,553.14
2147853111	87,500.00	0.00
21852111142	343.53	0.00
6002052311	35.00	0.00
6002053111	4.99	0.00
6002053211	513.00	0.00
6002053561	36.49	0.00
6002053711	202.08	0.00
<b>Grand Total:</b>	<b>589,145.37</b>	<b>139,553.14</b>

## UTILITY REFUNDS 1-7-19

Account #	Status	Contact	Service Address	Refund Amount
<a href="#">015-2121-04</a>	Inactive	ERIK TURNIDGE	2818 AVE C SCOTTSBLUFF NE 69361	56.28
<a href="#">055-3417-14</a>	Inactive	DANIEL MADELENO	707 E 17TH ST SCOTTSBLUFF NE 69361	27.72
<a href="#">035-1184-01</a>	Inactive	JUDY'S PHOTOGRAPHY	708 S BELTLINE WEST SCOTTSBLUFF NE 69361	8.06
<a href="#">005-4827-01</a>	Inactive	GARY MEYER	1807 AVE C SCOTTSBLUFF NE 69361	26.47
<a href="#">050-2777-02</a>	Inactive	LEO P YSAC	1613 11TH AVE SCOTTSBLUFF NE 69361	10.92
Total				
5				\$129.45

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Fin Rep1**

**Council to receive the November 2018 Financial Report.**

**Staff Contact: Liz Hilyard, Finance Director**

# City of Scottsbluff

## FUND EQUITY IN CASH - YEAR TO DATE

FOR THE TWO MONTHS ENDED NOVEMBER 30, 2018 AND 2017

Fund	Fund #	NOVEMBER 30, 2017		NOVEMBER 30, 2018		
		NET CHANGE IN CASH		NET CHANGE IN CASH		
General	111	\$	(86,551.64)	\$	(159,550.18)	operations
Regional Library	211		(103.04)	\$	948.82	
Transportation	212		(698,748.81)	\$	(1,452,889.10)	42nd Street, bond pmts on 2015 & 2018 GO Bonds
Cemetery	213		(25,575.25)	\$	(26,561.49)	operations
Cemetery Perp Care	214		13,384.57	\$	10,049.84	
Special Projects	215		16,543.33	\$	5,733.64	
Business Improvement	216		2,201.75	\$	14,141.21	
Public Safety	218		(106,429.96)	\$	(84,517.38)	911 Comm Center contract, Valley Amb contract
Scb Industrial Sites	219		120.16	\$	(1,402.52)	
Keno	223		(12,493.81)	\$	(33,049.71)	23 Club engineering fees
Economic Development	224		36,586.18	\$	(115,244.43)	grants/loans - Economic development
Mutual Fire Organization	225		27,300.35	\$	(18,333.39)	Valley Amb contract, purchase dive equipment
Debt Service	311		(573,515.04)	\$	(664,776.23)	2015 Leasing Corp bond payment
TIF	321		(55,351.94)	\$	(179,951.06)	Bondholder payments
CDBG	411		(123.98)	\$	(171.73)	
Leasing Corporation	412		(46.51)	\$	(37.55)	
Capital Projects	511		(13,174.86)	\$	3,299.46	
Environmental Services	621		3,378.42	\$	42,073.03	
Wastewater	631		52,062.03	\$	(280,455.84)	NDEQ loan pmt - WWTP
Water	641		(458,021.13)	\$	127,914.08	
Electric	651		(3,453.30)	\$	(8,005.30)	
Stormwater	661		(16,286.62)	\$	(220,716.34)	42nd street, bond pmts 2018 GO Bonds
GIS	721		(11,189.63)	\$	(13,986.32)	software support annual contract
Central Garage	725		(38,304.96)	\$	(64,388.12)	internal service fund
Unemployment Comp	811		(174.88)	\$	(373.81)	
Health Insurance	812		11,615.27	\$	23,594.32	re-insurance in excess of claims
TOTAL		\$	(1,936,353.30)	\$	(3,096,656.10)	

## City of Scottsbluff

Fund Equity in Cash  
November 30, 2018

Fund	Fund #	2 YRS PRIOR November 30, 2016	PRIOR YEAR November 30, 2017	PRIOR MONTH October 31, 2018	CURRENT MONTH November 30, 2018	MONTHLY CHANGE IN CASH	
General	111	\$ 4,550,671.24	\$ 4,758,305.65	\$ 5,563,184.04	\$ 5,962,141.82	\$ 398,957.78	NPPD quarterly lease pmt
Regional Library	211	43,264.24	46,969.53	49,653.05	50,286.98	\$ 633.93	
Transportation	212	1,994,799.66	1,868,523.55	4,187,738.36	2,945,059.13	\$ (1,242,679.23)	42nd Street, 2015 & 2018 GO Bond payments
Cemetery	213	(46,463.64)	(9,887.05)	28,230.64	20,638.44	\$ (7,592.20)	operations, 3 payrolls in Nov
Cemetery Perp Care	214	627,102.14	681,268.82	735,353.09	735,828.27	\$ 475.18	
Special Projects	215	221,964.66	258,072.71	156,211.67	125,895.24	\$ (30,316.43)	CAD/RMS project - PD, FD
Business Improvement	216	196,745.84	241,495.98	271,994.67	280,558.44	\$ 8,563.77	
Public Safety	218	369,512.62	334,537.96	340,641.70	336,951.29	\$ (3,690.41)	Valley Amb annual contract pmt
Scb Industrial Sites	219	74,113.75	321,858.15	169,968.61	168,330.00	\$ (1,638.61)	
Keno	223	192,443.63	209,412.33	223,884.70	228,261.92	\$ 4,377.22	
Economic Development	224	6,356,669.06	5,494,638.90	4,500,525.46	4,294,305.00	\$ (206,220.46)	grants/loans - economic development
Mutual Fire Organization	225	207,948.33	280,729.75	279,158.45	260,326.44	\$ (18,832.01)	Valley Amb annual contract pmt, purch dive equipment
Debt Service	311	3,091,009.24	2,534,603.57	3,394,339.39	2,695,296.52	\$ (699,042.87)	bond payment - 2015 Leasing Corp (PS Bldg. Library)
TIF	321	259,122.12	218,557.34	195,227.59	192,236.22	\$ (2,991.37)	
CDBG	411	43,255.20	30,557.30	31,034.46	30,807.30	\$ (227.16)	
Leasing Corporation	412	6,864.15	6,728.15	6,787.57	6,737.90	\$ (49.67)	
Capital Projects	511	73,411.55	59,448.47	80,515.34	81,203.88	\$ 688.54	
Environmental Services	621	518,196.66	1,013,233.99	1,672,441.67	1,729,509.08	\$ 57,067.41	
Wastewater	631	2,394,090.26	2,585,739.10	2,591,156.57	2,325,722.99	\$ (265,433.58)	NDEQ loan payments - WWTP
Water	641	2,215,522.88	1,933,658.92	2,003,173.31	2,035,988.82	\$ 32,815.51	
Electric	651	1,395,558.96	1,424,378.88	1,446,621.32	1,436,032.12	\$ (10,589.20)	
Stormwater	661	537,933.03	607,793.36	822,651.70	641,861.03	\$ (180,790.67)	42nd Street
GIS	721	14,339.36	23,313.40	54,759.17	45,579.88	\$ (9,179.29)	software renewal
Central Garage	725	(3,552.39)	(131,959.47)	(280,327.49)	(304,089.73)	\$ (23,762.24)	internal service fund
Unemployment Comp	811	68,796.81	66,510.28	67,548.88	67,054.42	\$ (494.46)	
Health Insurance	812	1,200,819.04	1,432,344.68	1,913,310.47	1,901,648.82	\$ (11,661.65)	claims in excess of reinsurance payments
<b>TOTAL</b>		<b>\$ 26,604,138.40</b>	<b>\$ 26,290,834.25</b>	<b>\$ 30,505,784.39</b>	<b>\$ 28,294,172.22</b>	<b>\$ (2,211,612.17)</b>	



## Actual to budget rev c/y & p/y - ALL FUNDS

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b><u>111 - GENERAL</u></b>							
400 - Taxes	856,540.89	887,094.83	5,034,437.00	422,617.64	863,720.33	4,170,716.67	83 %
412 - Intergovernmental	2,936.68	480.38	0.00	242.18	742.18	(742.18)	0 %
420 - Charges for Services	69,393.06	49,821.96	436,658.00	42,215.66	61,392.53	375,265.47	86 %
460 - Investment Income	2,646.58	6,715.60	20,000.00	7,993.84	17,930.60	2,069.40	10 %
470 - Miscellaneous Revenues	5,220.38	27,303.63	32,759.00	5,447.25	10,717.60	22,041.40	67 %
480 - Other Financing Uses	789,775.40	789,747.27	2,816,750.00	776,970.55	776,970.55	2,039,779.45	72 %
<b>111 - GENERAL Totals:</b>	<b>1,726,512.99</b>	<b>1,761,163.67</b>	<b>8,340,604.00</b>	<b>1,255,487.12</b>	<b>1,731,473.79</b>	<b>0.00</b>	<b>79 %</b>
<b><u>211 - REGIONAL LIBRARY</u></b>							
460 - Investment Income	27.46	70.30	400.00	67.41	156.10	243.90	61 %
470 - Miscellaneous Revenues	796.18	170.80	1,000.00	1,000.00	1,226.20	(226.20)	-23 %
<b>211 - REGIONAL LIBRARY Totals:</b>	<b>823.64</b>	<b>241.10</b>	<b>1,400.00</b>	<b>1,067.41</b>	<b>1,382.30</b>	<b>0.00</b>	<b>1 %</b>
<b><u>212 - TRANSPORTATION</u></b>							
400 - Taxes	411,745.49	420,338.16	2,886,501.00	183,916.45	426,095.76	2,460,405.24	85 %
412 - Intergovernmental	0.00	0.00	284,662.00	0.00	0.00	284,662.00	100 %
420 - Charges for Services	0.00	1,860.00	0.00	0.00	0.00	0.00	0 %
460 - Investment Income	1,326.27	3,312.63	10,000.00	3,948.05	11,428.03	(1,428.03)	-14 %
470 - Miscellaneous Revenues	212.63	2,165.11	0.00	108.00	6,108.00	(6,108.00)	0 %
<b>212 - TRANSPORTATION Totals:</b>	<b>413,284.39</b>	<b>427,675.90</b>	<b>3,181,163.00</b>	<b>187,972.50</b>	<b>443,631.79</b>	<b>0.00</b>	<b>86 %</b>
<b><u>213 - CEMETERY</u></b>							
420 - Charges for Services	1,685.00	6,900.00	54,200.00	6,150.00	10,600.00	43,600.00	80 %
460 - Investment Income	0.00	0.00	100.00	27.67	78.09	21.91	22 %
470 - Miscellaneous Revenues	0.00	7,785.00	29,000.00	6,200.00	8,600.00	20,400.00	70 %
480 - Other Financing Uses	0.00	0.00	210,000.00	0.00	0.00	210,000.00	100 %
<b>213 - CEMETERY Totals:</b>	<b>1,685.00</b>	<b>14,685.00</b>	<b>293,300.00</b>	<b>12,377.67</b>	<b>19,278.09</b>	<b>0.00</b>	<b>93 %</b>
<b><u>214 - CEMETARY PERPETUAL CARE</u></b>							
400 - Taxes	11,329.66	12,240.66	165,000.00	3,390.98	10,052.18	154,947.82	94 %
420 - Charges for Services	1,050.00	2,600.00	17,000.00	2,400.00	4,000.00	13,000.00	76 %

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
460 - Investment Income	392.11	1,015.94	4,000.00	986.43	2,299.89	1,700.11	43 %
<b>214 - CEMETARY PERPETUAL CARE Totals:</b>	<b>12,771.77</b>	<b>15,856.60</b>	<b>186,000.00</b>	<b>6,777.41</b>	<b>16,352.07</b>	<b>0.00</b>	<b>91 %</b>
<b><u>215 - SPECIAL PROJECTS</u></b>							
400 - Taxes	17,580.03	18,539.93	0.00	6,377.96	11,634.96	(11,634.96)	0 %
412 - Intergovernmental	5,389.07	0.00	0.00	1,000.00	34,572.54	(34,572.54)	0 %
420 - Charges for Services	200.00	0.00	0.00	0.00	0.00	0.00	0 %
450 - Contributions & Donations	0.00	112.00	0.00	40.00	160.00	(160.00)	0 %
460 - Investment Income	135.56	380.46	1,000.00	168.77	447.79	552.21	55 %
470 - Miscellaneous Revenues	0.00	0.00	500,000.00	823.75	823.75	499,176.25	100 %
<b>215 - SPECIAL PROJECTS Totals:</b>	<b>23,304.66</b>	<b>19,032.39</b>	<b>501,000.00</b>	<b>8,410.48</b>	<b>47,639.04</b>	<b>0.00</b>	<b>90 %</b>
<b><u>216 - BUSINESS IMPROVEMENT</u></b>							
400 - Taxes	3,840.52	5,414.81	54,300.00	751.23	5,928.26	48,371.74	89 %
412 - Intergovernmental	0.00	0.00	0.00	25,258.00	25,258.00	(25,258.00)	0 %
460 - Investment Income	132.14	362.95	1,000.00	376.11	861.94	138.06	14 %
<b>216 - BUSINESS IMPROVEMENT Totals:</b>	<b>3,972.66</b>	<b>5,777.76</b>	<b>55,300.00</b>	<b>26,385.34</b>	<b>32,048.20</b>	<b>0.00</b>	<b>42 %</b>
<b><u>218 - PUBLIC SAFETY</u></b>							
400 - Taxes	14,770.52	15,958.20	216,000.00	4,420.85	13,105.08	202,894.92	94 %
412 - Intergovernmental	731.38	731.38	0.00	1,097.07	1,097.07	(1,097.07)	0 %
460 - Investment Income	249.36	602.87	2,000.00	451.71	1,060.15	939.85	47 %
<b>218 - PUBLIC SAFETY Totals:</b>	<b>15,751.26</b>	<b>17,292.45</b>	<b>218,000.00</b>	<b>5,969.63</b>	<b>15,262.30</b>	<b>0.00</b>	<b>93 %</b>
<b><u>219 - INDUSTRIAL SITES</u></b>							
460 - Investment Income	46.79	481.89	200.00	225.66	529.25	(329.25)	-165 %
<b>219 - INDUSTRIAL SITES Totals:</b>	<b>46.79</b>	<b>481.89</b>	<b>200.00</b>	<b>225.66</b>	<b>529.25</b>	<b>0.00</b>	<b>-165 %</b>
<b><u>223 - KENO</u></b>							
460 - Investment Income	119.50	315.43	1,000.00	306.00	705.89	294.11	29 %
470 - Miscellaneous Revenues	10,527.99	12,443.39	78,000.00	6,464.94	12,915.58	65,084.42	83 %
<b>223 - KENO Totals:</b>	<b>10,647.49</b>	<b>12,758.82</b>	<b>79,000.00</b>	<b>6,770.94</b>	<b>13,621.47</b>	<b>0.00</b>	<b>83 %</b>
<b><u>224 - ECONOMIC DEVELOPMENT</u></b>							
400 - Taxes	174,876.25	166,203.87	875,491.00	77,466.59	162,066.12	713,424.88	81 %
460 - Investment Income	3,960.82	8,175.45	25,000.00	5,756.80	13,795.47	11,204.53	45 %

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
470 - Miscellaneous Revenues	7,566.68	17,727.62	194,625.00	14,021.95	28,043.90	166,581.10	86 %
<b>224 - ECONOMIC DEVELOPMENT Totals:</b>	<b>186,403.75</b>	<b>192,106.94</b>	<b>1,095,116.00</b>	<b>97,245.34</b>	<b>203,905.49</b>	<b>0.00</b>	<b>81 %</b>
<b><u>225 - MUTUAL FIRE</u></b>							
412 - Intergovernmental	0.00	285,715.00	0.00	0.00	0.00	0.00	0 %
460 - Investment Income	113.40	396.55	1,200.00	348.99	847.61	352.39	29 %
470 - Miscellaneous Revenues	52,848.00	52,848.00	105,696.00	0.00	0.00	105,696.00	100 %
<b>225 - MUTUAL FIRE Totals:</b>	<b>52,961.40</b>	<b>338,959.55</b>	<b>106,896.00</b>	<b>348.99</b>	<b>847.61</b>	<b>0.00</b>	<b>99 %</b>
<b><u>311 - DEBT SERVICE</u></b>							
400 - Taxes	28,664.87	33,914.94	890,345.00	5,801.53	31,133.45	859,211.55	97 %
460 - Investment Income	1,932.07	4,320.32	15,000.00	3,613.23	9,676.07	5,323.93	35 %
470 - Miscellaneous Revenues	72,246.15	3,037.08	110,358.00	2,560.94	5,432.82	104,925.18	95 %
480 - Other Financing Uses	0.00	0.00	1,000,000.00	0.00	0.00	1,000,000.00	100 %
<b>311 - DEBT SERVICE Totals:</b>	<b>102,843.09</b>	<b>41,272.34</b>	<b>2,015,703.00</b>	<b>11,975.70</b>	<b>46,242.34</b>	<b>0.00</b>	<b>98 %</b>
<b><u>321 - TIF PROJECTS</u></b>							
400 - Taxes	7,232.94	14,491.38	483,950.00	0.00	0.00	483,950.00	100 %
460 - Investment Income	146.66	315.01	1,300.00	257.71	606.42	693.58	53 %
470 - Miscellaneous Revenues	56,566.86	0.00	0.00	0.00	0.00	0.00	0 %
480 - Other Financing Uses	0.00	0.00	300,000.00	0.00	0.00	300,000.00	100 %
<b>321 - TIF PROJECTS Totals:</b>	<b>63,946.46</b>	<b>14,806.39</b>	<b>785,250.00</b>	<b>257.71</b>	<b>606.42</b>	<b>0.00</b>	<b>100 %</b>
<b><u>411 - CDBG</u></b>							
460 - Investment Income	27.15	45.87	300.00	41.30	96.73	203.27	68 %
<b>411 - CDBG Totals:</b>	<b>27.15</b>	<b>45.87</b>	<b>300.00</b>	<b>41.30</b>	<b>96.73</b>	<b>0.00</b>	<b>68 %</b>
<b><u>412 - LEASE CORPORATION</u></b>							
460 - Investment Income	220.66	10.11	50.00	9.03	21.15	28.85	58 %
480 - Other Financing Uses	667,562.50	675,300.99	694,244.00	681,845.74	681,845.74	12,398.26	2 %
<b>412 - LEASE CORPORATION Totals:</b>	<b>667,783.16</b>	<b>675,311.10</b>	<b>694,294.00</b>	<b>681,854.77</b>	<b>681,866.89</b>	<b>0.00</b>	<b>2 %</b>
<b><u>511 - CAPITAL PROJECTS FUND</u></b>							
400 - Taxes	4,196.18	4,533.58	59,000.00	1,255.92	3,723.03	55,276.97	94 %
460 - Investment Income	45.61	87.85	100.00	108.86	252.67	(152.67)	-153 %
<b>511 - CAPITAL PROJECTS FUND Totals:</b>	<b>4,241.79</b>	<b>4,621.43</b>	<b>59,100.00</b>	<b>1,364.78</b>	<b>3,975.70</b>	<b>0.00</b>	<b>93 %</b>
<b><u>621 - ENVIRONMENTAL SERVICES</u></b>							



	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
420 - Charges for Services	465,432.22	473,962.30	2,814,036.00	239,938.00	491,104.18	2,322,931.82	83 %
460 - Investment Income	293.52	1,459.62	2,000.00	2,318.52	5,305.77	(3,305.77)	-165 %
470 - Miscellaneous Revenues	182.00	46.42	500.00	0.00	0.00	500.00	100 %
<b>621 - ENVIRONMENTAL SERVICES Totals:</b>	<b>465,907.74</b>	<b>475,468.34</b>	<b>2,816,536.00</b>	<b>242,256.52</b>	<b>496,409.95</b>	<b>0.00</b>	<b>82 %</b>
<b><u>631 - WASTEWATER</u></b>							
420 - Charges for Services	441,427.34	443,806.84	2,643,216.00	222,706.29	452,779.95	2,190,436.05	83 %
440 - Rents	700.00	2,625.00	0.00	0.00	0.00	0.00	0 %
460 - Investment Income	1,458.38	3,798.83	10,000.00	3,117.85	7,746.08	2,253.92	23 %
470 - Miscellaneous Revenues	0.00	0.00	0.00	20.00	20.00	(20.00)	0 %
<b>631 - WASTEWATER Totals:</b>	<b>443,585.72</b>	<b>450,230.67</b>	<b>2,653,216.00</b>	<b>225,844.14</b>	<b>460,546.03</b>	<b>0.00</b>	<b>83 %</b>
<b><u>641 - WATER</u></b>							
420 - Charges for Services	412,166.73	415,764.18	1,933,275.00	165,977.20	429,294.35	1,503,980.65	78 %
440 - Rents	5,438.72	5,656.30	34,100.00	2,967.11	5,907.99	28,192.01	83 %
460 - Investment Income	1,345.88	3,199.83	15,000.00	2,729.31	6,307.30	8,692.70	58 %
470 - Miscellaneous Revenues	6,300.88	4,451.16	5,000.00	2,983.93	5,660.96	(660.96)	-13 %
<b>641 - WATER Totals:</b>	<b>425,252.21</b>	<b>429,071.47</b>	<b>1,987,375.00</b>	<b>174,657.55</b>	<b>447,170.60</b>	<b>0.00</b>	<b>77 %</b>
<b><u>651 - ELECTRIC</u></b>							
460 - Investment Income	1,028.41	2,136.06	10,000.00	1,925.10	4,509.00	5,491.00	55 %
470 - Miscellaneous Revenues	789,775.40	789,747.27	2,539,750.00	776,970.55	776,970.55	1,762,779.45	69 %
<b>651 - ELECTRIC Totals:</b>	<b>790,803.81</b>	<b>791,883.33</b>	<b>2,549,750.00</b>	<b>778,895.65</b>	<b>781,479.55</b>	<b>0.00</b>	<b>69 %</b>
<b><u>661 - STORMWATER</u></b>							
420 - Charges for Services	8,638.51	11,541.59	101,700.00	7,301.44	14,556.33	87,143.67	86 %
460 - Investment Income	337.04	908.90	2,500.00	860.46	2,329.85	170.15	7 %
470 - Miscellaneous Revenues	0.00	0.00	7,975.00	0.00	0.00	7,975.00	100 %
480 - Other Financing Uses	0.00	0.00	50,000.00	0.00	0.00	50,000.00	100 %
<b>661 - STORMWATER Totals:</b>	<b>8,975.55</b>	<b>12,450.49</b>	<b>162,175.00</b>	<b>8,161.90</b>	<b>16,886.18</b>	<b>0.00</b>	<b>90 %</b>
<b><u>713 - CASH &amp; INVESTMENT POOL</u></b>							
460 - Investment Income	0.00	0.01	0.00	(0.01)	(0.01)	0.01	0 %
470 - Miscellaneous Revenues	11.94	0.00	0.00	19.80	9.80	(9.80)	0 %
<b>713 - CASH &amp; INVESTMENT POOL Totals:</b>	<b>11.94</b>	<b>0.01</b>	<b>0.00</b>	<b>19.79</b>	<b>9.79</b>	<b>0.00</b>	<b>0 %</b>

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b><u>721 - GIS SERVICES</u></b>							
460 - Investment Income	10.45	40.60	200.00	61.10	158.91	41.09	21 %
480 - Other Financing Uses	152.48	0.00	97,000.00	0.00	0.00	97,000.00	100 %
<b>721 - GIS SERVICES Totals:</b>	<b>162.93</b>	<b>40.60</b>	<b>97,200.00</b>	<b>61.10</b>	<b>158.91</b>	<b>0.00</b>	<b>100 %</b>
<b><u>725 - CENTRAL GARAGE</u></b>							
420 - Charges for Services	36,557.39	23,404.81	228,750.00	12,397.97	29,266.63	199,483.37	87 %
460 - Investment Income	0.45	0.00	0.00	0.00	0.00	0.00	0 %
<b>725 - CENTRAL GARAGE Totals:</b>	<b>36,557.84</b>	<b>23,404.81</b>	<b>228,750.00</b>	<b>12,397.97</b>	<b>29,266.63</b>	<b>0.00</b>	<b>87 %</b>
<b><u>811 - UNEMPLOYMENT COMP</u></b>							
460 - Investment Income	43.18	99.75	500.00	89.89	210.54	289.46	58 %
<b>811 - UNEMPLOYMENT COMP Totals:</b>	<b>43.18</b>	<b>99.75</b>	<b>500.00</b>	<b>89.89</b>	<b>210.54</b>	<b>0.00</b>	<b>58 %</b>
<b><u>812 - HEALTH INSURANCE</u></b>							
460 - Investment Income	736.49	2,110.45	3,500.00	2,549.29	5,966.77	(2,466.77)	-70 %
470 - Miscellaneous Revenues	332,338.10	391,751.53	2,299,000.00	194,106.29	366,949.65	1,932,050.35	84 %
<b>812 - HEALTH INSURANCE Totals:</b>	<b>333,074.59</b>	<b>393,861.98</b>	<b>2,302,500.00</b>	<b>196,655.58</b>	<b>372,916.42</b>	<b>0.00</b>	<b>84 %</b>



## Actual to budget c/y & p/y - ALL FUNDS

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b><u>111 - GENERAL</u></b>							
500 - Personnel	1,054,210.92	1,307,997.33	6,725,289.00	714,112.18	1,322,698.68	5,402,590.32	80 %
503 - Supplies	39,212.75	46,377.00	426,350.00	27,327.86	46,754.42	379,595.58	89 %
504 - Contract Services	490,564.05	396,226.31	1,681,974.00	57,025.08	364,831.30	1,317,142.70	78 %
550 - Capital Outlay	0.00	16,608.44	2,012,000.00	0.00	0.00	2,012,000.00	100 %
570 - Other Financing Uses	580.00	0.00	250,000.00	0.00	0.00	250,000.00	100 %
<b>111 - GENERAL Totals:</b>	<b>1,584,567.72</b>	<b>1,767,209.08</b>	<b>11,095,613.00</b>	<b>798,465.12</b>	<b>1,734,284.40</b>	<b>0.00</b>	<b>84 %</b>
<b><u>211 - REGIONAL LIBRARY</u></b>							
503 - Supplies	551.88	50.86	12,500.00	0.00	0.00	12,500.00	100 %
504 - Contract Services	0.00	0.00	3,000.00	0.00	0.00	3,000.00	100 %
<b>211 - REGIONAL LIBRARY Totals:</b>	<b>551.88</b>	<b>50.86</b>	<b>15,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>212 - TRANSPORTATION</u></b>							
500 - Personnel	160,162.38	189,657.08	970,672.00	102,053.73	197,429.59	773,242.41	80 %
503 - Supplies	10,158.66	24,127.15	318,150.00	13,726.63	13,867.86	304,282.14	96 %
504 - Contract Services	113,120.12	317,015.04	833,078.00	67,655.47	115,786.93	717,291.07	86 %
550 - Capital Outlay	40,535.53	0.00	1,047,493.00	354,726.22	354,726.22	692,766.78	66 %
560 - Debt Service	710,846.25	472,927.50	879,342.51	848,240.89	848,240.89	31,101.62	4 %
570 - Other Financing Uses	38.09	0.00	252,000.00	0.00	0.00	252,000.00	100 %
<b>212 - TRANSPORTATION Totals:</b>	<b>1,034,861.03</b>	<b>1,003,726.77</b>	<b>4,300,735.51</b>	<b>1,386,402.94</b>	<b>1,530,051.49</b>	<b>0.00</b>	<b>64 %</b>
<b><u>213 - CEMETERY</u></b>							
500 - Personnel	26,647.68	29,207.25	160,434.00	15,969.92	31,409.17	129,024.83	80 %
503 - Supplies	1,618.08	576.28	21,550.00	1,417.71	1,418.18	20,131.82	93 %
504 - Contract Services	6,210.02	3,015.55	19,612.00	551.26	3,459.07	16,152.93	82 %
550 - Capital Outlay	17,000.00	0.00	80,000.00	0.00	0.00	80,000.00	100 %
<b>213 - CEMETERY Totals:</b>	<b>51,475.78</b>	<b>32,799.08</b>	<b>281,596.00</b>	<b>17,938.89</b>	<b>36,286.42</b>	<b>0.00</b>	<b>87 %</b>
<b><u>214 - CEMETARY PERPETUAL CARE</u></b>							
504 - Contract Services	0.00	0.00	500,000.00	0.00	0.00	500,000.00	100 %
570 - Other Financing Uses	0.00	0.00	210,000.00	0.00	0.00	210,000.00	100 %
<b>214 - CEMETARY PERPETUAL CARE Totals:</b>	<b>0.00</b>	<b>0.00</b>	<b>710,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>215 - SPECIAL PROJECTS</u></b>							

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
500 - Personnel	348.71	0.00	0.00	0.00	0.00	0.00	0 %
503 - Supplies	0.00	428.44	500,000.00	0.00	200.00	499,800.00	100 %
504 - Contract Services	76.29	0.00	0.00	210.00	2,130.00	(2,130.00)	0 %
550 - Capital Outlay	0.00	0.00	0.00	7,009.19	7,009.19	(7,009.19)	0 %
<b>215 - SPECIAL PROJECTS Totals:</b>	<b>425.00</b>	<b>428.44</b>	<b>500,000.00</b>	<b>7,219.19</b>	<b>9,339.19</b>	<b>0.00</b>	<b>98 %</b>
<b><u>216 - BUSINESS IMPROVEMENT</u></b>							
500 - Personnel	1,206.84	0.00	9,500.00	0.00	0.00	9,500.00	100 %
504 - Contract Services	1,338.63	964.75	15,967.00	85.42	85.42	15,881.58	99 %
550 - Capital Outlay	5,907.74	0.00	64,000.00	15,421.27	15,421.27	48,578.73	76 %
570 - Other Financing Uses	0.00	0.00	100,000.00	0.00	0.00	100,000.00	100 %
<b>216 - BUSINESS IMPROVEMENT Totals:</b>	<b>8,453.21</b>	<b>964.75</b>	<b>189,467.00</b>	<b>15,506.69</b>	<b>15,506.69</b>	<b>0.00</b>	<b>92 %</b>
<b><u>218 - PUBLIC SAFETY</u></b>							
503 - Supplies	731.38	731.38	18,000.00	731.38	5,307.07	12,692.93	71 %
504 - Contract Services	0.00	82,418.00	97,568.00	5,282.22	87,700.22	9,867.78	10 %
550 - Capital Outlay	0.00	33,567.50	178,000.00	0.00	0.00	178,000.00	100 %
560 - Debt Service	58,793.75	0.00	0.00	0.00	0.00	0.00	0 %
570 - Other Financing Uses	0.00	0.00	200,000.00	0.00	0.00	200,000.00	100 %
<b>218 - PUBLIC SAFETY Totals:</b>	<b>59,525.13</b>	<b>116,716.88</b>	<b>493,568.00</b>	<b>6,013.60</b>	<b>93,007.29</b>	<b>0.00</b>	<b>81 %</b>
<b><u>219 - INDUSTRIAL SITES</u></b>							
504 - Contract Services	825.50	0.00	50,500.00	0.00	0.00	50,500.00	100 %
570 - Other Financing Uses	0.00	0.00	100,000.00	0.00	0.00	100,000.00	100 %
<b>219 - INDUSTRIAL SITES Totals:</b>	<b>825.50</b>	<b>0.00</b>	<b>150,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>223 - KENO</u></b>							
503 - Supplies	0.00	2,127.97	17,000.00	0.00	0.00	17,000.00	100 %
504 - Contract Services	0.00	260.00	74,136.00	119.98	119.98	74,016.02	100 %
550 - Capital Outlay	0.00	5,909.00	35,000.00	0.00	0.00	35,000.00	100 %
<b>223 - KENO Totals:</b>	<b>0.00</b>	<b>8,296.97</b>	<b>126,136.00</b>	<b>119.98</b>	<b>119.98</b>	<b>0.00</b>	<b>100 %</b>
<b><u>224 - ECONOMIC DEVELOPMENT</u></b>							
500 - Personnel	0.00	17,694.18	104,171.00	11,504.30	19,627.02	84,543.98	81 %
503 - Supplies	46.57	366.76	1,400.00	34.36	34.36	1,365.64	98 %
504 - Contract Services	91,159.83	2,923.78	2,606,150.00	164,782.24	164,617.20	2,441,532.80	94 %
<b>224 - ECONOMIC DEVELOPMENT Totals:</b>	<b>91,206.40</b>	<b>20,984.72</b>	<b>2,711,721.00</b>	<b>176,320.90</b>	<b>184,278.58</b>	<b>0.00</b>	<b>93 %</b>

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b><u>225 - MUTUAL FIRE</u></b>							
503 - Supplies	0.00	0.00	10,000.00	11,478.31	11,478.31	(1,478.31)	-15 %
504 - Contract Services	0.00	10,709.24	15,500.00	5,282.22	5,282.22	10,217.78	66 %
550 - Capital Outlay	0.00	300,305.00	35,000.00	0.00	0.00	35,000.00	100 %
570 - Other Financing Uses	0.00	0.00	100,000.00	0.00	0.00	100,000.00	100 %
<b>225 - MUTUAL FIRE Totals:</b>	<b>0.00</b>	<b>311,014.24</b>	<b>160,500.00</b>	<b>16,760.53</b>	<b>16,760.53</b>	<b>0.00</b>	<b>90 %</b>
<b><u>311 - DEBT SERVICE</u></b>							
504 - Contract Services	0.00	0.00	8,780.00	0.00	0.00	8,780.00	100 %
570 - Other Financing Uses	667,562.50	675,300.99	4,194,244.00	681,845.74	681,845.74	3,512,398.26	84 %
<b>311 - DEBT SERVICE Totals:</b>	<b>667,562.50</b>	<b>675,300.99</b>	<b>4,203,024.00</b>	<b>681,845.74</b>	<b>681,845.74</b>	<b>0.00</b>	<b>84 %</b>
<b><u>321 - TIF PROJECTS</u></b>							
560 - Debt Service	7,232.94	0.00	483,950.00	0.00	0.00	483,950.00	100 %
570 - Other Financing Uses	0.00	0.00	300,000.00	0.00	0.00	300,000.00	100 %
<b>321 - TIF PROJECTS Totals:</b>	<b>7,232.94</b>	<b>0.00</b>	<b>783,950.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>412 - LEASE CORPORATION</u></b>							
504 - Contract Services	0.00	30.00	200.00	0.00	0.00	200.00	100 %
560 - Debt Service	667,562.50	675,300.99	694,244.00	681,845.74	681,845.74	12,398.26	2 %
<b>412 - LEASE CORPORATION Totals:</b>	<b>667,562.50</b>	<b>675,330.99</b>	<b>694,444.00</b>	<b>681,845.74</b>	<b>681,845.74</b>	<b>0.00</b>	<b>2 %</b>
<b><u>511 - CAPITAL PROJECTS FUND</u></b>							
504 - Contract Services	0.00	0.00	30,000.00	0.00	0.00	30,000.00	100 %
550 - Capital Outlay	0.00	0.00	65,000.00	0.00	0.00	65,000.00	100 %
<b>511 - CAPITAL PROJECTS FUND Totals:</b>	<b>0.00</b>	<b>0.00</b>	<b>95,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>621 - ENVIRONMENTAL SERVICES</u></b>							
500 - Personnel	198,385.35	229,562.47	1,186,072.00	120,596.21	234,194.42	951,877.58	80 %
503 - Supplies	8,218.47	16,275.13	188,600.00	16,360.88	17,373.41	171,226.59	91 %
504 - Contract Services	122,360.57	129,297.77	811,996.00	61,895.25	128,148.82	683,847.18	84 %
550 - Capital Outlay	(21,994.26)	0.00	1,414,232.00	0.00	0.00	1,414,232.00	100 %
570 - Other Financing Uses	38.13	0.00	54,000.00	0.00	0.00	54,000.00	100 %
<b>621 - ENVIRONMENTAL SERVICES Totals:</b>	<b>307,008.26</b>	<b>375,135.37</b>	<b>3,654,900.00</b>	<b>198,852.34</b>	<b>379,716.65</b>	<b>0.00</b>	<b>90 %</b>
<b><u>631 - WASTEWATER</u></b>							

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
500 - Personnel	137,075.28	159,991.26	942,948.00	93,559.64	165,796.95	777,151.05	82 %
503 - Supplies	8,984.51	18,119.57	127,805.00	9,819.00	10,807.72	116,997.28	92 %
504 - Contract Services	132,736.91	118,049.70	547,527.00	25,661.10	120,924.48	426,602.52	78 %
550 - Capital Outlay	(21,750.30)	31,403.50	469,000.00	27,699.10	27,699.10	441,300.90	94 %
560 - Debt Service	0.00	0.00	645,890.00	322,945.35	322,945.35	322,944.65	50 %
570 - Other Financing Uses	38.13	0.00	740,000.00	0.00	0.00	740,000.00	100 %
<b>631 - WASTEWATER Totals:</b>	<b>257,084.53</b>	<b>327,564.03</b>	<b>3,473,170.00</b>	<b>479,684.19</b>	<b>648,173.60</b>	<b>0.00</b>	<b>81 %</b>
<b><u>641 - WATER</u></b>							
500 - Personnel	128,931.30	147,658.79	848,763.00	83,538.50	154,053.79	694,709.21	82 %
503 - Supplies	20,413.94	24,035.38	409,070.00	55,058.76	55,857.73	353,212.27	86 %
504 - Contract Services	77,475.45	84,615.35	441,974.00	25,816.15	82,160.38	359,813.62	81 %
550 - Capital Outlay	0.00	344,853.71	197,000.00	0.00	0.00	197,000.00	100 %
570 - Other Financing Uses	38.13	0.00	678,000.00	0.00	0.00	678,000.00	100 %
<b>641 - WATER Totals:</b>	<b>226,858.82</b>	<b>601,163.23</b>	<b>2,574,807.00</b>	<b>164,413.41</b>	<b>292,071.90</b>	<b>0.00</b>	<b>89 %</b>
<b><u>651 - ELECTRIC</u></b>							
503 - Supplies	0.00	0.00	1,000.00	0.00	0.00	1,000.00	100 %
570 - Other Financing Uses	789,775.40	789,747.27	3,289,750.00	776,970.55	776,970.55	2,512,779.45	76 %
<b>651 - ELECTRIC Totals:</b>	<b>789,775.40</b>	<b>789,747.27</b>	<b>3,290,750.00</b>	<b>776,970.55</b>	<b>776,970.55</b>	<b>0.00</b>	<b>76 %</b>
<b><u>661 - STORMWATER</u></b>							
503 - Supplies	193.60	130.00	14,990.00	130.00	136.67	14,853.33	99 %
504 - Contract Services	7,237.64	7,592.75	84,729.50	(4,092.35)	7,736.63	76,992.87	91 %
550 - Capital Outlay	0.00	0.00	174,815.00	106,056.03	106,056.03	68,758.97	39 %
560 - Debt Service	0.00	0.00	84,832.49	79,800.36	79,800.36	5,032.13	6 %
570 - Other Financing Uses	0.00	0.00	250,000.00	0.00	0.00	250,000.00	100 %
<b>661 - STORMWATER Totals:</b>	<b>7,431.24</b>	<b>7,722.75</b>	<b>609,366.99</b>	<b>181,894.04</b>	<b>193,729.69</b>	<b>0.00</b>	<b>68 %</b>
<b><u>721 - GIS SERVICES</u></b>							
500 - Personnel	8,952.46	11,084.54	62,712.00	6,813.20	11,681.93	51,030.07	81 %
503 - Supplies	0.00	0.00	5,000.00	0.00	0.00	5,000.00	100 %
504 - Contract Services	47.65	46.65	15,625.00	1,948.47	1,948.47	13,676.53	88 %
560 - Debt Service	152.48	0.00	0.00	0.00	0.00	0.00	0 %
<b>721 - GIS SERVICES Totals:</b>	<b>9,152.59</b>	<b>11,131.19</b>	<b>83,337.00</b>	<b>8,761.67</b>	<b>13,630.40</b>	<b>0.00</b>	<b>84 %</b>

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b><u>725 - CENTRAL GARAGE</u></b>							
500 - Personnel	22,476.00	31,365.72	155,862.00	16,485.61	32,273.97	123,588.03	79 %
503 - Supplies	3,809.84	6,477.05	30,000.00	3,600.10	3,917.65	26,082.35	87 %
504 - Contract Services	13,721.41	11,868.24	111,222.00	14,400.52	17,864.51	93,357.49	84 %
550 - Capital Outlay	0.00	5,217.99	0.00	0.00	0.00	0.00	0 %
<b>725 - CENTRAL GARAGE Totals:</b>	<b>40,007.25</b>	<b>54,929.00</b>	<b>297,084.00</b>	<b>34,486.23</b>	<b>54,056.13</b>	<b>0.00</b>	<b>82 %</b>
<b><u>811 - UNEMPLOYMENT COMP</u></b>							
504 - Contract Services	0.00	0.00	60,000.00	0.00	0.00	60,000.00	100 %
<b>811 - UNEMPLOYMENT COMP Totals:</b>	<b>0.00</b>	<b>0.00</b>	<b>60,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>812 - HEALTH INSURANCE</u></b>							
504 - Contract Services	266,492.89	376,645.42	2,524,900.00	191,932.06	325,386.93	2,199,513.07	87 %
<b>812 - HEALTH INSURANCE Totals:</b>	<b>266,492.89</b>	<b>376,645.42</b>	<b>2,524,900.00</b>	<b>191,932.06</b>	<b>325,386.93</b>	<b>0.00</b>	<b>87 %</b>



## Actual to budget c/y & p/y - GENERAL FUND

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
<b>111 - GENERAL</b>							
<b>111 - FINANCE</b>							
500 - Personnel	19,835.09	24,023.13	133,974.00	14,236.17	25,392.98	108,581.02	81 %
503 - Supplies	3,579.50	3,718.43	16,300.00	1,293.41	1,828.80	14,471.20	89 %
504 - Contract Services	29,453.94	38,372.50	72,071.00	3,693.91	34,862.99	37,208.01	52 %
<b>111 - FINANCE Totals:</b>	<b>52,868.53</b>	<b>66,114.06</b>	<b>222,345.00</b>	<b>19,223.49</b>	<b>62,084.77</b>	<b>160,260.23</b>	<b>72 %</b>
<b>112 - PERSONNEL</b>							
500 - Personnel	2,503.38	3,138.35	16,947.00	1,870.32	3,177.68	13,769.32	81 %
503 - Supplies	50.78	62.79	5,100.00	0.00	0.00	5,100.00	100 %
504 - Contract Services	2,838.39	894.48	28,250.00	4,581.91	4,581.91	23,668.09	84 %
<b>112 - PERSONNEL Totals:</b>	<b>5,392.55</b>	<b>4,095.62</b>	<b>50,297.00</b>	<b>6,452.23</b>	<b>7,759.59</b>	<b>42,537.41</b>	<b>85 %</b>
<b>113 - COUNCIL</b>							
500 - Personnel	3,245.96	4,057.50	21,100.00	2,434.50	4,057.50	17,042.50	81 %
503 - Supplies	1,443.32	1,489.00	1,900.00	0.00	1,533.67	366.33	19 %
504 - Contract Services	200.00	420.00	3,250.00	120.00	120.00	3,130.00	96 %
570 - Other Financing Uses	580.00	0.00	250,000.00	0.00	0.00	250,000.00	100 %
<b>113 - COUNCIL Totals:</b>	<b>5,469.28</b>	<b>5,966.50</b>	<b>276,250.00</b>	<b>2,554.50</b>	<b>5,711.17</b>	<b>270,538.83</b>	<b>98 %</b>
<b>114 - CITY MANAGER</b>							
500 - Personnel	2,761.62	4,067.10	23,875.00	2,679.98	4,524.22	19,350.78	81 %
503 - Supplies	12,660.60	15,027.63	56,000.00	1,057.28	13,473.88	42,526.12	76 %
504 - Contract Services	6,397.06	8,294.69	201,250.00	91.65	966.65	200,283.35	100 %
<b>114 - CITY MANAGER Totals:</b>	<b>21,819.28</b>	<b>27,389.42</b>	<b>281,125.00</b>	<b>3,828.91</b>	<b>18,964.75</b>	<b>262,160.25</b>	<b>93 %</b>
<b>115 - CITY CLERK</b>							
500 - Personnel	2,206.44	2,775.75	23,393.00	1,286.13	2,158.91	21,234.09	91 %
503 - Supplies	70.00	275.94	1,500.00	90.00	90.00	1,410.00	94 %
504 - Contract Services	684.59	535.47	11,850.00	650.59	650.59	11,199.41	95 %
<b>115 - CITY CLERK Totals:</b>	<b>2,961.03</b>	<b>3,587.16</b>	<b>36,743.00</b>	<b>2,026.72</b>	<b>2,899.50</b>	<b>33,843.50</b>	<b>92 %</b>
<b>116 - MIS</b>							
503 - Supplies	0.00	1,121.20	7,000.00	0.00	0.00	7,000.00	100 %



	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
504 - Contract Services	1,843.46	5,274.18	67,000.00	9,127.00	9,214.00	57,786.00	86 %
550 - Capital Outlay	0.00	0.00	12,000.00	0.00	0.00	12,000.00	100 %
<b>116 - MIS Totals:</b>	<b>1,843.46</b>	<b>6,395.38</b>	<b>86,000.00</b>	<b>9,127.00</b>	<b>9,214.00</b>	<b>76,786.00</b>	<b>89 %</b>
<b>121 - DEVELOPMENT SERVICES</b>							
500 - Personnel	39,945.20	43,892.02	193,356.00	19,340.83	35,370.31	157,985.69	82 %
503 - Supplies	459.02	100.03	6,200.00	193.74	194.68	6,005.32	97 %
504 - Contract Services	35,386.74	20,463.12	60,206.00	2,196.14	15,461.34	44,744.66	74 %
<b>121 - DEVELOPMENT SERVICES Totals:</b>	<b>75,790.96</b>	<b>64,455.17</b>	<b>259,762.00</b>	<b>21,730.71</b>	<b>51,026.33</b>	<b>208,735.67</b>	<b>80 %</b>
<b>141 - FIRE</b>							
500 - Personnel	299,649.36	350,143.91	1,591,134.00	180,452.62	350,651.64	1,240,482.36	78 %
503 - Supplies	945.58	1,907.06	32,400.00	4,889.93	4,986.37	27,413.63	85 %
504 - Contract Services	43,797.23	17,396.12	75,398.00	3,795.92	29,948.00	45,450.00	60 %
<b>141 - FIRE Totals:</b>	<b>344,392.17</b>	<b>369,447.09</b>	<b>1,698,932.00</b>	<b>189,138.47</b>	<b>385,586.01</b>	<b>1,313,345.99</b>	<b>77 %</b>
<b>142 - POLICE</b>							
500 - Personnel	468,171.27	634,893.02	3,257,232.00	353,937.39	649,205.41	2,608,026.59	80 %
503 - Supplies	6,983.18	7,085.42	110,850.00	8,167.24	9,710.16	101,139.84	91 %
504 - Contract Services	185,787.07	98,797.61	328,450.00	14,122.12	86,741.50	241,708.50	74 %
<b>142 - POLICE Totals:</b>	<b>660,941.52</b>	<b>740,776.05</b>	<b>3,696,532.00</b>	<b>376,226.75</b>	<b>745,657.07</b>	<b>2,950,874.93</b>	<b>80 %</b>
<b>143 - EMERGENCY MANAGEMENT</b>							
500 - Personnel	12,852.00	16,036.89	90,880.00	9,508.96	16,221.31	74,658.69	82 %
503 - Supplies	233.00	1,103.86	13,050.00	1,093.88	1,093.88	11,956.12	92 %
504 - Contract Services	309.67	598.26	6,834.00	747.66	874.66	5,959.34	87 %
<b>143 - EMERGENCY MANAGEMENT Totals:</b>	<b>13,394.67</b>	<b>17,739.01</b>	<b>110,764.00</b>	<b>11,350.50</b>	<b>18,189.85</b>	<b>92,574.15</b>	<b>84 %</b>
<b>151 - LIBRARY</b>							
500 - Personnel	69,222.66	97,792.79	540,513.00	58,552.64	99,789.88	440,723.12	82 %
503 - Supplies	3,920.43	11,059.36	77,300.00	6,231.70	9,159.08	68,140.92	88 %
504 - Contract Services	29,035.33	44,203.81	118,678.00	5,339.17	28,608.11	90,069.89	76 %
<b>151 - LIBRARY Totals:</b>	<b>102,178.42</b>	<b>153,055.96</b>	<b>736,491.00</b>	<b>70,123.51</b>	<b>137,557.07</b>	<b>598,933.93</b>	<b>81 %</b>
<b>171 - PARKS</b>							
500 - Personnel	118,018.79	125,008.03	744,708.00	69,812.64	130,484.39	614,223.61	82 %

	2016-2017 YTD Activity	2017-2018 YTD Activity	2018-2019 Budget	November 2018-2019 MTD Activity	2018-2019 YTD Activity	2018-2019 Budget Remaining	% Budget Remaining
503 - Supplies	4,888.37	3,426.28	59,450.00	3,695.68	4,056.44	55,393.56	93 %
504 - Contract Services	57,569.04	63,833.94	245,807.00	10,042.43	53,043.60	192,763.40	78 %
550 - Capital Outlay	0.00	16,608.44	2,000,000.00	0.00	0.00	2,000,000.00	100 %
<b>171 - PARKS Totals:</b>	<b>180,476.20</b>	<b>208,876.69</b>	<b>3,049,965.00</b>	<b>83,550.75</b>	<b>187,584.43</b>	<b>2,862,380.57</b>	<b>94 %</b>
<b>172 - RECREATION</b>							
500 - Personnel	15,799.15	2,168.84	88,177.00	0.00	1,664.45	86,512.55	98 %
503 - Supplies	3,978.97	0.00	39,300.00	615.00	627.46	38,672.54	98 %
504 - Contract Services	97,261.53	97,142.13	462,930.00	2,516.58	99,757.95	363,172.05	78 %
<b>172 - RECREATION Totals:</b>	<b>117,039.65</b>	<b>99,310.97</b>	<b>590,407.00</b>	<b>3,131.58</b>	<b>102,049.86</b>	<b>488,357.14</b>	<b>83 %</b>
<b>111 - GENERAL Totals:</b>	<b>1,584,567.72</b>	<b>1,767,209.08</b>	<b>11,095,613.00</b>	<b>798,465.12</b>	<b>1,734,284.40</b>	<b>0.00</b>	<b>84 %</b>
<b><u>211 - REGIONAL LIBRARY</u></b>							
<b>151 - LIBRARY</b>							
503 - Supplies	551.88	50.86	12,500.00	0.00	0.00	12,500.00	100 %
504 - Contract Services	0.00	0.00	3,000.00	0.00	0.00	3,000.00	100 %
<b>151 - LIBRARY Totals:</b>	<b>551.88</b>	<b>50.86</b>	<b>15,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>15,500.00</b>	<b>100 %</b>
<b>211 - REGIONAL LIBRARY Totals:</b>	<b>551.88</b>	<b>50.86</b>	<b>15,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100 %</b>
<b><u>212 - TRANSPORTATION</u></b>							
<b>111 - FINANCE</b>							
500 - Personnel	2,888.05	3,926.03	27,905.00	3,139.94	5,341.90	22,563.10	81 %
<b>111 - FINANCE Totals:</b>	<b>2,888.05</b>	<b>3,926.03</b>	<b>27,905.00</b>	<b>3,139.94</b>	<b>5,341.90</b>	<b>22,563.10</b>	<b>81 %</b>
<b>112 - PERSONNEL</b>							
500 - Personnel	1,668.98	2,092.21	11,297.00	1,246.87	2,118.45	9,178.55	81 %
<b>112 - PERSONNEL Totals:</b>	<b>1,668.98</b>	<b>2,092.21</b>	<b>11,297.00</b>	<b>1,246.87</b>	<b>2,118.45</b>	<b>9,178.55</b>	<b>81 %</b>
<b>114 - CITY MANAGER</b>							
500 - Personnel	1,841.16	2,711.38	15,917.00	1,786.67	3,016.17	12,900.83	81 %
<b>114 - CITY MANAGER Totals:</b>	<b>1,841.16</b>	<b>2,711.38</b>	<b>15,917.00</b>	<b>1,786.67</b>	<b>3,016.17</b>	<b>12,900.83</b>	<b>81 %</b>
<b>115 - CITY CLERK</b>							
500 - Personnel	1,471.00	1,850.51	15,595.00	857.45	1,439.33	14,155.67	91 %
<b>115 - CITY CLERK Totals:</b>	<b>1,471.00</b>	<b>1,850.51</b>	<b>15,595.00</b>	<b>857.45</b>	<b>1,439.33</b>	<b>14,155.67</b>	<b>91 %</b>

# **City of Scottsbluff, Nebraska**

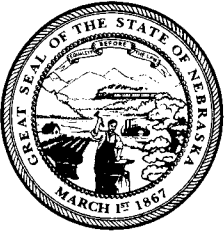
**Monday, January 7, 2019**

**Regular Meeting**

## **Item Public Inp1**

**Council to consider approval of the change of location regarding the existing liquor license for Peggy S McVay/A Lil Bit of Everything from 1610 Broadway to 2302 Frontage Road #44.**

**Staff Contact: Kim Wright, City Clerk**



**Pete Ricketts**  
Governor

## STATE OF NEBRASKA

### NEBRASKA LIQUOR CONTROL COMMISSION

**Robert B. Rupe**

Executive Director

301 Centennial Mall South, 5th Floor

P.O. Box 95046

Lincoln, Nebraska 68509-5046

Phone (402) 471-2571

Fax (402) 471-2814 or (402) 471-2374

TRS USER 800 833-7352 (TTY)

web address: <http://www.lcc.ne.gov/>

December 19, 2018

**SCOTTSBLUFF CITY CLERK  
2525 CIRCLE DRIVE  
SCOTTSBLUFF, NE 69361**

Dear Clerk;

Please present this request to your board and send us the results of that action.

### RE: CHANGE OF LOCATION

**LICENSE #:** C-121704  
**LICENSEE:** PEGGY S MCVAY  
**TRADE NAME:** A LIL BIT OF EVERYTHING  
**CURRENT ADDRESS:** 1610 BROADWAY  
**CITY/COUNTY:** SCOTTSBLUFF/ SCOTTS BLUFF  
**PHONE:** 308-631-1604  
**EMAIL:** MCVAYPEG24@GMAIL.COM

**NEW ADDRESS:** 2302 FRONTAGE ROAD #44  
**NEW DESCRIPTION:** ONE STORY BLDG APPROX 74 X 24.5

**APPROVED:** \_\_\_\_\_ **DENIED** \_\_\_\_\_ **NO RECOMMENDATION** \_\_\_\_\_

Sincerely,  
TRACY BURMEISTER  
Licensing Division  
NEBRASKA LIQUOR CONTROL COMMISSION

cc: file

**Janice M. Wiebusch**  
Commissioner

**Robert Batt**  
Chairman

**Bruce Bailey**  
Commissioner

An Equal Opportunity Employer

# APPLICATION FOR CHANGE OF LOCATION TO LIQUOR LICENSE

NEBRASKA LIQUOR CONTROL COMMISSION  
301 CENTENNIAL MALL SOUTH  
PO BOX 95046  
LINCOLN, NE 68509-5046  
PHONE: (402) 471-2571  
FAX: (402) 471-2814  
Website: [www.lcc.nebraska.gov](http://www.lcc.nebraska.gov)

Office Use	
RECEIVED NOV 19 2018 NEBRASKA LIQUOR CONTROL COMMISSION	RECEIVED NOV 13 2018 NEBRASKA LIQUOR CONTROL COMMISSION

## Application:

- Must include processing fee of \$45.00 checks made payable to Nebraska Liquor Control Commission (NLCC) or you may pay online at [www.ne.gov/go/NLCCpayport](http://www.ne.gov/go/NLCCpayport)
- Must include a copy of the lease, deed or purchase agreement showing ownership of new location. This document must read in the name liquor license is issued to, i.e. if license is issued to a corporation must read corporate name
- Must include simple hand drawn sketch of new location, must include outside dimensions in feet (not square feet), showing direction north  
**NO BLUE PRINTS**
- May include approval from the local governing body; new location shall not be approved unless endorsed by the local governing body
- Check with your local governing body for any additional requirements that may be necessary in making this request for addition
- Change of location application will not be accepted if moving to a different jurisdiction (i.e. city or county); a new application will need to be filed.

LIQUOR LICENSE # 121704 CLASS TYPE C  
LICENSEE NAME Peggy S McVay  
TRADE NAME A Lil Bit of Everything  
CURRENTLY LICENSED ADDRESS ~~1601~~ 1610 Broadway  
CITY Scottsbluff ZIP CODE 69361 COUNTY Scotts Bluff  
CONTACT PERSON Peggy McVay  
PHONE NUMBER OF CONTACT PERSON (308) 631-1604  
EMAIL ADDRESS OF CONTACT PERSON McVaypeg24@gmail.com



1800015069

RECEIVED

FORM 111  
REV APR 2015  
Page 1 of 3

**NEW PREMISE**Street Address #1 2302 Frontage Road #44 Scottsbluff, NE

Street Address #2 \_\_\_\_\_

Zip Code 69361 New Premise Phone Number 308-631-1604Business e-mail address mcvaypeg24@gmail.com**MAILING ADDRESS FOR NEW LOCATION**Street Address #1 2302 Frontage Road #66

Street Address #2 \_\_\_\_\_

City Scottsbluff State NE Zip Code 69361

## 1. Describe the new building to be licensed

- ✓ Include sketch of building to be licensed with length & width in feet
- ✓ If outdoor area to be licensed include on sketch with length & width
- ✓ Indicate the direction north
- ✓ Indicate single story building or give number of floors, how many are licensed
- ✓ Indicate if there is a basement to be included in the licensed description

## 2. Include proof of ownership (must be in the name liquor license is issued under)

- ✓ deed
- ✓ purchase agreement
- ✓ lease; date lease expires November 1<sup>st</sup>, 2019

## 3. Is the new premise location within 150 feet of a church, school, hospital, home for the aged or indigent persons or for veterans, their wives, and children; or within 300 feet of a college or university campus?

☐

YES

☒

NO

If yes, provide name and address of such institution and where it is located in relation to the premises (Neb. Rev. Stat. 53-177)(1).

Must include supplemental Form 134 found at this link: <http://www.lcc.ne.gov/formsdiv.html>

If proposed location is within 300 feet of a campus, the Commission may waive this restriction upon written approval from the governing body of the college or university. (Rev. Stat. 53-177)(1).

Must include supplemental Form 135 found at this link: <http://www.lcc.ne.gov/formsdiv.html>

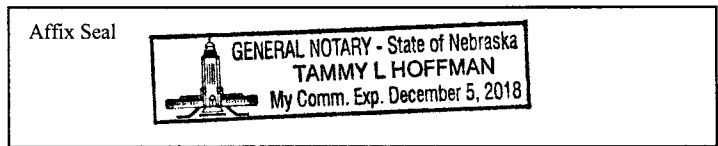
4. When do you expect on moving into the new location? 11/3/18

I acknowledge under oath that the premises into which such move is made comply in all respects with the requirements of the act. Neb Rev Stat §53-129

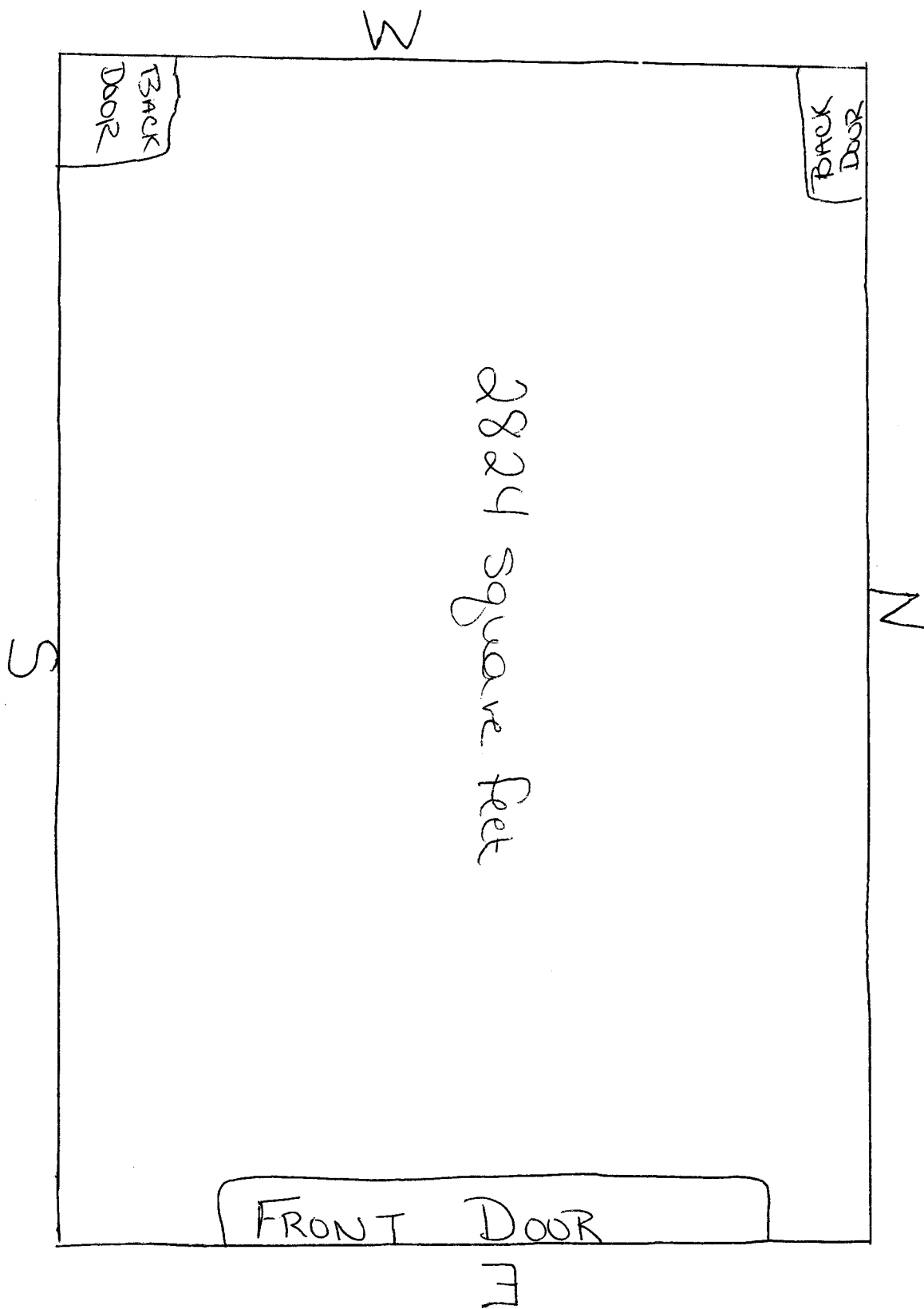
Peggy S. McVay  
Signature of Licensee or Officer

State of Nebraska  
County of Nebraska, Scotts Bluff The foregoing instrument was acknowledged before me this  
November 9th, 2018 by Peggy S. McVay  
Date name of person acknowledged (individual(s) signing document)

Tammy L. Hoffman  
Notary Public signature



Building length: 74L x 24 1/2 width in feet  
No Basement  
Single Story Building





## Lease Agreement (Monument Mall)

This Lease AGREEMENT ("Lease") is executed this \_\_\_\_ day of December, 2018, to be effective as of the 1<sup>st</sup> day of November, 2018 by and between ROCKSTEP SCOTTSBLUFF, LLC, a Texas limited liability company (hereinafter called "Landlord") and Peggy McVay dba A Lil Bit of Everything (hereinafter called "Tenant").

### WITNESSETH:

WHEREAS, Landlord is the owner of Monument Mall, 2302 Frontage Road No. 5, Scottsbluff, Nebraska 69361 (hereinafter, the "Shopping Center"); and

WHEREAS, Landlord desires to lease to Tenant, and Tenant desires to Lease from Landlord, that portion of the Shopping Center known as Space No. 44, containing approximately 2,824 square feet as shown on Exhibit "A" attached hereto ("Leased Premises"), on the terms and conditions hereinafter set forth.

NOW, THEREFORE, in consideration of the mutual terms and covenants herein contained, and other good and valuable consideration, the receipt and sufficiency of which the parties hereby acknowledge, Landlord and Tenant agree as follows:

1. **Lease.** Subject to the terms and conditions set forth below, Landlord hereby leases to Tenant, and Tenant hereby leases from Landlord, the Leased Premises for the purpose of wine, provided the same does not violate any lease or encumbrance of record and is otherwise permitted by law, and for no other purpose. The Leased Premises is provided to Tenant without any alteration or warranty, "AS IS, WHERE IS" and Landlord shall have no obligation to improve or repair the Leased Premises. Tenant shall make no alteration to the Leased Premises without the prior consent of Landlord.

*Upon full execution of this Lease, the License Agreement(the "License Agreement") between Landlord and Tenant previously executed which is dated November 1, 2018 shall terminate. The Security Deposit under the terminated License Agreement shall remain as the Security Deposit under this Lease.*

2. **Term of Lease.** The Lease granted herein shall commence on November 1, 2018 (the "Commencement Date"), and shall terminate on October 31, 2019. **NOTWITHSTANDING ANY PROVISION IN THIS LEASE TO THE CONTRARY, TENANT AGREES THAT LANDLORD SHALL HAVE THE OPTION OF REVOKING OR TERMINATING THIS LEASE UPON 24 HOURS WRITTEN NOTICE DELIVERED TO TENANT OR POSTED ON THE LEASED PREMISES, AT LANDLORD'S SOLE AND ABSOLUTE DISCRETION, WITH OR WITHOUT CAUSE. TENANT AGREES THAT IT IS RECEIVING ADVANTAGEOUS ECONOMIC TERMS IN EXCHANGE FOR THIS REVOCATION OR TERMINATION OPTION, THAT SUCH REVOCATION OR TERMINATION OPTION IS AN ESSENTIAL TERM OF THIS LEASE, AND THAT LANDLORD WOULD NOT HAVE ENTERED INTO THIS LEASE ABSENT SUCH REVOCATION OR TERMINATION OPTION.** In the event of any such election to terminate, Tenant's obligations hereunder shall be apportioned as of the effective date of such termination.

3. **Rent.** Tenant agrees to pay Landlord, for the Lease granted herein, the following (collectively, "Rent"):

- (a) A monthly "Base Rent" equal to \$600.00 per month. The Base Rent for the first full calendar month of the term of this Lease shall be due and payable on or before the execution of this Lease, and subsequent installments shall be due and payable, in advance, on or before the first day of each calendar month following the Commencement Date; provided that if the Commencement Date is a date other than the first day of a calendar month, there shall be due and payable on or before such date, as the Base Rent for the balance of such calendar month, an amount equal to one such monthly installment of the Base Rent multiplied by a fraction having as its numerator the number of days remaining in said month (from and including the Commencement Date) and as its denominator the total number of days in said month.; plus

The Rent shall be payable in lawful money of the United States, without deduction, setoff, prior notice, or demand at Landlord's office at Monument Mall or such other address which Landlord may designate in writing. Within 10 days after the end of each calendar month, Tenant shall submit to the Landlord a written statement certified by Tenant to be true and correct showing in reasonable accurate detail the amount of Monthly Gross Receipts for said prior calendar month, and such monthly statement shall be accompanied by a payment of the Percentage Rent, if any, due for such period. Landlord shall have the right to audit Tenant's records upon request. Tenant will keep all records of gross receipts at the Leased Premises at all times.

**4. Security Deposit.** Tenant agrees to pay Landlord \$600 by cashiers check or money order as a security deposit for use of the Leased Premises to be delivered to Landlord's agent at the time this Lease is executed by Tenant. The security deposit shall be returned to Tenant, subject to deductions for any damages to the Leased Premises or Rent not paid by Tenant, and without interest, at the expiration or earlier termination of this Lease.

**5. Hours of Operation.** Tenant shall be fully fixtured, stocked, staffed, and open for business in the Leased Premises during all hours that the Shopping Center is open as determined by Landlord. In the event Tenant on three (3) or more occasions after opening for business ceases to operate its business in accordance with this Paragraph 5 for a period of five (5) or more days, Tenant automatically shall be in Default under this Lease regardless of whether Tenant later reopens for business, and Landlord, at its option, may pursue any rights and remedies provided in this Lease (including, without limitation, the right of specific enforcement of Tenant's obligation to maintain the Shopping Center designated business hours, the rights provide in Paragraph 18 below, and any other rights or remedies available at law or in equity).

**6. Landlord's Approval.** Tenant shall not affix or install any furnishing, equipment, displays, stands, decorations or signs in the conduct of its business at the Leased Premises without, in each instance, first obtaining Landlord's prior consent, which consent may be withheld for any reason in Landlord's sole and absolute discretion.

**7. Tenant's Covenants.** Tenant shall: (i) conduct its business at the Leased Premises at all times in a dignified manner; (ii) keep all furnishings, merchandise, equipment, displays, stands, decorations and signs used at the Leased Premises in a neat, clean and safe condition, and in good operating order and repair; (iii) neither solicit business nor distribute advertising matter in any of the common areas outside of the Leased Premises of the Shopping Center; (iv) conduct its business at the Leased Premises at all times in compliance with all federal, state and local laws, ordinances, rules, regulations and codes including the Americans with Disabilities Act, all environmental laws and any zoning codes; (v) receive or make all deliveries or shipments of any kind to and from the Leased Premises only as designated by Landlord and only at such times as designated by Landlord; (vi) properly store and dispose of all garbage and refuse at the Leased Premises and the area immediately adjoining thereto; (vii) not install or use at the Leased Premises any radio, television, phonograph, public address system or similar device, or aerial attached thereto, without Landlord's prior approval; (viii) not place, suffer or permit any obstructions or merchandise in any areas except the Leased Premises and not in any way interfere with or cause disturbance to the use and quiet enjoyment of any other portion of the Shopping Center by the owner or tenants; and (ix) shall not use, install, permit, hold, release or dispose of any hazardous material (as defined by any environmental law) on, under, or at the Leased Premises or Shopping Center. Tenant shall procure all necessary vendors licenses or other governmental approvals or permits and shall be solely responsible for paying all governmental charges or taxes relating to its business conducted at the Leased Premises, including, but not limited any general business occupation tax, and Tenant agrees to pay all such taxes levied prior to delinquency.

Tenant shall, at its own cost and expense, maintain the Leased Premises in a good, clean, sanitary, and safe condition and promptly and diligently repair (or replace if reasonably necessary in the circumstances) any trade fixtures and other fixtures, machinery, and equipment in, on, or serving the Leased Premises including, without limitation, all light bulbs, ballasts, glass, door closures, doors, breakers, etc.

Tenant shall, at its own cost and expense, maintain and repair the HVAC system serving the Leased Premises and keep the same in good working order and condition at all times. On or before the Commencement Date, Tenant shall enter into and maintain a service agreement with an experienced and reputable HVAC service contractor to perform regular inspection, maintenance, and repairs to the HVAC system. The HVAC contractor shall be required to examine such equipment no less frequently than once every six (6) months. All routine maintenance, repairs, and replacements (including, without limitation, changing filters, oiling, lubricating, and replacing all belts and pulleys) shall be performed

at Tenant's sole cost and expense. If the HVAC system is in need of major repair or replacement (i.e., repair or replacement significantly exceeding the reasonable cost of routine repairs), Tenant shall notify Landlord and Landlord may, in sole discretion, determine what course of action to pursue.

Tenant shall be responsible to restore the Leased Premises to the same condition in which it was originally provided by Landlord, ordinary wear and tear excepted and with all of Tenant's personal property, trade fixtures, goods and effects removed. Tenant agrees that all personal property remaining within the Leased Premises after Landlord takes possession of the Leased Premises is conclusively deemed to be abandoned by Tenant and the property of Landlord. Tenant waives its rights, if any, under any statutes or other legal doctrines requiring Landlord to remove, store, return or auction such property, and Landlord may dispose of such property as it sees fit, free of any claims of Tenant or others claiming through Tenant. Tenant shall make all necessary repairs to areas damaged as a result of its use of the Leased Premises including, but not limited to, the landscaping and parking lot. Tenant shall comply with all of the Rules and Regulations of the Shopping Center, a copy of which is attached hereto as **Exhibit "B"**. Tenant further agrees that Landlord may, in Landlord's sole discretion, amend the foregoing covenants of Tenant or amend the Rules and Regulations of the Shopping Center, in connection with Tenant's use of and the operation of Tenant's business at the Leased Premises, provided Landlord gives Tenant prior written notice thereof.

Following the date Tenant vacates the Leased Premises, Landlord shall have the right to perform a final inspection of the Leased Premises and the Shopping Center. If Landlord determines that any remedial action is required to restore the Leased Premises or any portion of the Shopping Center to substantially the same condition that existed prior to Tenant's occupancy of the Leased Premises, Tenant shall complete such remedial action within ten (10) days from Tenant's receipt of Landlord's final report.

**8. Signage.** Tenant may install a temporary sign on the Leased Premises, subject to prior approval by Landlord and provided that the sign conforms with all applicable local requirements.

**9. Utility Fees.** Tenant agrees to pay Landlord, as additional consideration for the Lease granted herein, the total sum of \$ N/A (calculated on the basis of \$ N/A per month) payable at the same time and in the same manner as the Base Rent set forth above in Section 3(a) of this Lease.

**10. Indemnity by Tenant.** Landlord assumes no liability or responsibility whatsoever with respect to the use and operation of Tenant's business in the Leased Premises, nor shall Landlord be liable for any accident, loss, damage, injury, fine, fee, cost, expense (including attorneys' fees), or claim therefore, to any persons or property in or about the Leased Premises except those caused directly by the gross negligence or willful misconduct of Landlord or its agents. Tenant assumes full liability for all such accidents, losses, damages, injuries, fines, fees, costs, expenses (including attorneys' fees), or claims therefore, and shall protect, defend and hold Landlord and Landlord's officers, directors, partners, trustees, shareholders, agents, affiliates, successors, assigns, contractors, agents and employees, harmless therefrom which arise from or in connection with the use of or the operation of the business at the Leased Premises or any other part of the Shopping Center during the term of the Lease by Tenant, or by any of Tenant's officers, directors, agents, contractors, employees, licensees or invitees, or arising from any condition of the Leased Premises resulting from any default by Tenant in observing or performing any of the covenants contained in this Lease, or from any fault or neglect of Tenant or any of its officers, directors, agents, contractors, employees, licensees or invitees.

**11. Liability Insurance.** Tenant shall obtain and keep in effect throughout the term of this Lease, liability insurance in amounts, under policies and from an insurer reasonably satisfactory to Landlord, and naming Landlord as an additional insured having limits of not less than: a combined single limit of \$2,000,000.00 per occurrence, with a \$2,000,000.00 aggregate limit for liability, Worker's Compensation insurance as required by the laws of the state where the Shopping Center is located, and Employer's Liability Insurance with a \$1,000,000.00 per occurrence limit. All such insurance policies shall not be canceled, materially altered or non-renewed except upon thirty (30) days prior written notice to Landlord; shall waive all of the insurers rights of subrogation; shall include contractual liability coverage recognizing this License; and shall be primary and non-contributing with any insurance carried by Landlord. A certificate of such insurance shall be delivered by Tenant to Landlord upon Landlord's request. Tenant's failure to obtain the required insurance policies or to provide Landlord with any required certificates shall not be deemed a waiver of Tenant's obligation to provide the insurance required under this Lease.

**12. Property Damage and Insurance.** Tenant shall bear all risk of loss, damage, theft, misappropriation or other

casualty to all or any portion of Tenant's personal property located at or about the Leased Premises or the Shopping Center, and for the interruption of Tenant's business, irrespective of the cause. Tenant shall, at its own discretion, procure property/casualty and/or business interruption insurance in amounts, with deductibles and from insurers as Tenant deems appropriate. In no event shall Landlord be liable for interruption to Licenses business, or for damage to, or replacement or repair of, Tenant's personal property.

**13. Limitation on Tenant's Remedies.** Notwithstanding anything in this Lease to the contrary, Tenant agrees that its sole remedy for any liability of Landlord provided under this Lease or caused by Landlord's violation of this Lease or otherwise, shall be the return of the Rent provided herein. In no case shall Landlord's liability exceed its interest in the Shopping Center, subject to the rights of any mortgagees, trustees or lien holders, and no other assets of Landlord, its officers, directors, partners, trustees, shareholders, agents, affiliates, subsidiaries, successors, assigns, agents and employees shall be subject to levy, execution or other procedures for the satisfaction of Tenant's remedies. In the event Landlord transfers its fee interest in the Shopping Center, Landlord shall be released from all liability and obligations hereunder, no matter when accruing.

**14. Casualty/Condemnation.** Landlord shall have no obligation at any time during the term of this Lease to make any changes, repairs or improvements to the Leased Premises or the Shopping Center. If the Leased Premises or the Shopping Center shall be damaged or destroyed by fire or other casualty, or shall be subject to full or partial condemnation, Landlord shall have no obligation to repair or restore the same unless it shall so elect in its sole and absolute discretion. If Landlord shall not elect to repair or restore the Leased Premises or the Shopping Center, this Lease shall terminate as of the date of the casualty or date of taking, without further liability of either party to the other except for obligations previously accrued, but unpaid or unperformed as provided herein. If no material portion of the Leased Premises shall be damaged or condemned, this Lease shall continue until its expiration or earlier termination as provided herein.

**15. No Assignment.** Tenant shall not assign this Lease without the prior written consent of Landlord, which consent Landlord may withhold in its sole and absolute discretion. The consent by Landlord to any assignment shall not constitute a waiver of the necessity for such consent to any subsequent assignment. This prohibition against assigning shall be construed to include a prohibition against any assignment by operation of law. Notwithstanding any assignment, Tenant shall remain fully liable and shall not be released from any obligations under this Lease.

**16. Surrender.** This Lease shall terminate without further notice at the expiration of its specified term. Any use of the Leased Premises after the expiration of the Term shall not constitute a renewal or extension of the Lease or give Tenant any rights in or to the Leased Premises except as expressly provided in this Lease. If Tenant remains in the Licensed Premises after the expiration or termination of this Agreement, Tenant shall pay Landlord, as liquidated damages and not as a penalty, an amount equal to 250% of the monthly Base Rent payable during the last full calendar month of the term hereof, prorated on a daily basis, for each day that Tenant remains in the Leased Premises. In addition, Tenant shall continue paying all other sums due under this Lease.

**17. Entry.** In addition to any other rights of entry granted hereby, Landlord shall have the right to enter the Leased Premises (a) by any means necessary in the event of an emergency involving danger to person or property, (b) upon forty-eight (48) hours notice to Tenant to show the Leased Premises to prospective lenders, buyers, or lessees or to perform construction or maintenance on the Leased Premises or the building in which the Leased Premises is located so long as Tenant's business operations are not thereby adversely affected.

**18. Remedies.**

(a) If Tenant should fail to perform any covenant or obligation arising hereunder, Landlord may, at Landlord's sole discretion and upon prior written notice to Tenant, immediately terminate all of Tenant's rights and privileges granted herein, and thereafter, this Lease shall be of no further force or effect.

(b) A late fee of \$50.00 shall be assessed and payable for all fee payments not received by the due date on the invoice. Interest shall also accrue on all past due sums at an annual rate of 18%. If any check of Tenant is returned for any reason, Tenant shall pay Landlord \$50 as a handling charge in addition to any applicable late

charge.

(c) If Landlord sues to enforce this Agreement or collect any amounts due, Landlord shall be entitled to recover its attorney fees and court costs.

**19. No Brokers.** Each party hereto warrants to the other that no broker was used in connection with the negotiation of this Lease and that no brokers fee is owed by any party, except as follows: N/A; Amount \$N/A.

**20. Notices.** Any notice required or permitted herein shall be made in writing, and shall be sent (i) by registered or certified U.S. mail, return receipt requested; (ii) by reliable overnight courier service; or (iii) by hand delivery; to the addresses for the respective party set forth below, or any other address provided to the other party in writing from time to time:

If to Landlord: Monument Mall Management  
Mall Office  
2302 Frontage Road, No. 5  
Scottsbluff, NE 69361  
manager@monumentmall.com

With a copy to: Jeffrey I. Horowitz  
Crain Caton & James  
1401 McKinney, Suite 1700  
Houston, Texas 77010

If to Tenant: Peggy McVay  
1610 Broadway  
Scottsbluff, NE 69361

Written notice to any party shall be deemed to have been given upon being mailed to the proper address provided above, with proper postage prepaid, or upon actual delivery if hand delivered or sent by overnight courier.

**21. Binding Effect.** All provisions herein shall be binding upon and shall inure to the benefit of the parties hereto, and to their respective legal representatives, successors and permitted assigns. Each provision to be performed by Tenant shall be construed to be both a covenant and a condition, and if there shall be more than one Tenant, they shall all be bound, jointly and severally. The provisions of this Lease shall be severable, and shall be construed pursuant to the laws of the State of South Dakota. Time is of the essence.

**22. Counterparts; Facsimile Signatures.** Facsimile signature or signature delivered in a PDF attachment via electronic mail shall be treated as an original signature for purposes of executing this Lease. It is understood and agreed that this Lease may be executed in several counterparts, when taken together, shall be deemed to constitute one and the same agreement, even though all of the parties hereto may not have executed the same counterpart.

**23. Subordination.** This Lease shall be subordinate to the lien of any mortgage(s) that now or hereafter are a lien upon the Shopping Center. Tenant shall attorn to any new owner of the Shopping Center upon demand.

**24. Relocation.** Landlord reserves the right to relocate the Leased Premises any time to any location within the Shopping Center, at Tenant's sole cost and expense.

**25. Confidentiality.** Tenant shall keep the terms of this Lease confidential and shall not disclose such terms to any one for any reason without the prior written consent of Landlord.

**26. Entire Agreement.** This Lease, and any exhibits and/or addendum attached hereto, set forth the entire agreement between the parties hereto. Any prior conversation or writing are merged herein and extinguished. No subsequent amendment to this Lease shall be binding upon Landlord or Tenant unless reduced to writing and signed by both parties hereto, except as otherwise provided herein. This Lease shall have no binding effect on either party unless and until executed by both Landlord and Tenant.

**ADDITIONAL TERMS ADDENDUM ATTACHED AS PART HEREOF AND INCORPORATED HEREIN  
BY THIS REFERENCE FOR ALL PURPOSES**

*[Remainder of page intentionally left blank. The signature page follows.]*

IN WITNESS WHEREOF, Landlord and Tenant have caused this Lease to be executed and delivered, being first duly authorized so to do, on the date first above written.

Landlord:

**ROCKSTEP SCOTTSBLUFF, LLC,**  
a Texas limited liability company

By: Rockstep Management – Scottsbluff, LLC,  
A Texas limited liability company

Its: Manager

By:

Name:

Title:

*Christa Felster*  
*Mall Manager*

Tenant:

By:

*Peggy McVay - A Lil Bit of Everything*  
Peggy McVay, Individually d/b/a A Lil Bit of Everything

# Memo

**Date:** January 4, 2019  
**To:** Honorable Mayor and City Council  
**From:** Staff, Development Services  
**CC:** Nathan Johnson  
**Re:** Class "C" Liquor License Application  
A Lil Bit of Everything  
2302 Frontage Rd., #44  
Scottsbluff, NE 69361

**Action:**

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The owners of A Lil Bit of Everything have applied for a new license in the name of Peggy McVay.

The Development Services Department is required by Article 1, Chapter 11 of the Scottsbluff Municipal Code to report specific information to the Mayor and City Council whenever a liquor license application hearing is held. In accordance with that directive the following information is offered:

- (1) The property at 2302 Frontage Road, St. #44 is situated in a PBC (Planned Business Center) zoning district where a retail store is allowed by right pursuant to the City's Zoning Ordinance 25-3-12, #52 of the City's Municipal Code of Ordinances. Also allowed in 25-3-12, #51 is Restaurants, Bars, and Taverns.
- (2) The off-street parking requirements in a PBC (Planned Business Center) zone are met utilizing the Monument Mall parking lot.
- (3) The use of this property is consistent with the surrounding neighborhood, which is generally business retail in nature.
- (4) There are no churches, schools, or other similar institutions within 300 feet of the subject property.
- (5) The existing population of Scottsbluff is approximately 15,039.



# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Resolut.1**

**Council to consider an Ordinance regarding a Zone Change for parcel Lot 1, Block 1, Northern Heights by Foos from an R-1A Single Family to Office & Professional (O&P). (third reading)**

**Staff Contact: Nathan Johnson, City Manager**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE DEALING WITH ZONING, AMENDING SECTION 25-1-4 BY UPDATING THE OFFICIAL ZONING DISTRICT MAP TO SHOW THAT LOT 1, BLOCK 1, NORTHERN HEIGHTS BY FOOS, SCOTTS BLUFF COUNTY, NEBRASKA, CURRENTLY ZONED AS R-1A SINGLE FAMILY, WILL NOW BE INCLUDED IN O&P OFFICE AND PROFESSIONAL, AND REPEALING PRIOR SECTION 25-1-4.**

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SCOTTSBLUFF, NEBRASKA:**

Section 1. Section 25-1-4 of the Municipal Code is amended to provide as follows:

25-1-4. Zones; location; maps. The boundaries of the zoning districts created in this chapter are shown on the zoning district map which is made a part of this municipal code. The zoning district map and all information shown thereon shall have the same force and effect as if fully set forth and described herein. The official zoning district map shall be identified by the signature of the Mayor, attested by the City Clerk under the following statement:

This is to certify that this is the official zoning district map described in §25-1-4 of the Scottsbluff Municipal Code, passed this \_\_\_\_ day of \_\_\_\_\_, 2018.

Section 2. Previously existing Section 25-1-4 and all other Ordinances and parts of Ordinances in conflict with this Ordinance, are repealed. Provided, this Ordinance shall not be construed to affect any rights, liabilities, duties or causes of action, either criminal or civil, existing or actions pending at the time when this Ordinance becomes effective.

Section 3. This Ordinance shall become effective upon its passage, approval and publication shall be in pamphlet form.

PASSED AND APPROVED on \_\_\_\_\_, 2018.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

(Seal)

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports1**

**Council to consider approval of Water Tower Lease Agreements with Inventive Wireless of Nebraska, LLC d/b/a Vistabeam to put wireless internet transmission equipment on three water towers.**

**Staff Contact: Nathan Johnson, City Manager**

# Agenda Statement

Meeting Date: January 7, 2019

**AGENDA TITLE:** Council to consider approval of Water Tower Lease Agreements with Inventive Wireless of Nebraska, LLC d/b/a Vistabeam to put wireless internet transmission equipment on three water towers.

**SUBMITTED BY DEPARTMENT/ORGANIZATION:** Public Works

**PRESENTATION BY:** Nathan Johnson, City Manager

**SUMMARY EXPLANATION:** Inventive Wireless of Nebraska, LLC d/b/a Vistabeam has an existing Lease with the City for equipment located on a water tower at 1604 21<sup>st</sup> Ave. This Lease renewed in December of 2016 for a 5 year term at \$150.00 per month.

Vistabeam desires to lease space on three additional water towers for the purpose of placing wireless internet transmission equipment on them. The proposed Leases would have the same term of 5 years at \$150.00 per month. The tower locations are:

- 2100 Airport Road – Airport Tower
- 513 E 42<sup>nd</sup> St – Cemetery Tower
- 5303 Ave I - Hydropillar

The Leases have been through legal review and are ready for Council consideration.

**BOARD/COMMISSION RECOMMENDATION:**

**STAFF RECOMMENDATION:** For Council to give direction to staff on how they wish to proceed with this request.

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## EXHIBITS

Resolution ☐

Ordinance ☐

Contract ☒

Minutes ☐

Plan/Map ☐

Please provide all visual presentation materials.

Other (specify) ☐ \_\_\_\_\_

**NOTIFICATION LIST:** Yes ☐ No ☐ Further Instructions ☐

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City of Scottsbluff  
Office of the City Manager

Effective date: January 20, 2017

## **LEASE**

This Lease is made January \_\_, 2019, between the City of Scottsbluff, Nebraska, a Municipal Corporation ("City") and Inventive Wireless of Nebraska, LLC d/b/a Vistabeam, a Nebraska limited liability company ("Vistabeam").

### **1. Description.**

City owns the following described real estate upon which is located a water tower ("tower site"):

2100 Airport Road, Easement Tract at Airport in Section Twenty (20), Township 22 North, Range 55 West, Scotts Bluff County, Nebraska

Vistabeam desires to mount various small aperture directional and non-directional antenna arrays and wireless internet transmission equipment which are used in the furtherance of its business operations as a distributor of wireless internet service ("Transmission Equipment") on the City's water tower. The City agrees to lease space on its water tower at the tower site to Vistabeam for the purpose of maintaining and operating the Transmission Equipment.

### **2. Term and Rent.**

The term of this Lease shall be for five (5) years from the date of this Lease, unless terminated earlier by either party. Payments are to commence on the date that this Lease is signed by both parties and due on the first day of each month thereafter. Either party has the right to terminate this Lease upon giving sixty (60) days written notice to the other party, at which time provision 5.e. will apply. Vistabeam agrees to pay rent in the amount of \$150.00 per month, payable in advance, for each month of the term of this Lease. This Lease may be renegotiated thereafter.

### **3. Access.**

Vistabeam, upon notice during normal business hours of the City, shall have a right of reasonable access at all reasonable times to the tower site for construction, maintenance and repair of the Transmission Equipment. Provided, its activities will not interfere with the City's use and maintenance of the water tower or tower site.

### **4. Use.**

Vistabeam agrees to use the tower site for the purposes intended by this Lease. Currently, the City is required by the Federal Aviation Administration to have an obstruction marking signal on the water tower at the tower site. Vistabeam represents that the addition of its Transmission Equipment to the water tower on the tower site adds no more than 10 feet to the existing height of the water tower, and no obstruction marking signal will be required for Vistabeam's Transmission Equipment. If for any reason, any obstruction making signal is later required which would not have been necessary but for Vistabeam's Transmission Equipment, Vistabeam agrees to pay the cost of the signal and its installation.



5. **Vistabeam's Representations.**

Vistabeam warrants and represents that the installation, use and maintenance of its Transmission Equipment will not interfere with the City's use of the water tower and any other equipment thereon. Vistabeam's use shall not be exclusive and the City shall have the right to lease space on the water tower at the tower site to anyone else as long as the additional lease(s) do not interfere with each other uses. Vistabeam also warrants and represents that:

- a. Vistabeam herein expressly releases, indemnifies and forever discharges and holds harmless the City from any and all liability, claims, demands, causes of action or rights of action in any way connected to the use of the airport Property, including those allegedly attributable to negligent acts or omissions of any kind or nature of the City. Vistabeam acknowledges that repairs and maintenance of the towers may be required in the future. Any damage to the City's property is, therefore, the sole responsibility and obligation of Vistabeam regardless of any required City work, including, but not limited to, negligence of the City with respect to work on its property. It will be responsible for and pay the costs required to move or temporarily relocate the Transmission Equipment in the event the City determines to conduct maintenance or repainting the water tower. In such an event, the City agrees to give Vistabeam written notice of the maintenance activity at least thirty (30) days prior to it beginning.
- b. It will carry liability insurance for property damage in the amount of \$1,000,000.00 and bodily injury in the amount of \$1,000,000.00. Proof of such insurance shall be furnished to the City by Vistabeam giving the City a certificate of insurance for the then current policy period. Said insurance policy shall name "City" as an "Additional Insured." It shall provide "City" with proof of insurance on the anniversary date of this contract each year.
- c. It will keep its Transmission Equipment and improvements in good repair.
- d. Its use of the water tower and operation of its Transmission Equipment will not be in violation of any law or regulation, nor will its use disrupt or interfere with any of the City's communication activities or the City's other activities, whether or not located at the tower site.
- e. Upon the termination of this Lease for any reason, Vistabeam will, within 30 days, remove its Transmission Equipment and improvements, and leave the water tower and tower site in as good a condition as when entered, subject to reasonable wear and tear and for damage due to causes beyond Vistabeam's control, if the Transmission Equipment and improvements are not removed within 30 days, then it shall, at the option of the City, be considered abandoned and become City property.
- f. It will not assign this Lease without City's consent.
- g. Vistabeam shall be responsible for the cost of installing and maintaining all power lines and equipment necessary for its use.
- h. Vistabeam shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges, if any, owed on the Property which City

demonstrates is the result of Vistabeam's use of the Premises and/or installation, maintenance, and operation of Vistabeam's improvements, and any sales tax imposed on the rent (except to the extent that Vistabeam is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located).

**6. City's Obligations and Conduct.**

City agrees that it will not intentionally cause any damage or interference with Vistabeam's Transmission Equipment or its operation. The City makes no representations to the suitability of the location of the water tower or tower site for the use intended by Vistabeam.

**7. Default.**

It shall be deemed a default by Vistabeam if there is a violation of any provision of this Lease where the violation continues for thirty (30) days from the date of written notification by City, delivered in person to Vistabeam, or by mail, to Vistabeam, at 1225 Sage Street, Gering, Nebraska 69341. Upon declaration of a default, City shall have all legal remedies available to it to include the right to render Vistabeam's Transmission Equipment inoperable and to remove all its equipment from the tower site.

**8. Entire Agreement, Amendment and Binding Effect.**

This Agreement shall constitute the entire agreement of the parties. It shall not be amended and no provisions shall be considered as waived unless in writing signed by all parties. It shall be binding upon the heirs, personal representatives, successors and assigns of the parties.

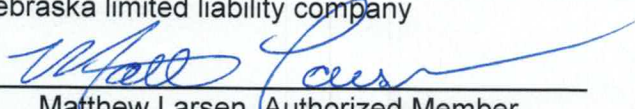
CITY OF SCOTTSBLUFF, NEBRASKA,  
A Municipal Corporation,

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk  
(Seal)

INVENTIVE WIRELESS OF NEBRASKA, LLC, D/B/A VISTABEAM,  
A Nebraska limited liability company

By  \_\_\_\_\_  
Matthew Larsen, Authorized Member



## **LEASE**

This Lease is made January \_\_, 2019, between the City of Scottsbluff, Nebraska, a Municipal Corporation ("City") and Inventive Wireless of Nebraska, LLC d/b/a Vistabeam, a Nebraska limited liability company ("Vistabeam").

### **1. Description.**

City owns the following described real estate upon which is located a water tower ("tower site"):

513 E 42<sup>nd</sup> Street, Scottsbluff, Nebraska, in Section Twelve (12), Township 22 North, Range 55 West of the 6<sup>th</sup> P.M., Scotts Bluff County, Nebraska

Vistabeam desires to mount various small aperture directional and non-directional antenna arrays and wireless internet transmission equipment which are used in the furtherance of its business operations as a distributor of wireless internet service ("Transmission Equipment") on the City's water tower. The City agrees to lease space on its water tower at the tower site to Vistabeam for the purpose of maintaining and operating the Transmission Equipment.

### **2. Term and Rent.**

The term of this Lease shall be for five (5) years from the date of this Lease, unless terminated earlier by either party. Payments are to commence on the date that this Lease is signed by both parties and due on the first day of each month thereafter. Either party has the right to terminate this Lease upon giving sixty (60) days written notice to the other party, at which time provision 5.e. will apply. Vistabeam agrees to pay rent in the amount of \$150.00 per month, payable in advance, for each month of the term of this Lease. This Lease may be renegotiated thereafter.

### **3. Access.**

Vistabeam, upon notice during normal business hours of the City, shall have a right of reasonable access at all reasonable times to the tower site for construction, maintenance and repair of the Transmission Equipment. Provided, its activities will not interfere with the City's use and maintenance of the water tower or tower site.

### **4. Use.**

Vistabeam agrees to use the tower site for the purposes intended by this Lease. Currently, the City is required by the Federal Aviation Administration to have an obstruction marking signal on the water tower at the tower site. Vistabeam represents that the addition of its Transmission Equipment to the water tower on the tower site adds no more than 10 feet to the existing height of the water tower, and no obstruction marking signal will be required for Vistabeam's Transmission Equipment. If for any reason, any obstruction making signal is later required which would not have been necessary but for Vistabeam's Transmission Equipment, Vistabeam agrees to pay the cost of the signal and its installation.



**5. Vistabeam's Representations.**

Vistabeam warrants and represents that the installation, use and maintenance of its Transmission Equipment will not interfere with the City's use of the water tower and any other equipment thereon. Vistabeam's use shall not be exclusive and the City shall have the right to lease space on the water tower at the tower site to anyone else as long as the additional lease(s) do not interfere with each other uses. Vistabeam also warrants and represents that:

- a. Vistabeam herein expressly releases, indemnifies and forever discharges and holds harmless the City from any and all liability, claims, demands, causes of action or rights of action in any way connected to the use of the cemetery Property, including those allegedly attributable to negligent acts or omissions of any kind or nature of the City. Vistabeam acknowledges that repairs and maintenance of the towers may be required in the future. Any damage to the City's property is, therefore, the sole responsibility and obligation of Vistabeam regardless of any required City work, including, but not limited to, negligence of the City with respect to work on its property. It will be responsible for and pay the costs required to move or temporarily relocate the Transmission Equipment in the event the City determines to conduct maintenance or repainting the water tower. In such an event, the City agrees to give Vistabeam written notice of the maintenance activity at least thirty (30) days prior to it beginning.
- b. It will carry liability insurance for property damage in the amount of \$1,000,000.00 and bodily injury in the amount of \$1,000,000.00. Proof of such insurance shall be furnished to the City by Vistabeam giving the City a certificate of insurance for the then current policy period. Said insurance policy shall name "City" as an "Additional Insured." It shall provide "City" with proof of insurance on the anniversary date of this contract each year.
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- d. Its use of the water tower and operation of its Transmission Equipment will not be in violation of any law or regulation, nor will its use disrupt or interfere with any of the City's communication activities or the City's other activities, whether or not located at the tower site.
- e. Upon the termination of this Lease for any reason, Vistabeam will, within 30 days, remove its Transmission Equipment and improvements, and leave the water tower and tower site in as good a condition as when entered, subject to reasonable wear and tear and for damage due to causes beyond Vistabeam's control, if the Transmission Equipment and improvements are not removed within 30 days, then it shall, at the option of the City, be considered abandoned and become City property.
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- g. Vistabeam shall be responsible for the cost of installing and maintaining all power lines and equipment necessary for its use.
- h. Vistabeam shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges, if any, owed on the Property which City

demonstrates is the result of Vistabeam's use of the Premises and/or installation, maintenance, and operation of Vistabeam's improvements, and any sales tax imposed on the rent (except to the extent that Vistabeam is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located).

6. **City's Obligations and Conduct.**

City agrees that it will not intentionally cause any damage or interference with Vistabeam's Transmission Equipment or its operation. The City makes no representations to the suitability of the location of the water tower or tower site for the use intended by Vistabeam.

7. **Default.**

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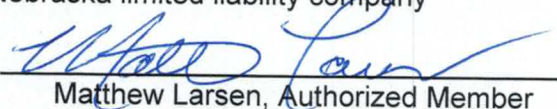
CITY OF SCOTTSBLUFF, NEBRASKA,  
A Municipal Corporation,

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk  
(Seal)

INVENTIVE WIRELESS OF NEBRASKA, LLC, D/B/A VISTABEAM,  
A Nebraska limited liability company

By  \_\_\_\_\_  
Matthew Larsen, Authorized Member



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### **1. Description.**

City owns the following described real estate upon which is located a water tower ("tower site"):

5303 Avenue I, Part of Block One (1), Schlager Subdivision (1.24 Acres), Northwest Quarter (NW ¼), Section Eleven (11), Township 22 North, Range 55 West of the 6<sup>th</sup> P.M., Scotts Bluff County, Nebraska

Vistabeam desires to mount various small aperture directional and non-directional antenna arrays and wireless internet transmission equipment which are used in the furtherance of its business operations as a distributor of wireless internet service ("Transmission Equipment") on the City's water tower. The City agrees to lease space on its water tower at the tower site to Vistabeam for the purpose of maintaining and operating the Transmission Equipment.

### **2. Term and Rent.**

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City agrees that it will not intentionally cause any damage or interference with Vistabeam's Transmission Equipment or its operation. The City makes no representations to the suitability of the location of the water tower or tower site for the use intended by Vistabeam.

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This Agreement shall constitute the entire agreement of the parties. It shall not be amended and no provisions shall be considered as waived unless in writing signed by all parties. It shall be binding upon the heirs, personal representatives, successors and assigns of the parties.

CITY OF SCOTTSBLUFF, NEBRASKA,  
A Municipal Corporation,

By \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk  
(Seal)

INVENTIVE WIRELESS OF NEBRASKA, LLC, D/B/A VISTABEAM,  
A Nebraska limited liability company

By  \_\_\_\_\_  
Matthew Larsen, Authorized Member

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports2**

**Council to receive an update on bid proposals for the sanitation department.**

**Staff Contact: Nathan Johnson, City Manager**

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## MEMORANDUM

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**TO:** CITY COUNCIL

**FROM:** NATHAN JOHNSON, CITY MANAGER

**SUBJECT:** SANITATION SERVICES RFP

**DATE:** JANUARY 7, 2019

**CC:** MARK BOHL, PUBLIC WORKS DIRECTOR  
JORDAN DIEDRICH, DEPUTY PUBLIC WORKS DIRECTOR

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On November 5, 2018 the City of Scottsbluff received three bids from two companies in response to the Request for Proposal (RFP) for Sanitation Services. The RFP was approved by City Council on September 4, 2018 and advertised on September 7, 2018; September 14, 2018; September 21, 2018. Bids submittals were due by 10:00am on November 5, 2018 in the City Clerk's Office. The RFP allowed for interested companies to bid on two scopes (Scope A and/or Scope B).

### Scope A

One bid was received from Waste Connections in response to Scope A. Scope A allowed for bidders to submit a price on privatizing the entire sanitation services. The bidding entity would be responsible for collection from the individual residence or commercial entity for trash, recycling and yard waste. Below is a breakdown of the bid received as compared to the City's current charges.

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#### SCOPE A: WASTE CONNECTIONS

RESIDENTIAL COLLECTION	Current	Proposed	Difference
Weekly Trash, Recycling & Yard Waste	21.90	19.95	(1.95)
Two Trash Containers per household	50.08	26.45	(23.63)
SPECIAL COLLECTIONS	Current	Proposed	Difference
90 Gallon Trash or Recycle	11.00	15.00	4.00
1.5 CY Trash or Recycle	14.66	20.00	5.34
2.0 CY Trash or Recycle	14.66	25.00	10.34
3.0 CY Trash or Recycle	27.89	30.00	2.11
Bulk-Item (first item)	11.00	15.00	4.00
Bulk Items (additional items after 1st)	31.00	7.50 each	(8.50)
Extra Large Items	varies	varies	varies
MULTI-FAMILY COLLECTION	Current	Proposed	Difference
2 to 4 units	21.90	19.95	(1.95)
5 to 6 units	19.69	17.94	(1.75)
7 to 10 units	18.60	16.95	(1.65)
11 to 16 units	17.51	15.95	(1.56)

17 to 39 units	16.38	14.92	(1.46)
40 to 59 units	15.29	13.93	(1.36)
60 or more units	14.24	12.97	(1.27)

<b>COMMERCIAL COLLECTION</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
90 Gallon 1X/week	45.28	45.06	(0.22)
90 Gallon 2X/week	NA	90.12	NA
90 Gallon 3X/week	NA	135.18	NA
90 Gallon 4X/week	NA	180.24	NA
90 Gallon 5X/week	NA	225.3	NA
1.5 CY 1X/week	60.39	60.11	(0.28)
1.5 CY 2X/week	120.78	120.22	(0.56)
1.5 CY 3X/week	181.17	180.33	(0.84)
1.5 CY 4X/week	241.56	240.44	(1.12)
1.5 CY 5X/week	301.95	300.55	(1.40)
2.0 CY 1X/week	60.39	76.26	15.87
2.0 CY 2X/week	120.78	152.52	31.74
2.0 CY 3X/week	181.17	228.78	47.61
2.0 CY 4X/week	241.56	305.04	63.48
2.0 CY 5X/week	301.95	381.3	79.35
3.0 CY 1X/week	114.92	114.35	(0.57)
3.0 CY 2X/week	229.84	228.7	(1.14)
3.0 CY 3X/week	344.76	343.05	(1.71)
3.0 CY 4X/week	459.68	457.4	(2.28)
3.0 CY 5X/week	574.60	571.75	(2.85)

<b>COMMERCIAL CARDBOARD</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
2.0 CY 1X/week	20	30	10.00
2.0 CY 2X/week	40	60	20.00
2.0 CY 3X/week	60	90	30.00
2.0 CY 4X/week	80	120	40.00
2.0 CY 5X/week	100	150	50.00

<b>COMMERCIAL SINGLE STREAM</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
90 gallon 1X/week	0.00	40.00	40.00
90 gallon 2X/week	NA	80.00	NA
90 gallon 3X/week	NA	120.00	NA
90 gallon 4X/week	NA	160.00	NA
90 gallon 5X/week	NA	200.00	NA

<b>DROP OFF RECYCLING</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
Residents	0.0	0.0	0.00

<b>ELECTRONIC RECYCLING DROP OFF</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
Residential (per lbs)	0.0	0.5	0.50
Commercial (per lbs)	0.5	0.5	0.00



Scope A would mean that all City Departments would need to pay for sanitation services provided by Waste Connections. The City would be responsible for the billing of these services. Below is a breakdown of the approximate costs associated with each Department in how much they would be charged for services at a 25% discount that has been offered by Waste Connections.

SANITATION EXPENSES						
25% discount on Commercial Rates						
	Annual Cost	Location				Single Stream Recycling
	1029.12	Transportation- 3.0cy (1C 1P)				360
	1082.04	Parks Department- 1.5cy (1C 2P)				
	1029.12	City Hall- 3.0cy (1C 1P)				360
	6519.36	Water/Waste Water- 3.0cy (2C 1P) & 90 gal (11C 1P)				360
	2111.16	Compost Facility- 1.5cy (2C 1P) & 3.0cy (1C 1P)				
	4461	Frank Park- 90 gal (9C 1P)				
	1622.16	Pioneer Park- 90 gal (4C 1P)				
	541	Westmoor Pool- 1.5cy (1C 3P) (Summer only)				
	1081.98	Lacy Park- 1.5cy (2C 2P) (Summer only)				
	4070.66	23 Club- 3.0cy (1C 2P) & 90 gal (5C 1P)(Summer only)				
	3649.92	Northwood Park- 90 gal (9C 1P)				
	3867.96	Landers Soccer Complex- 3.0cy (1C 1P) & 90 gal (7C 1P)				
	540.96	Shooting Range- 1.5cy (1C 1P)				
	1029.12	Cemetery- 3.0cy (1C 1P)				
	2058.3	Riverside Campground- 3.0cy (2C 2P) (Summer only)				
	1029.12	Riverside Park- 3.0cy (1C 1P)				
	405.6	Skating Rink- 90 gal (1C 1P)				
	1216.68	Dog Park- 90 gal (2C 1P)				
	1029.12	Cleveland Field- 3.0cy (1C 1P)				
	405.6	Mini Park Plaza- 90 gal (1C 1P)				
	1082.04	Public Safety				
	1082.04	Library				1800
	40,944.06	TOTAL ANNUAL COST AT DISCOUNTED RATE				2,880.00
	DEPARTMENT	ANNUAL COST				
	Admin	1389.12				
	Parks	26521.14				
	Transportation	1389.12				
	Water	3619.68				
	Wastewater	3259.68				
	Compost Facility	2111.16				
	Police	1081.98				
	Fire	541.02				
	Cemetery	1029.12				
	Library	2882.04				
	TOTAL	43,824.06				

TOTAL ADDED EXPENSES			
Recycling:	2,880.00		
Trash:	40,944.06		
Street Sweepings:	30,000.00	*estimate	
TOTAL:	73,824.06		

Scope A also does not include any revenue for the Compost Facility operations which is currently split between the Environmental Services and Wastewater funds.

It should also be noted that Waste Connections is willing to purchase existing equipment, materials and lease the existing building. Waste Connections is also interested in hiring all of the current Environmental Services employees.

### **Scope B**

Two Bids were received from Waste Connections and TDS Collection Service, Inc in response to Scope B. Scope B allowed for the City to keep the current collection process and then take the trash to a transfer point (i.e. landfill, transfer station, etc.). Neither of these bids included a price for recycling.

<b>SCOPE B: WASTE CONNECTIONS</b>			
<b>TIPPING FEE</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
Trash per ton	48.87	43.00	(5.87)
Recycling per ton	32.00	NA	NA
ESTIMATED TOTAL ANNUAL COST:	10,481.49 tons		
Current at Gering	512,230.42		
Proposed at Waste Connections	450,704.07		
Difference	(61526.35)		

Waste Connections would use their existing transfer station located at 710 Country Club Road, Gering, NE 69341.

<b>SCOPE B: TDS</b>			
<b>TIPPING FEE</b>	<b>Current</b>	<b>Proposed</b>	<b>Difference</b>
Trash per ton	48.87	32.00	(16.87)
Transfer per ton	0.00	4.00	4.00
Freight Charge per load	0.00	250.00	250.00
Recycling per ton	32.00	NA	NA
Total Trash Fee	48.87	45.75	(3.12)
ESTIMATED TOTAL ANNUAL COST:	10,481.49 tons		
Current at Gering	512,230.42		
Proposed at Waste Connections	479,528.17		
Difference	(32702.25)		

TDS would need to construct a transfer station to handle the City's trash. TDS has offered that a transfer station be built on approximately 65 acres at the Compost facility in exchange for the City being a 10% partner on the facility. This opportunity is subject to negotiation.

TDS is also willing to share revenue on the 30 cubic yard roll off boxes that is equivalent to \$35.00 per roll off container. There is approximately 120 roll offs per year currently being serviced in the City by the City of Gering. This equates to approximately \$4,200 in additional revenue per year.

## **Recycling Disposal**

### **Current (City of Gering):**

\$24.65 per ton tipping fee x 210 tons = **\$5,176.50 per year**

### **Proposed (Waste Connections):**

\$32.00 per ton tipping and transportation to Cheyenne, WY x 210 tons = \$6,720

Plus \$40 to \$45 tipping fee at Wyco x 210 tons = \$8,400 to \$9,450

**Total: \$15,120 to \$16,170 per year**

The approximate cost to Wyco is if they are willing to accept the single stream recycling. There is a chance that they will decide not to take it and we will have to look elsewhere for recycling disposal.

## **Conclusion**

The information provided is for information only. City staff will give a recommendation after further discussions with Waste Connections and also the completion of Tri-Hydro's Phase 1 Site Assessment/Investigation.

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports3**

**Council discussion and instruction to staff regarding the  
Scottsbluff City Youth Council.**

**Staff Contact: Nathan Johnson, City Manager**

## ORDINANCE RECORD

ORDINANCE NO. 3900

**AN ORDINANCE OF THE CITY OF SCOTTSBLUFF, NEBRASKA, DEALING WITH GOVERNMENT, CREATING A SCOTTSBLUFF CITY YOUTH COUNCIL, ESTABLISHING THE POSITION OF STUDENT REPRESENTATIVE, ESTABLISHING THE POSITION OF COUNCIL ADVISOR, AND PROVIDING REGULATIONS FOR THE OPERATION OF THE SCOTTSBLUFF CITY YOUTH COUNCIL.**

**BE IT ORDAINED BY THE CITY COUNCIL OF SCOTTSBLUFF, NEBRASKA.**

Section 1. Article 6, Chapter 2 of the Municipal Code is amended to add the following new sections.

**6-2-127. Scottsbluff City Youth Council; composition; student representative appointment; council advisor appointment.**

1. The Scottsbluff City Youth Council is hereby established for the purposes of:
  - a. Educating Scottsbluff youth about the functions of municipal government.
  - b. Providing local youth a greater understanding about the City of Scottsbluff and its assets.
  - c. Generating interest and enthusiasm for local elections and the election process.
  - d. Creating a formal process whereby local youth can play an active role in city-wide issues.
  - e. Creating a stronger partnership between youth, the City of Scottsbluff and the Scottsbluff School District.
2. The Scottsbluff City Youth Council shall be a sub-committee of the Scottsbluff Senior High School Student Senate at the pleasure of the Scottsbluff City Council.
3. The Scottsbluff City Youth Council shall be led by a student representative, who will serve in an ex-officio capacity on the Scottsbluff City Council at all regular public city council meetings.
4. The student representative will not be included in closed sessions unless invited by a majority of the council.
5. The student representative will be elected by the Scottsbluff High School student body each year and approved by a three-fourths vote of the Scottsbluff City Council by July 1. In order to be eligible, the student candidate must:
  - a. Submit his or her request, in writing, to the building principal.
  - b. Obtain at least ten signatures of support from fellow high school students.
  - c. Be academically eligible as defined by applicable rules of the Nebraska Schools Activity Association.
  - d. Be a junior or senior.
6. The SCYC shall be comprised of one student representative and an unspecified number of sub-committee members of the Scottsbluff High School (SSHS) Student Senate. The number and identity of SCYC members and the requirements for participation shall be determined by the SSHS Student Senate.
7. A City Council member will be selected by the City Council each year by July 1 to serve as an advisor to the SCYC. The Council Advisor will meet no less than one time per month with the SCYC student representative and/or SCYC sub-committee.
8. The SCYC is subject to the provisions of Section 6-2-50 through 6-2-55 of the Municipal Code.

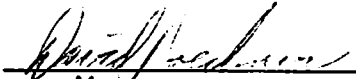
**6-2-128. Term of office; eligibility for appointment; code of conduct; removal;**

## ORDINANCE RECORD

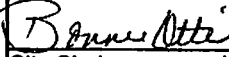
1. The SCYC student representative and Council Advisor shall both serve for one year. The SCYC student representative may serve up to two consecutive terms. No SCYC student representative may use or possess, alcohol, tobacco or a controlled substance as that term is defined by the statutes of Nebraska. Any student representative that is expelled from school, drops out of school, possess or uses alcohol, tobacco or a controlled substance may be removed from office by recommendation of the Scottsbluff Senior High School Student Senate and two thirds vote of the Scottsbluff City Council.

Section 3. This ordinance shall take effect and be in full force upon its passage, approval and publication as required by law.

Passed and approved this 15<sup>th</sup> day of May, 2006.

  
Mayor

Attest:

  
City Clerk (Seal)

Approved:

Deputy City Attorney



# ORDINANCE RECORD

# CERTIFICATE OF PASSAGE

◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆ ◆

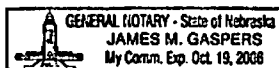
State of Nebraska )  
County of Scotts Bluff ) \$  
City of Scottsbluff )


I, Bonnie Otte, City Clerk of the City of Scottsbluff, Scotts Bluff County, Nebraska, hereby certify that the annexed Ordinance purporting to be Ordinance No. 3900 of said City was passed as such by the Mayor and City Council of the City of Scottsbluff, Scotts Bluff County, Nebraska, pursuant to the rules and regulations prescribed by general law and by said City for the passage of Ordinances, and was duly approved by the Mayor of said City, passage and approval having been made on the 15<sup>th</sup> day of May, 2006 with respect to said Ordinance aforesaid which said Ordinance No. 3900 has been published in pamphlet form by authority of the Mayor and Council of said City under direction of its duly constituted authorities pursuant to resolution of the Mayor and Council thereof with copies made available to the public on such date at the office of the City Clerk.

IN WITNESS WHEREOF, I have hereto affixed my hand and the seal of the City of Scottsbluff, Scotts Bluff County, Nebraska, 16<sup>th</sup> day May A. D., 2006.

Francette  
City Clerk

**Subscribed and sworn to before me this 16<sup>th</sup> day of May, 2006.**



  
Notary Public

[illegible]



# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports4**

**Council to discuss and consider action on implementing a restaurant occupation tax.**

**Staff Contact: Nathan Johnson, City Manager**

## Restaurant Tax Projections (Food only)

	Fast Food	Casual Dining	Fine Dining	Other	Totals
Table Turns	4.2	2.1	1.2	1.9	
Average Check	\$7.47	\$12.55	\$19.58	\$5.25	
Average Seats	65	125	50	50	
Daily Sales	\$2,039.31	\$3,294.38	\$1,174.80	\$498.75	
Annual Sales	\$611,793.00	\$988,312.50	\$352,440.00	\$149,625.00	
Establishments	24	18	2	8	52
Est Sales	\$14,683,032.00	\$17,789,625.00	\$704,880.00	\$1,197,000.00	\$34,374,537.00
Est Tax (1%)	\$146,830.32	\$177,896.25	\$7,048.80	\$11,970.00	\$343,745.37

Fast Food: similar to McDonalds, Arby's, KFC  
 Casual: chilis, steel grill, Backyard, Night Deck  
 Fine Dining: Emporium, Country Club  
 Other: coffeehouse, bakeries

Not included in estimates:

1. Bars & lounges
2. Conference centers & meetings

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports5**

**Council to discuss and consider action on implementing a cell phone occupation tax.**

**Staff Contact: Nathan Johnson, City Manager**

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports6**

**Council to receive a report on The 23 Club revitalization efforts and consider action on a letter of intent to apply for grant funding.**

**Staff Contact: Nathan Johnson, City Manager**



308-632-4136  
2525 Circle Drive  
Scottsbluff, NE 69361

January 7, 2019

Jenny B. Mason, CCCFF Coordinator  
Nebraska Department of Economic Development  
301 Centennial Mall South  
PO Box 94666  
Lincoln, NE 68509-4666

RE: Letter of Intent to apply

Dear Ms. Mason:

This letter is official notice to the Department of Economic Development that the City of Scottsbluff intends to apply for an award through the Community and Civic Center Financing Fund program. The City of Scottsbluff is in the process of completing the application for the 2019 program year.

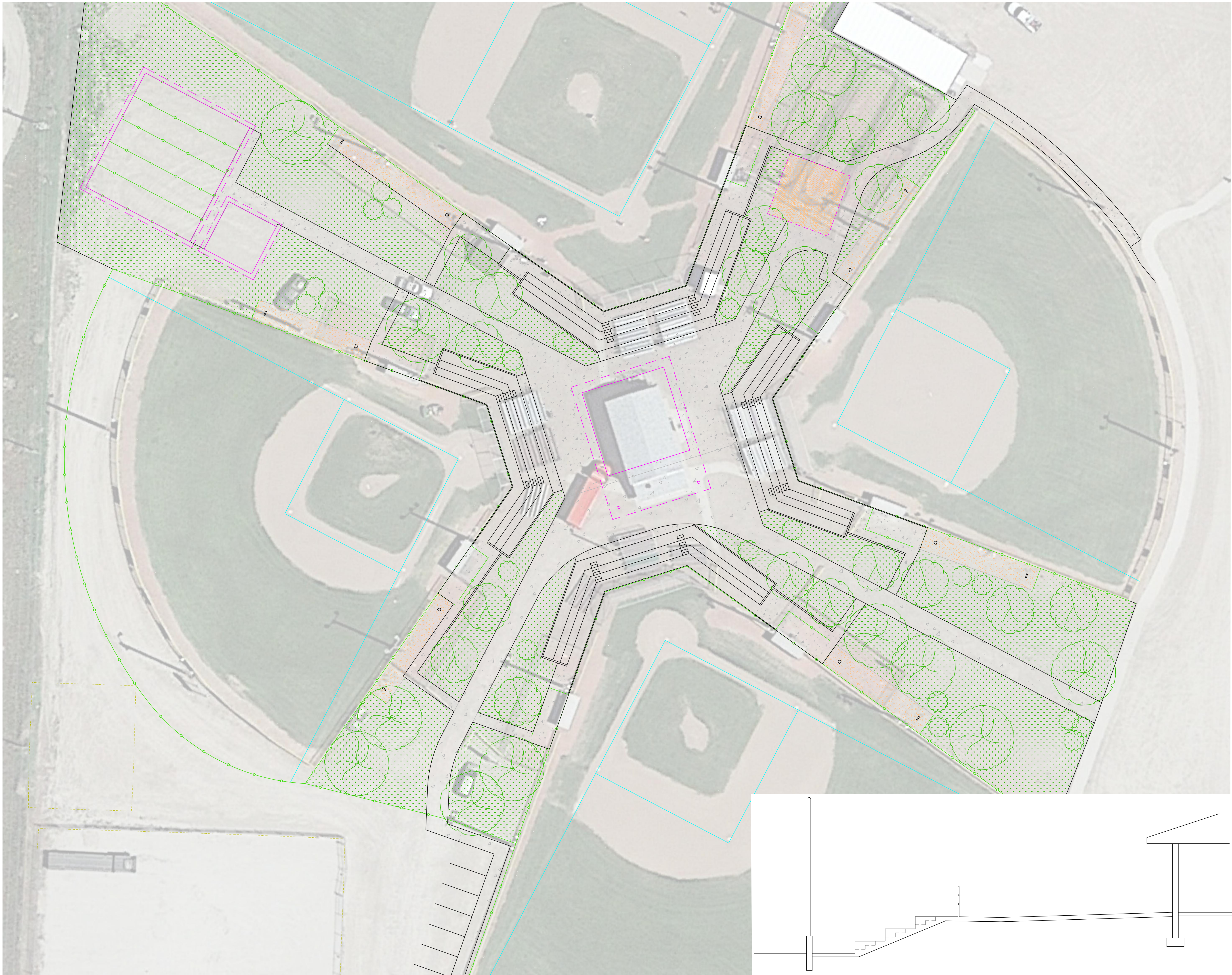
City staff is working with Scottsbluff 23 Club Babe Ruth League (23 Club) on a capital construction application for a renovation project on the 23 Club Baseball Park facilities. The estimated total project budget is \$1.2 million. The City has reviewed the grant maximum schedule and will apply for \$600,000.00. The City is aware that, if awarded, CCCFF monies cannot account for more than fifty percent of total project costs and has a general accounting system in place to track project costs.

The City's local contact for this application is City Manager Nathan Johnson. He can be reached at [njohnson@scottsbluff.org](mailto:njohnson@scottsbluff.org) or (308)630-6202.

Sincerely,

Raymond Gonzales  
Mayor

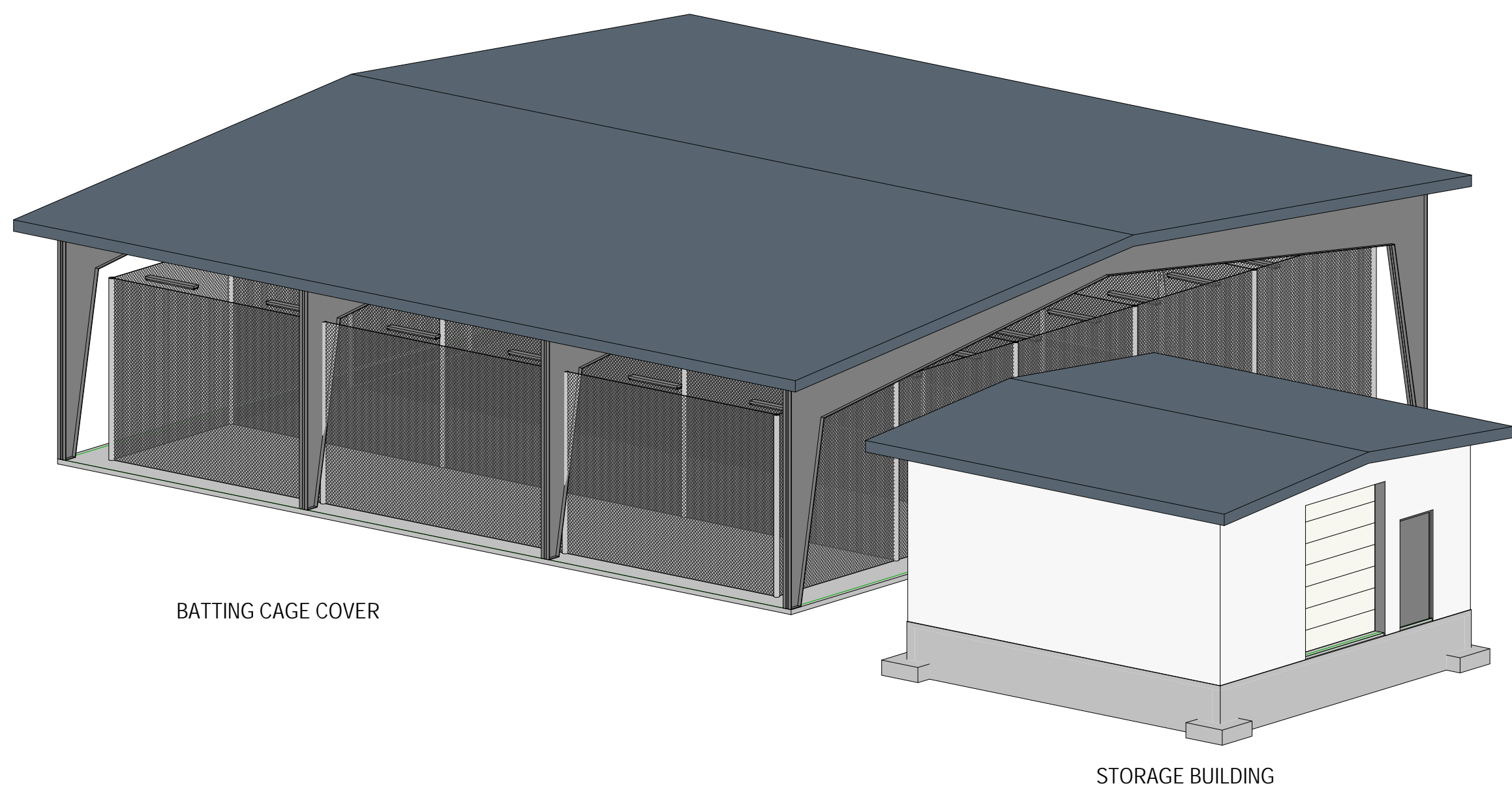






# BATTING CAGE COVER & STORAGE BLDG.

STREET ADDRESS, CITY, STATE, ZIP CODE



BATTING CAGE COVER

STORAGE BUILDING

1 Project View

## PROJECT PICTURE



Project Location



## VICINITY MAP



## KEYPLAN

## PROJECT CONTACTS

### OWNER

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### CIVIL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ARCHITECTURAL

Studio 120 Architecture  
Tearle Scher  
120 East 16th Street  
Scottsbluff, Nebraska, 69361  
Phone: (308) 635-1531  
tearle@studio120arch.com

### STRUCTURAL

Elevation Structural Design  
Stephen R. Klaas, P.E., S.E.  
P.O. Box 624  
Cheyenne, Wyoming 82003  
Phone: (308) 631-3873  
klaas@elevation-sd.com

### ELECTRICAL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ONE CALL

Nebraska Contact  
Phone: 1-800-331-5666  
www.ne-diggers.com

### Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

### Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

### Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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### Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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### Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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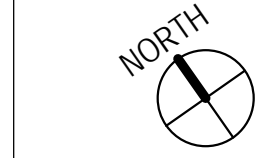
### Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL & CEILING PLAN - STORAGE BUILDING
A-1.10	GROUND LEVEL PLAN - BATTING CAGE BUILDING
A-2.10	GROUND LEVEL REFLECTED CEILING PLAN FOR BATTING CAGE BUILDING
A-3.00	EXTERIOR BUILDING ELEVATIONS - STORAGE BUILDING
A-3.10	EXTERIOR BUILDING ELEVATIONS - BATTING CAGE BUILDING
Total Number of Sheets: 6	



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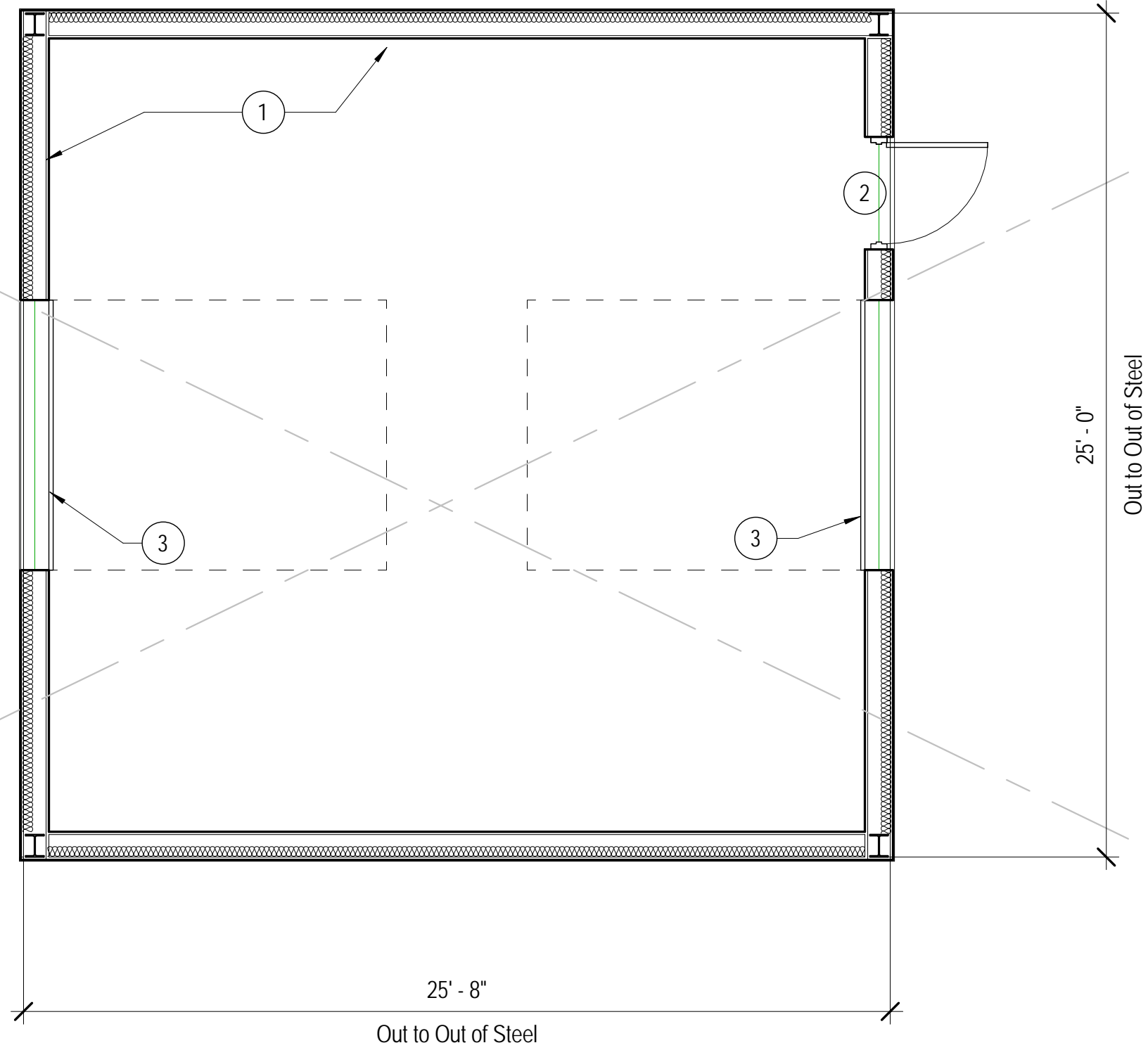




1

1/4" = 1'-0"

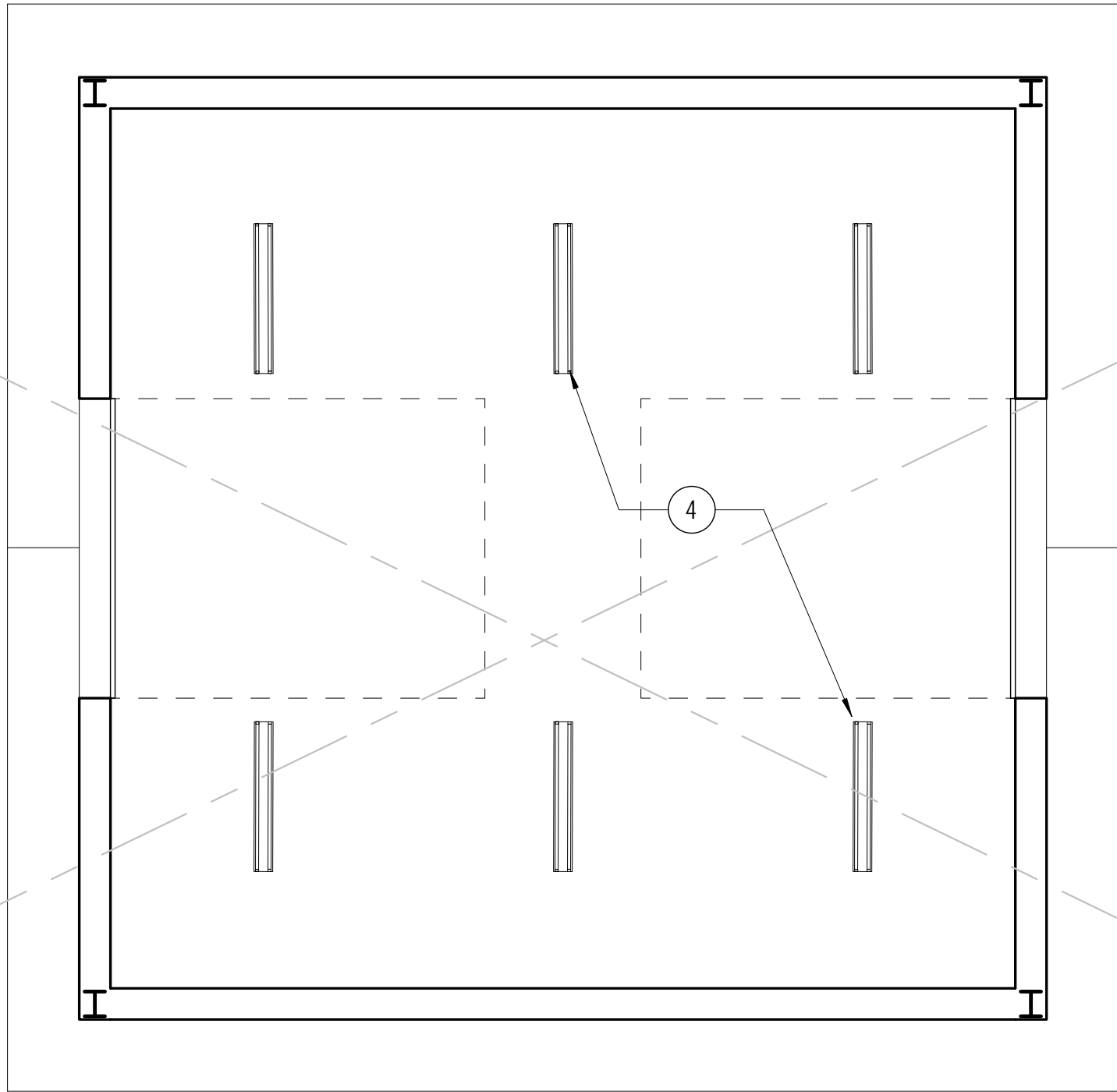
GROUND LEVEL - STORAGE BUILDING



2

1/4" = 1'-0"

REFLECTED CEILING PLAN - STORAGE BUILDING



## KEYNOTE LEGEND

- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8" WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.
- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.
- Sample keynote

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
GROUND LEVEL & CEILING PLAN -  
STORAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

A-1.00

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION



©2018

NORTH

1

BATTING CAGE COVER

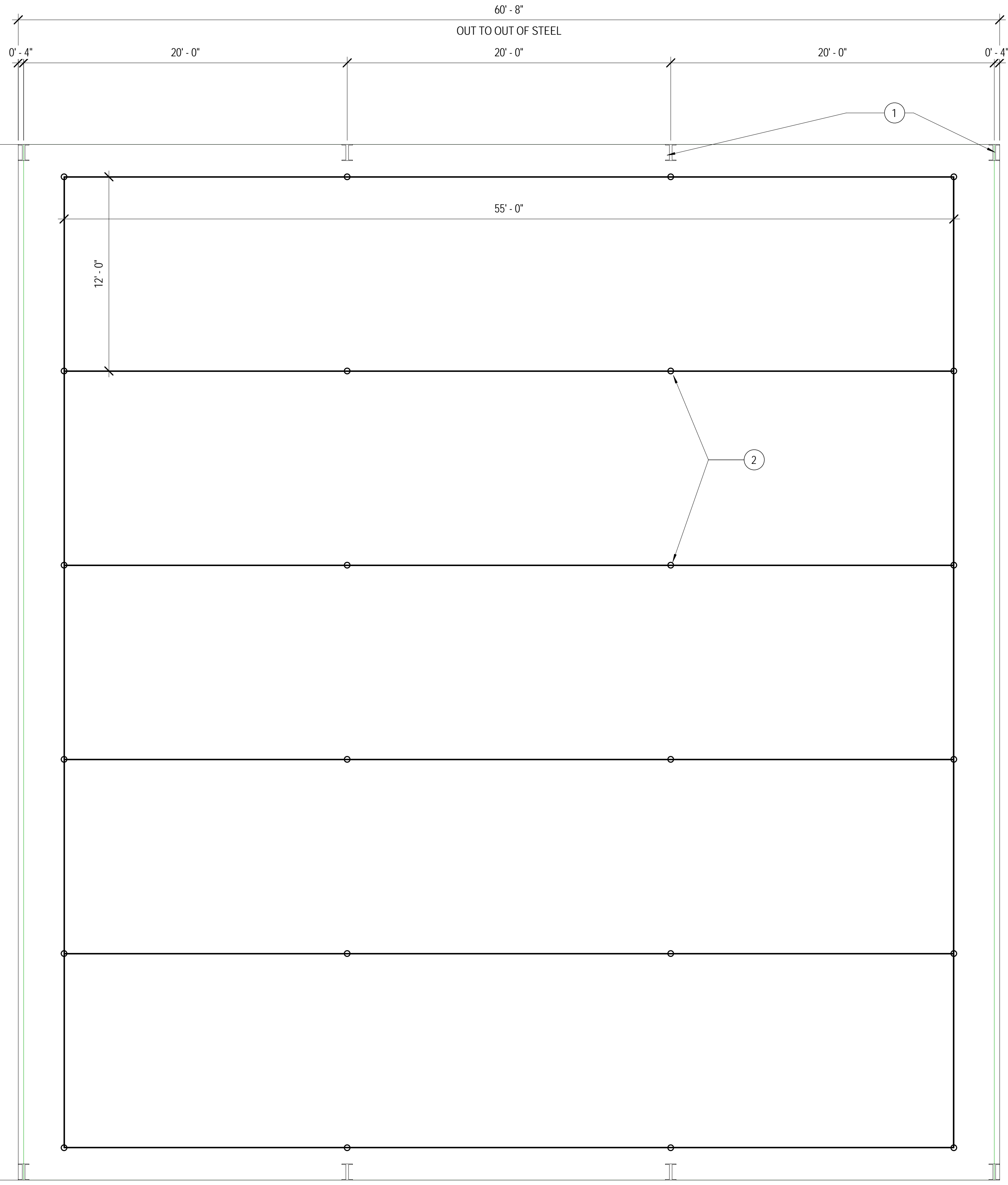
1/4" = 1'-0"

A-3.10

WEST

ELEVATION -  
BATTS  
CAGE  
BUILDING

64' - 0"  
OUT TO OUT OF STEEL



SOUTH

ELEVATION -  
BATTS  
CAGE  
BUILDING

A-3.10

A-3.10

NORTH

ELEVATION -  
BATTS  
CAGE  
BUILDING

EAST

ELEVATION -  
BATTS  
CAGE  
BUILDING

A-3.10

### KEYNOTE LEGEND

- 1 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- 2 DEPICTS BATTS CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.
- 3 Sample keynote

SHEET TITLE:  
GROUND LEVEL PLAN - BATTS CAGE  
BUILDING

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CLIENT NAME

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

A-1.10

Revision Schedule  
No. Date Description

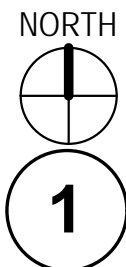
PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

SUB-CONSULTANT:

STUDIO 120

ARCHITECTURE

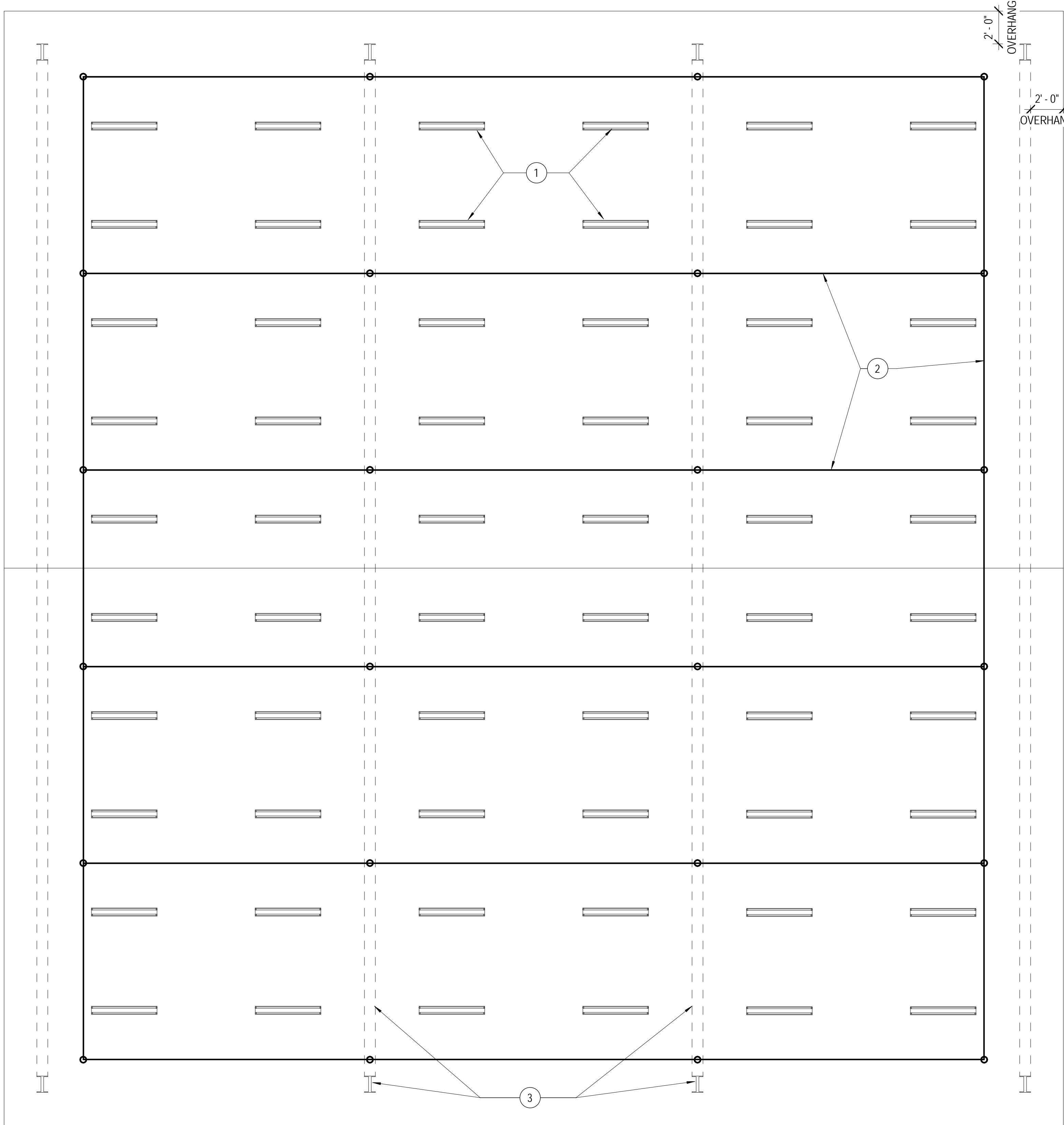
120 EAST 10TH STREET, SCOTTSBLUFF, NE 69363  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM



1/4" = 1'-0"

## REFLECTED CEILING PLAN - BATTING CAGE BUILDING

A-3.10  
WEST  
ELEVATION -  
BATTLING  
CAGE  
BUILDING



A-3.10  
SOUTH  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

A-3.10  
NORTH  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

A-3.10  
EAST  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

### KEYNOTE LEGEND

- 1 SUPPORTED FROM ROOF PURLINS, 4" LED LIGHT FIXTURE - TWO LUMINARE.
- 2 DEPICTS LOCATION OF BATTLING CAGES.
- 3 DEPICTS RIGID FRAME COLUMNS AND RAFTERS.

### CEILING LEGEND

GRAPHIC SYMBOL	DESCRIPTION
	RECESSED TROFFER LIGHT FIXTURE
	RECESSED INDIRECT LIGHT FIXTURE
	WALL MOUNTED LINEAR LIGHT FIXTURE
	PENDANT LINEAR LIGHT FIXTURE
	STRIP LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	RECESSED CAN WALL WASH LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXIT SIGN
	SUPPLY DIFFUSER - SEE MECHANICAL
	RETURN GRILLE - SEE MECHANICAL
	GWB CEILING
	ACOUSTIC TILE CEILING
	EXISTING SMOKE PARTITION
	NEW SMOKE PARTITION

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
GROUND LEVEL REFLECTED CEILING  
PLAN FOR BATTLING CAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

A-2.10

Revision Schedule  
No. Date Description

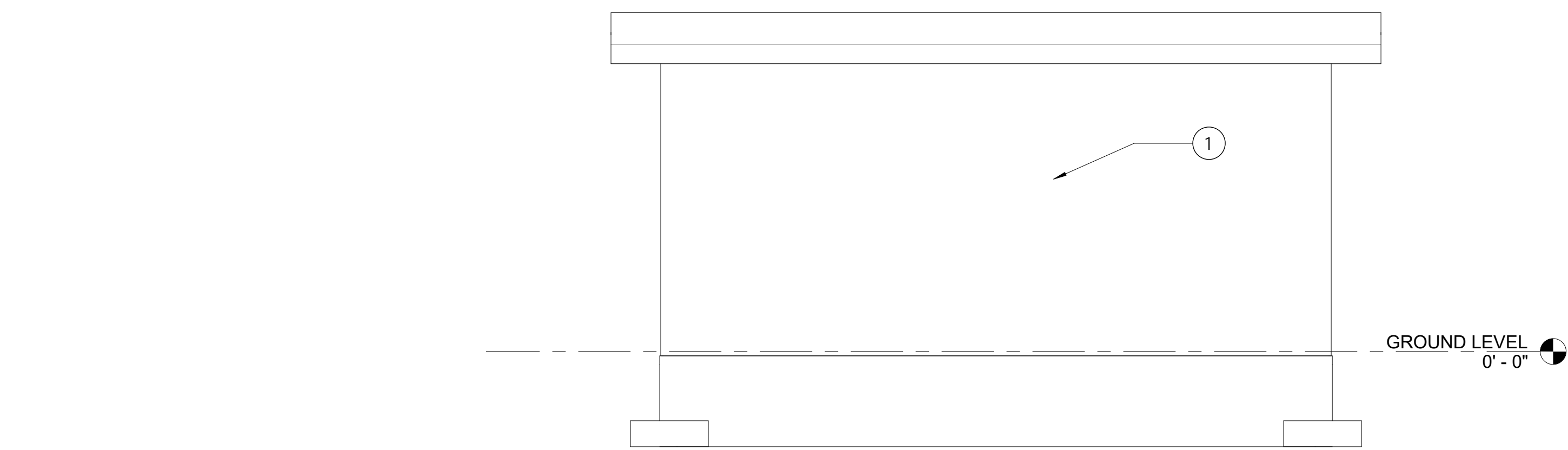
PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

SUB-CONSULTANT:

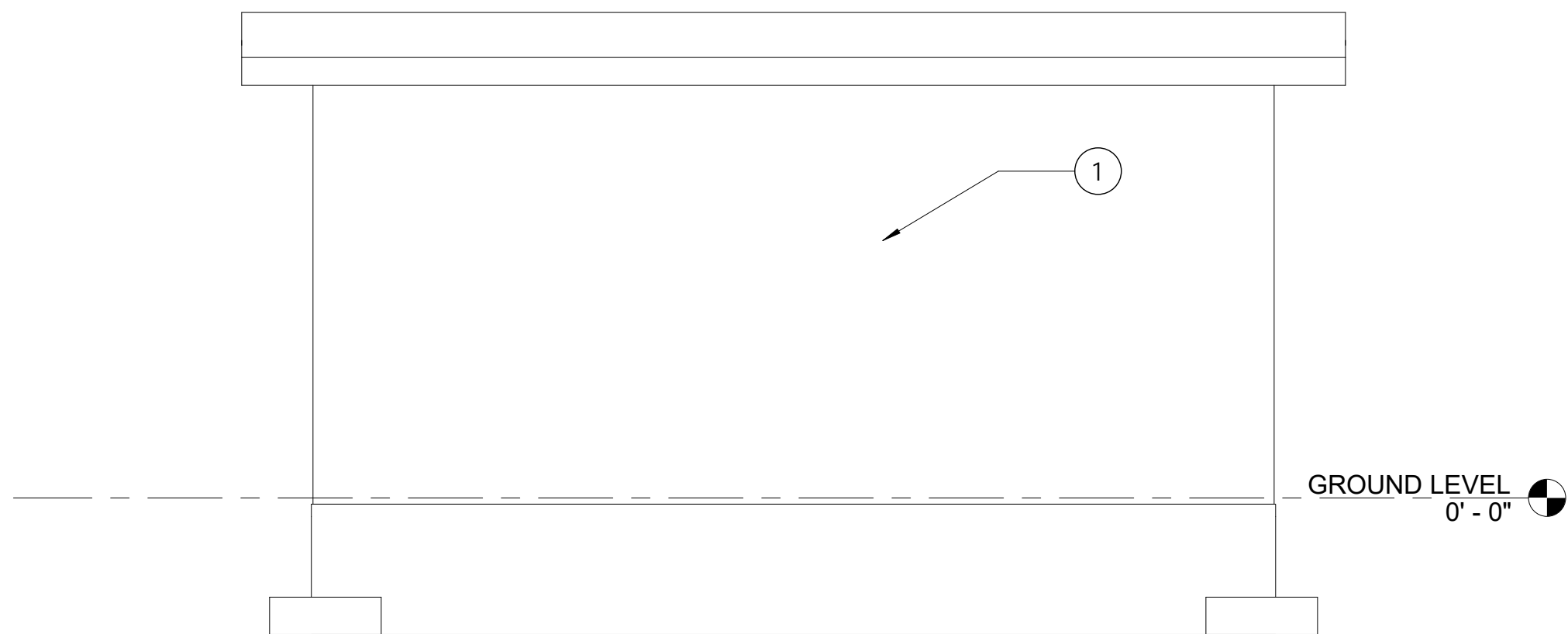


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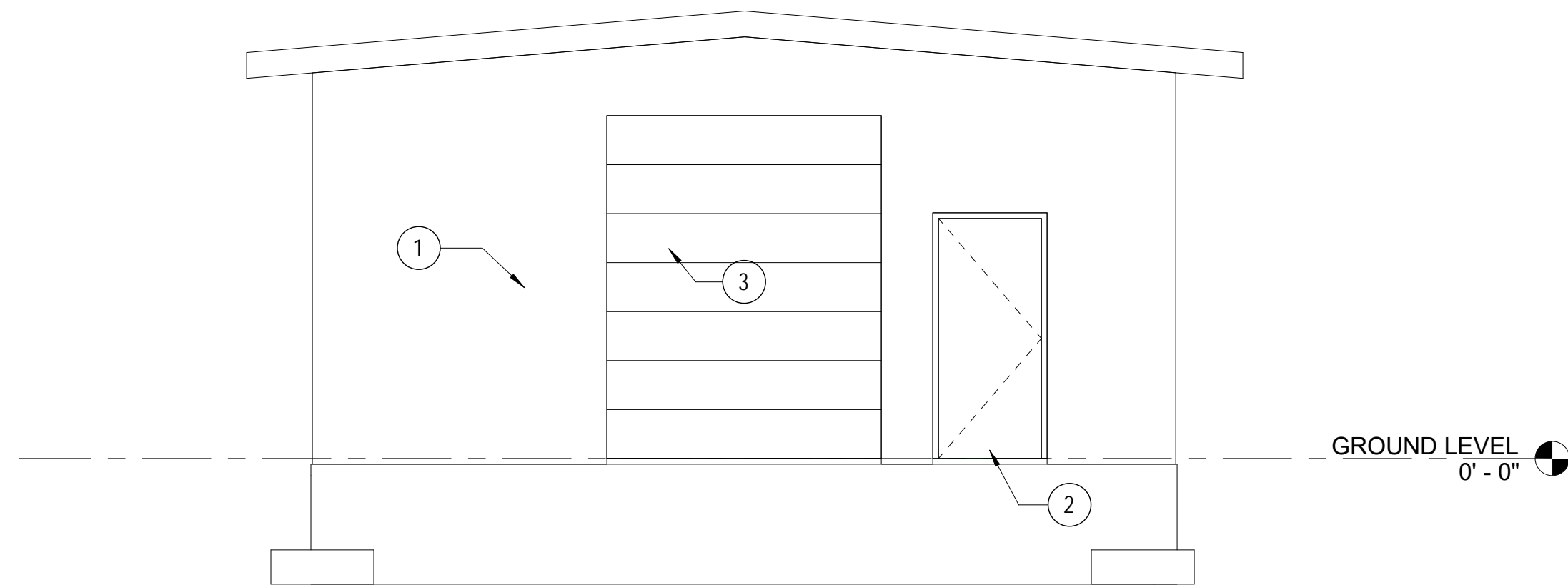




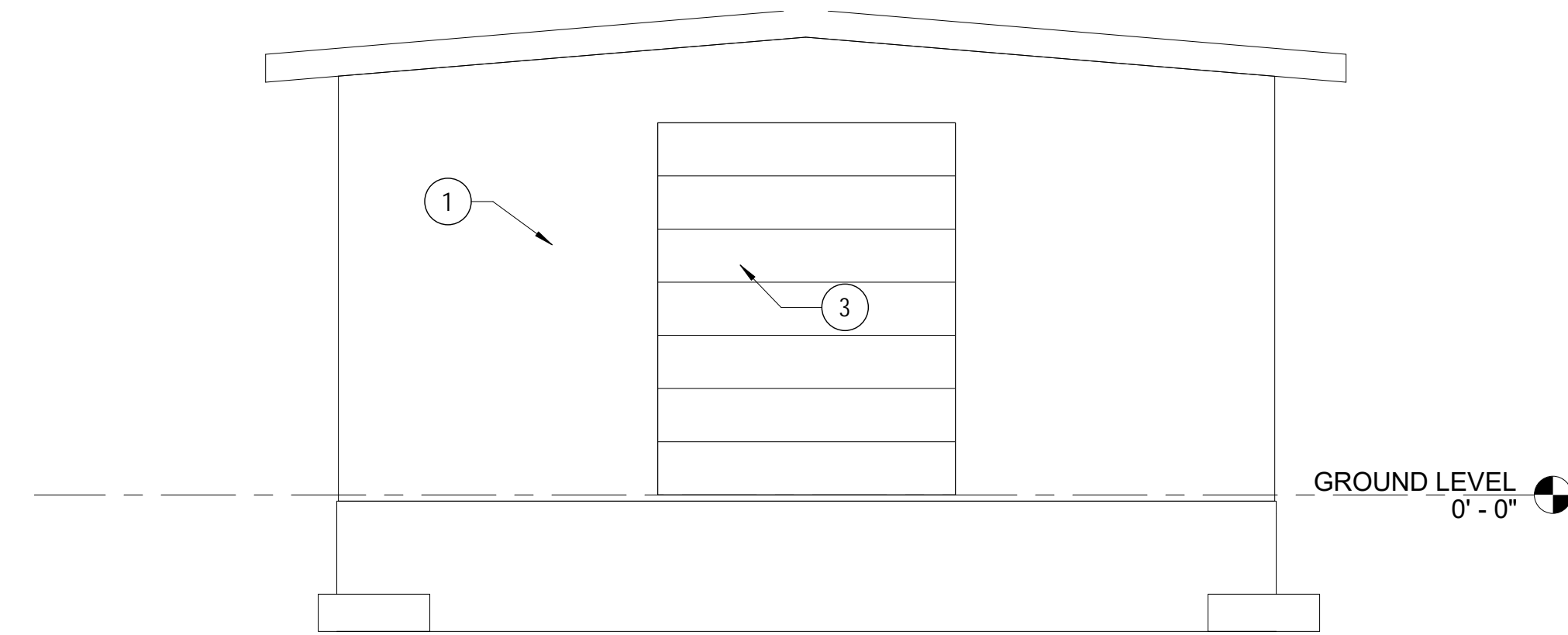
1 SOUTH ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



2 NORTH ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



3 EAST ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



4 WEST ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"

## KEYNOTE LEGEND

- 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
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- 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.

STUDIO 120  
ARCHITECTURE  
120 EAST 10TH STREET, SCOTT'S BLUFF, NE 69363  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM

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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule	Designation
No.	Date

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
EXTERIOR BUILDING ELEVATIONS -  
STORAGE BUILDING

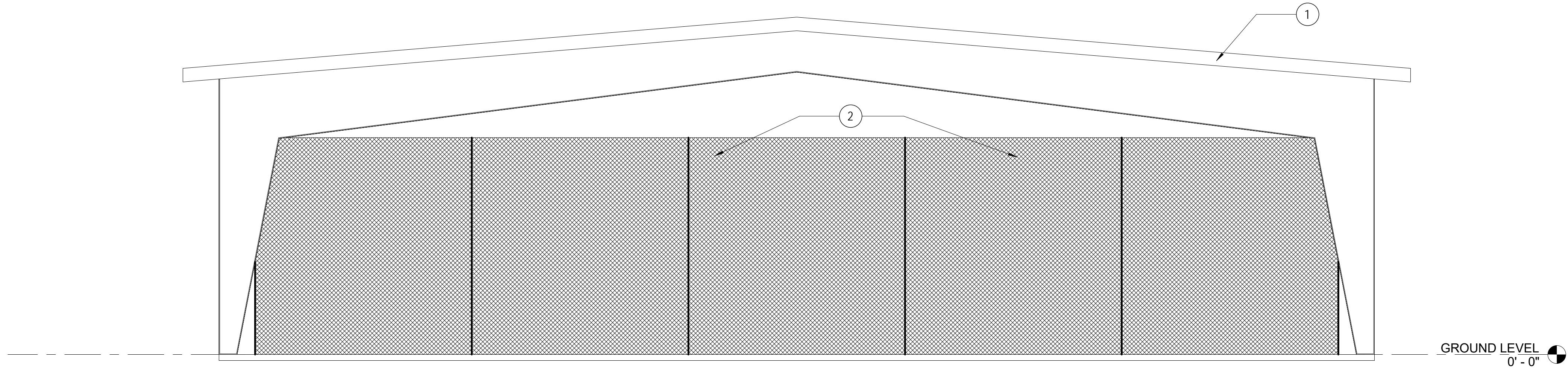
COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT:	Project Number	
DESIGN	DRAWN	CHECK
Designer	Author	Checker
SHEET NUMBER		

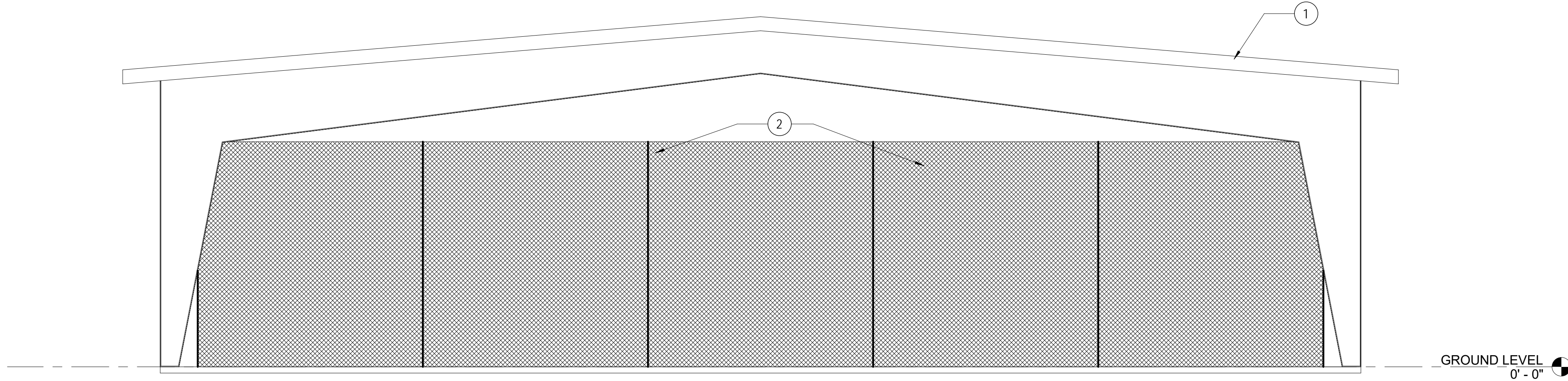
A-3.00



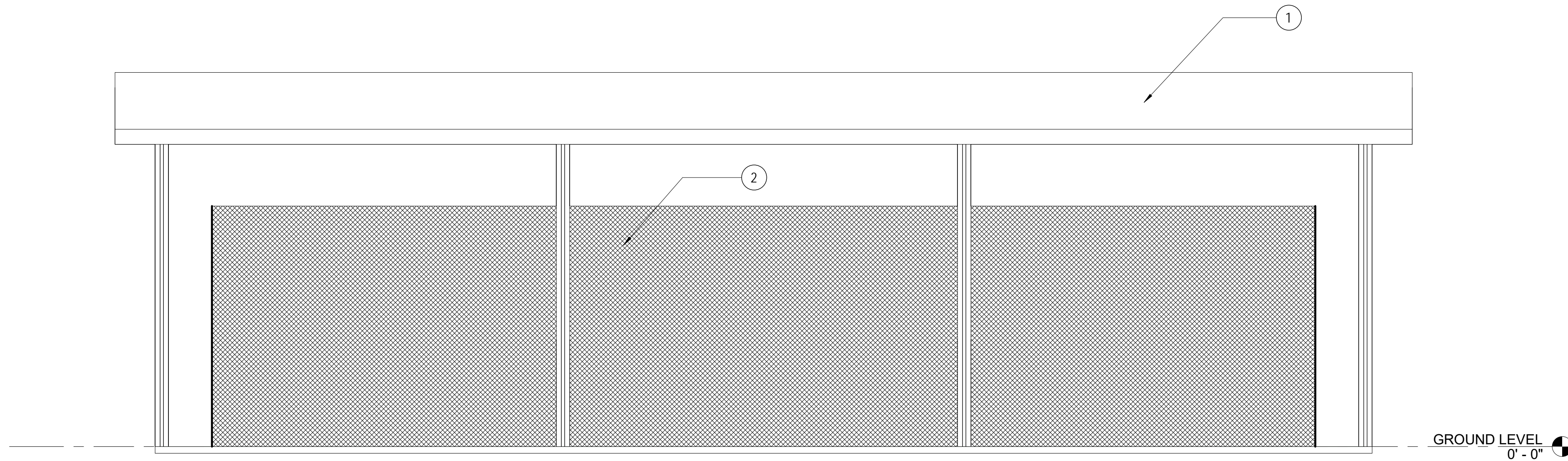
1 EAST ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



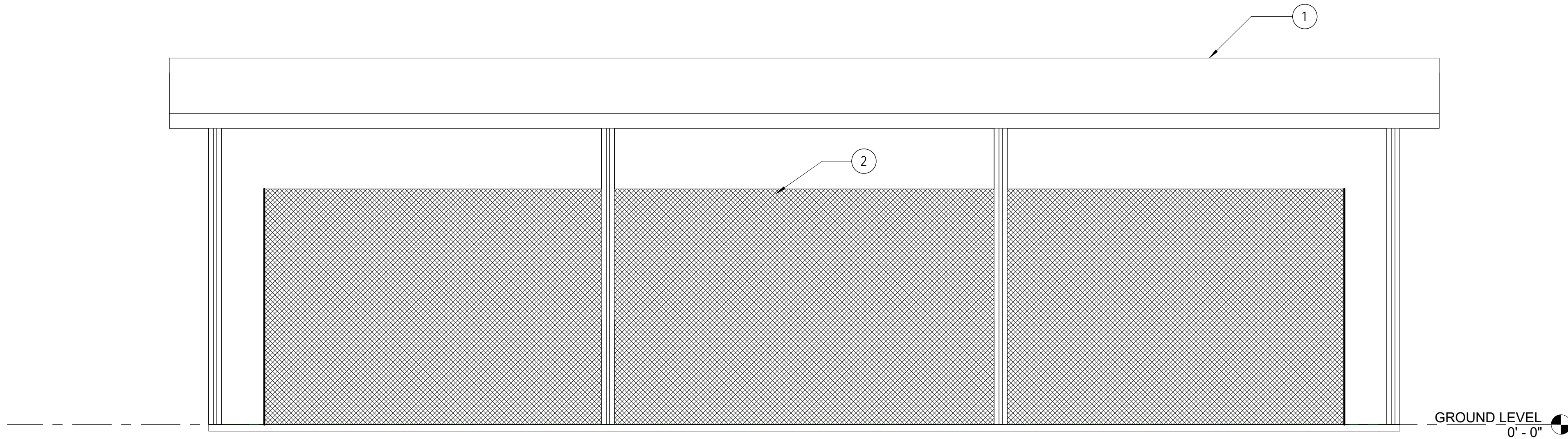
2 WEST ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



3 NORTH ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



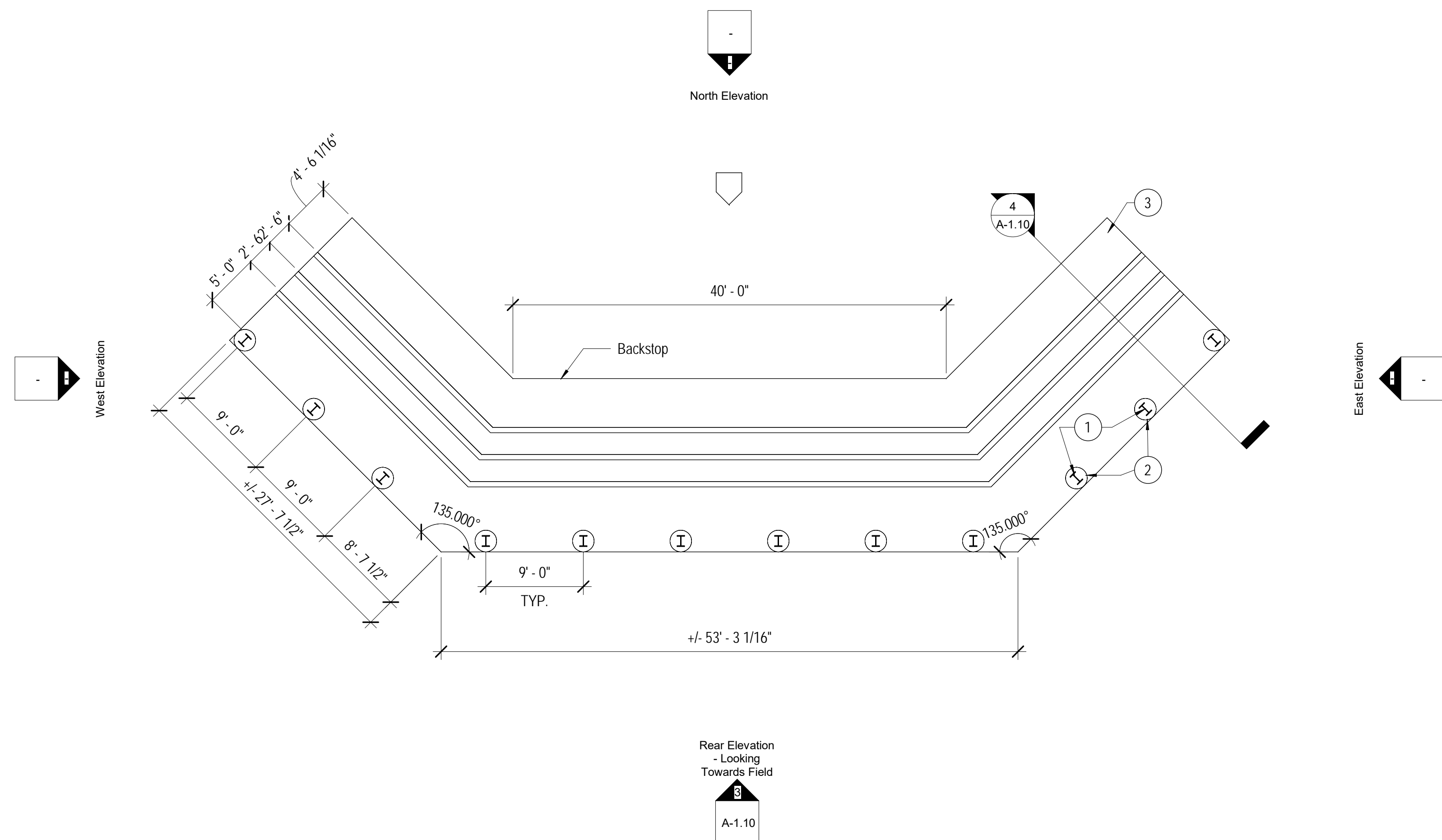
4 SOUTH ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



## KEYNOTE LEGEND

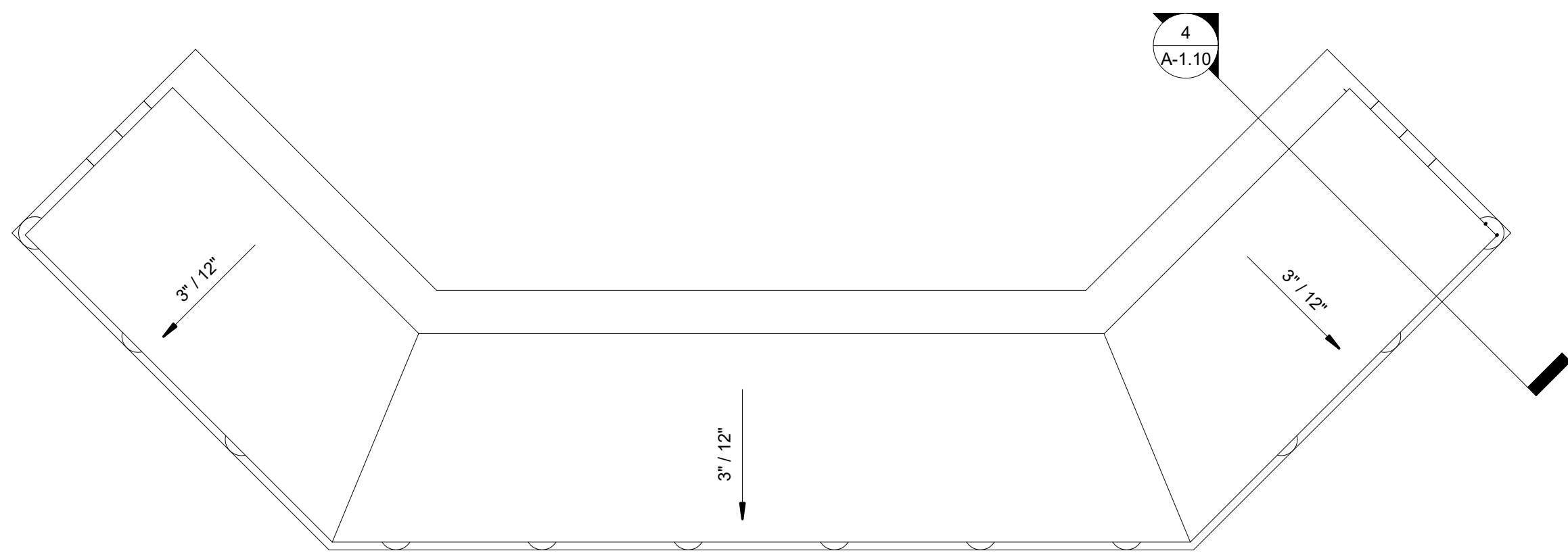
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- 2 DEPICTS BATTING CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.



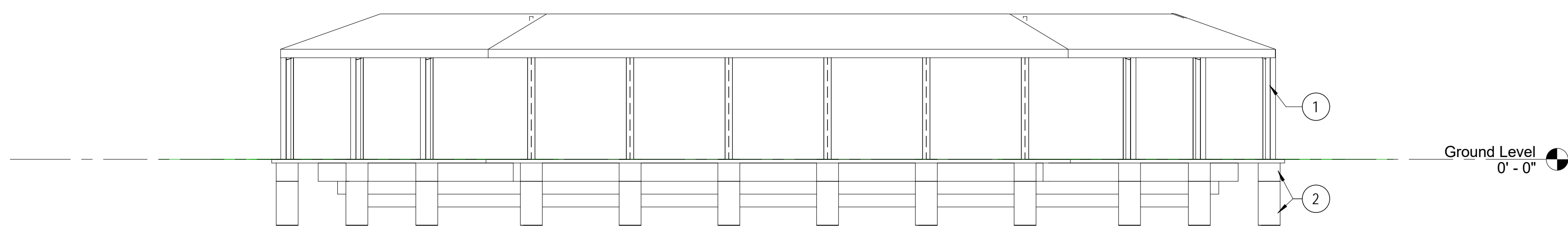


**1** **Ground Level**  
1/8" = 1'-0"

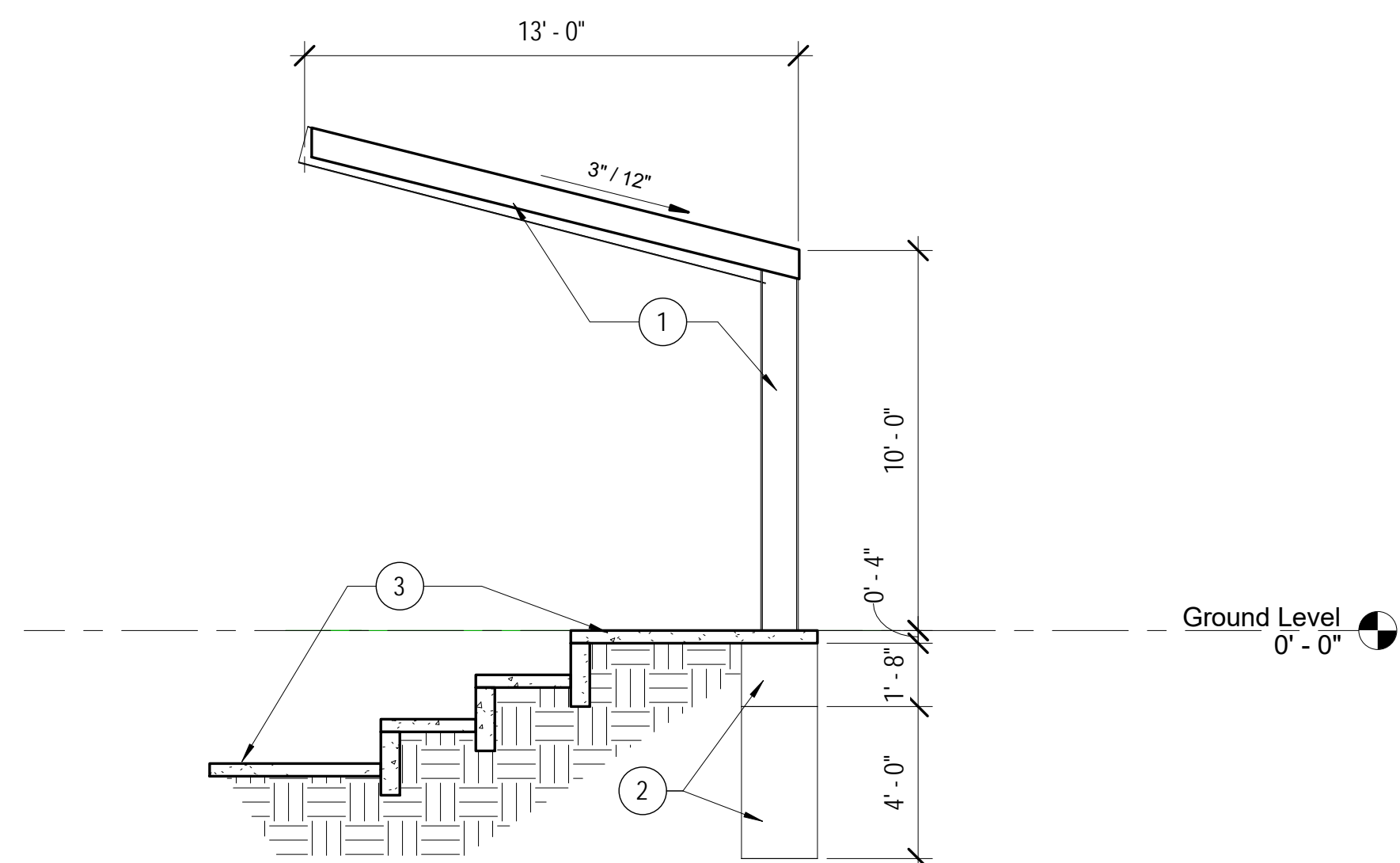
THIS IS A PLAN VIEW OF ONE BLEACHER COVER STRUCTURE, THERE WILL BE FOUR (4) STRUCTURES REQUIRED IN TOTAL.



**2 Site / Roof View**  
1/8" = 1'-0"



**3 Rear Elevation - Looking Towards Field**  
1/8" = 1'-0"

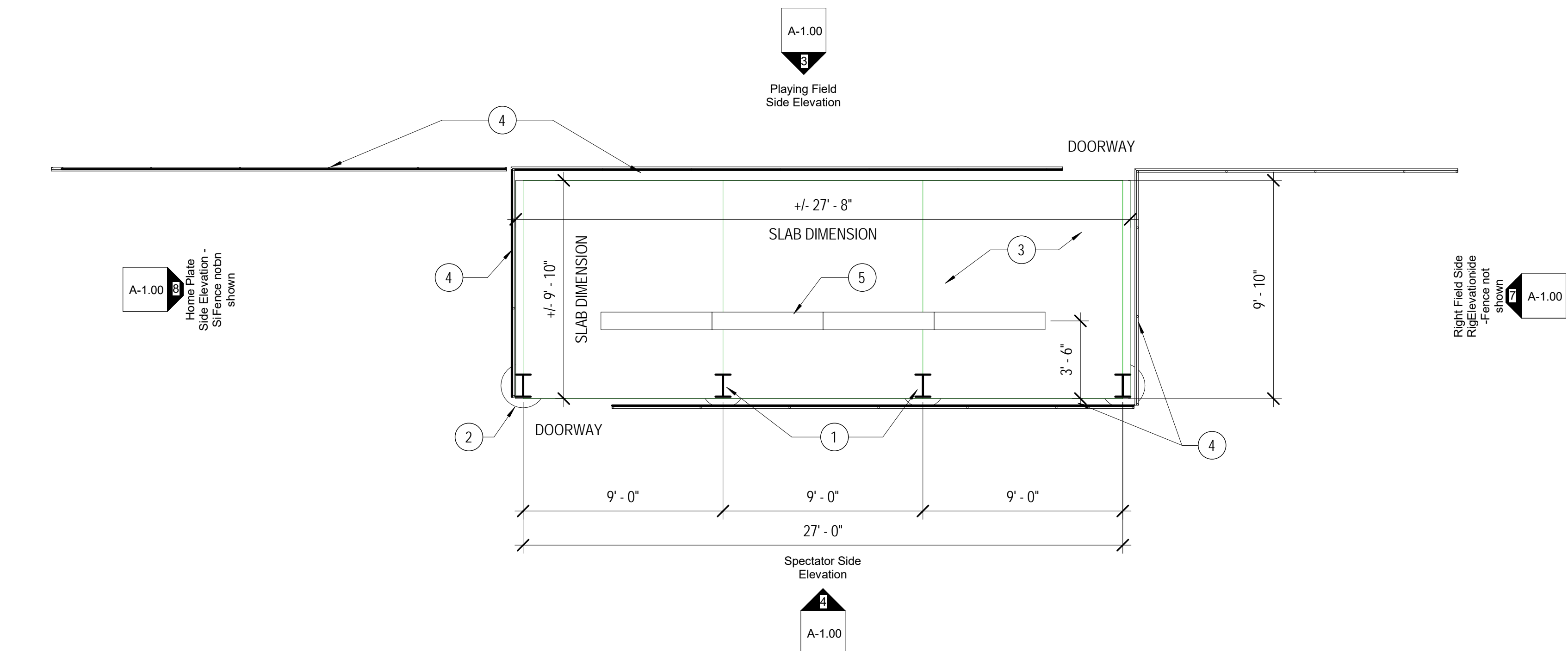


**4** Section through Structure  
1/4" = 1'-0"

- ## KEYNOTE LEGEND

- ① DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS, RIGID FRAME IN INSET ROOF PURLINS, ROOF COVER AND TRIM TO BE 26 GAUGE METAL, COLOR BY OWNER. BASE PLATE OF RIDGE FRAME ATTACHMENT TO BE SET AT 2'4" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
- ② 24" DIAMETER CONCRETE PILASTER TO SUPPORT BUILDING FRAME COLUMN. FIRST SECTION TO DEPTH OF 5'-0" (5'-0" ELEV) BELOW FINISH SLAB SURFACE. THIS SECTION TO BE POURED TO A HEIGHT OF 3'-0" (2'-0" ELEV) OR 2'-0" BELOW FINISH SLAB SURFACE. PLACE ANCHOR BOLTS AS PER BUILDING SUPPLIER REQUIREMENTS. REINFORCE WITH #3 CIRCULAR TIES AT 12" o.c. HORIZONTAL AND 4 #5 x 4'-6" LENGTH VERTICAL REBAR EXTENDING INTO SECOND PILASTER POUR 18". AFTER COLUMNS ARE SET, ADD SECOND PILASTER SECTION TO A LEVEL OF APPROXIMATELY 4" BELOW FINISH SLAB SURFACE.
- ③ 4" CONCRETE SLAB TO SERVE AS STADIUM SEATING AREA. SEE CIVIL DRAWINGS FOR DETAILS.

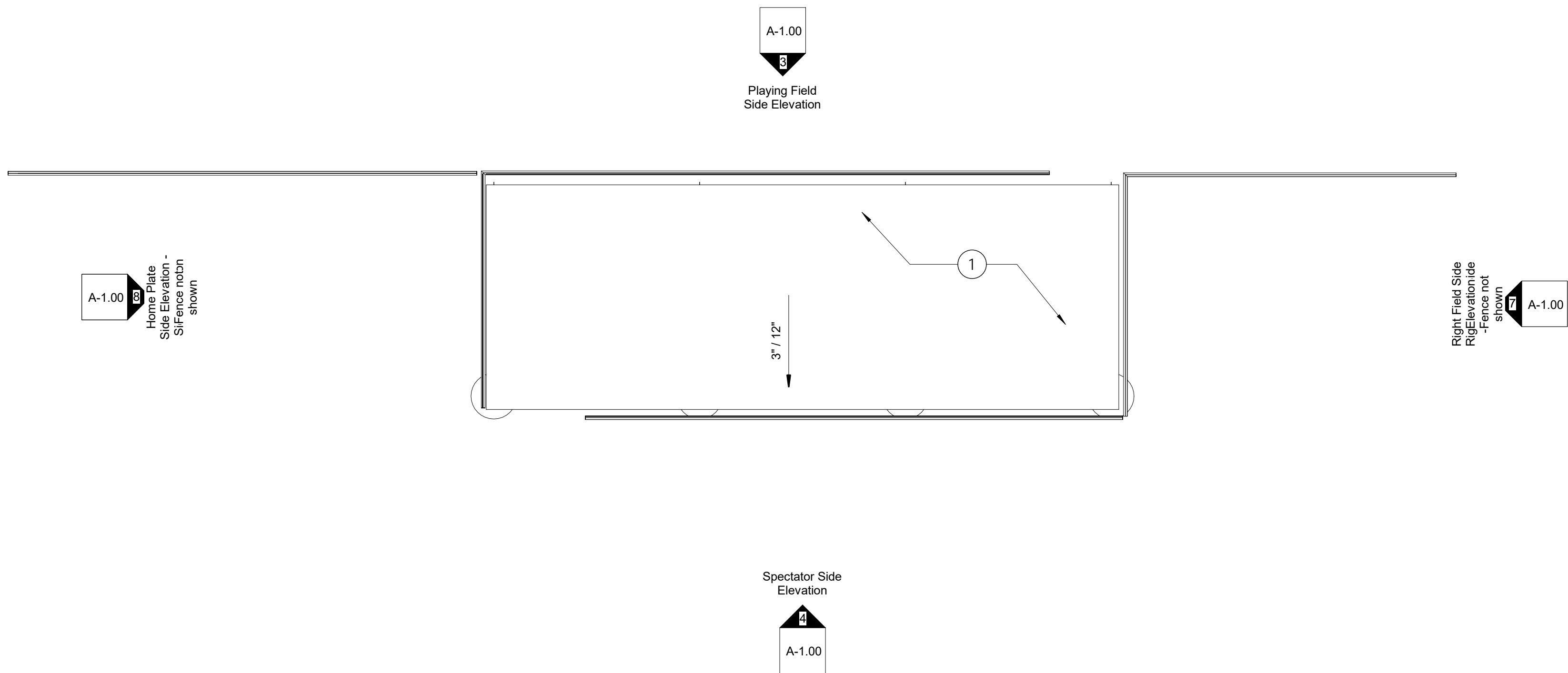




## 1 Represents Dugout along 1st Base Line

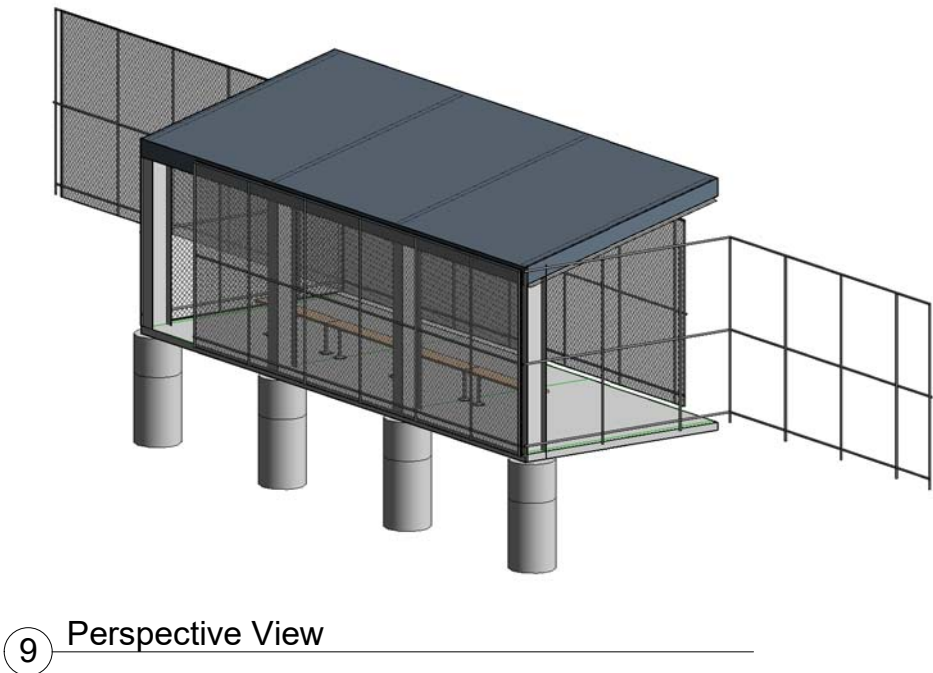
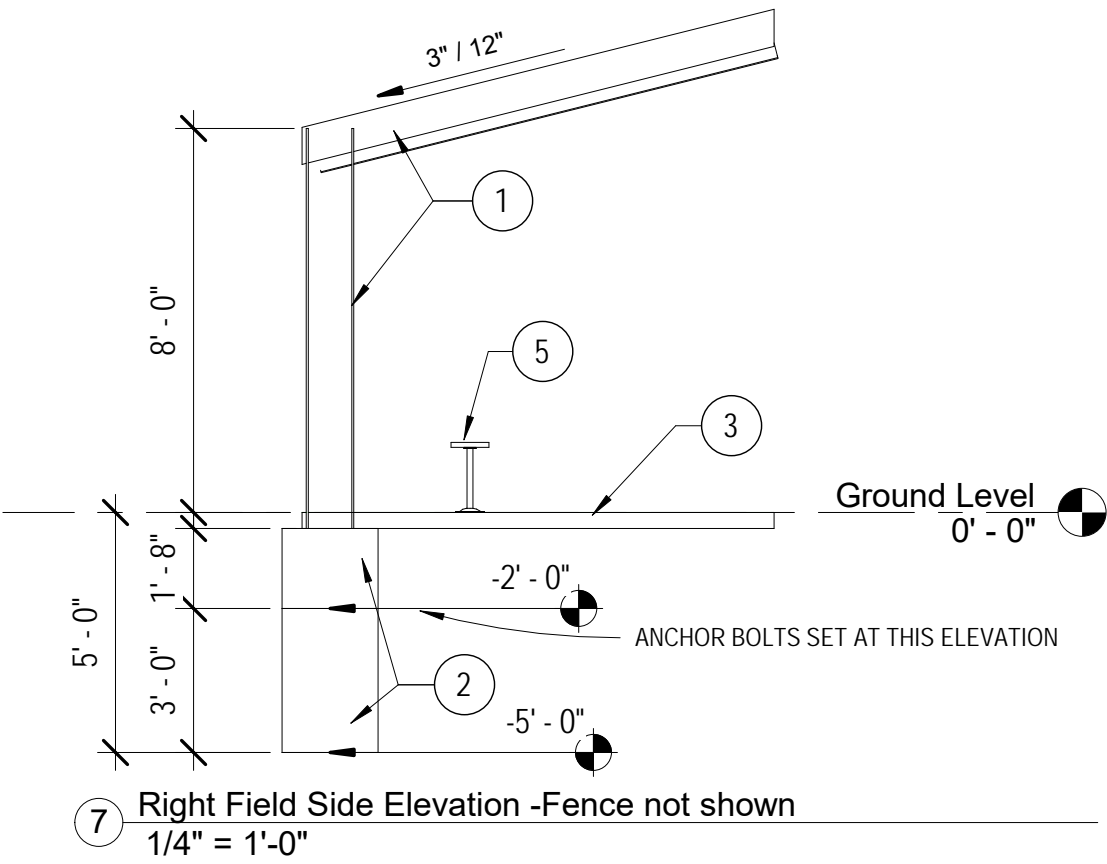
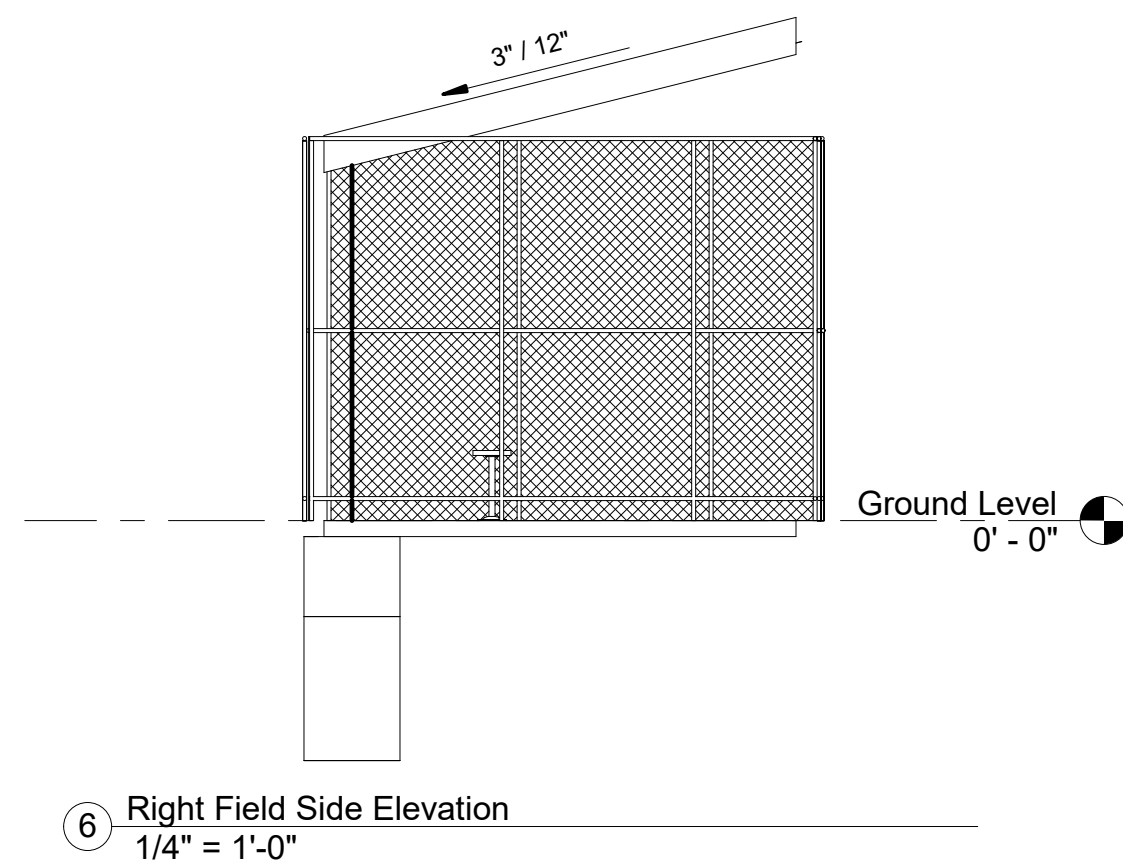
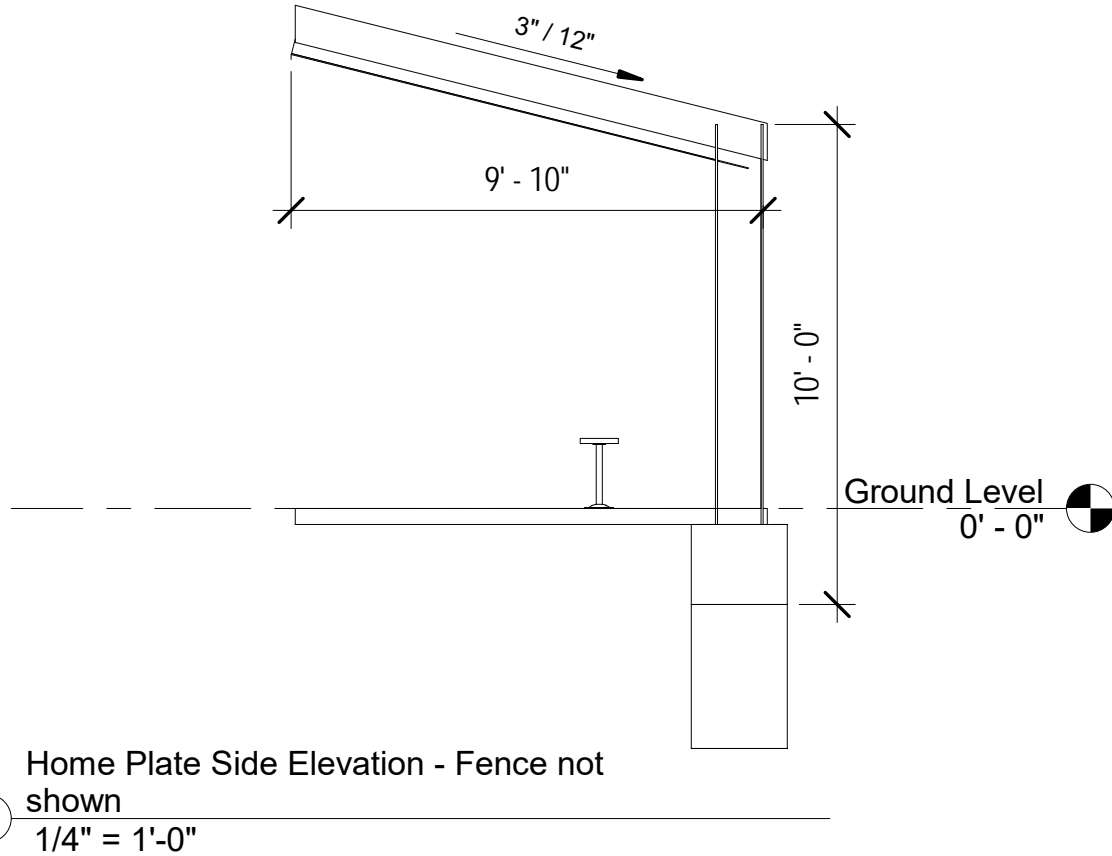
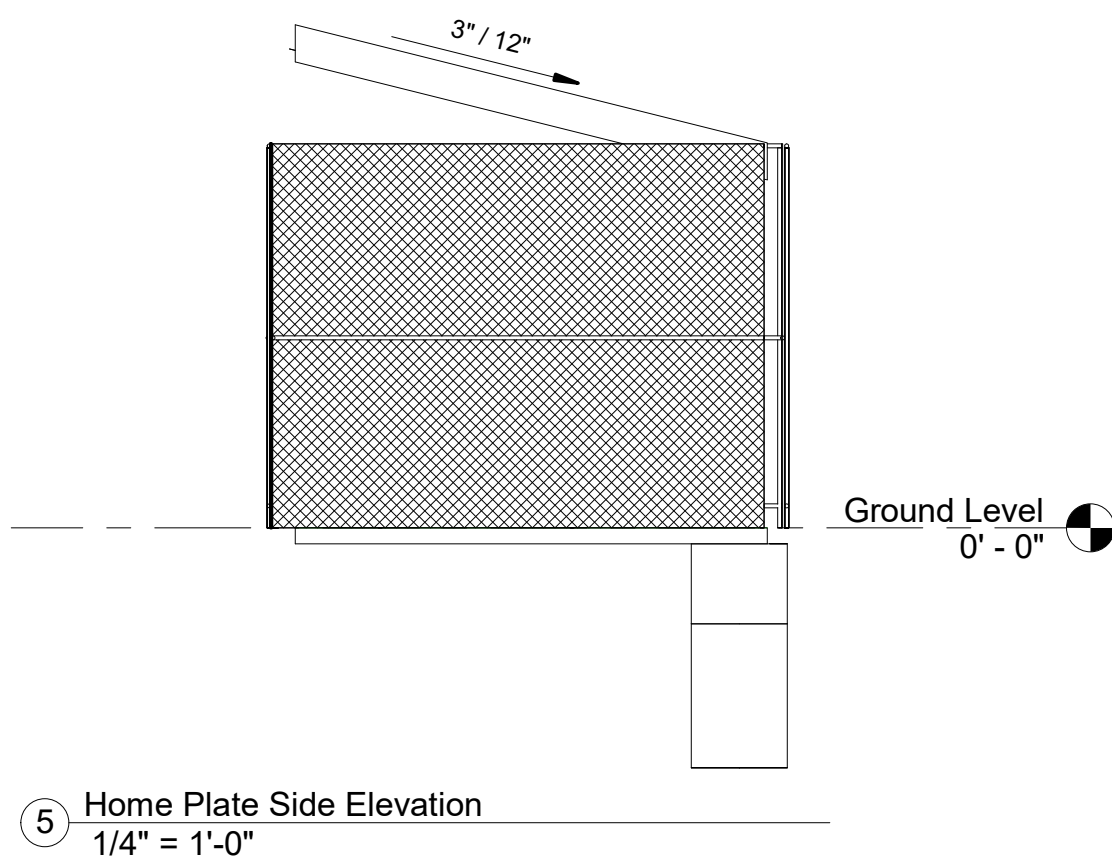
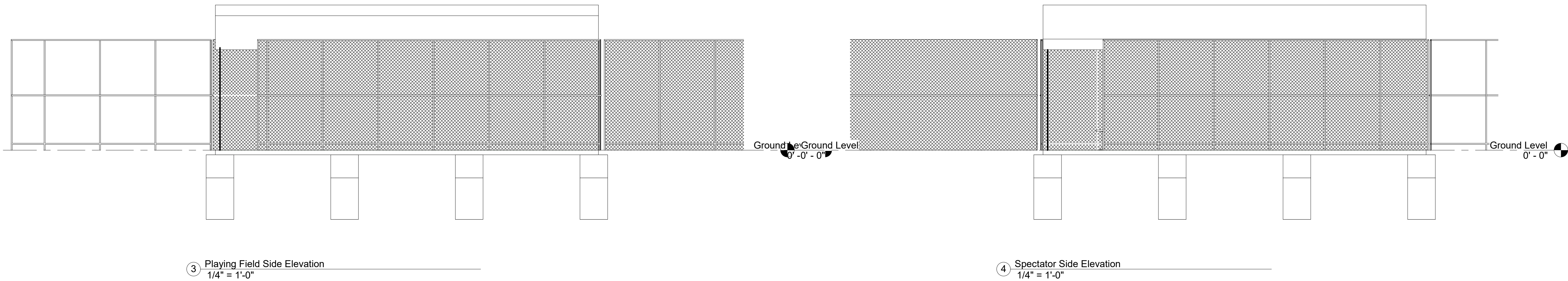
1/4" = 1'-0"

FOUR DUGOUT UNITS TO BE BUILT AS SHOWN, THESE TO BE LOCATED ON FIRST BASE SIDE OF FIELD.  
FOUR DUGOUT UNITS TO BE OPPOSITE HAND, THESE TO BE LOCATED ON THIRD BASE SIDE OF FIELD.



## 2 Site / Roof View

1/4" = 1'-0"



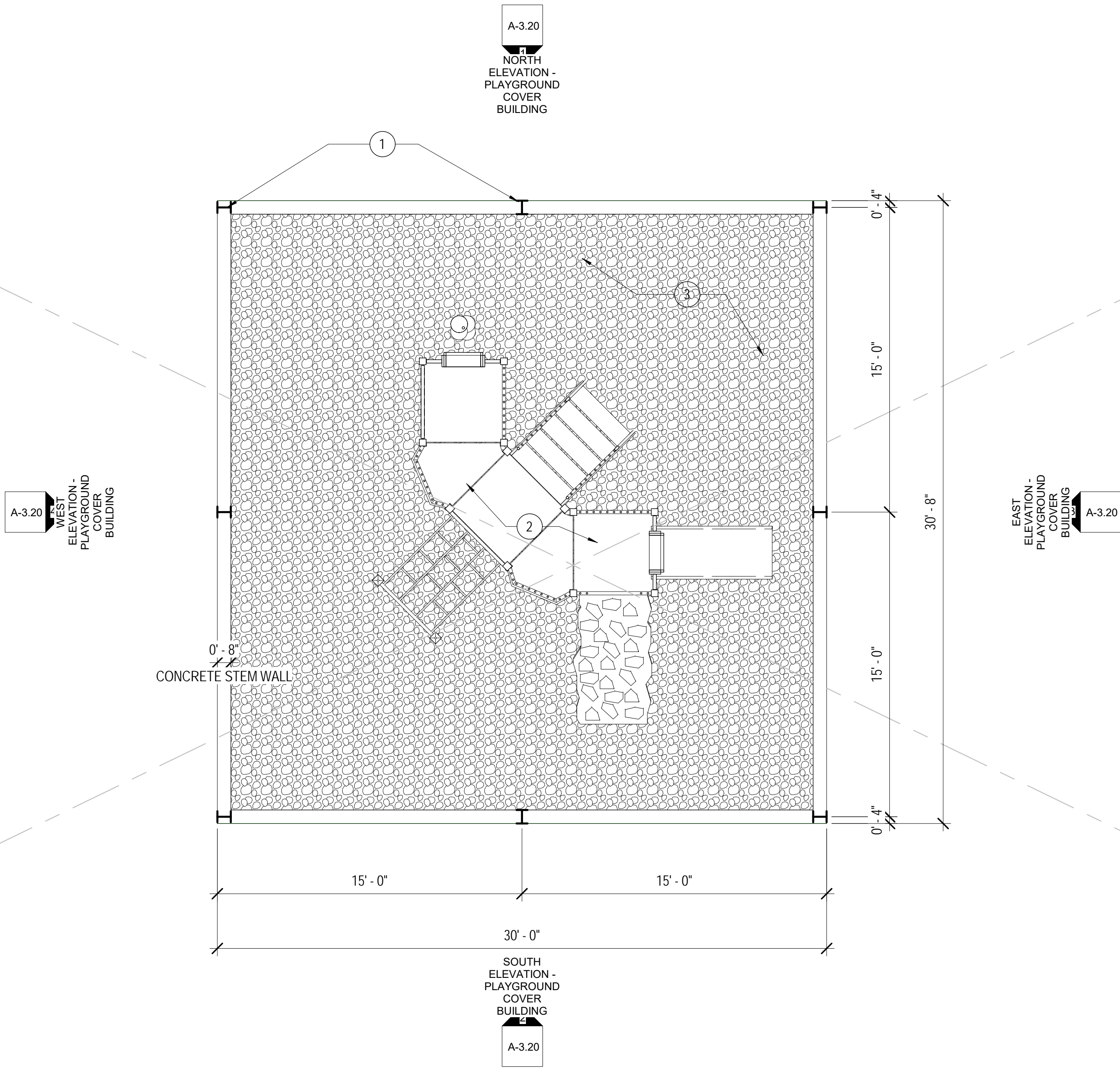
9 Perspective View

## KEYNOTE LEGEND

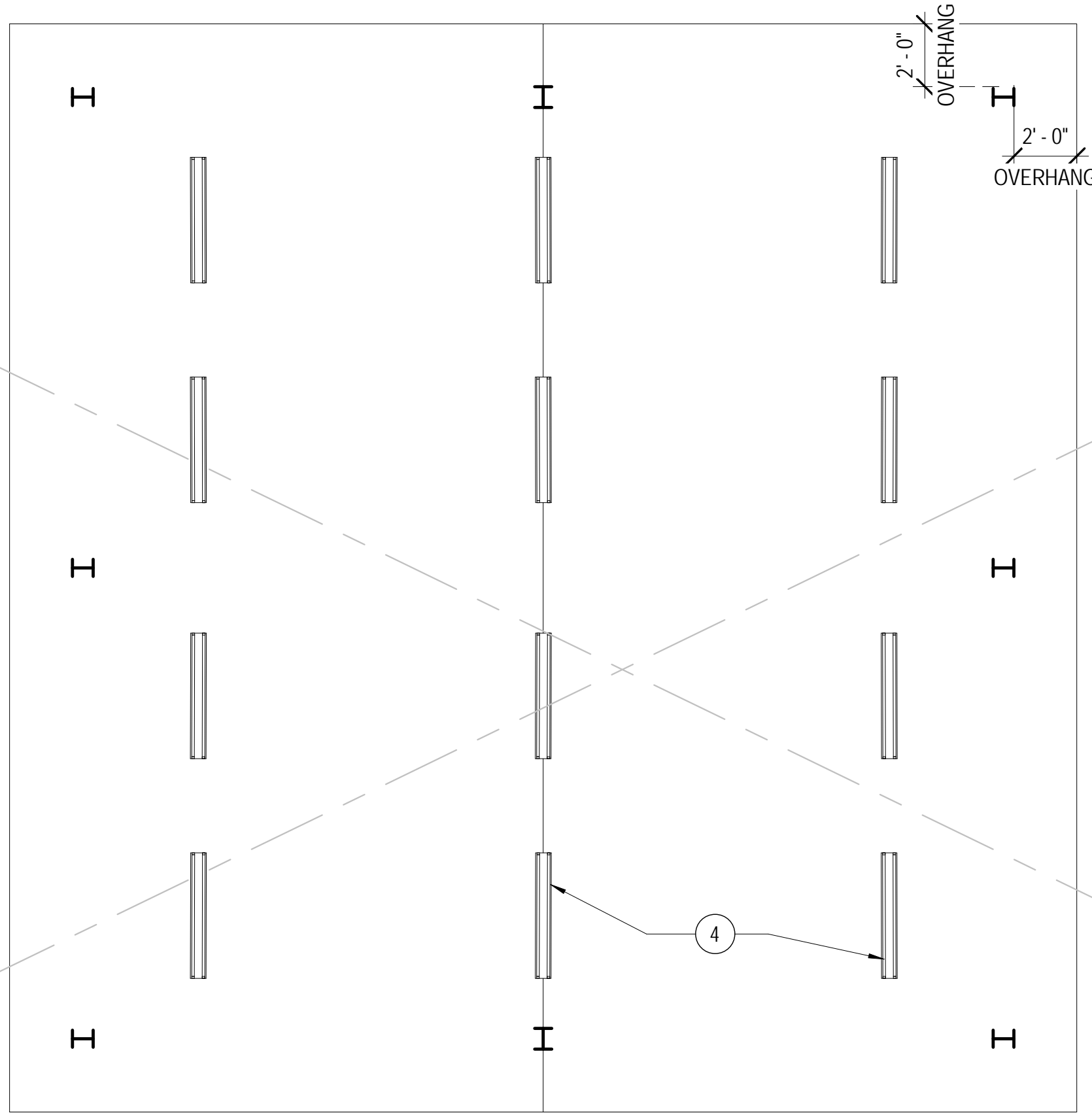
- DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS, RIGID FRAME IN INSET ROOF PURLINS. ROOF COVER AND TRIM TO BE 26 GAUGE METAL, COLOR BY OWNER. BASE PLATE OF RIDGE FRAME COLUMN TO BE SET AT 24" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
- 24" DIAMETER CONCRETE PILASTER TO SUPPORT BUILDING FRAME COLUMN. FIRST SECTION TO DEPTH OF 5'-0" (-5'-0" ELEV.) BELOW FINISH SLAB SURFACE. THIS SECTION TO BE POURED TO A HEIGHT OF 3'-0" (-2'-0" ELEV.) OR 2'-0" BELOW FINISH SLAB SURFACE. PLACE ANCHOR BOLTS AS PER BUILDING SUPPLIER REQUIREMENTS. REINFORCE WITH #3 CIRCULAR TIES AT 12" o.c. HORIZONTAL, AND 4 #5 x 4'-6" LENGTH VERTICAL REBAR EXTENDING INTO SECOND PILASTER POUR 18". AFTER COLUMNS ARE SET, ADD SECOND PILASTER SECTION TO A LEVEL OF APPROXIMATELY 4" BELOW FINISH SLAB SURFACE.
- 4" CONCRETE SLAB TO SERVE AS FLOOR OF DUG-OUT.
- DUG-OUT FENCING - NOT A PART OF DUG-OUT STRUCTURE DRAWINGS.
- LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
- Sample keynote



1 1/4" = 1'-0" GROUND LEVEL- PLAYGROUND COVER BUILDING



2 1/4" = 1'-0" REFLECTED CEILING PLAN- PLAYGROUND COVER BUILDING



## KEYNOTE LEGEND

- 30' x 30' x 14' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- PLAYGROUND EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- PLAYGROUND SURFACE - TO BE DETERMINED BY OWNER - PEA GRAVEL, SHREDDED RUBBER MULCH, POURED RUBBER, OR RUBBER TILES.
- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.



3 PERSPECTIVE

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**STUDIO 120**  
ARCHITECTURE  
120 EAST 10TH STREET, SCOTT'S BLUFF, NE 69363  
308.635.1531 WWW.STUDIO120ARCHITECTURE.COM

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule		Designation	
No.	Date	Date 1	Revision 1
1			

PROJECT TITLE:  
**23 CLUB BASEBALL IMPROVEMENTS**  
P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363  
CITY OF SCOTT'S BLUFF

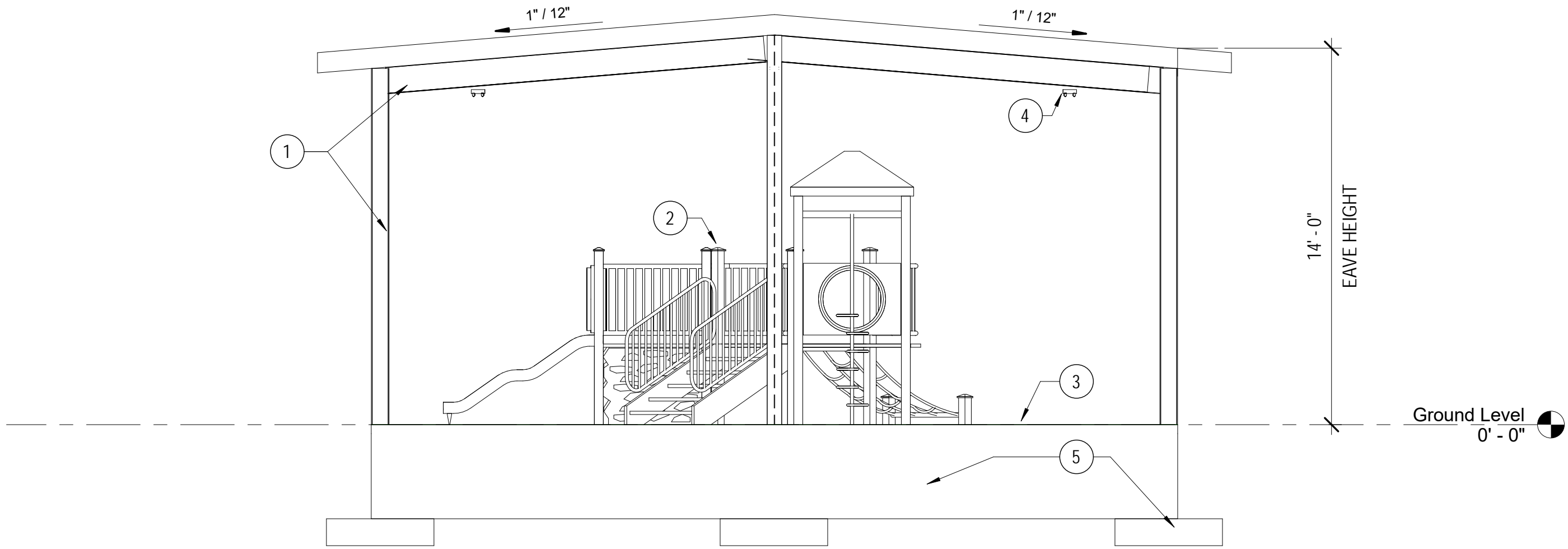
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**GROUND LEVEL AND CEILING PLAN -  
PLAYGROUND COVER BUILDING**  
COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

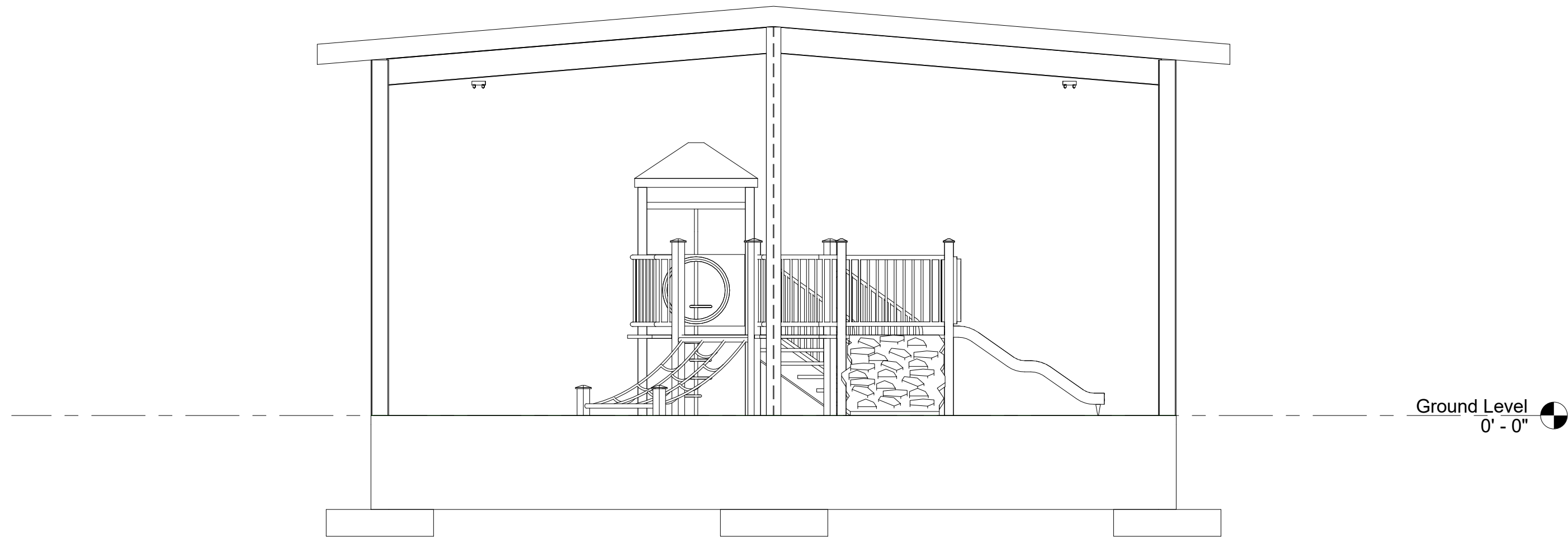
DESIGN DRAWN CHECK  
tws tws Checker

SHEET NUMBER  
**A-1.20**

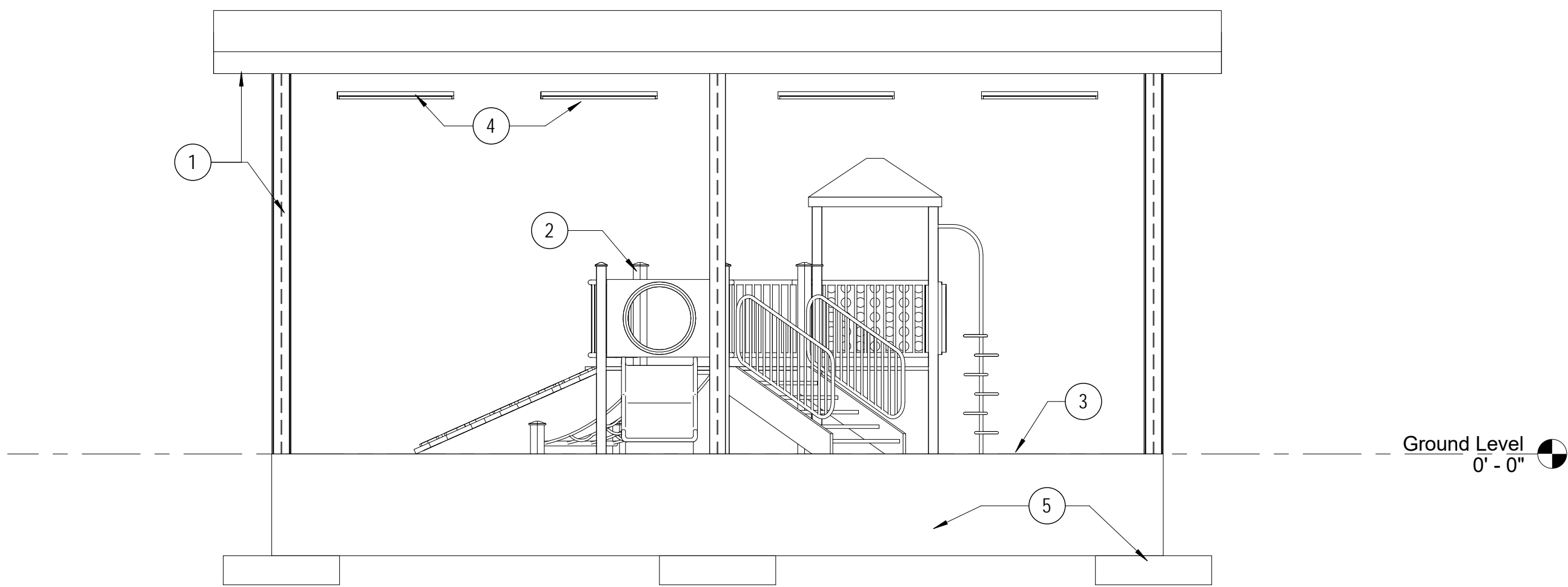




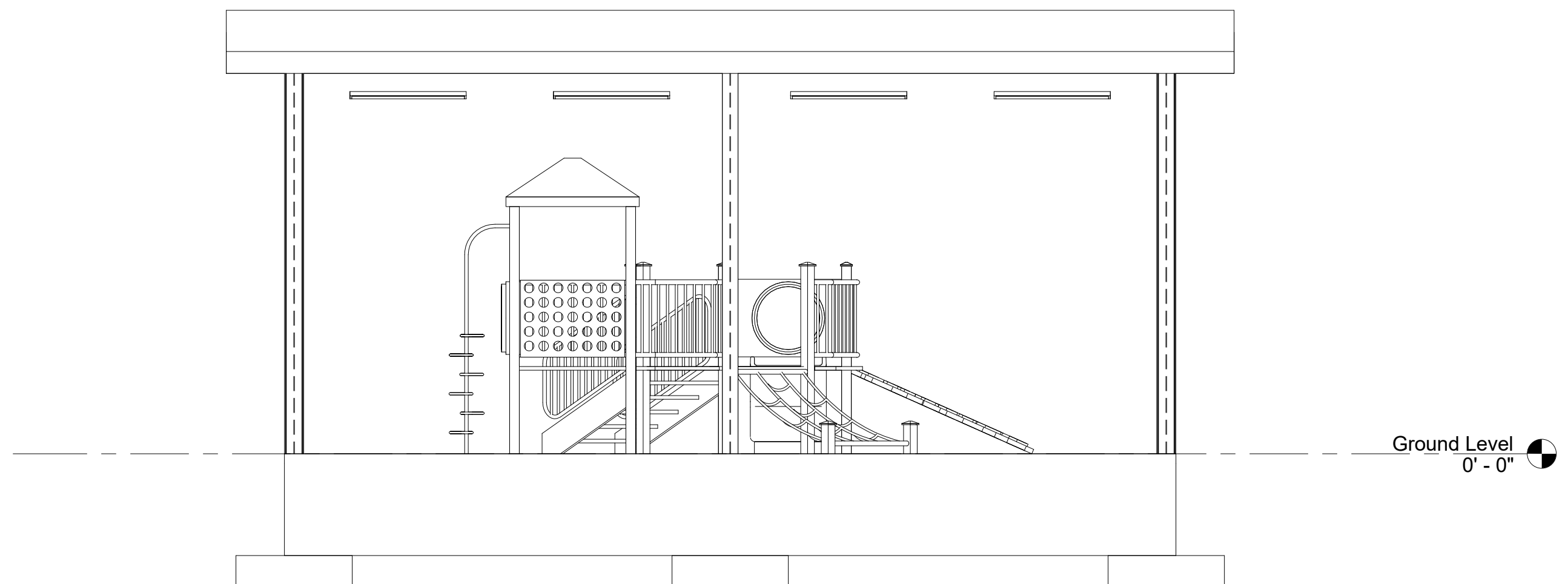
1 NORTH ELEVATION - PLAYGROUND COVER BUILDING  
1/4" = 1'-0"



2 SOUTH ELEVATION - PLAYGROUND COVER BUILDING  
1/4" = 1'-0"



3 EAST ELEVATION - PLAYGROUND COVER BUILDING  
1/4" = 1'-0"



4 WEST ELEVATION - PLAYGROUND COVER BUILDING  
1/4" = 1'-0"

## KEYNOTE LEGEND

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- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.
- FOUNDATION WALL & FOOTINGS- SEE STRUCTURAL FOR DETAILS.
- Sample keynote

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ARCHITECTURE  
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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision	Schedule	Designation
No.	Date	

PROJECT TITLE:

23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:

BUILDING ELEVATIONS

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT:	Project Number	
DESIGN	DRAWN	CHECK
Designer	Author	Checker

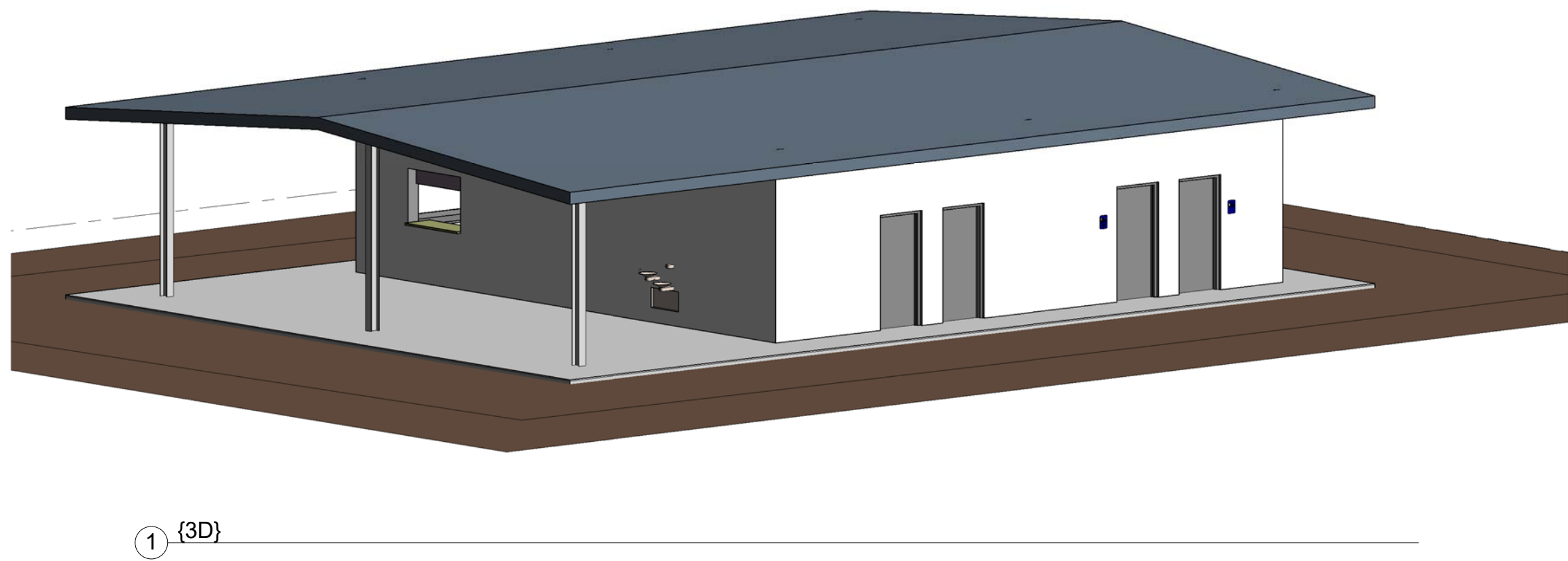
SHEET NUMBER

A-3.20



# CONCESSIONS & RR'S BUILDING

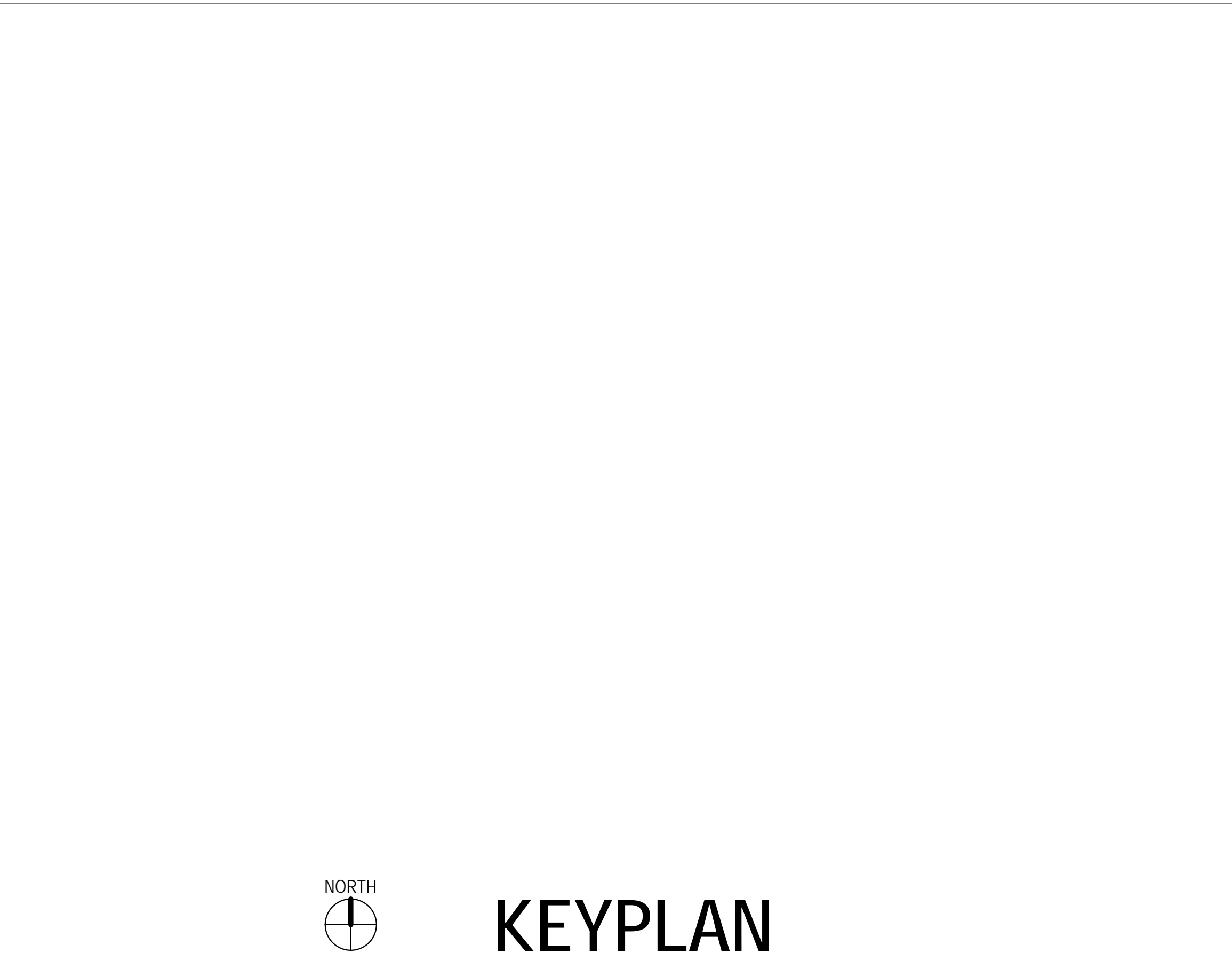
STREET ADDRESS, CITY, STATE, ZIP CODE



PROJECT PICTURE



VICINITY MAP



## PROJECT CONTACTS

### OWNER

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
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Email@provider.com

### CIVIL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
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Email@provider.com

### ARCHITECTURAL

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Stephen R. Klaas, P.E., S.E.  
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Cheyenne, Wyoming 82003  
Phone: (308) 631-3873  
klaas@elevation-sd.com

### MECHANICAL

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NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### PLUMBING

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ELECTRICAL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ONE CALL

Nebraska Contact  
Phone: 1-800-331-5666  
www.ne-diggers.com

### Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

### Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

### Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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### Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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### Drawing Sheet Index - Mechanical

Sheet Number	Sheet Title
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### Drawing Sheet Index - Plumbing

Sheet Number	Sheet Title
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### Drawing Sheet Index - Fire Protection

Sheet Number	Sheet Title
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### Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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### Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL PLAN CONCESSIONS BLDG.
A-1.10	ROOF PLAN
A-2.00	GROUND LEVEL REFLECTED CEILING PLAN
A-3.10	EXTERIOR BUILDING ELEVATIONS
A-3.11	EXTERIOR BUILDING ELEVATIONS
A-8.00	INTERIOR ELEVATIONS
A-8.01	INTERIOR ELEVATIONS
A-10.00	ARCHITECTURAL DETAIL SHEET
Total Number of Sheets: 9	

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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
COVER SHEET

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
twz twz Checker

SHEET NUMBER  
0

I, (NAME OF LICENSEE), am the coordinating professional on the (INSERT PROJECT NAME) project.



ARCHITECTURAL GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO THE ARCHITECTURAL DRAWINGS:
- ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS AND ASSEMBLIES, MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE WORK CONTRARY TO GOVERNING REGULATIONS.
  - THE ARCHITECTURAL DRAWINGS ARE A PORTION OF THE SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSIST OF ALL DRAWINGS OF ALL DISCIPLINES LISTED BY THE OVERALL DRAWING INDEX. THE WORK DESCRIBED BY THE DRAWINGS ON ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
  - AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
  - IT IS THE INTENT OF THE ARCHITECTURAL DRAWINGS TO ESTABLISH AND COORDINATE THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. LOCATIONS SHOWN ON OTHER DISCIPLINE'S DRAWINGS ARE SCHEMATIC UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION AT ALL TIMES.
  - DO NOT SCALE DRAWINGS.
  - WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER NOTES AND TYPICAL DETAILS. DETAILS NOTED AS TYPICAL APPLY TO ALL SIMILAR CONDITIONS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.
  - THE ARCHITECTURAL FLOOR PLANS, REFLECTED CEILING PLANS, SECTIONS AND ELEVATIONS ILLUSTRATE THE EXACT LOCATION OF MANY, BUT NOT ALL EXPOSED PARTS OF THE WORK. APPLY THE FOLLOWING RULES IN ORDER, TO DETERMINE THE EXACT LOCATION OF EACH EXPOSED PART OF THE WORK:
    - REFER TO THE SPECIFIC APPLICABLE LARGE-SCALE ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS OR DETAILS. LOCATE AS DIMENSIONED.
    - IF NOT SHOWN OR UNIQUELY DIMENSIONED, REFER TO THE APPLICABLE TYPICAL ARCHITECTURAL MOUNTING HEIGHT AND/OR CONFIGURATION DETAILS. LOCATE AS INDICATED BY THE APPLICABLE DETAIL OR RULE.
    - IF NOT SHOWN OR DIMENSIONED ON TYPICAL ARCHITECTURAL DETAILS, LOCATE AS DIMENSIONED BY THE DRAWINGS OF OTHER DISCIPLINES.
    - IF NOT SHOWN OR DIMENSIONED ON DRAWINGS OF OTHER DISCIPLINES, PLACE AT THE APPROXIMATE LOCATION SHOWN BY THE DRAWINGS OF OTHER DISCIPLINES.
  - STUDIO 120 ARCHITECTURE CONSIDERS THAT PLANS AND SPECIFICATIONS ARE APPROVED DOCUMENTS ONLY IF:
    - THE DOCUMENTS ARE PAPER COPIES WITH SIGNATURES AND PROFESSIONAL CERTIFICATION VISIBLE PRESENT ON THE PAPER COPIES OR
    - ELECTRONIC FILES IN ADOBE® PORTABLE DOCUMENT FILE (PDF) FORMAT ISSUED DIRECTLY BY STUDIO 120 ARCHITECTURE (HEREINAFTER REFERRED TO AS ELECTRONICALLY TRANSMITTED DATA).

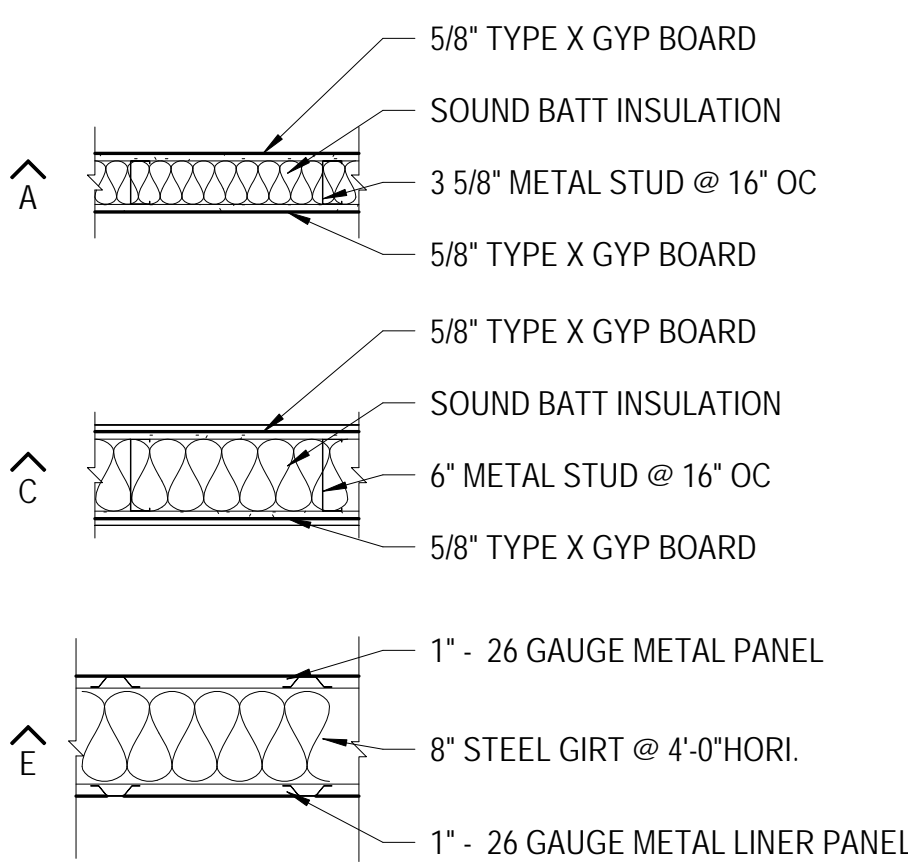
INFORMATION SUPPLIED VIA METHODS OTHER THAN THOSE NOTED ABOVE ARE NOT TO BE CONSIDERED APPROVED DOCUMENTS. THE RECEIVER OF ELECTRONICALLY TRANSMITTED DOCUMENTS IS RESPONSIBLE FOR VERIFYING THE INFORMATION PROVIDED IS AN APPROVED DOCUMENT. THE USE OF ELECTRONICALLY TRANSMITTED DRAWINGS IS CONSIDERED TO BE AT THE USER'S RISK. STUDIO 120 ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR ANY CLAIMS OR DAMAGES RESULTING FROM USE OF THIS ELECTRONIC INFORMATION.

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  - REASONABLE EFFORT HAS BEEN MADE BY THE ENGINEER TO INDICATE THE TYPE, SIZE, LOCATION, AND NUMBER OF KNOWN UNDERGROUND FACILITIES ON THE DRAWING(S). HOWEVER, NO GUARANTEE IS MADE AS TO THE TRUE TYPE, SIZE, LOCATION, OR NUMBER OF SUCH FACILITIES. THE OMISSION FROM OR THE INCLUSION OF, UTILITY LOCATIONS ON THE DRAWING(S) IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR AN ABSOLUTE LOCATION OF, EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE NEBRASKA ONE-CALL NOTIFICATION ACT (STATE OF NEBRASKA TITLE 155, CHAPTER 2) OR WYOMING UNDERGROUND FACILITIES NOTIFICATION ACT (STATE OF WYOMING TITLE 37, CHAPTER 12) AS APPROPRIATE.

ARCHITECTURAL SUPPLEMENTAL NOTES

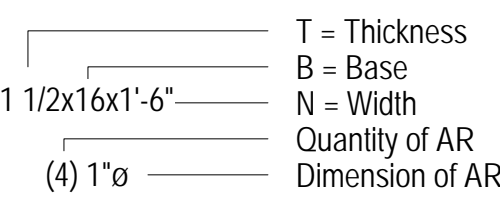
- ALL NEW CONSTRUCTION IS TO CONFORM TO LOCAL, STATE AND NATIONAL BUILDING AND SAFETY GOVERNING AGENCIES. THE FOLLOWING DRAWINGS ARE SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY LOCAL, STATE AND NATIONAL GOVERNING AGENCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR TOTAL FAMILIARITY WITH EXISTING CONDITIONS. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO SUBMITTAL OF BID TO BUILDING REPRESENTATIVE.
- CONTRACTOR IS TO COORDINATE BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS ALONG WITH THE DESIGNATED SUB-CONTRACTORS FOR ALL OF THE TRADES.
- ALL NEW CONSTRUCTION DETAILS, FINISHES, TEXTURES, ETC., ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR BUILDING INDUSTRY STANDARDS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO COORDINATE WITH OWNER'S VENDORS ON SCHEDULING REQUIREMENTS AND INSTALLATION OF ITEMS BEING SUPPLIED AND INSTALLED BY THEM IF THEY ARE NOT A PART OF THE CONSTRUCTION CONTRACT.
- ALL THE FIRE PROTECTION AND LIFE SAFETY SYSTEMS ARE TO BE PROVIDED AS REQUIRED PER THE CODE REQUIREMENTS. VERIFY WITH THE BUILDING DEPARTMENT AND FIRE DEPARTMENT. INCLUDE ADDITIONAL SMOKE DETECTORS AND INDICATOR LIGHTS AS REQUIRED AND TYING INTO THE FIRE PROTECTION SYSTEM.
- ALL NEW CONSTRUCTION IS TO ADHERE TO A.D.A. REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE OWNER, SUCH AS LATCH SETS, MOUNTING HEIGHTS, CLEARANCES, SLOPES, GRADES, ETC.
- THE FLOOR SLAB IS NOT TO BE POURED UNTIL ALL EQUIPMENT CONDUIT, PLUMBING, POWER, ETC. HAS BEEN ROUGHED IN.
- PROVIDE TYPE "X" 5/8" GYPSUM BOARD THROUGHOUT NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROVIDE RATED WALLS AS REQUIRED FOR NEW CONSTRUCTION. THIS INCLUDES WALLS, CEILINGS, DUCTWORK, DOORS, FRAMES, HARDWARE, ETC.
- ALL INTERIOR COLORS, TEXTURES AND FINISHES ARE TO BE SELECTED BY THE OWNER/ARCHITECT.
- ANY NOTES MENTIONED ON THIS SHEET OR ON ANY OTHER SHEET SHALL PERTAIN TO ALL SHEETS.
- ALL WORK AND DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

ARCHITECTURAL WALL TYPES

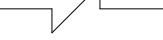


ARCHITECTURAL SYMBOL LEGEND

Base Plate Tag



Break Line Symbol



Callout Head Symbol



Door Tag



Drawing Revision Tag



Grid Head Symbol



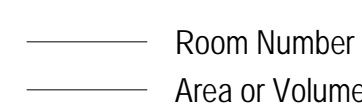
Key Note Symbol



Level Head Symbol



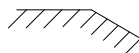
Room Tag



Section Head Symbol



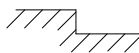
Slope Down Symbol



Spot Elevation Symbol



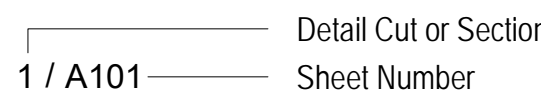
Step Down Symbol



Valley Symbol



View Reference Symbol



Wall Tag



Window Tag



BUILDING STATISTICS

AREA (GROSS SQUARE FOOTAGE)	
Basement	NA
Non -occupied	NA
First Floor	1,600 SF
Second Floor	NA
Third Floor	NA
Fourth Floor	NA

OCCUPIED SPACE TOTAL

---- SF

NUMBER OF STORIES

One

CODE SUMMARY

APPLICABLE CODES

BUILDING	INTERNATIONAL BUILDING CODE - 2009
LIFE SAFETY	NFPA 101 - 2000
ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE - 2009
MECHANICAL	UNIFORM MECHANICAL CODE - 2012
PLUMBING	UNIFORM PLUMBING CODE - 2012
ELECTRICAL	NATIONAL ELECTRICAL CODE - 2011

ACCESSIBILITY

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

FIRE PROTECTIVE SYSTEMS

AUTO FIRE SUPPRESSION	NO
STANDPIPE	NO
FIRE ALARM SYSTEM	NO
AUTO FIRE DETECTION	NO
SMOKE DETECTION	NO

OCCUPANCY GROUP

Assembly Group - A5

TYPE OF CONSTRUCTION

Type II B



SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule	No.	Date	Description
-------------------	-----	------	-------------

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
ARCHITECTURAL NOTES, CODE  
SUMMARY AND SYMBOL LEGEND

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

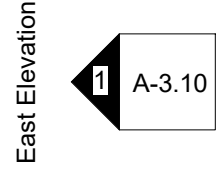
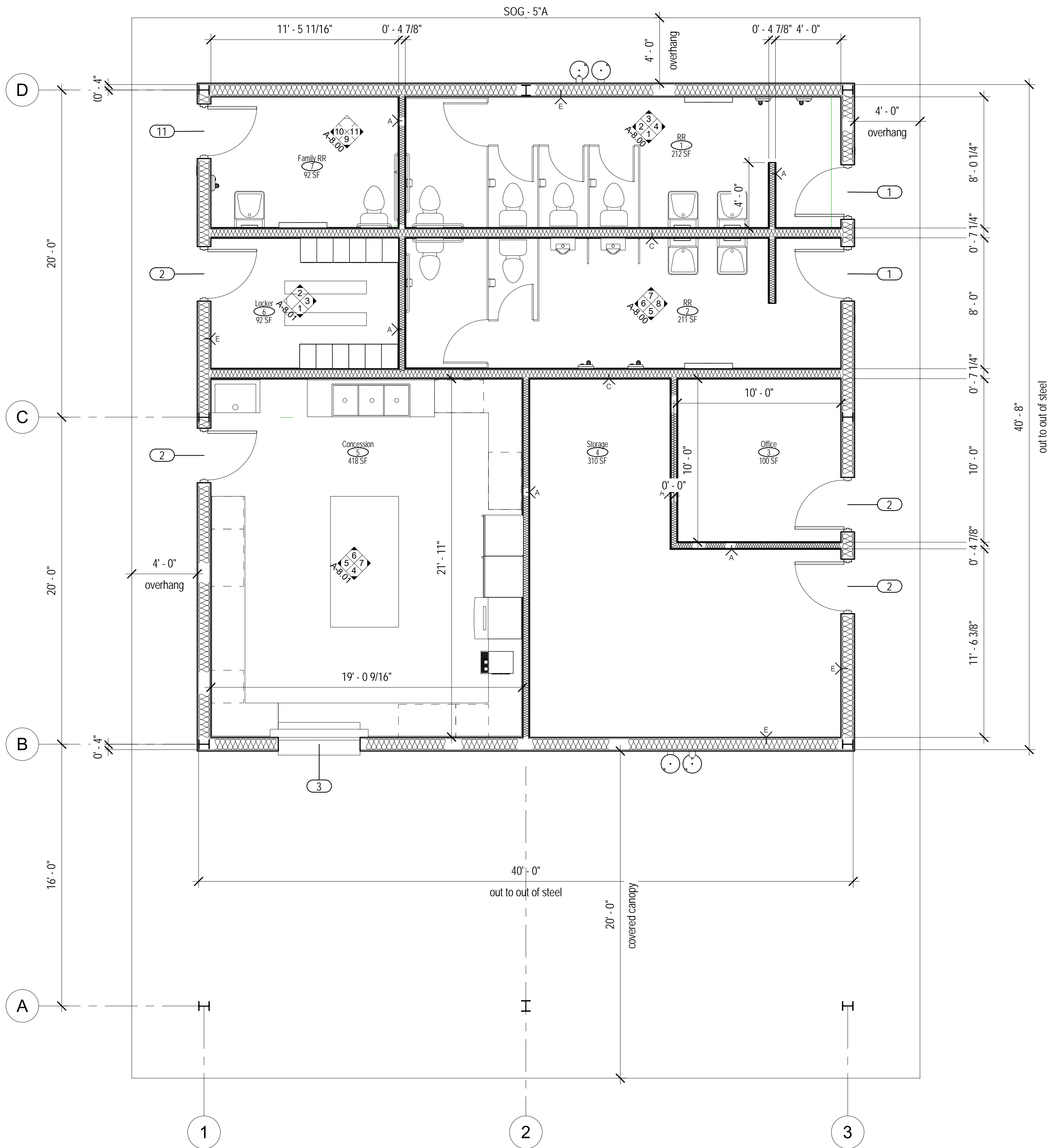
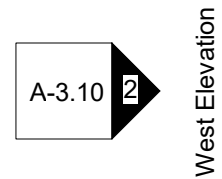
A-0.01





# Ground Level Plan

1/4" = 1'-0"



## KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
**23 CLUB BASEBALL IMPROVEMENTS**  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
**GROUND LEVEL PLAN CONCESSIONS BLDG.**

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

**A-1.00**

SUB-CONSULTANT:

**PRELIMINARY PLAN**  
NOT TO BE USED FOR  
CONSTRUCTION

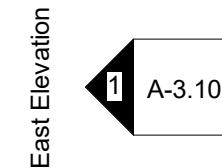
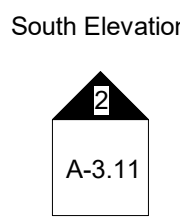
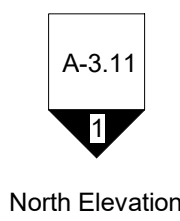
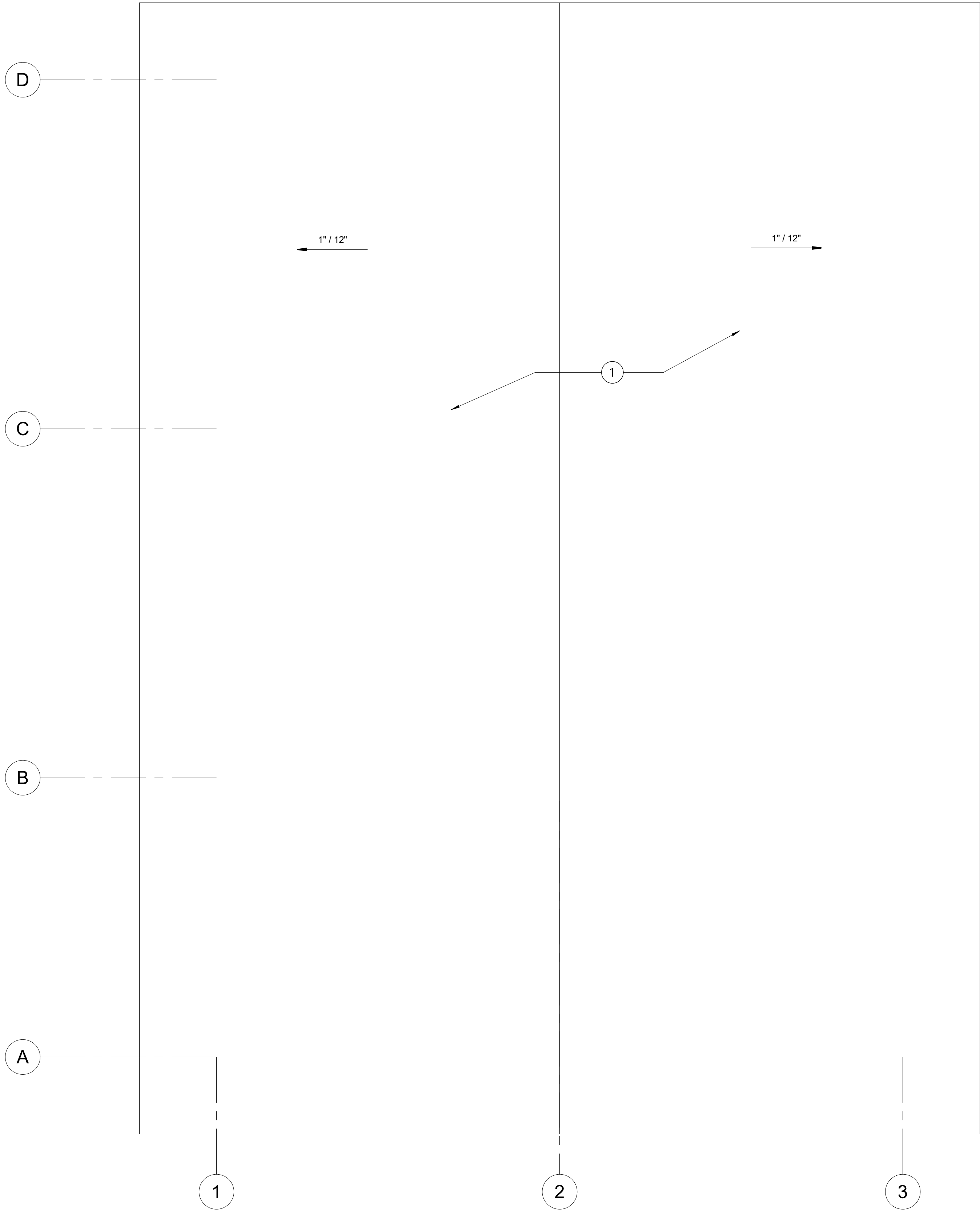
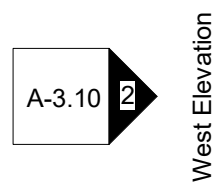


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1

Roof Plan

1/4" = 1'-0"



KEYNOTE LEGEND

- 1
- ENCLOSED PORTION METAL BUILDING ROOF SYSTEM TO HAVE R-30 VALUE INSULATION SYSTEM.
- 2
- Sample keynote

Revision Schedule		
No.	Date	Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:		ROOF PLAN		COMPLETION: Project Status	
				DATE ISSUED: Issue Date	
PROJECT:		Project Number			
DESIGN		DRAWN		CHECK	
Designer		Author		Checker	

SHEET NUMBER

A-1.10

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

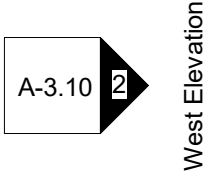


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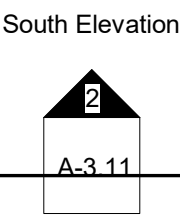
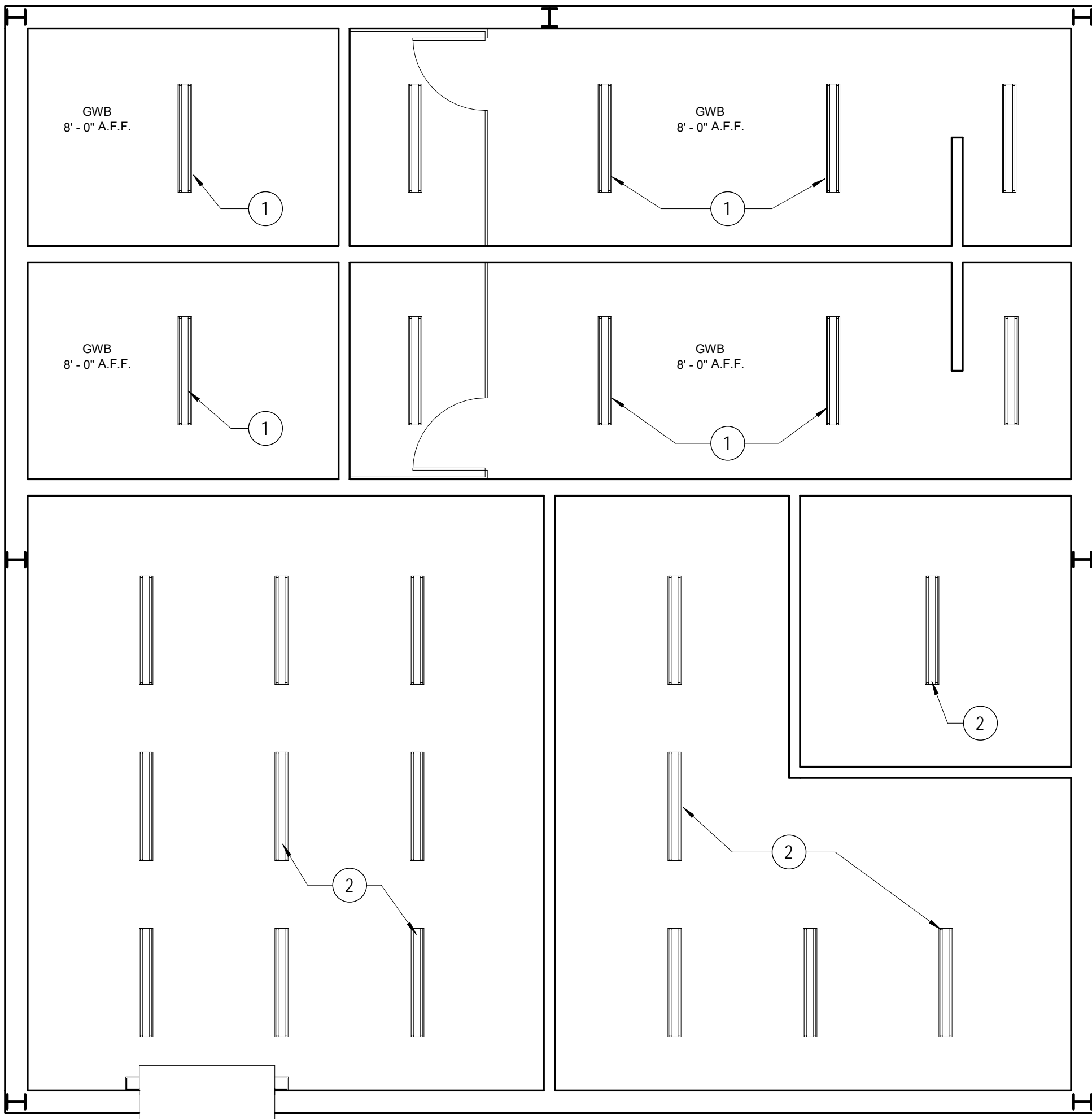


1  
1/4" = 1'-0"

Reflected Ceiling Plan

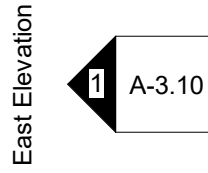


West Elevation



South Elevation

North Elevation



East Elevation

KEYNOTE LEGEND

- 1 CEILING MOUNTED LED TYPE LIGHT FIXTURES.
- 2 CEILING HUNG LED TYPE LIGHT FIXTURES. APPROXIMATE MOUNTING HEIGHT = 10'-0" ABOVE FLOOR.

SHEET TITLE:  
**GROUND LEVEL REFLECTED CEILING PLAN**

PROJECT: Project Number

DESIGN: Designer DRAWN: Author CHECK: Checker

SHEET NUMBER  
**A-2.00**

PROJECT TITLE:  
**23 CLUB BASEBALL IMPROVEMENTS**

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

Revision Schedule	No.	Date	Description

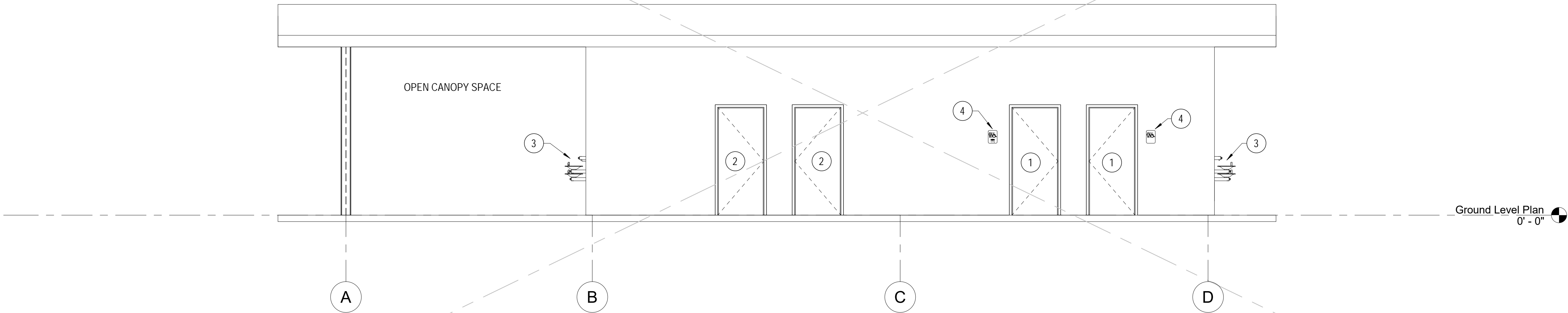
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NOT TO BE USED FOR  
CONSTRUCTION

SUB-CONSULTANT:

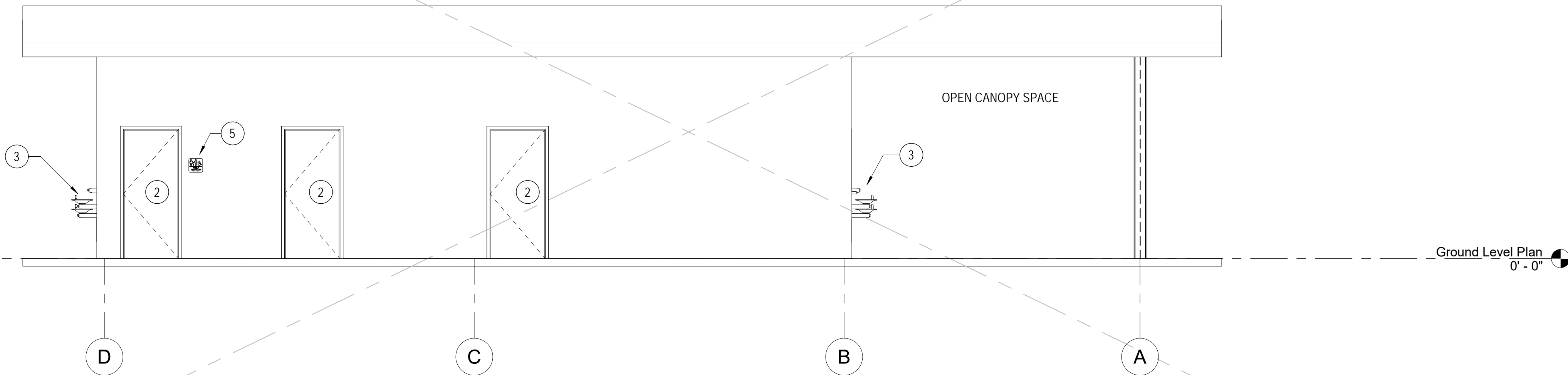
**STUDIO 120**  
ARCHITECTURE

120 EAST 10TH STREET, SCOTTSBLUFF, NE 69361  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM





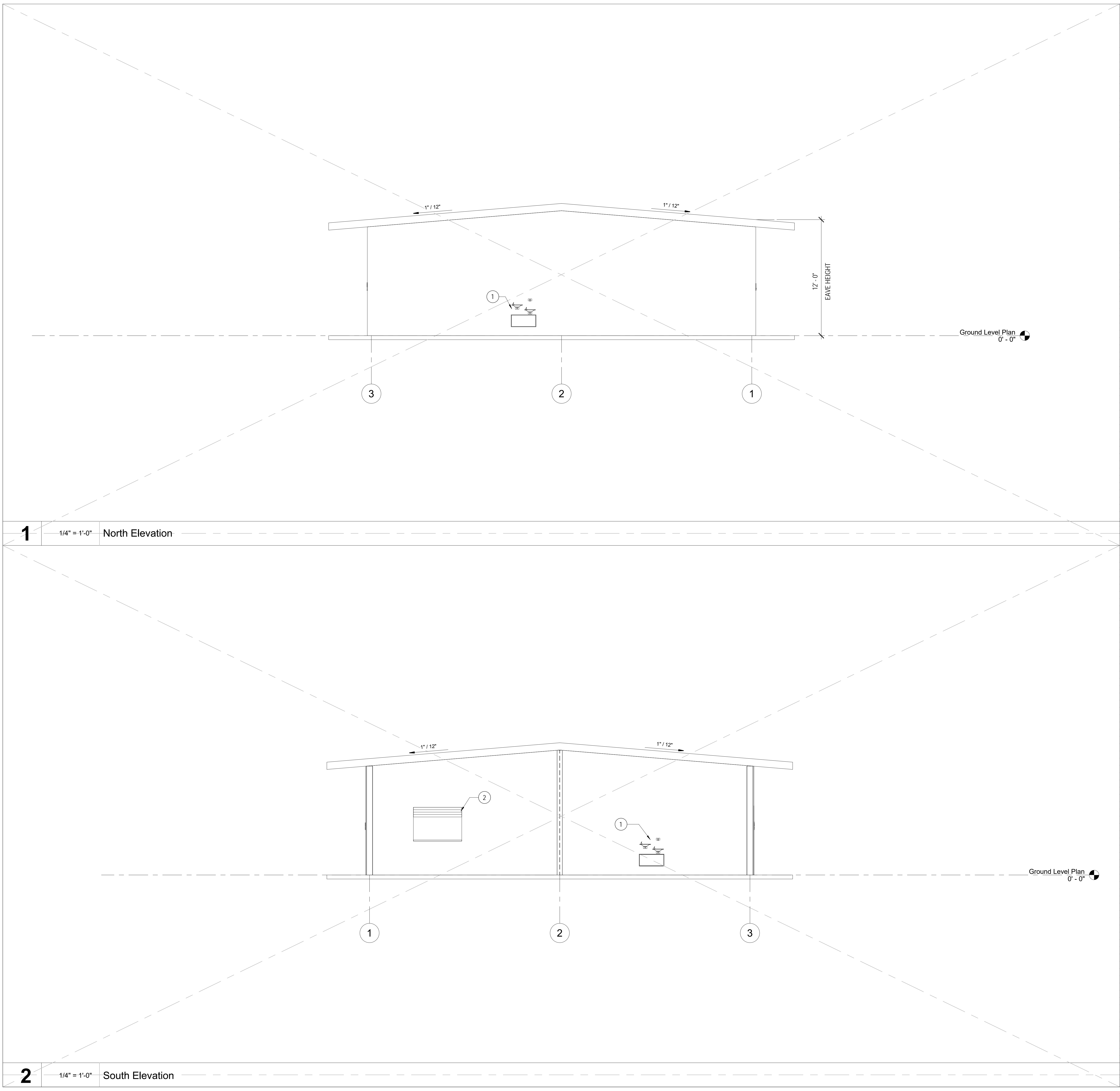
1 1/4" = 1'-0" East Elevation



2 1/4" = 1'-0" West Elevation

## KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE PUSH/PULL HANDLES, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- A.D.A. COMPLIANT MENS AND WOMENS RESTROOM SIGNAGE.
- A.D.A. COMPLIANT FAMILY RESTROOM SIGNAGE.



### KEYNOTE LEGEND

- 1 TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- 2 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.
- 3 Sample keynote
- 4 Sample keynote

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
EXTERIOR BUILDING ELEVATIONS

COMPLETION: Project Status  
DATE ISSUED: Issue Date

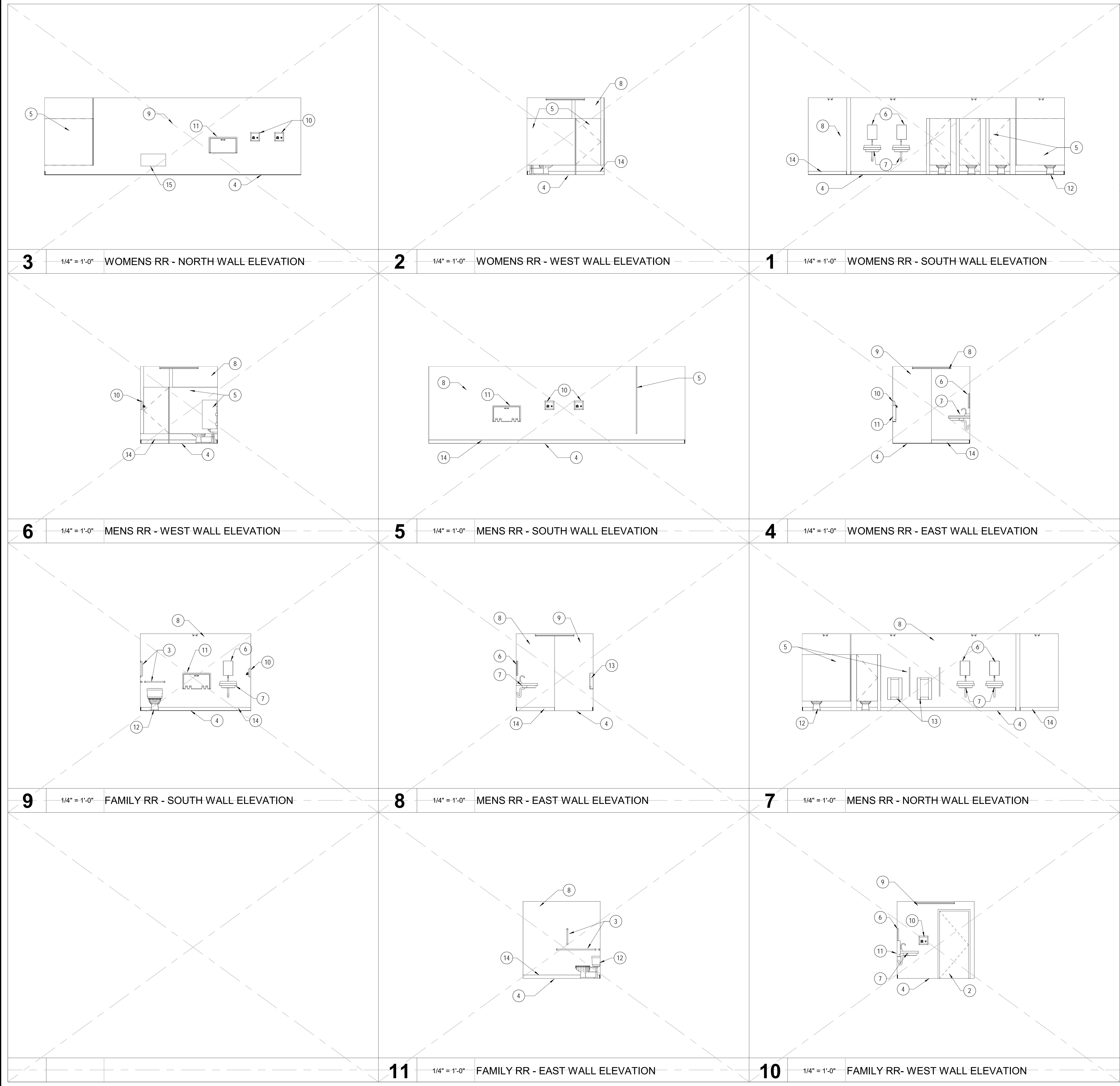
PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

A-3.11





KEYNOTE LEGEND

- 1 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 A.D.A. GRAB BARS AS SHOWN ON DETAILS- A-10.00.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 SOLID POLYMER TYPE TOILET PARTITION UNIT MADE OF SOLID, HIGH DENSITY POLYETHYLENE (HDPE) PANEL MATERIAL NOT LESS THAN 1" THICK. DOOR MANUFACTURERS SUBJECT TO COMPLIANCE BUT NOT LIMITED TO SCRANTON PRODUCTS, OR BRADLEY PRODUCTS. MANUFACTURER'S STANDARD HINGES, LATCH AND KEEPERS, COAT HOOKS SHALL BE ACCEPTABLE. ANCHORAGES AND FASTENERS TO BE MANUFACTURER'S STANDARD NON-CORROSION ANCHORING ASSEMBLIES. SAME CONSTRUCTION FOR URINAL PARTITION.
- 6 A.D.A. STYLE WALL MIRROR - STAINLESS STEEL
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WALL COVER- WHITE.
- 10 ELECTRIC HAND DRYER, FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- 11 BABY CHANGING STATION. FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- 12 A.D.A. APPROPRIATE HEIGHT TOILET- SEE DETAILS SHEET A-2.00.
- 13 URINAL.
- 14 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY. COLOR BY OWNER.
- 15 WALL ACCESS DOOR PANEL TO ACCESS DRINKING FOUNTAIN.

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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule

No. 1 Date 1 Description

PROJECT TITLE:

23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:

INTERIOR ELEVATIONS

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT:

Project Number

DESIGN

DRAWN

CHECK

Designer

Author

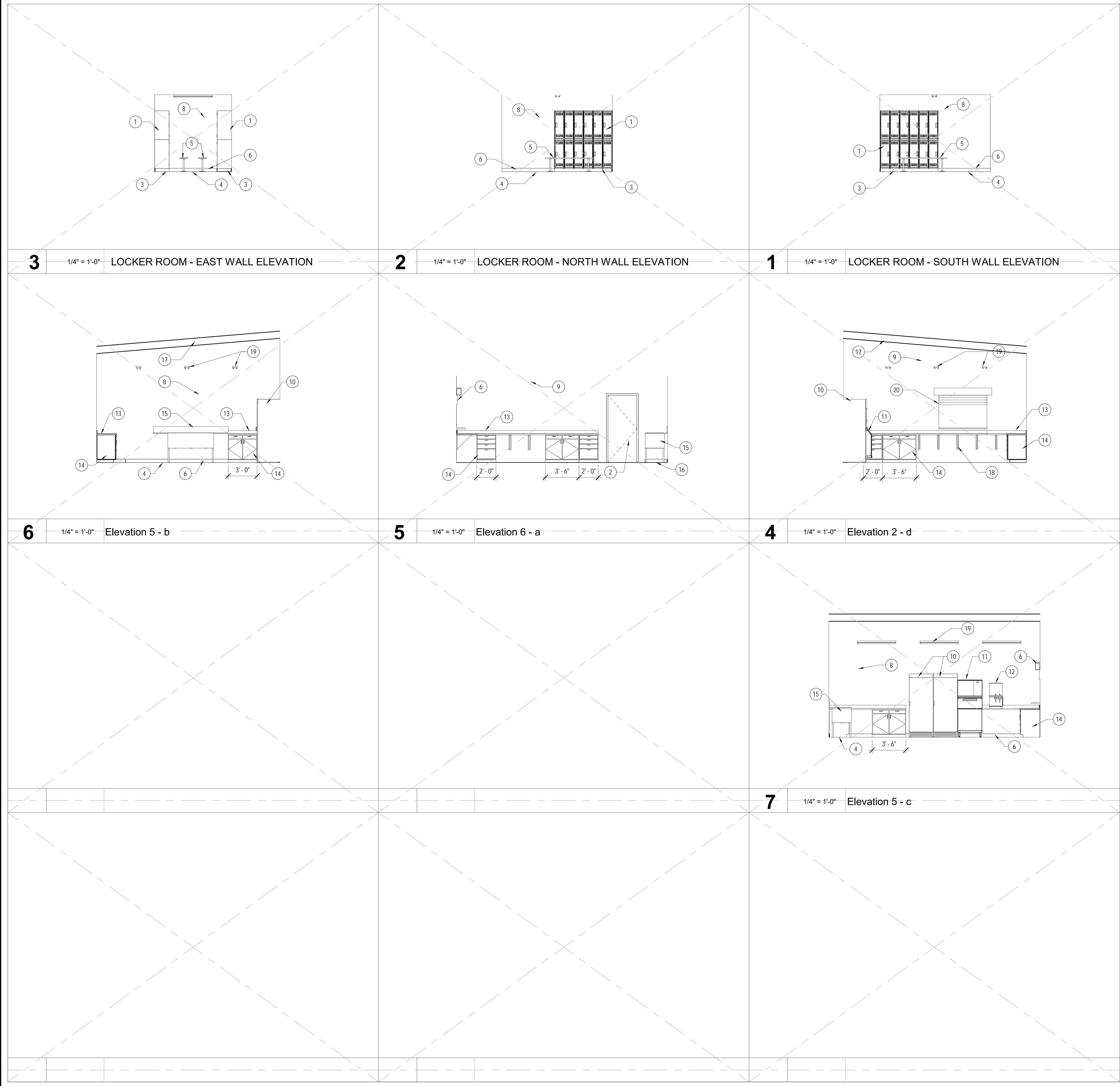
Checker

SHEET NUMBER

A-8.00

Page 123 / 136





## KEYNOTE LEGEND

- 1 DOUBLE TIER METAL ATHLETIC LOCKERS- 12" WIDE X 36" HIGH X 18" DEEP, BAKED ENAMEL OR POWDER COAT, COLOR BY OWNER, BASIS OF DESIGN- HADRIAN, GLADIATOR, OR AN APPROVED EQUAL.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 4" LOCKER SUPPORT RISER, EITHER CONCRETE OR WOOD CONSTRUCTION.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5" 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT- COLOR BY OWNER.
- 6 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY, COLOR BY OWNER.
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WALL COVER- WHITE.
- 10 DEPICTS POP COOLER- N.I.C.
- 11 DEPICTS ICE MACHINE- N.I.C.
- 12 DEPICTS SODA DISPENSER- N.I.C.
- 13 COUNTER TOPS WITH PLASTIC LAMINATE FINISH.
- 14 BASE CABINETS.
- 15 THREE COMPARTMENT STAINLESS STEEL SINK.
- 16 MOP SINK.
- 17 BUILDING STRUCTURE- ROOF LINE.
- 18 COUNTER TOP SUPPORT BRACKET- SPACED 2'-0" o.c..
- 19 CEILING MOUNTED OR HUNG LIGHT FIXTURES.
- 20 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. Date Description

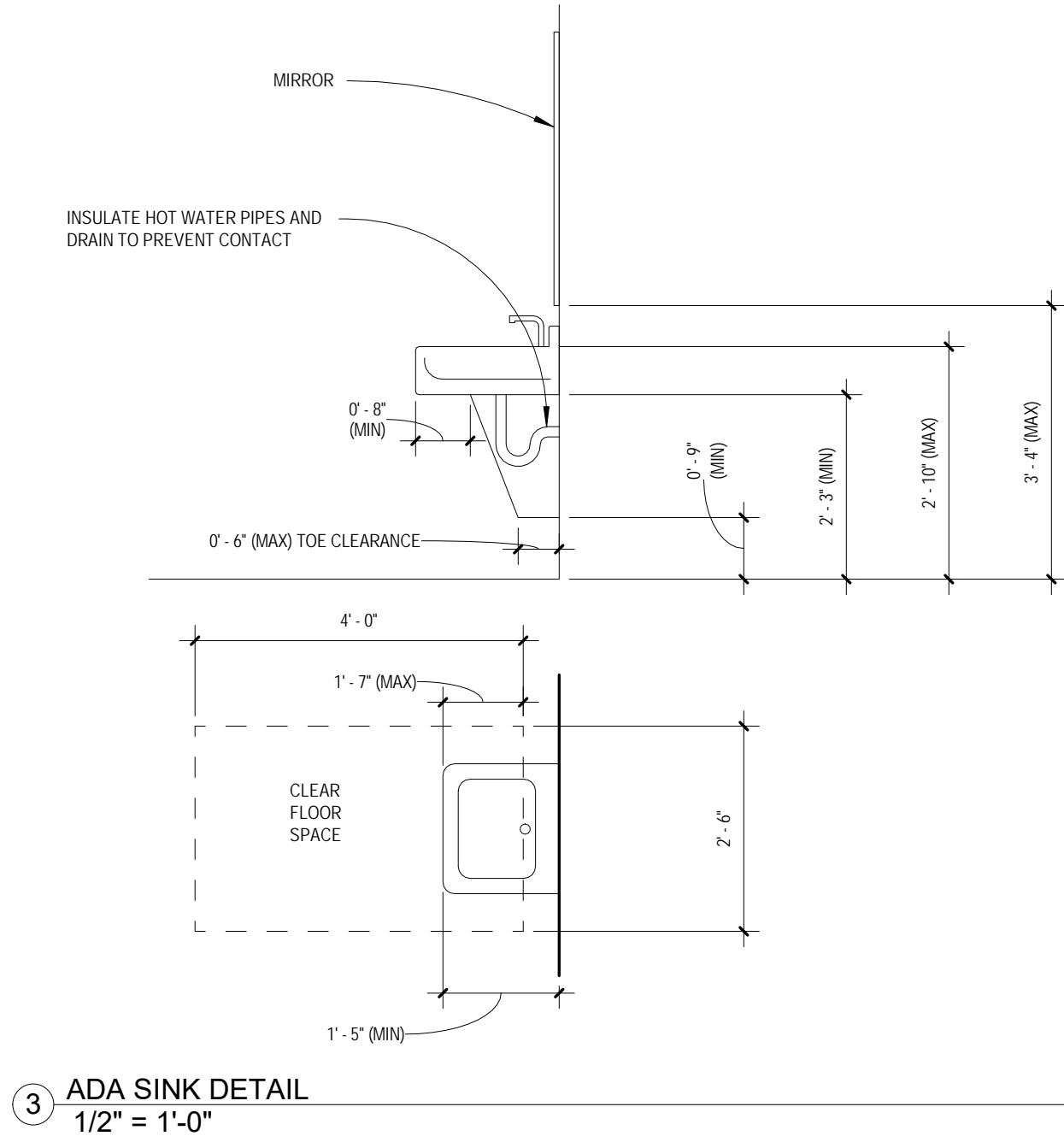
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**23 CLUB BASEBALL IMPROVEMENTS**  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
**INTERIOR ELEVATIONS**  
COMPLETION: Project Status  
DATE ISSUED: Issue Date

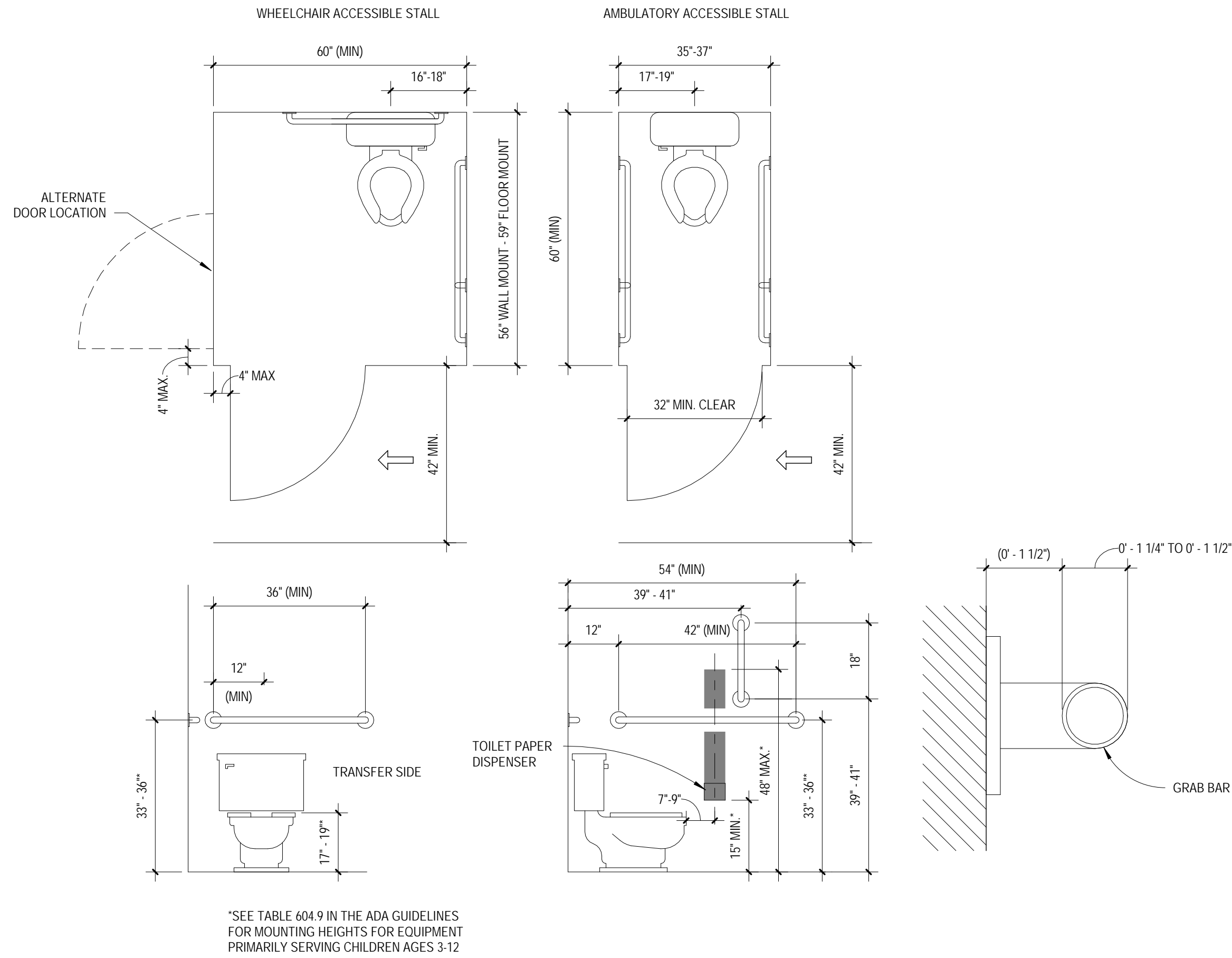
PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER  
**A-8.01**



③ ADA SINK DETAIL  
1/2" = 1'-0"



① ADA EQUIPMENT DETAIL  
1/2" = 1'-0"

\*SEE TABLE 604.9 IN THE ADA GUIDELINES  
FOR MOUNTING HEIGHTS FOR EQUIPMENT  
PRIMARYLY SERVING CHILDREN AGES 3-12

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SUB-CONSULTANT:

PRELIMINARY PLAN  
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CONSTRUCTION

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
ARCHITECTURAL DETAIL SHEET

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER  
A-10.00

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports<sup>7</sup>**

**Council to receive an update on Economic Development Activities.**

**Staff Contact: Starr Lehl, Economic Development Director**

Economic Development Update  
01/07/2018

In keeping with goals set forth by the Regional Economic Development Strategic Plan completed in November of 2014, we have been working on the core recommendations of the study and have made progress on the following:

- Build a Consensus Coalition – this has been accomplished through WNED and needs to continue with a reorganization including new members and new leadership.
- Convene to Encourage Tourism Collaboration – As an appointed member of the Tourism Commission, I have been attending the Western Nebraska Tourism Commission meetings making sure Scottsbluff has a strong voice with the group and also sharing the state perspective with members. I will be helping to man the Nebraska Tourism Coalition booth at the National Western Stock Show promoting western Nebraska as a tourism destination
- Forge the Scottsbluff-Gering Highway Initiative
- Expand Current Business Retention and Expansion Program – this program is being updated at the state level with a different survey form, but in the meantime, we are in the process of setting up business visits starting with the largest employers and working through the list.
- Grow Entrepreneurism and Small Business Development – a revised small business and entrepreneur section of the LB840 Plan is ready to be reviewed by a joint meeting of the LB840 Citizens Advisory Review Committee and the LB840 Application Review Committee. Recommendations, if any, will be brought forward to city council as needed
- Revitalize TCD Board Development – the City of Scottsbluff is no longer a member of TCD
- Cultivate Existing Talent – Manufacturing Day this year helped to connect students with local manufacturers in the area and we continue to have a good working relationship with Scottsbluff Public Schools and WNCC
- Drive Talent Attraction – this is being done by continually working to make Scottsbluff a destination and creating a “sense of place” for young families and an attractive location for our workforce. Support of community activities and celebrations as well as continuing to make downtown Scottsbluff a safe and welcoming gathering space helps to accomplish this goal
- Establish A Talent Pipeline – several businesses in the community have started apprenticeship programs creating the talent pipeline. There may be something the city could do to assist with this program by utilizing funds from LB840.

Since the last report on 08/20/2018, the following businesses have been successful applicants through the city’s LB840 Economic Development Program:

Der Topfer Gallery and Studio	\$10,000	Grant for Marketing and Equipment
Bytes Computer & Network Solutions	\$100,000	4 FT Jobs w/benefits

Bsquared Farming & Trucking

\$150,000

11 FT Jobs w/benefits

The first phase of the East Overland Façade Improvement Program has been completed. The city's funds of \$153,500 were matched with over \$1.2 million of private funds by the property owners.

The city has \$100,000 in this year's budget for additional assistance to property owners on East Overland. I have applied for a Greater Good Grant through the Panhandle Partnership for \$50,000. The Community Redevelopment Authority (CRA) has amended the guidelines and application and will be included on the 01/22/19 agenda after receiving comments from the East Overland Steering Committee. Plans are to open the next round of funding after the council has approved the revised guidelines and application.

We are working on developing "shovel ready" sites within the city limits and zoning jurisdiction planning ahead for TIF Districts and utility placement.

The recruitment team from the Nebraska Department of Economic Development made a trip out to western Nebraska for a tour of available sites and buildings. The tour included a total of eleven sites and buildings in Scottsbluff and three in Gering. Other community amenities in the tour were: Western Nebraska Regional Airport, Regional West Medical Center, Western Nebraska Community College, and Scottsbluff High School Career Academy.

The Opportunity Zone guidelines have been released by the IRS and I'm planning to have a representative from Invest Nebraska come out to present information to the banks, accounting firms and financial advisors. Scottsbluff had one of 44 sites approved in the state and the only one west of North Platte.

The City of Scottsbluff and WNCC hosted the 2<sup>nd</sup> Annual Manufacturing Day on October 5<sup>th</sup>. Five area schools were represented along with several local manufacturers. Tours were attended by the students and speakers from Dream It, Do It and Nebraska Advanced Manufacturing were able to talk to the students about careers in manufacturing. The attraction of new and growth of existing manufacturing in the region is a priority as well as the interest and training of a skilled workforce.

The city was notified in June that the U.S. Capitol Tree would be making a stop in Scottsbluff on November 18th. I served on a committee to coordinate the arrival of the tree as well as the Annual Christmas Parade. The Scottsbluff stop was mentioned in a Washington, D.C. news story as one of the favorite stops by the crew and was one of only 22 stops made by the tree. The last time the tree came through our area was 2002.

09/13/2018 – attended NDEQ Small Business Citizen's Advisory Panel meeting in Lincoln. This panel helps to advise the Nebraska Department of Environmental Quality of ways to streamline their processes to make it easier for small businesses apply and comply with state and federal environmental issues.

10/15/2018 through 10/18/2018 – attended Annual State Tourism Conference in Nebraska City representing the City of Scottsbluff as well as District 11 as a Nebraska Tourism Commissioner.

10/23/2018 – attended Nebraska Investment Finance Authority (NIFA) Rural Workforce Housing Workshop and was able to bring back several ideas on how to implement housing into the city's LB840 plan and application.

As Economic Development Director, I continue to represent the city at meetings of the Western Nebraska Economic Development group (WNED), Heartland Expressway Association, attend Panhandle Area Development District Meetings, Ambassador with the Scottsbluff/Gering Chamber, and am a member of the Western Nebraska Development Network (WNDN), Nebraska Economic Developers Association and represent western Nebraska as a District 11 Tourism Commissioner. Recently began serving on the Community Vitality Industry Council for the Blueprint Nebraska Program. I am assisting with the coordination of activities with our Adopt-A-School Partner, ESU 13 Meridian School.

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports8**

**Council to consider approval of a License Agreement with BDS3C, LLC dba Flyover Brewery at 1824 Broadway and authorize the Mayor to execute the agreement.**

**Staff Contact: Nathan Johnson, City Manager**



## **LICENSE AGREEMENT**

This License Agreement ("Agreement") is made by and between the City of Scottsbluff, Nebraska, a Municipal Corporation, hereinafter referred to as "Licensor", and BDS3C, LLC, A Nebraska limited liability company, hereinafter referred to as "Licensee".

1. **Purpose.** The purpose of this Agreement is to set forth the terms and conditions under which the Licensee may construct, maintain, repair, and utilize the following described improvements which will infringe upon real estate owned by the Licensor:

To install an elevated concrete sidewalk café enclosed with a three foot tall wrought iron railing system. Licensee must maintain five feet of access for pedestrian walkway from any obstruction, such as posts, tree grades, or flange plates. An 8' vertical clearance above the walkway must be maintained. This Agreement shall pertain to only the area in front of the property at 1824 Broadway, Scottsbluff, Nebraska.

2. **Description of Real Estate.** The Licensee owns the following described real estate adjacent to Licensor's real estate to which this Agreement shall apply:

Lots 23 and 24 Main Street Addition to the City of Scottsbluff,  
Scotts Bluff County, Nebraska.

3. **Duties and Risks.** It is understood and agreed that the Licensee may construct, maintain, repair, and utilize the above described improvements at the Licensee's sole risk. The Licensee waives any claim for damages against the Licensor, its officers, employees, agents, and independent contractors, for any damage or injury that might result to said improvements. If the Licensor, in its sole discretion, determines that any part or all of the improvements must be removed or is damaged by the Licensor, its employees, agents or independent contractors working for Licensor during the course of their employment or duties with the Licensor, Licensee agrees to assume and pay all costs relating to the replacement or repair of the improvements. The Licensee indemnifies and holds the City harmless from and against all claims arising out of the use or occupancy allowed under this Agreement.

4. Existing Utilities. The Licensee is responsible for locating and coordinating original construction and future maintenance work on the described improvements. No excavation work will be permitted in the area of underground utility facilities until all such facilities have been located and identified to the satisfaction of all parties. The excavation must be done with care in order to avoid any possibility of damage to the utility facility. The Licensee shall be responsible for any and all damage.

5. Restoration of Property. If the construction or maintenance of the improvements identified in paragraph 1. above requires the excavation of earth, removal of hard surfacing, grass, vegetation, landscaping, or any other disruption of the service of the public right-of-way or neighboring property, the Licensee shall restore the surface of the area to the same condition as it existed immediately prior to the Licensee's work in the area.

6. Effective. This License Agreement shall take effect on the date it is executed by the Mayor of the City of Scottsbluff as dated below. It shall continue for an indefinite term or until such time as it is terminated as provided hereinafter.

7. Termination. This Agreement shall terminate upon one or more of the following occurrences:

- (a) The sending of written notice of intention to terminate by Licensee and the removal of any improvements infringing upon the City's lands or right-of-way.
- (b) The Licensee's application for a permit to occupy right-of-way, has expired.
- © The Licensee's construction or installation of any structure and improvement of any nature upon the real estate owned by the Licensor except that described in paragraph 1. above, or the Licensee's failure to apply for and obtain a permit to alter or make improvements to its real estate.
- (d) The City may revoke this Agreement at any time.
- (e) Upon the termination of this Agreement, the Licensee shall be required, and agrees, to remove any improvements or fixtures from the Licensor's real estate at its own expense and without cost to the Licensor. Said removal shall occur no later than thirty (30) days after receipt of the notice of intention to terminate or of any occurrences set forth in this paragraph. Should the Licensee fail to do so, the Licensor may remove or cause the removal of any improvements or fixtures from the Licensor's real estate and the Licensee agrees to reimburse the Licensor for all of its costs.

8. Assigns. This Agreement shall be binding upon the parties hereto, their successors and assigns.

9. Entire Agreement. This Agreement constitutes the entire agreement between the parties notwithstanding any oral or written agreements to the contrary. This License Agreement shall be amended only in writing and executed by all parties.

10. Law. This Agreement shall be construed in accordance with the laws of the State of Nebraska and the City of Scottsbluff, Nebraska.

Dated: 1-3, 2018.  
2019 Am.

CITY OF SCOTTSBLUFF, a  
Municipal Corporation, Licensor,

By \_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

BDS3C, LLC, a Nebraska limited  
liability company, Licensee

BY Andrea Margheim  
Authorized Member

State of Nebraska, Scotts Bluff County:

This License Agreement was acknowledged before me on \_\_\_\_\_, 2018,  
by \_\_\_\_\_, Mayor of the City of Scottsbluff, Nebraska, Licensor.

\_\_\_\_\_  
Notary Public

State of Nebraska, Scotts Bluff County:

This License Agreement was acknowledged before me on January 3, <sup>2019 CB</sup> ~~2018~~,  
by Andrea Margheim, as authorized member of BDS3C, LLC, a Nebraska limited  
liability company, Licensee.



Christine Burbach  
Notary Public

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports9**

**Council to consider amended Fire Contract ARTICLE XXI -  
HEALTH & DENTAL INSURANCE.**

**Staff Contact: Jana Bode, HR Director**

# Agenda Statement

Item No.

For meeting of: January 7, 2019

**AGENDA TITLE:** Council to consider amended Fire Contract ARTICLE XXI - HEALTH & DENTAL INSURANCE.

**SUBMITTED BY DEPARTMENT/ORGANIZATION:** Human Resources

**PRESENTATION BY:** City Manager, Nathan Johnson

**SUMMARY EXPLANATION:** Effective January 1, 2019  
Monthly health insurance premiums.

## BOARD /COMMISSION RECOMMENDATION

## STAFF RECOMMENDATION

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Resolution   Ordinance ☐   Contract ☐   Minutes ☐   Plan/Map ☐

Other (specify)

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**Notification List:** Yes ☐ No ☐ Further Instructions ☐

**APPROVAL FOR SUBMITTAL:** \_\_\_\_\_  
City Manager

**AMENDED CONTRACT**  
**ARTICLE XXI**  
**HEALTH AND DENTAL INSURANCE**

**SCOTTSBLUFF FIREFIGHTERS LOCAL #1454**  
**FOR THE YEAR JANUARY 1, 2019 THROUGH DECEMBER 31, 2019**

This document is an addendum to Article XXI of the Contract between the City of Scottsbluff and the Scottsbluff Firefighters Local #1454.

**HEALTH AND DENTAL INSURANCE**

The City will provide a health insurance plan to members. Participation in the plan shall be subject to policies and procedures as established in the City Personnel Manual and/or Administrative Regulations. Members are provided with information to assist in making their plan selection. The members of the Firefighters' Union shall pay the following premium rates for the calendar year of 2019:

Employee Only \$100 per month  
Employee & Children (limit 2 children) \$200 per month  
Employee & Spouse \$250 per month  
Family \$300 per month

No change in dental insurance premium for 2019.  
Single Dental \$25 per month  
Family Dental \$50 per month

IN WITNESS THEREOF, the parties hereto have set their hands this \_\_\_\_ day of \_\_\_\_\_, 2018.

CITY OF SCOTTSBLUFF, NEBRASKA  
#1454

SCOTTSBLUFF FIREFIGHTERS LOCAL

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
President