

# **City of Scottsbluff, Nebraska**

**Monday, January 7, 2019**

**Regular Meeting**

## **Item Reports6**

**Council to receive a report on The 23 Club revitalization efforts and consider action on a letter of intent to apply for grant funding.**

**Staff Contact: Nathan Johnson, City Manager**



308-632-4136  
2525 Circle Drive  
Scottsbluff, NE 69361

January 7, 2019

Jenny B. Mason, CCCFF Coordinator  
Nebraska Department of Economic Development  
301 Centennial Mall South  
PO Box 94666  
Lincoln, NE 68509-4666

RE: Letter of Intent to apply

Dear Ms. Mason:

This letter is official notice to the Department of Economic Development that the City of Scottsbluff intends to apply for an award through the Community and Civic Center Financing Fund program. The City of Scottsbluff is in the process of completing the application for the 2019 program year.

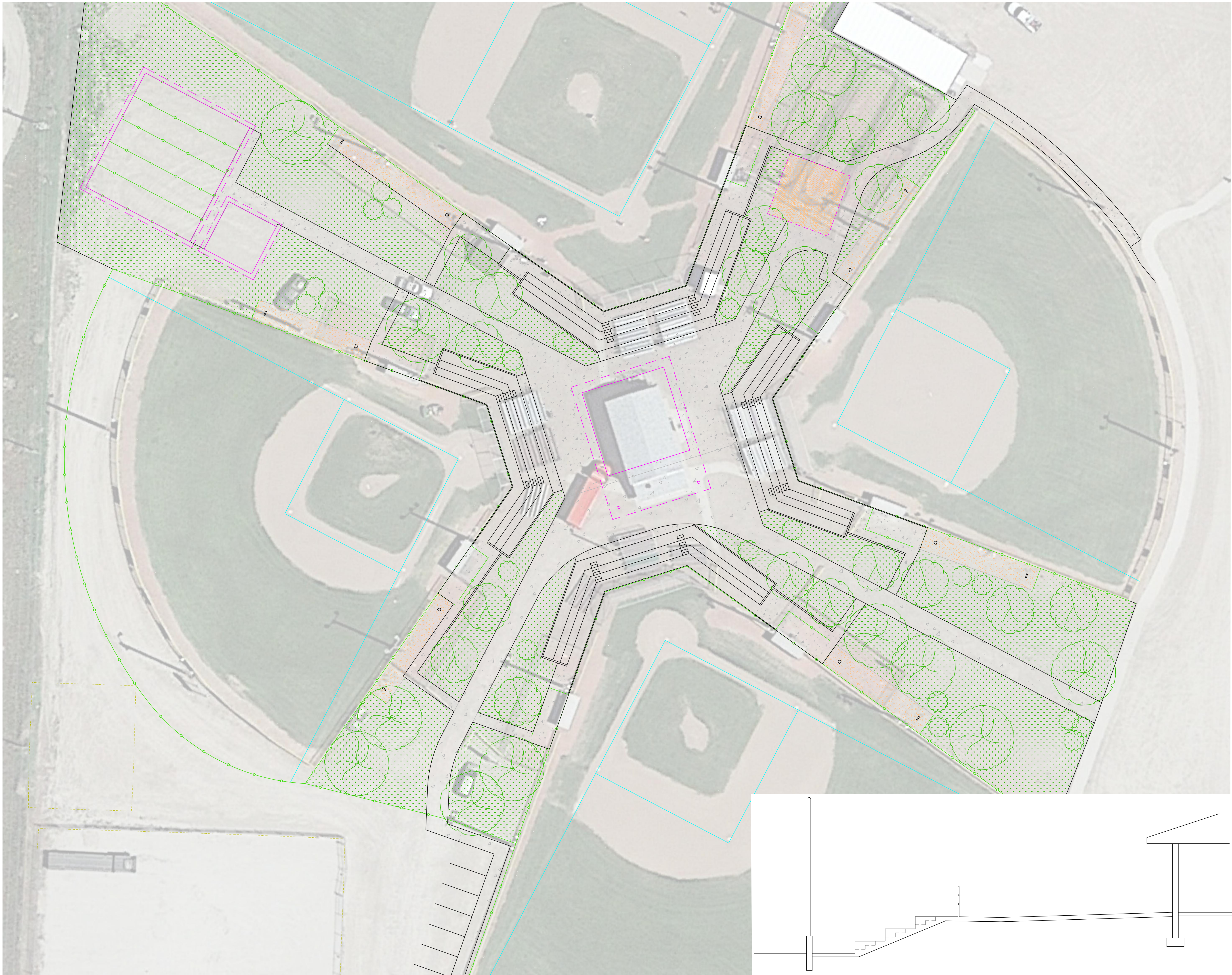
City staff is working with Scottsbluff 23 Club Babe Ruth League (23 Club) on a capital construction application for a renovation project on the 23 Club Baseball Park facilities. The estimated total project budget is \$1.2 million. The City has reviewed the grant maximum schedule and will apply for \$600,000.00. The City is aware that, if awarded, CCCFF monies cannot account for more than fifty percent of total project costs and has a general accounting system in place to track project costs.

The City's local contact for this application is City Manager Nathan Johnson. He can be reached at [njohnson@scottsbluff.org](mailto:njohnson@scottsbluff.org) or (308)630-6202.

Sincerely,

Raymond Gonzales  
Mayor

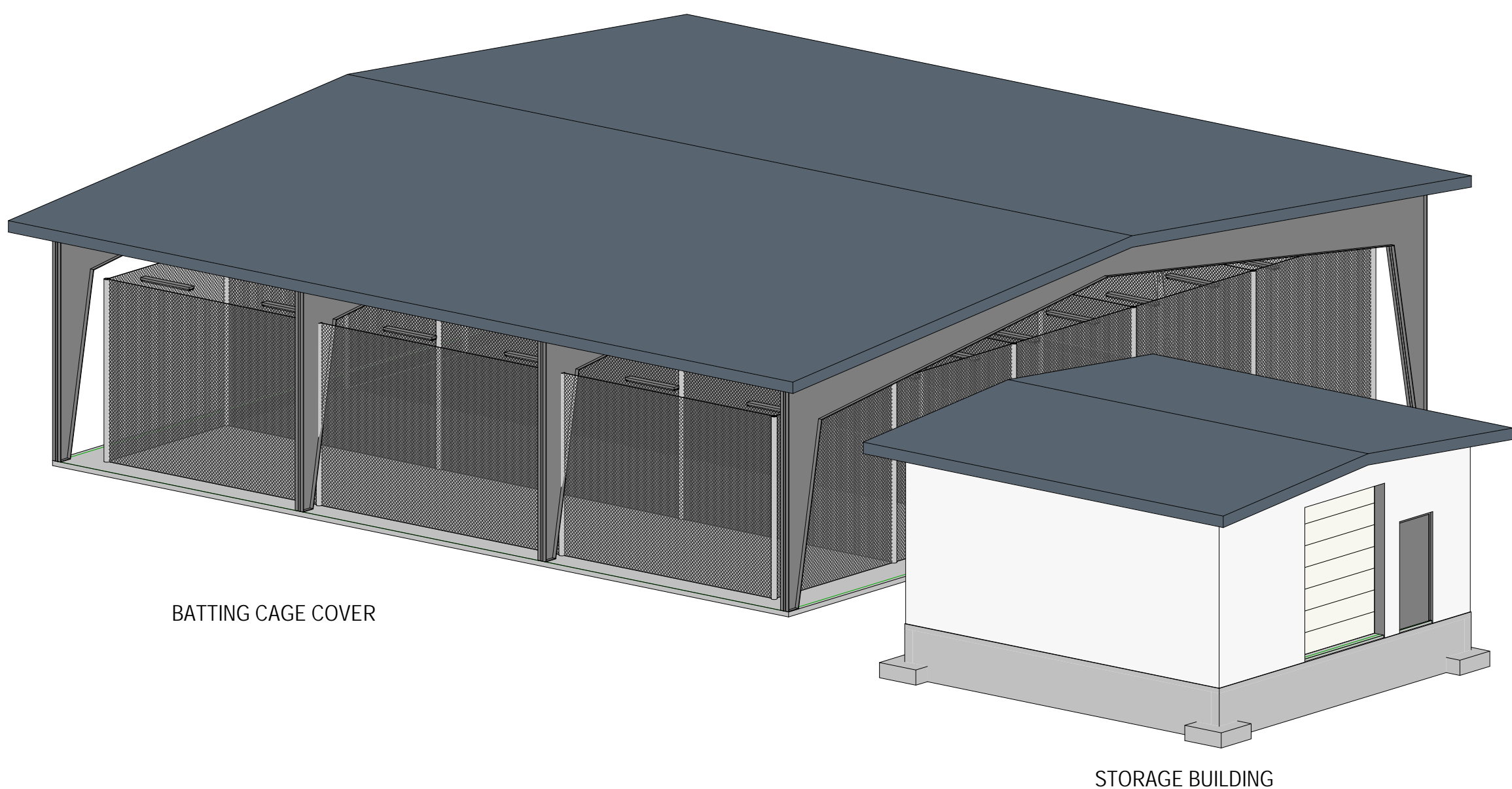






# BATTING CAGE COVER & STORAGE BLDG.

STREET ADDRESS, CITY, STATE, ZIP CODE



## PROJECT PICTURE



## VICINITY MAP



## KEYPLAN

## PROJECT CONTACTS

### OWNER

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### CIVIL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ARCHITECTURAL

Studio 120 Architecture  
Tearle Schmer  
120 East 16th Street  
Scottsbluff, Nebraska, 69361  
Phone: (308) 635-1531  
tearle@studio120arch.com

### STRUCTURAL

Elevation Structural Design  
Stephen R. Klaas, P.E., S.E.  
P.O. Box 624  
Cheyenne, Wyoming 82003  
Phone: (308) 631-3873  
klaas@elevation-sd.com

### ELECTRICAL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ONE CALL

Nebraska Contact  
Phone: 1-800-331-5666  
www.ne-diggers.com

### Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

### Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

### Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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### Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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### Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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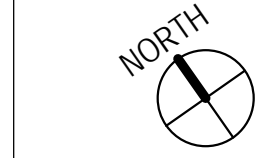
### Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL & CEILING PLAN - STORAGE BUILDING
A-1.10	GROUND LEVEL PLAN - BATTING CAGE BUILDING
A-2.10	GROUND LEVEL REFLECTED CEILING PLAN FOR BATTING CAGE BUILDING
A-3.00	EXTERIOR BUILDING ELEVATIONS - STORAGE BUILDING
A-3.10	EXTERIOR BUILDING ELEVATIONS - BATTING CAGE BUILDING
Total Number of Sheets: 6	

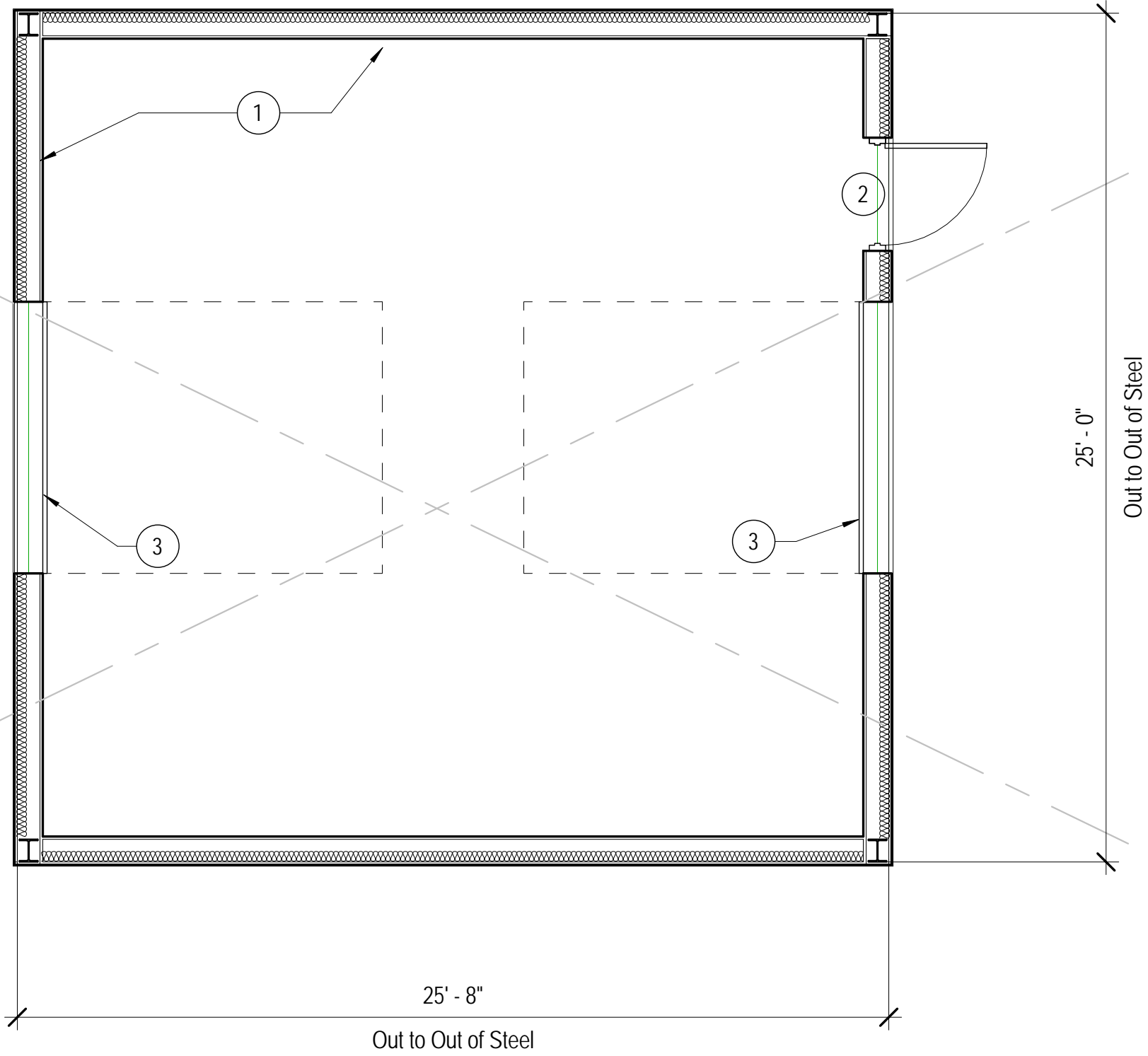


[illegible]

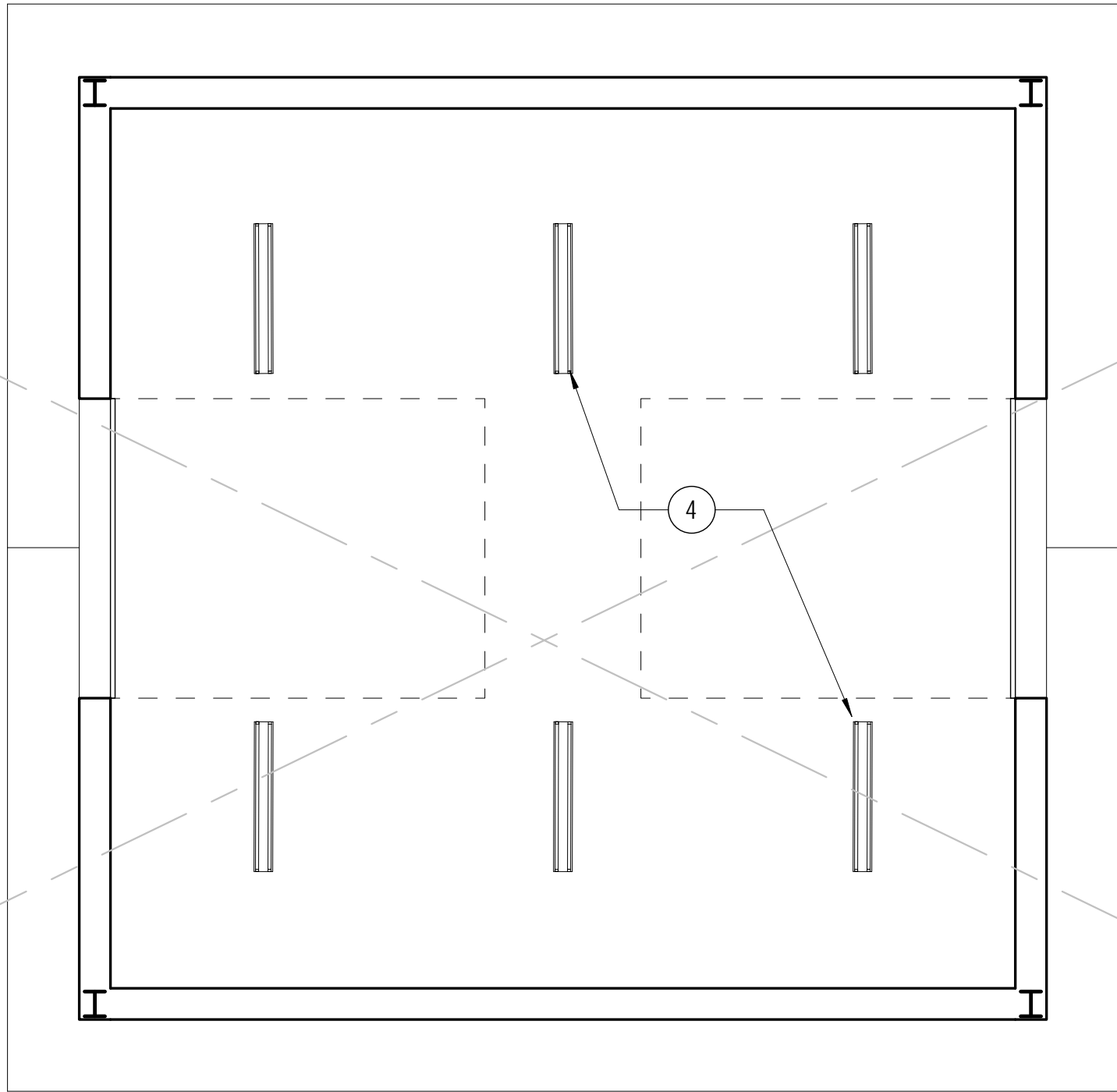




**1** 1/4" = 1'-0" GROUND LEVEL - STORAGE BUILDING



**2** 1/4" = 1'-0" REFLECTED CEILING PLAN - STORAGE BUILDING



### KEYNOTE LEGEND

- 1 25' x 25' x 12' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 8' WHITE INTERIOR LINER ALL WALLS, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS. MINIMUM OF R-15.3 INSULATION PACKAGE FOR WALLS AND ROOF.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 8'-0" WIDE x 10'-0" HIGH STEEL OVERHEAD DOOR, INSULATED. OVERHEAD DOOR COMPANY MODEL 432 OR SIMILAR.
- 4 SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.
- 5 Sample keynote

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STUDIO 120  
ARCHITECTURE  
120 EAST 10TH STREET, SCOTT'S BLUFF, NE 69363  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. | Date | Description

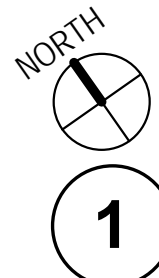
PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS  
P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
GROUND LEVEL & CEILING PLAN -  
STORAGE BUILDING  
COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER  
A-1.00



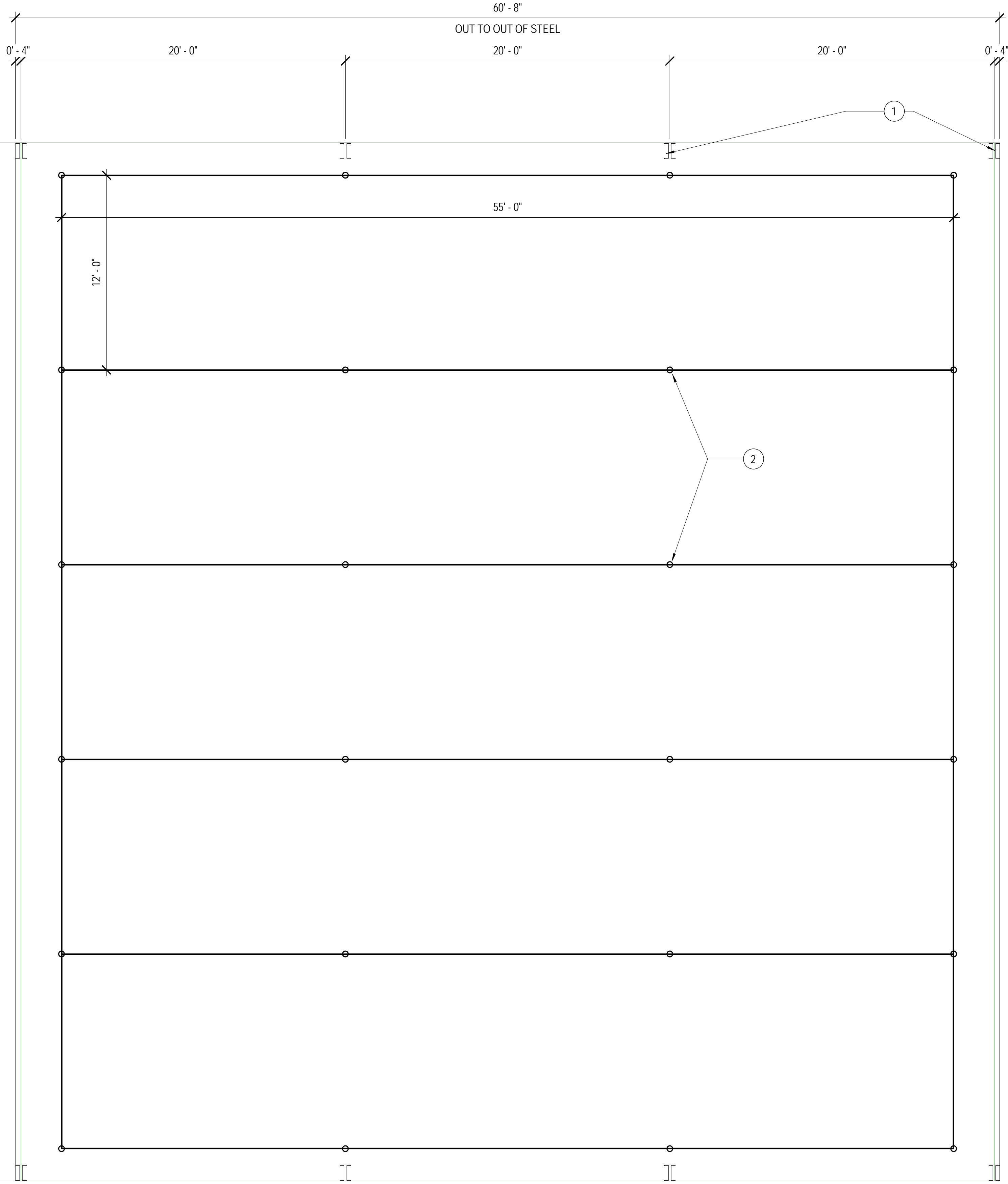
1

BATTING CAGE COVER

1/4" = 1'-0"

A-3.10  
WEST  
ELEVATION -  
BATting  
CAGE  
BUILDING

64' - 0"  
OUT TO OUT OF STEEL



A-3.10  
SOUTH  
ELEVATION -  
BATting  
CAGE  
BUILDING

A-3.10  
EAST  
ELEVATION -  
BATting  
CAGE  
BUILDING

### KEYNOTE LEGEND

- 1
- 64' WIDE x 60' LONG x 16' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, RIDGED FRAME DESIGN, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL WALLS, ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- 2
- DEPICTS BATting CAGE - N.I.C., TO BE FURNISHED BY OWNER. SIZE SHOWN IS 12' x 55' LONG x 12' HIGH. FIVE TO BE PLACED IN STRUCTURE.
- 3
- Sample keynote

SHEET TITLE:  
GROUND LEVEL PLAN - BATting CAGE  
BUILDING

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363  
CLIENT NAME

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

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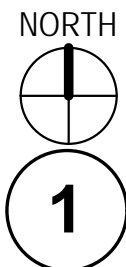
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Revision Schedule  
No. Date Description

PRELIMINARY PLAN  
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CONSTRUCTION

SUB-CONSULTANT:

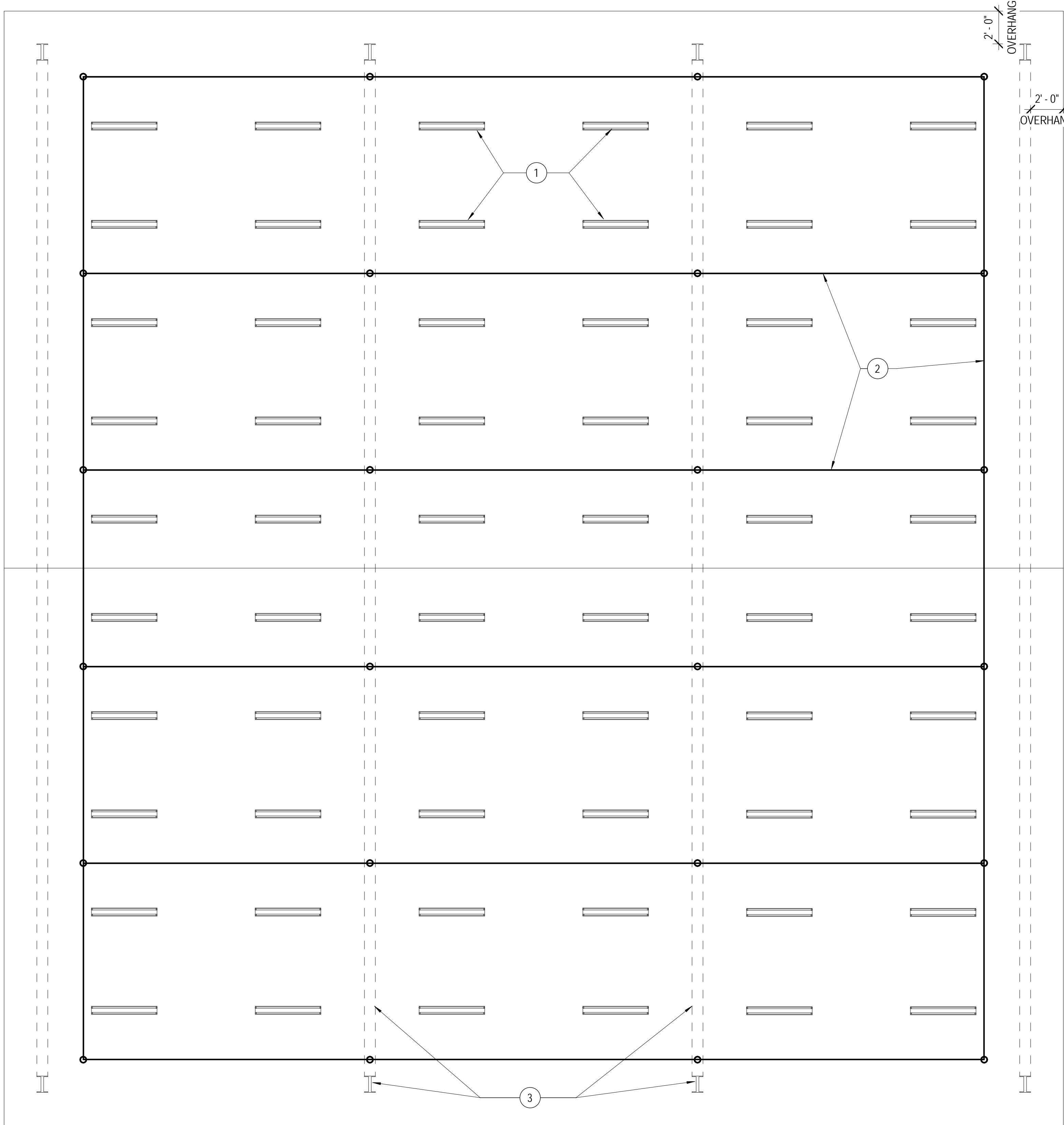




1/4" = 1'-0"

## REFLECTED CEILING PLAN - BATTING CAGE BUILDING

A-3.10  
WEST  
ELEVATION -  
BATTLING  
CAGE  
BUILDING



A-3.10  
SOUTH  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

A-3.10  
NORTH  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

A-3.10  
EAST  
ELEVATION -  
BATTLING  
CAGE  
BUILDING

### KEYNOTE LEGEND

- 1 SUPPORTED FROM ROOF PURLINS, 4" LED LIGHT FIXTURE - TWO LUMINARE.
- 2 DEPICTS LOCATION OF BATTLING CAGES.
- 3 DEPICTS RIGID FRAME COLUMNS AND RAFTERS.

### CEILING LEGEND

GRAPHIC SYMBOL	DESCRIPTION
	RECESSED TROFFER LIGHT FIXTURE
	RECESSED INDIRECT LIGHT FIXTURE
	WALL MOUNTED LINEAR LIGHT FIXTURE
	PENDANT LINEAR LIGHT FIXTURE
	STRIP LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	RECESSED CAN WALL WASH LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXIT SIGN
	SUPPLY DIFFUSER - SEE MECHANICAL
	RETURN GRILLE - SEE MECHANICAL
	GWB CEILING
	ACOUSTIC TILE CEILING
	EXISTING SMOKE PARTITION
	NEW SMOKE PARTITION

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
GROUND LEVEL REFLECTED CEILING  
PLAN FOR BATTLING CAGE BUILDING

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

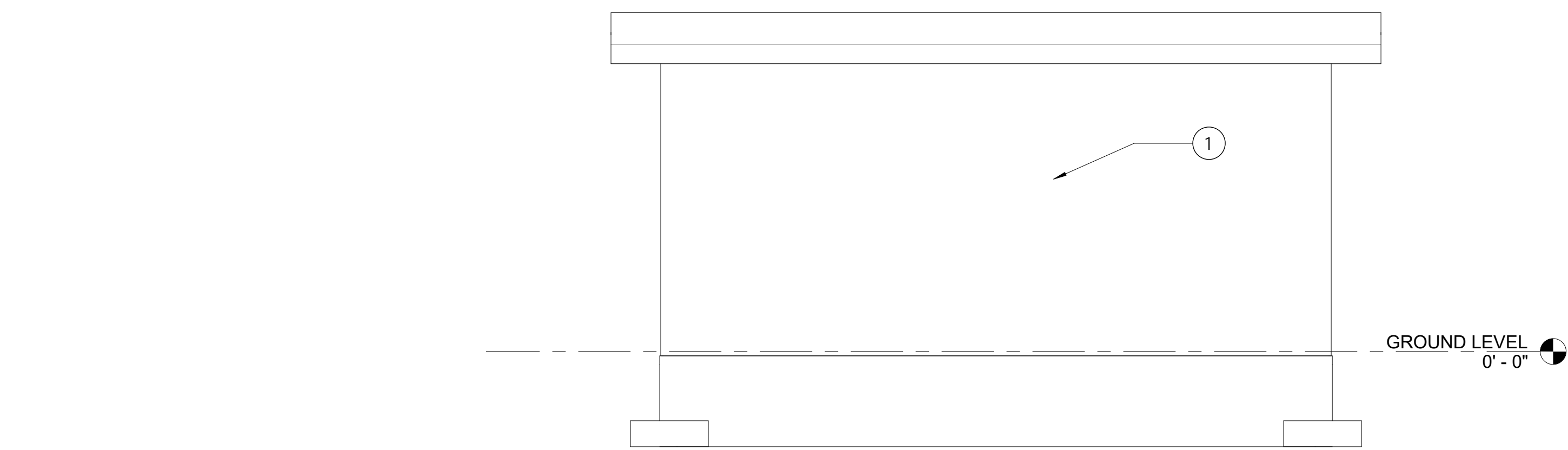
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PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

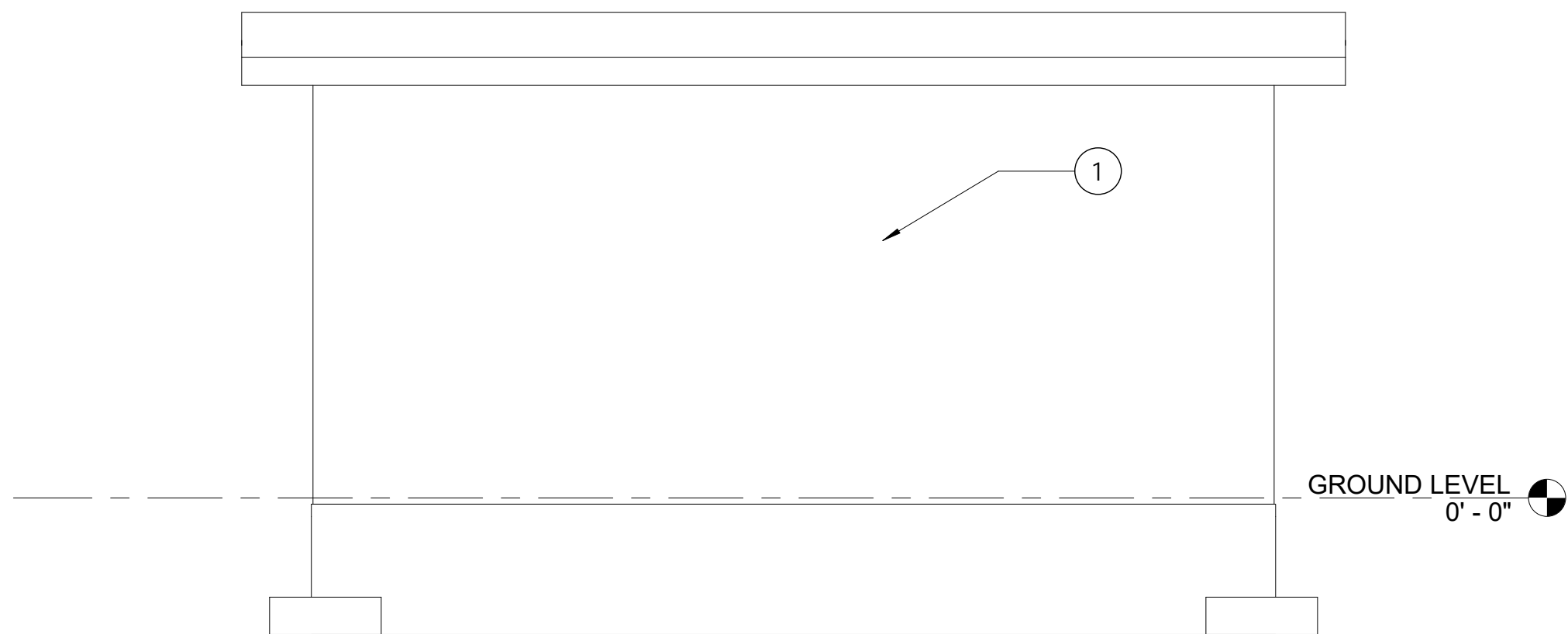
SUB-CONSULTANT:

Revision Schedule  
No. Date Description

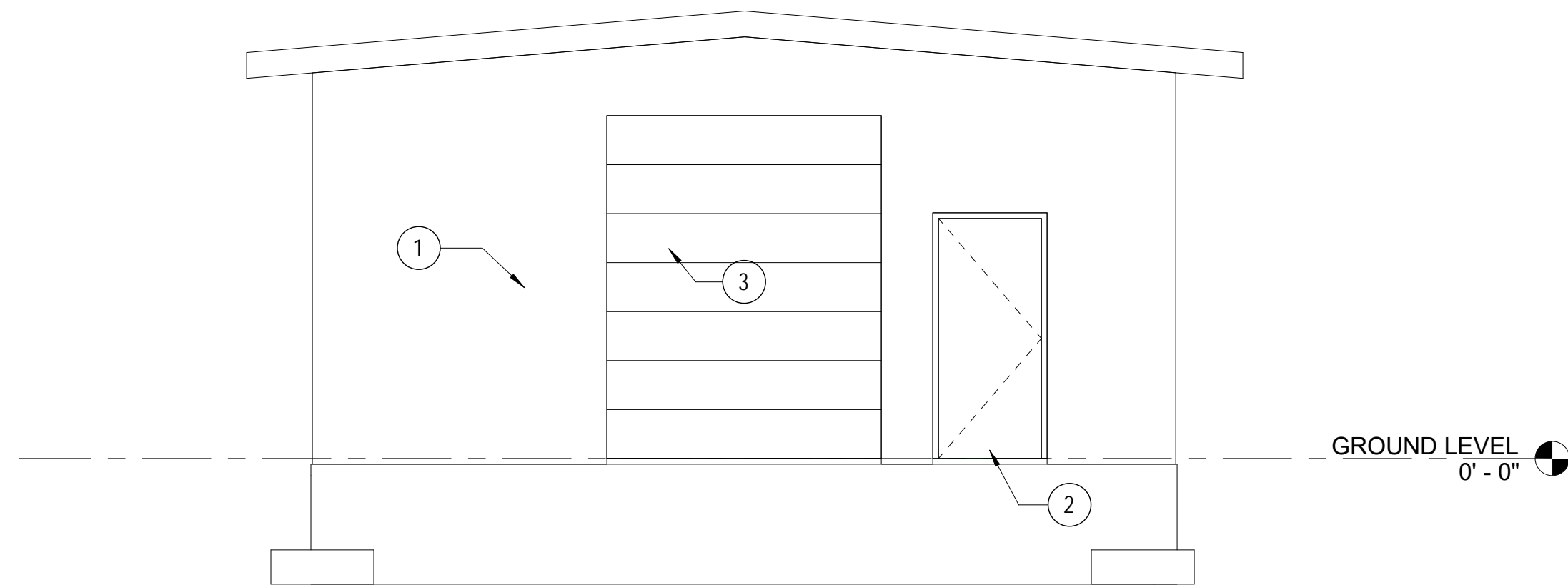




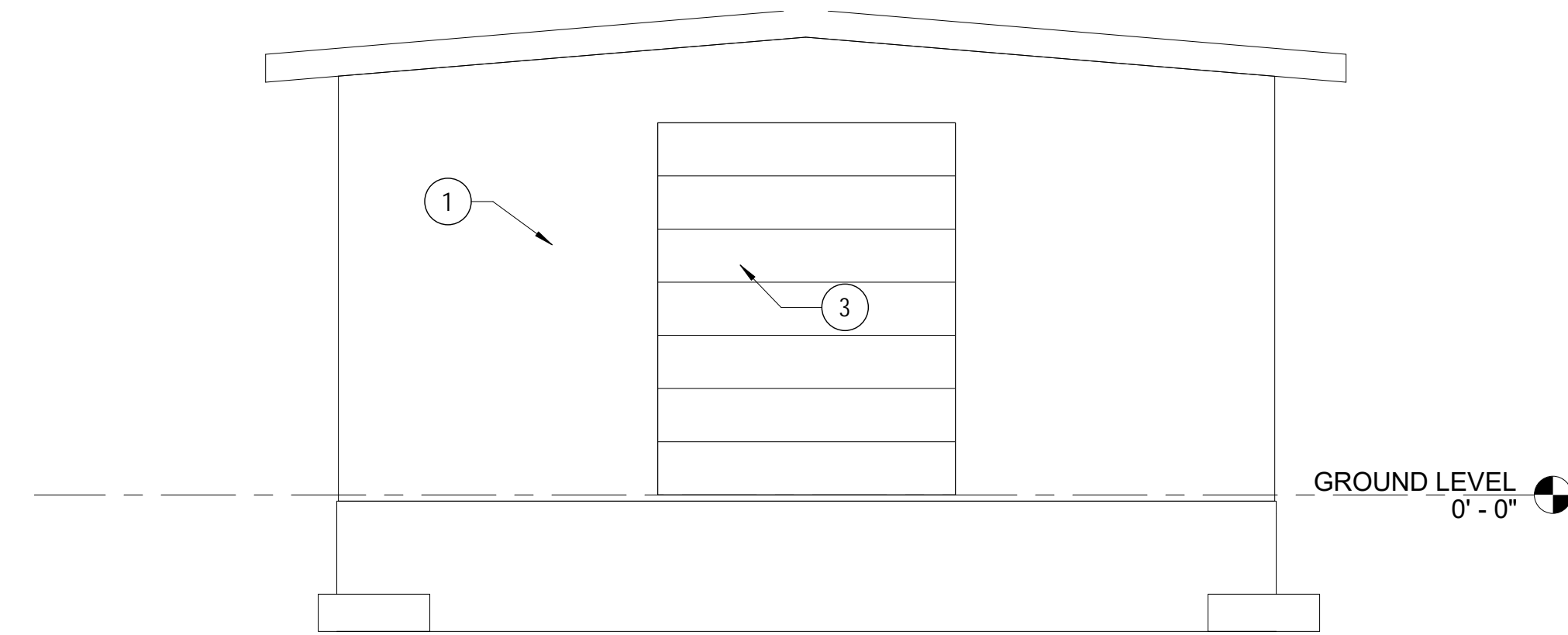
1 SOUTH ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



2 NORTH ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



3 EAST ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"



4 WEST ELEVATION - STORAGE BUILDING  
1/4" = 1'-0"

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PROJECT TITLE:

23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363

CLIENT NAME

SHEET TITLE:

EXTERIOR BUILDING ELEVATIONS -  
STORAGE BUILDING

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT:

Project Number

DESIGN

DRAWN

CHECK

Designer

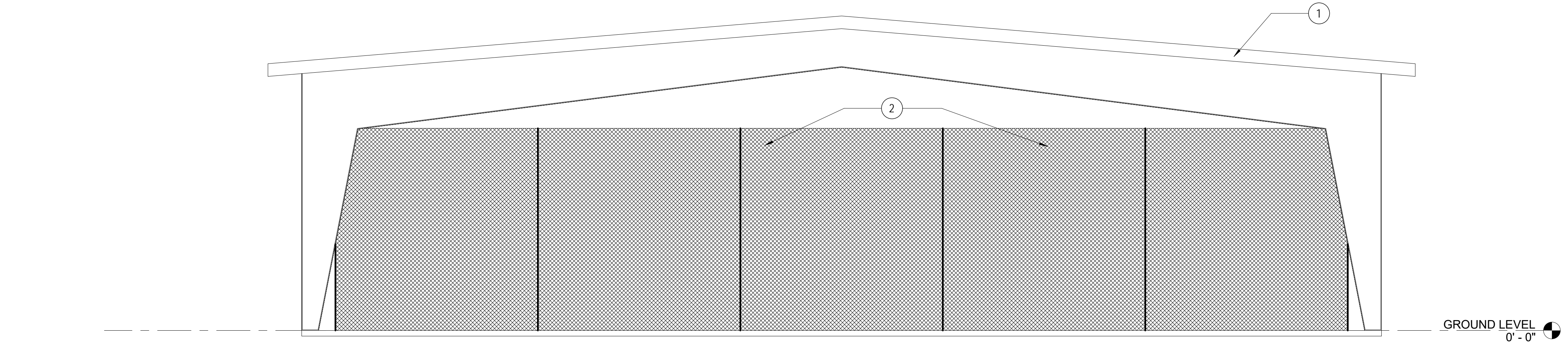
Author

Checker

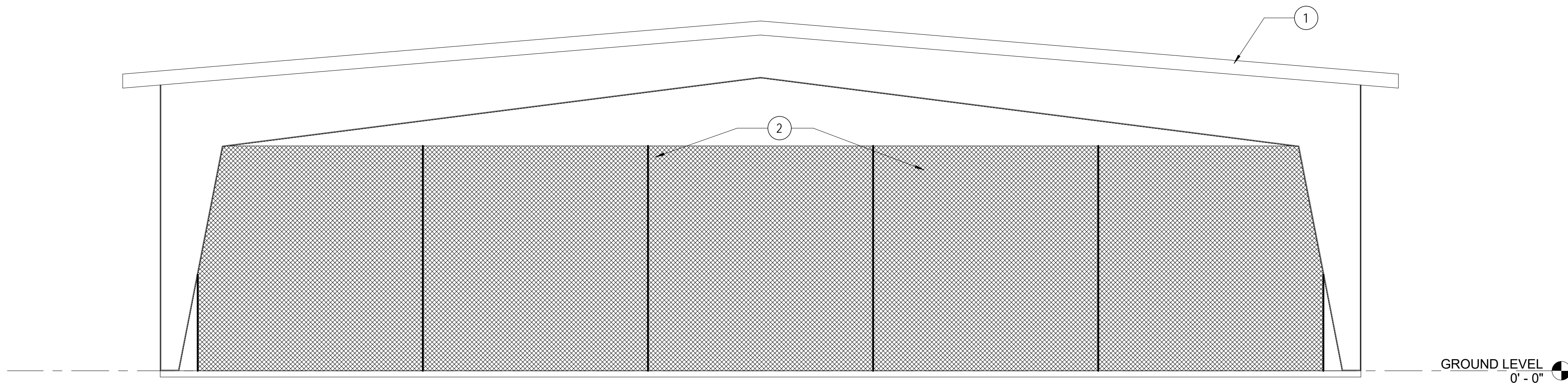
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A-3.00

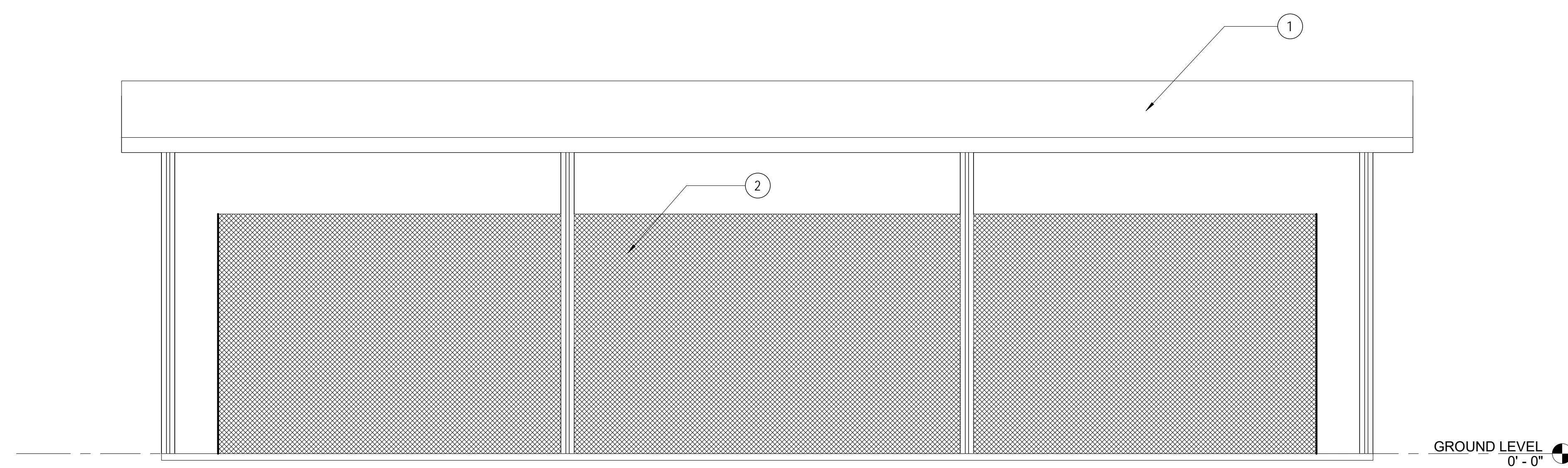




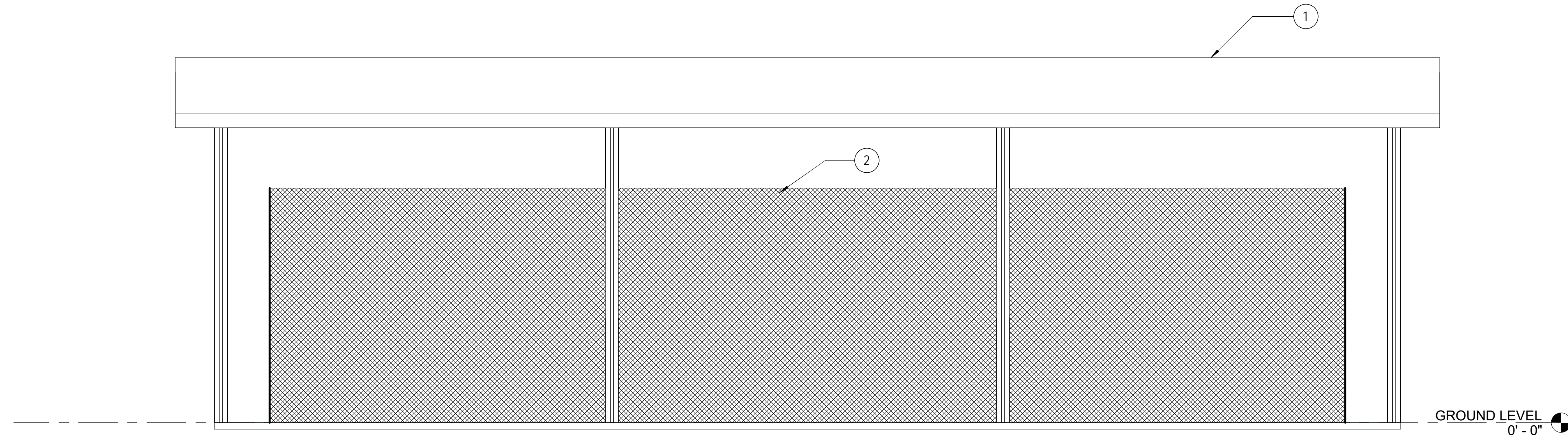
1 EAST ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



2 WEST ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



3 NORTH ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"



4 SOUTH ELEVATION - BATTING CAGE BUILDING  
1/4" = 1'-0"

## KEYNOTE LEGEND

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SUB-CONSULTANT:

PRELIMINARY PLAN  
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CONSTRUCTION

Revision Schedule  
No. | Date | Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

P.O. BOX 11185  
SCOTTSBLUFF, NEBRASKA 69363  
CLIENT NAME

SHEET TITLE:  
EXTERIOR BUILDING ELEVATIONS -  
BATTING CAGE BUILDING

COMPLETION: Project Status  
DATE ISSUED: Issue Date

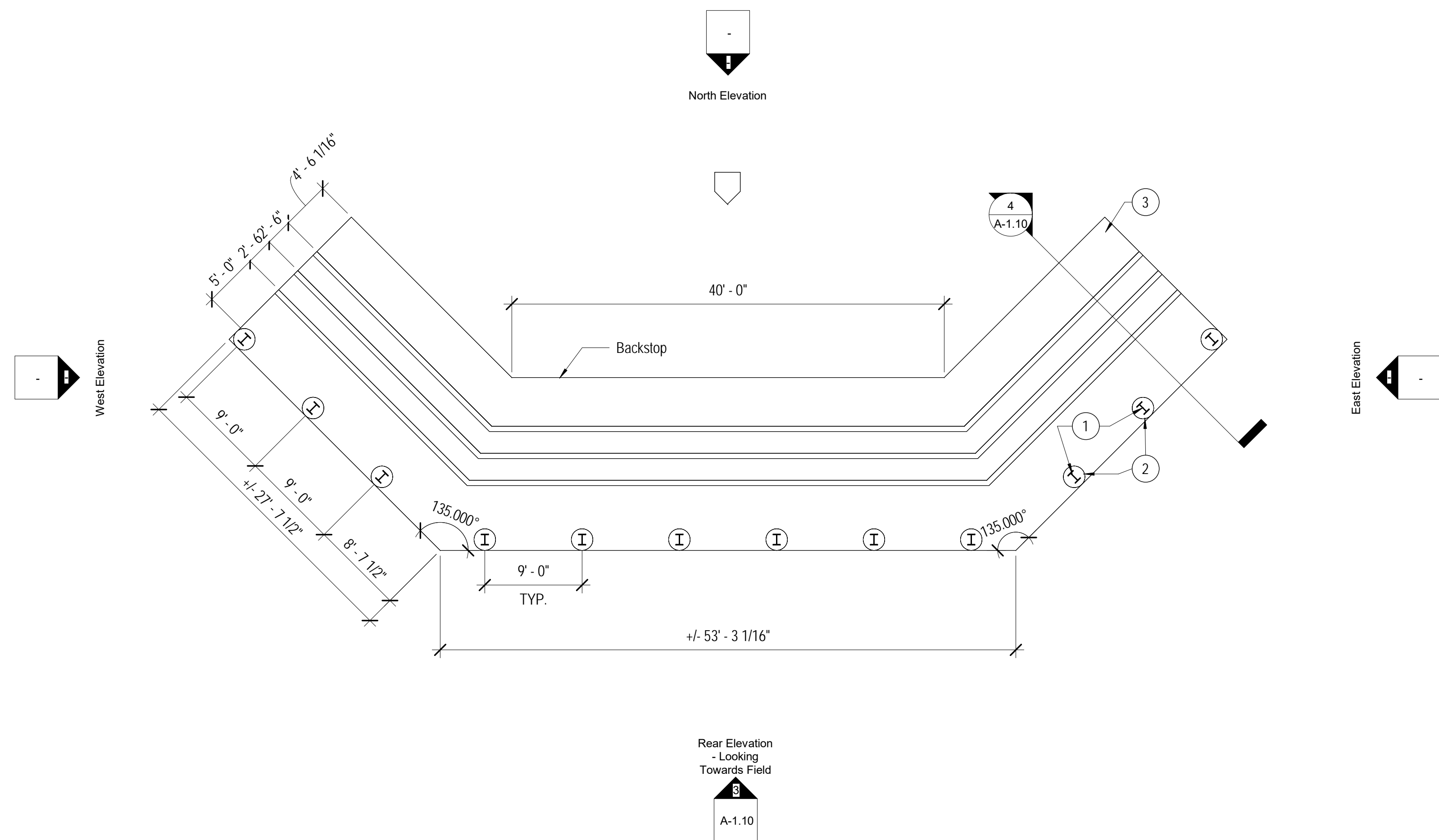
PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

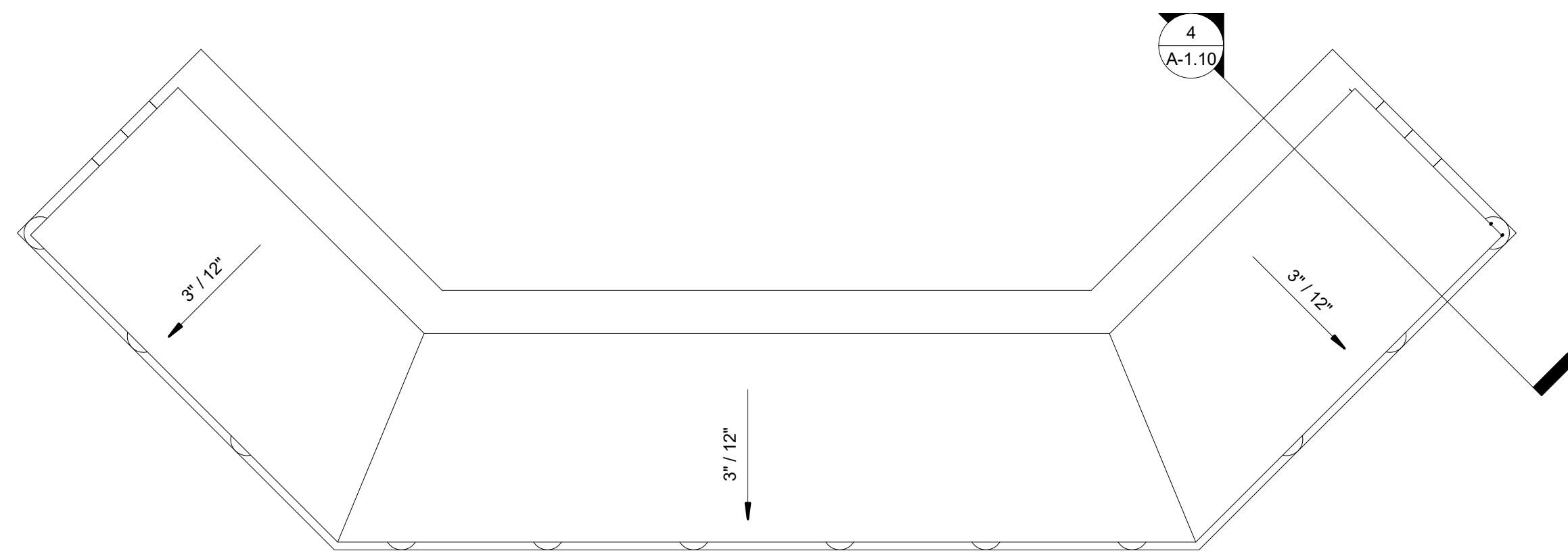
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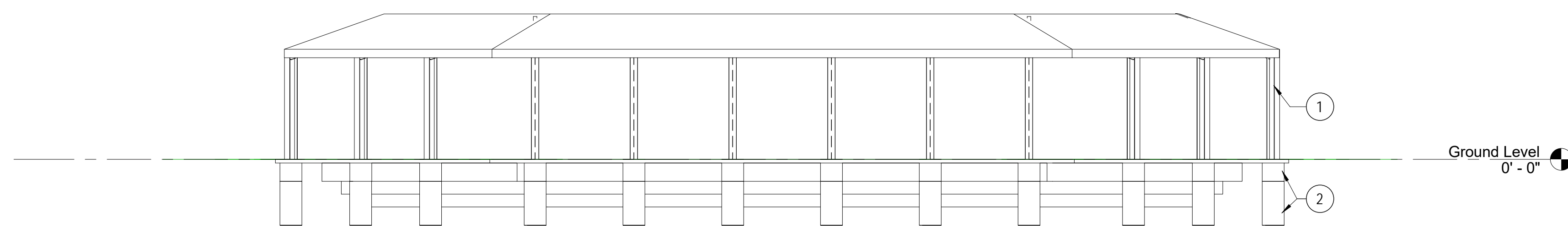


**1** **Ground Level**  
1/8" = 1'-0"

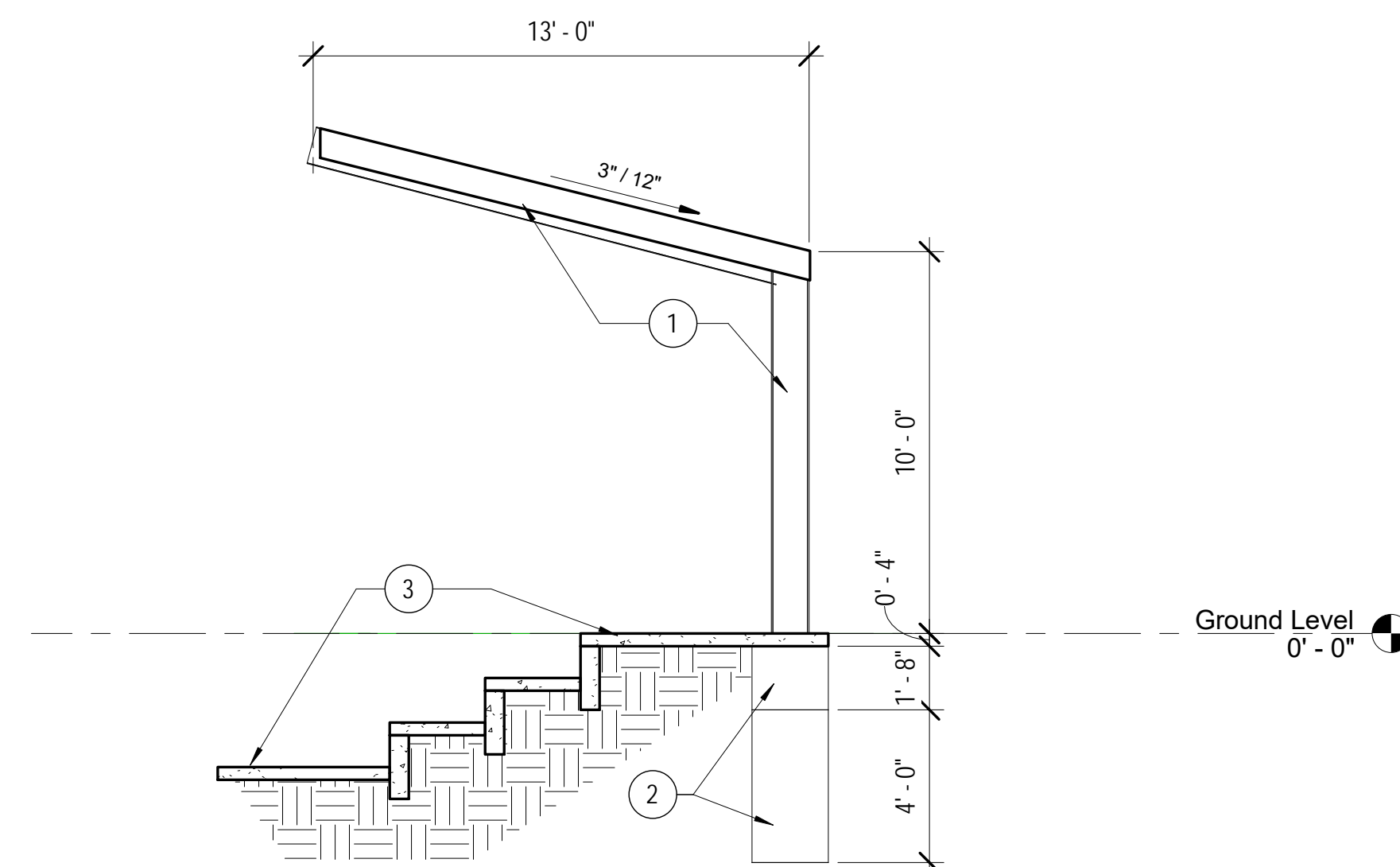
THIS IS A PLAN VIEW OF ONE BLEACHER COVER STRUCTURE, THERE WILL BE FOUR (4) STRUCTURES REQUIRED IN TOTAL.



**2 Site / Roof View**  
1/8" = 1'-0"



### 3 Rear Elevation - Looking Towards Field

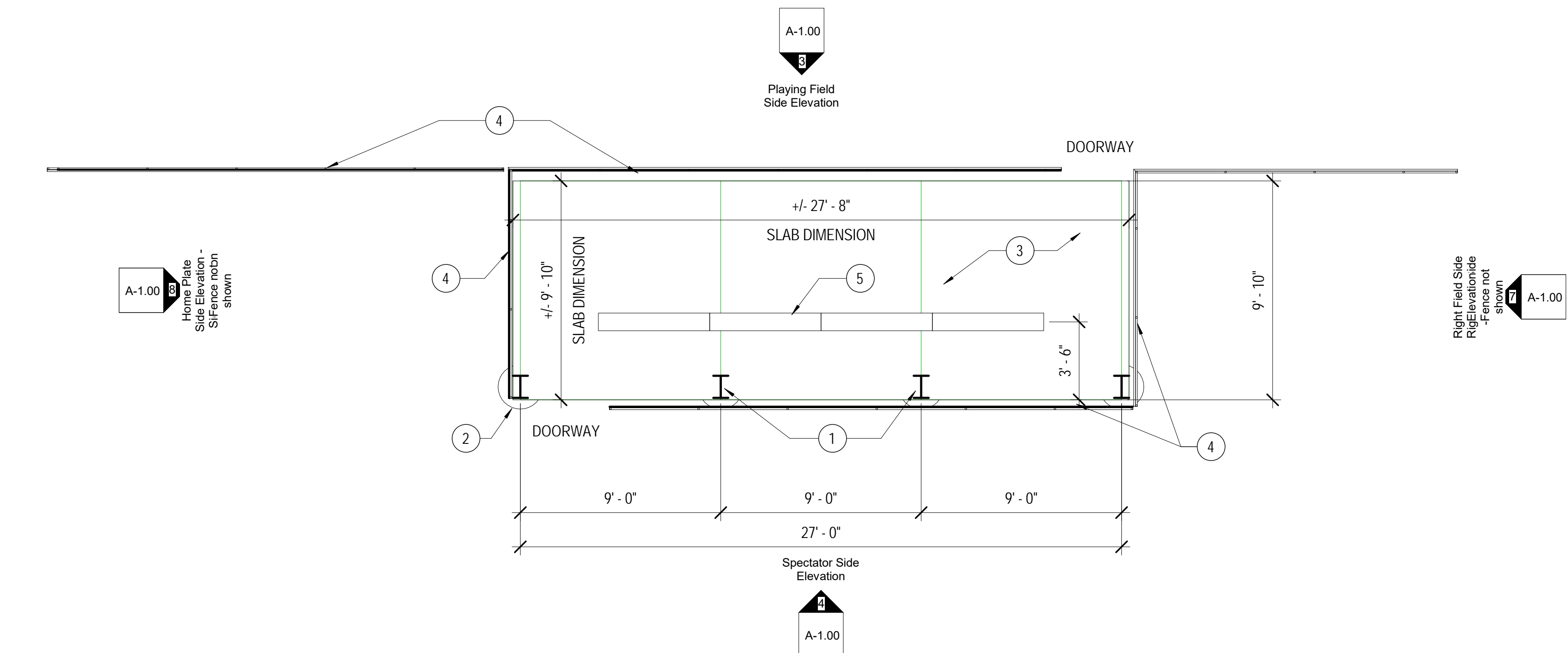


**4 Section through Structure**  
1/4" = 1'-0"

## KEYNOTE LEGEND

- ① DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS, RIGID FRAME INSET ROOF PURLINS, ROOF COVER AND TRIM TO BE 26 GAUGE METAL, COLOR BY OWNER. BASE PLATE OF RIDGE FRAME COLUMN TO BE SET AT 24" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
- ② 24" DIAMETER CONCRETE PILASTER TO SUPPORT BUILDING FRAME COLUMN. FIRST SECTION TO DEPTH OF 5'-0" (-5'-0" BELOW FINISH SLAB SURFACE). THIS SECTION TO DEPTH TO A HEIGHT OF 3'-0" (2'-0" ELEV) OR 2'-0" BELOW FINISH SLAB SURFACE. PLACE ANCHOR BOLTS AS PER BUILDING SUPPLIER REQUIREMENTS. REINFORCE WITH #3 CIRCULAR TIES AT 12" o.c. HORIZONTAL AND 4 #5 x 4'-6" LENGTH VERTICAL REBAR EXTENDING INTO SECOND PILASTER POUR 18" AFTER COLUMNS ARE SET, ADD SECOND PILASTER SECTION TO A LEVEL OF APPROXIMATELY 4' BELOW FINISH SLAB SURFACE.
- ③ 4" CONCRETE SLAB TO PLACE AS STADIUM SEATING AREA. SEE CIVIL DRAWINGS FOR DETAILS.

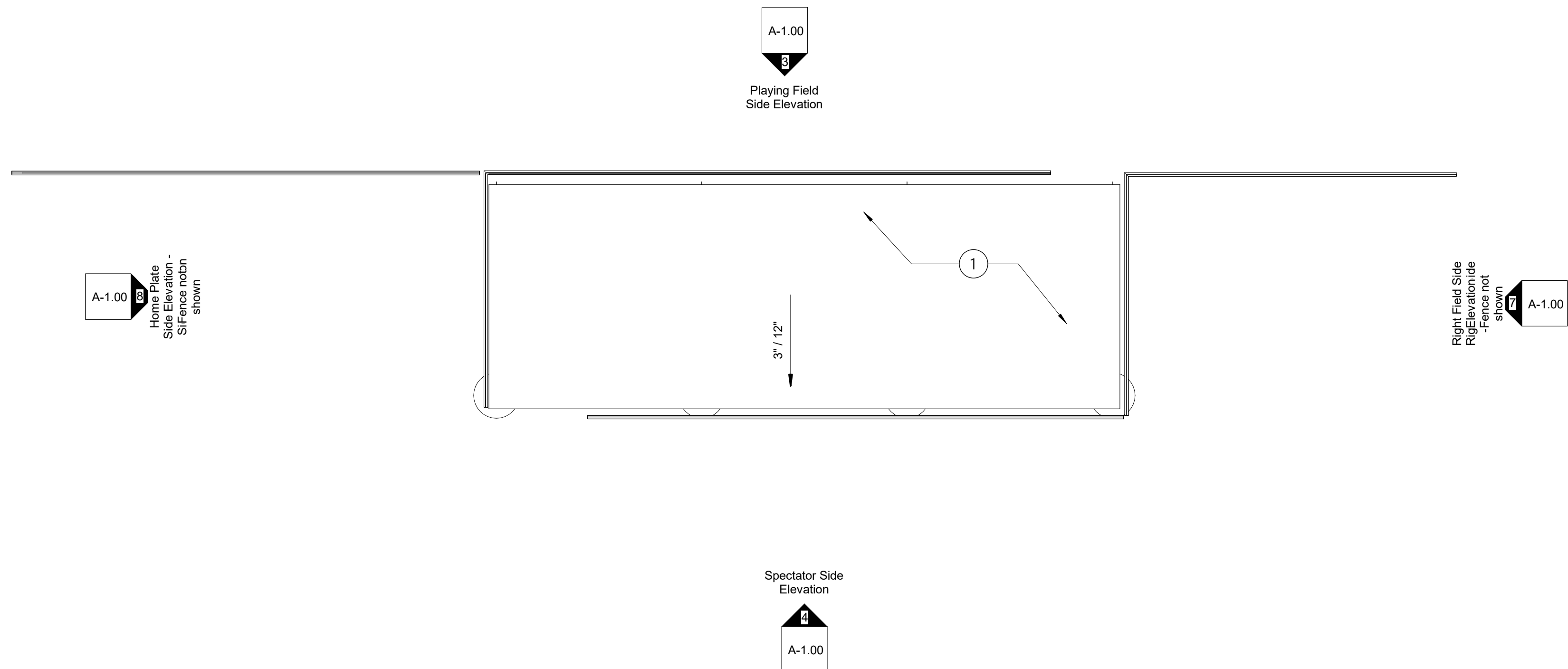




## 1 Represents Dugout along 1st Base Line

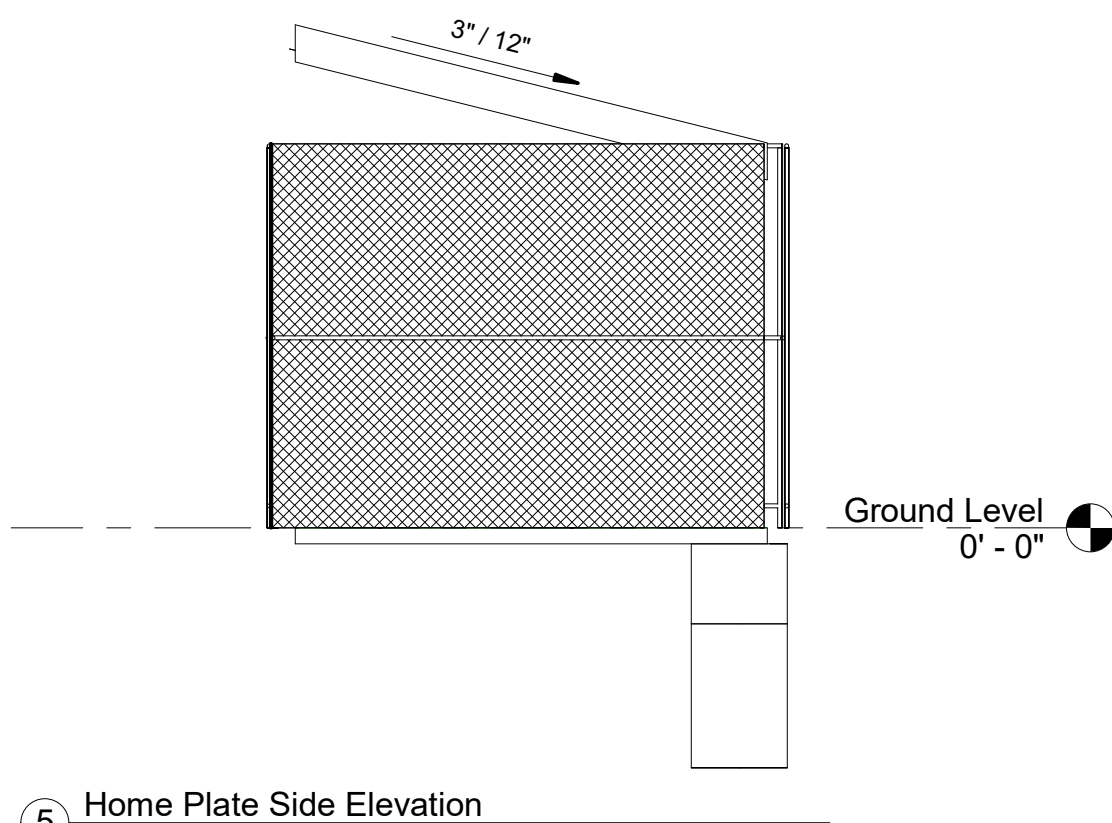
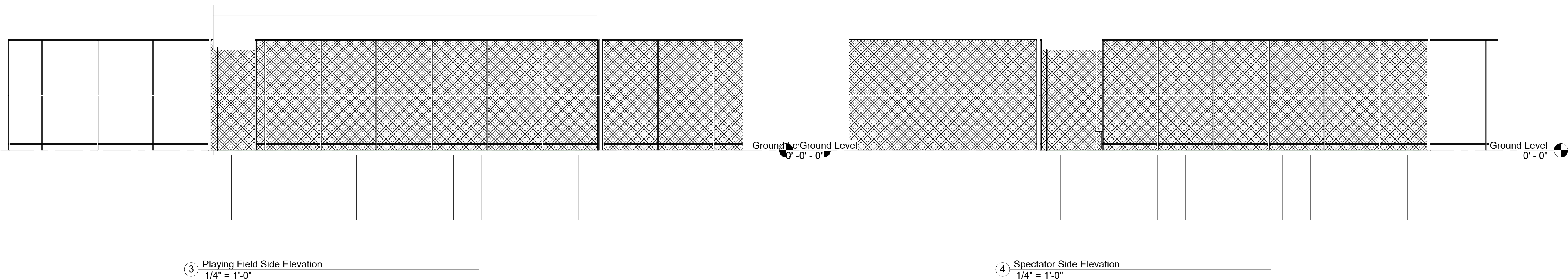
1/4" = 1'-0"

FOUR DUGOUT UNITS TO BE BUILT AS SHOWN, THESE TO BE LOCATED ON FIRST BASE SIDE OF FIELD.  
FOUR DUGOUT UNITS TO BE OPPOSITE HAND, THESE TO BE LOCATED ON THIRD BASE SIDE OF FIELD.

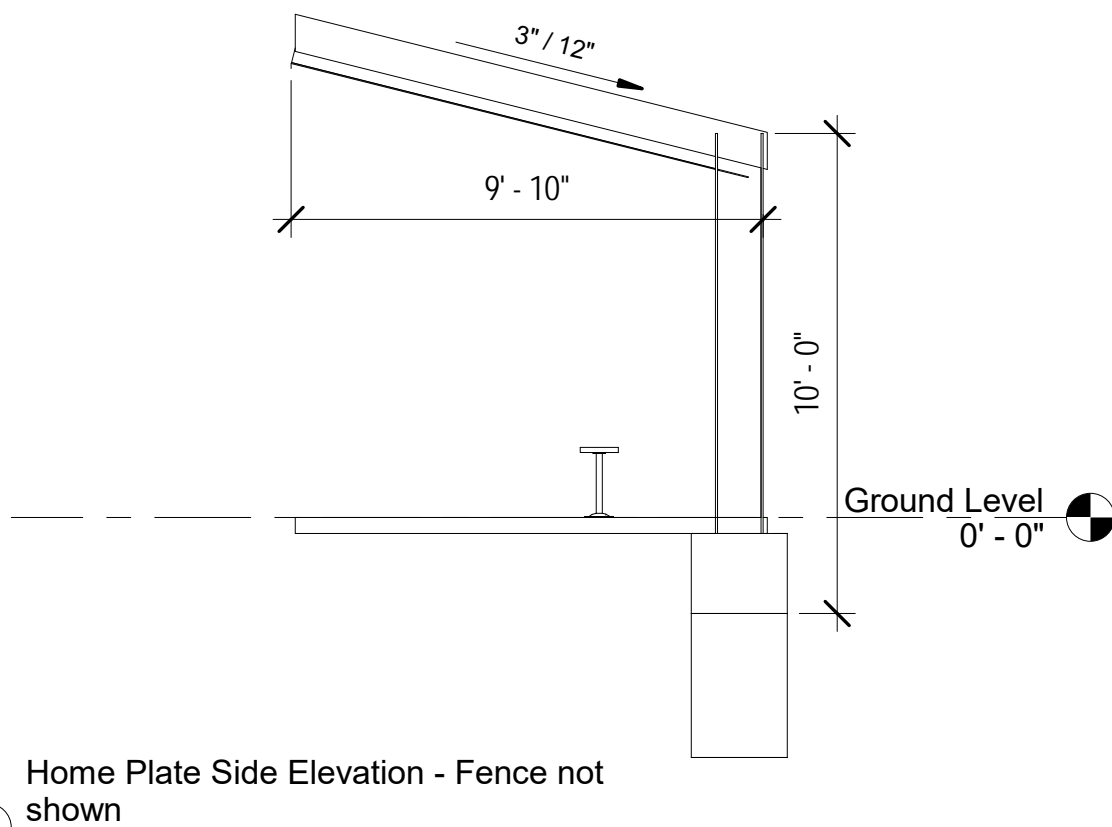


## 2 Site / Roof View

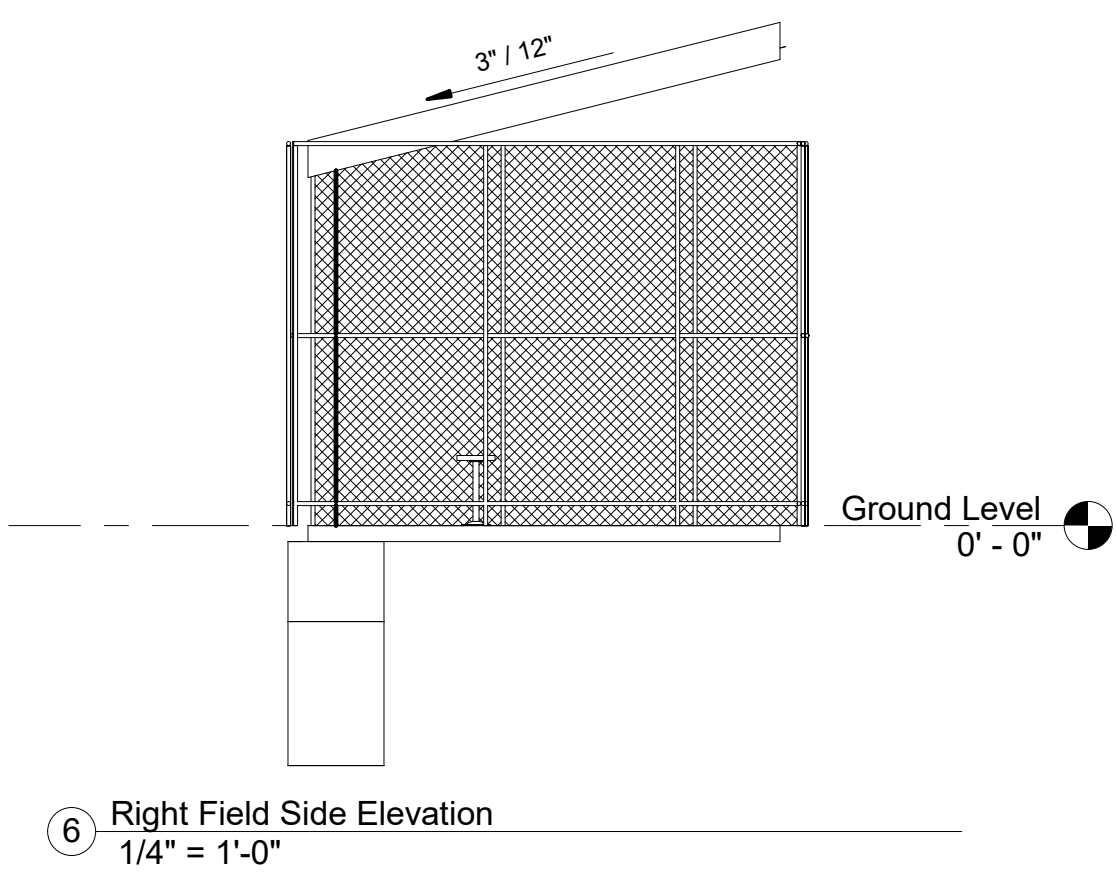
1/4" = 1'-0"



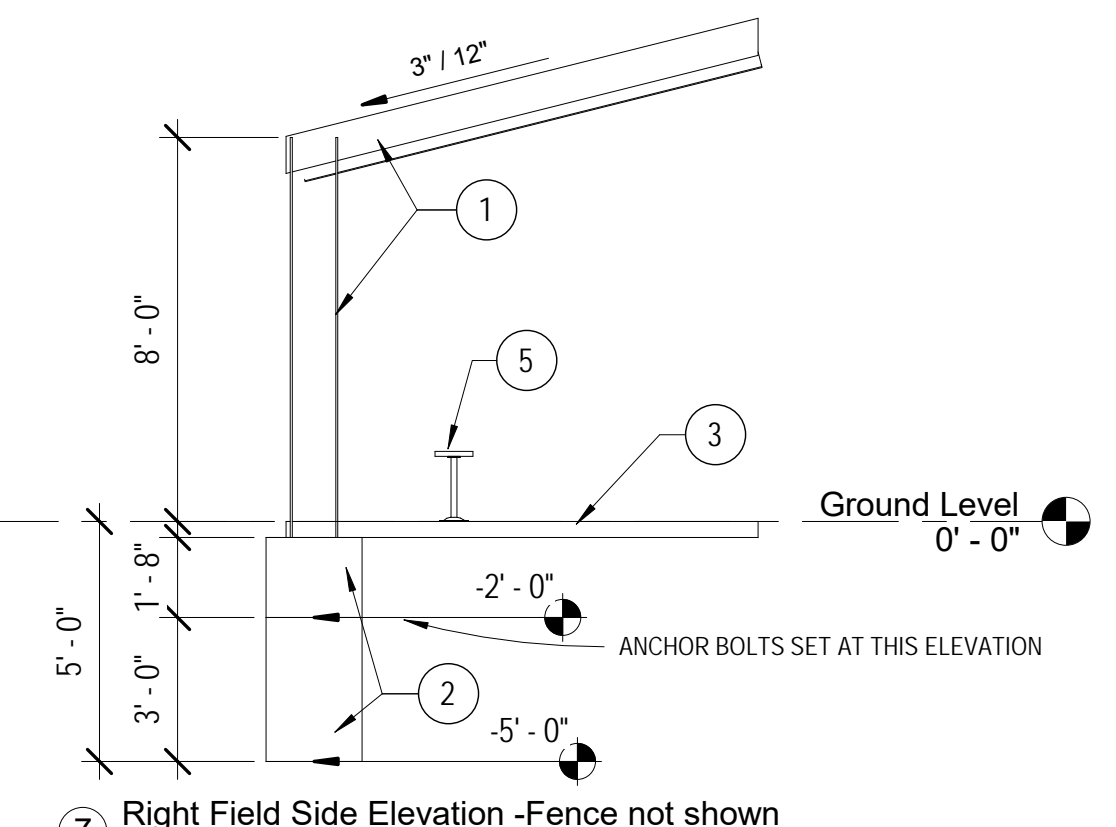
5 Home Plate Side Elevation  
1/4" = 1'-0"



8 Home Plate Side Elevation - Fence not shown  
1/4" = 1'-0"



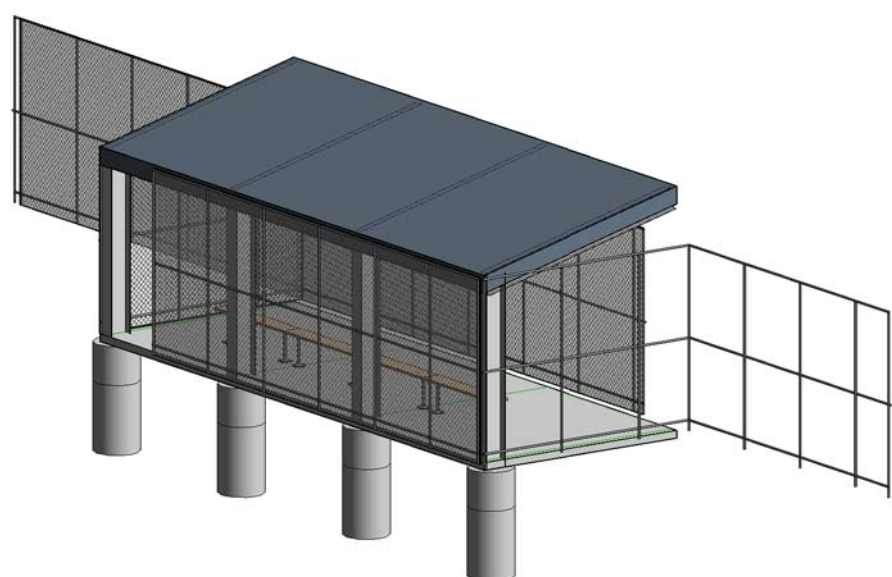
6 Right Field Side Elevation  
1/4" = 1'-0"



7 Right Field Side Elevation -Fence not shown  
1/4" = 1'-0"

## KEYNOTE LEGEND

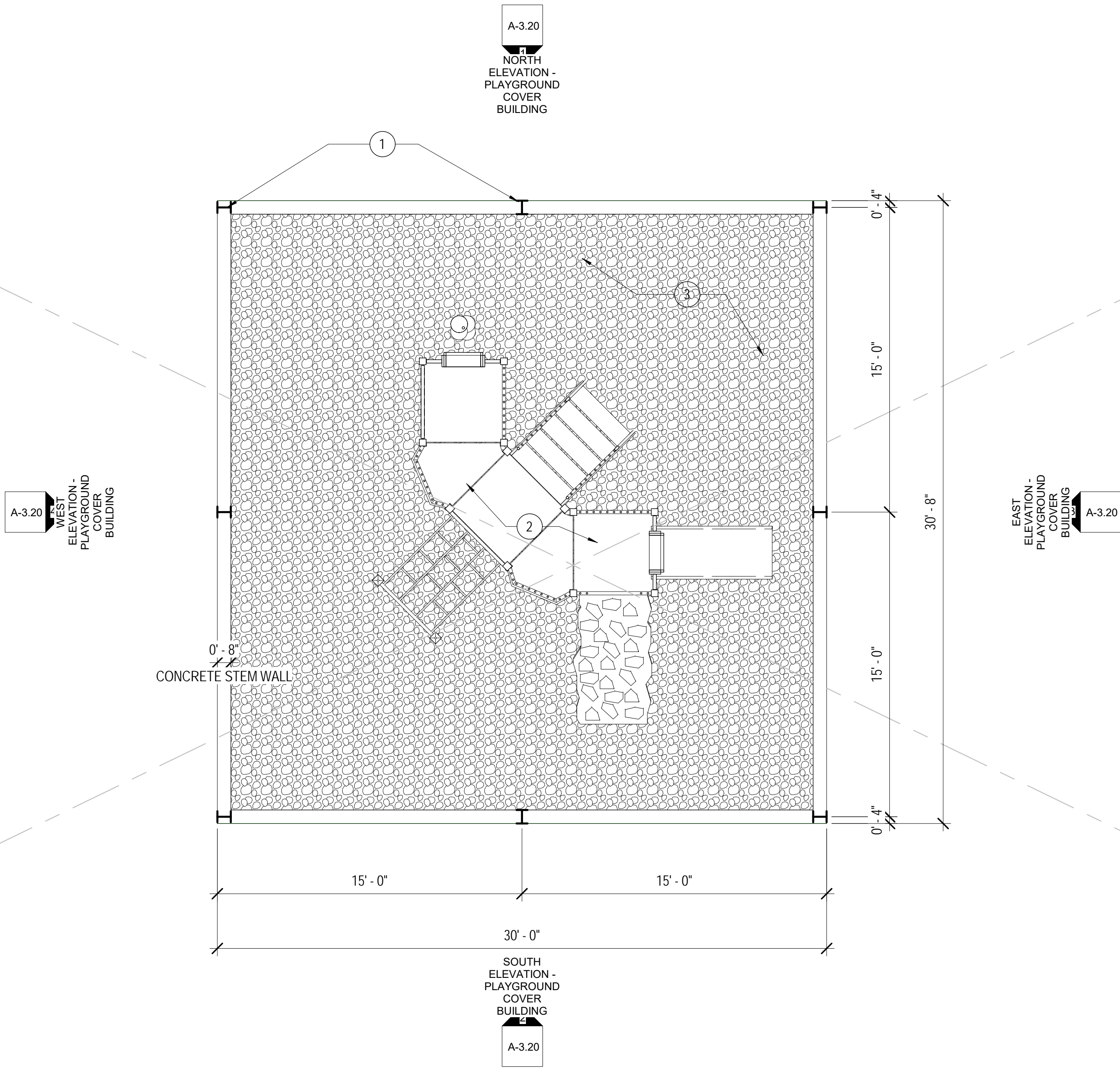
- 1 DUG-OUT STRUCTURE BASED ON B-C STEEL METAL BUILDING SYSTEMS, RIGID FRAME IN INSET ROOF PURLINS. ROOF COVER AND TRIM TO BE 26 GAUGE METAL, COLOR BY OWNER. BASE PLATE OF RIDGE FRAME COLUMN TO BE SET AT 24" BELOW DUG-OUT PLATFORM SURFACE. AFTER PLATE ATTACHMENT TO ANCHOR BOLTS, THE COLUMN BASE TO BE INFILLED WITH CONCRETE TO THE BOTTOM OF THE SLAB ELEVATION. THE DUG-OUT FLOOR SLAB TO BE POURED TO THE DIMENSIONS GIVEN.
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- 3 4" CONCRETE SLAB TO SERVE AS FLOOR OF DUG-OUT.
- 4 DUG-OUT FENCING - NOT A PART OF DUG-OUT STRUCTURE DRAWINGS.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5", 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT-COLOR BY OWNER.
- 2 Sample keynote



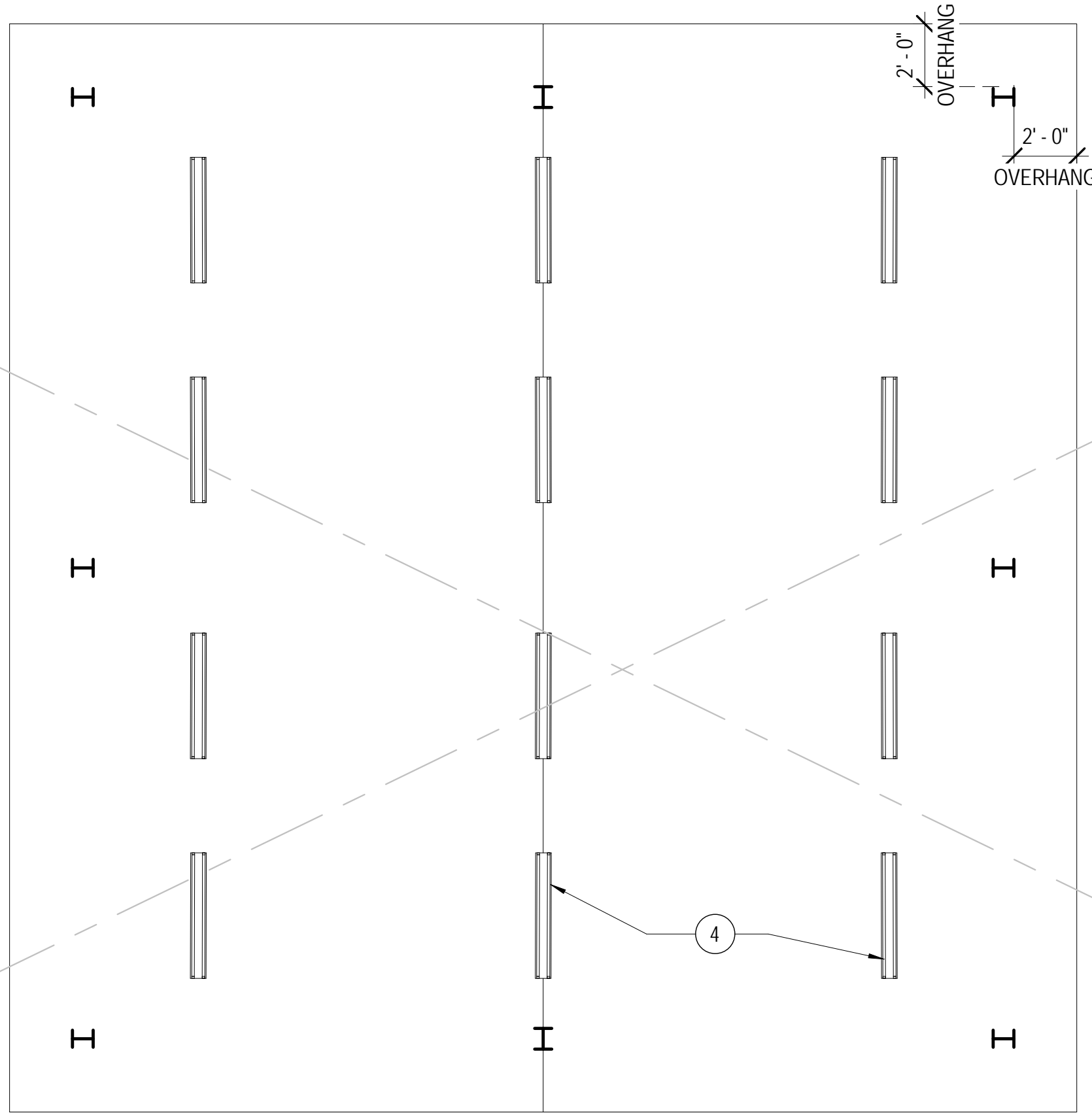
9 Perspective View



1 1/4" = 1'-0" GROUND LEVEL- PLAYGROUND COVER BUILDING



2 1/4" = 1'-0" REFLECTED CEILING PLAN- PLAYGROUND COVER BUILDING



### KEYNOTE LEGEND

- 30' x 30' x 14' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL ROOF, AND TRIM. OWNER TO CHOOSE COLORS.
- PLAYGROUND EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- PLAYGROUND SURFACE - TO BE DETERMINED BY OWNER - PEA GRAVEL, SHREDDED RUBBER MULCH, POURED RUBBER, OR RUBBER TILES.
- SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINAIRE.



3 PERSPECTIVE

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ARCHITECTURE  
120 EAST 10TH STREET, SCOTT'S BLUFF, NE 69363  
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SUB-CONSULTANT:

PRELIMINARY PLAN  
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Revision Schedule		Designation	
No.	Date	Date	Revision
1		Date 1	Revision 1

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**23 CLUB BASEBALL IMPROVEMENTS**  
P.O. BOX 1185  
SCOTT'S BLUFF, NEBRASKA 69363  
CITY OF SCOTT'S BLUFF

SHEET TITLE:  
**GROUND LEVEL AND CEILING PLAN -  
PLAYGROUND COVER BUILDING**  
COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
tws tws Checker

SHEET NUMBER  
**A-1.20**

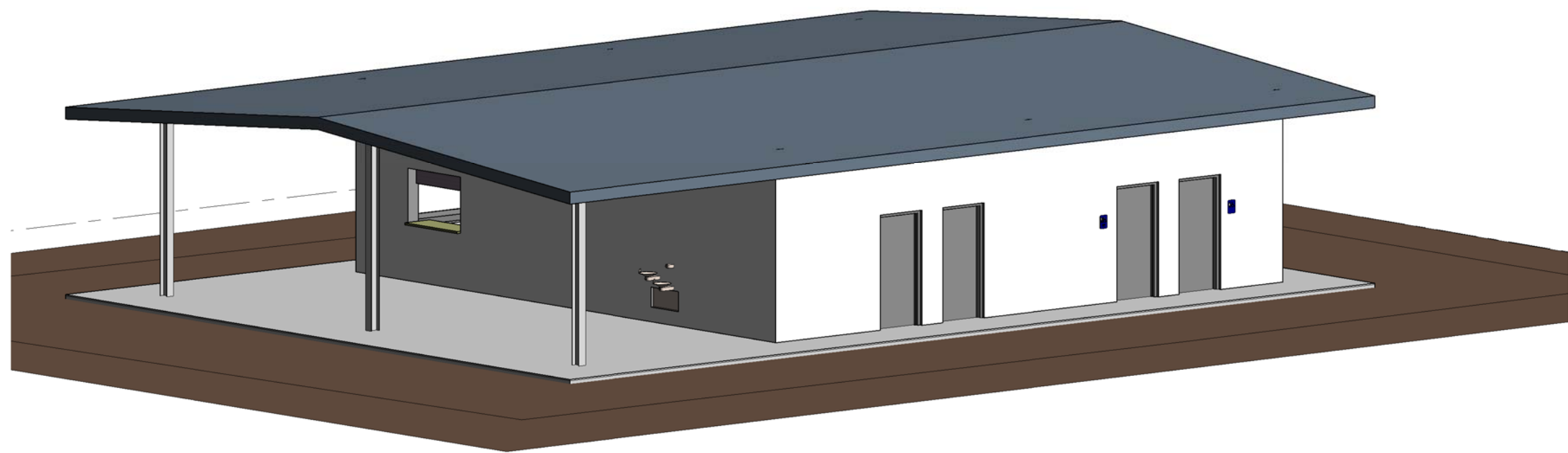


- 1 30' x 30' x 14' EAVE HEIGHT PRE-ENGINEERED METAL BUILDING, 2'-0" ROOF OVERHANG ENTIRE BUILDING, 26 GAUGE METAL ROOF, AND TRIM. OWNER TO CHOOSE COLORS..
- 2 PLAYGROUND EQUIPMENT TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- 3 PLAYGROUND SURFACE - TO BE DETERMINED BY OWNER - PEA GRAVEL, SHREDDED RUBBER MULCH, POURED RUBBER, OR RUBBER TILES.
- 4 SUPPORTED FROM ROOF PURLINS, 4' LED LIGHT FIXTURE - TWO LUMINARE.
- 5 FOUNDATION WALL & FOOTINGS- SEE STRUCTURAL FOR DETAILS.
- 6 Sample keynote



# CONCESSIONS & RR'S BUILDING

STREET ADDRESS, CITY, STATE, ZIP CODE



1 {3D}

## PROJECT PICTURE



Project Location



## VICINITY MAP



## KEYPLAN

## PROJECT CONTACTS

### OWNER

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### CIVIL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ARCHITECTURAL

Studio 120 Architecture  
Tearle Scher  
120 East 16th Street  
Scottsbluff, Nebraska, 69361  
Phone: (308) 635-1531  
tearle@studio120arch.com

### STRUCTURAL

Elevation Structural Design  
Stephen R. Klaas, P.E., S.E.  
P.O. Box 624  
Cheyenne, Wyoming 82003  
Phone: (308) 631-3873  
klaas@elevation-sd.com

### MECHANICAL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### PLUMBING

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ELECTRICAL

NAME OF COMPANY  
NAME OF CONTACT  
### Street  
City, State, Zip  
Phone: (XXX) XXX-XXXX ext. XXX  
Email@provider.com

### ONE CALL

Nebraska Contact  
Phone: 1-800-331-5666  
www.ne-diggers.com

### Drawing Sheet Index - General

Sheet Number	Sheet Title
0	COVER SHEET
Total Number of Sheets: 1	

### Drawing Sheet Index - Civil

Sheet Number	Sheet Title
C-1.00	Existing Site Plan, Symbols, Linetypes and Notes
C-1.01	Demolition Site Plan
C-2.00	Proposed Site Plan
C-5.00	Sheet Title
C-5.01	Sheet Title
C-7.00	Details
Total Number of Sheets: 6	

### Drawing Sheet Index - Demolition

Sheet Number	Sheet Title
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### Drawing Sheet Index - Structural

Sheet Number	Sheet Title
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### Drawing Sheet Index - Mechanical

Sheet Number	Sheet Title
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### Drawing Sheet Index - Plumbing

Sheet Number	Sheet Title
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### Drawing Sheet Index - Fire Protection

Sheet Number	Sheet Title
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### Drawing Sheet Index - Electrical

Sheet Number	Sheet Title
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### Drawing Sheet Index - Architectural

Sheet Number	Sheet Title
A-0.01	ARCHITECTURAL NOTES, CODE SUMMARY AND SYMBOL LEGEND
A-1.00	GROUND LEVEL PLAN CONCESSIONS BLDG.
A-1.10	ROOF PLAN
A-2.00	GROUND LEVEL REFLECTED CEILING PLAN
A-3.10	EXTERIOR BUILDING ELEVATIONS
A-3.11	EXTERIOR BUILDING ELEVATIONS
A-8.00	INTERIOR ELEVATIONS
A-8.01	INTERIOR ELEVATIONS
A-10.00	ARCHITECTURAL DETAIL SHEET
Total Number of Sheets: 9	



ARCHITECTURAL GENERAL NOTES

- THE FOLLOWING GENERAL NOTES APPLY TO THE ARCHITECTURAL DRAWINGS:
- ALL PARTS OF THE WORK, INCLUDING MATERIALS, METHODS AND ASSEMBLIES, MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE WORK CONTRARY TO GOVERNING REGULATIONS.
  - THE ARCHITECTURAL DRAWINGS ARE A PORTION OF THE SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSIST OF ALL DRAWINGS OF ALL DISCIPLINES LISTED BY THE OVERALL DRAWING INDEX. THE WORK DESCRIBED BY THE DRAWINGS ON ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
  - AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND/OR SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
  - IT IS THE INTENT OF THE ARCHITECTURAL DRAWINGS TO ESTABLISH AND COORDINATE THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. LOCATIONS SHOWN ON OTHER DISCIPLINE'S DRAWINGS ARE SCHEMATIC UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION AT ALL TIMES.
  - DO NOT SCALE DRAWINGS.
  - WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. DETAILS ON DRAWINGS TAKE PRECEDENCE OVER NOTES AND TYPICAL DETAILS. DETAILS NOTED AS TYPICAL APPLY TO ALL SIMILAR CONDITIONS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ELSEWHERE ON THE PROJECT.
  - THE ARCHITECTURAL FLOOR PLANS, REFLECTED CEILING PLANS, SECTIONS AND ELEVATIONS ILLUSTRATE THE EXACT LOCATION OF MANY, BUT NOT ALL EXPOSED PARTS OF THE WORK. APPLY THE FOLLOWING RULES IN ORDER, TO DETERMINE THE EXACT LOCATION OF EACH EXPOSED PART OF THE WORK:
    - REFER TO THE SPECIFIC APPLICABLE LARGE-SCALE ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS OR DETAILS. LOCATE AS DIMENSIONED.
    - IF NOT SHOWN OR UNIQUELY DIMENSIONED, REFER TO THE APPLICABLE TYPICAL ARCHITECTURAL MOUNTING HEIGHT AND/OR CONFIGURATION DETAILS. LOCATE AS INDICATED BY THE APPLICABLE DETAIL OR RULE.
    - IF NOT SHOWN OR DIMENSIONED ON TYPICAL ARCHITECTURAL DETAILS, LOCATE AS DIMENSIONED BY THE DRAWINGS OF OTHER DISCIPLINES.
    - IF NOT SHOWN OR DIMENSIONED ON DRAWINGS OF OTHER DISCIPLINES, PLACE AT THE APPROXIMATE LOCATION SHOWN BY THE DRAWINGS OF OTHER DISCIPLINES.
  - STUDIO 120 ARCHITECTURE CONSIDERS THAT PLANS AND SPECIFICATIONS ARE APPROVED DOCUMENTS ONLY IF:
    - THE DOCUMENTS ARE PAPER COPIES WITH SIGNATURES AND PROFESSIONAL CERTIFICATION VISIBLE PRESENT ON THE PAPER COPIES OR
    - ELECTRONIC FILES IN ADOBE® PORTABLE DOCUMENT FILE (PDF) FORMAT ISSUED DIRECTLY BY STUDIO 120 ARCHITECTURE (HEREINAFTER REFERRED TO AS ELECTRONICALLY TRANSMITTED DATA).

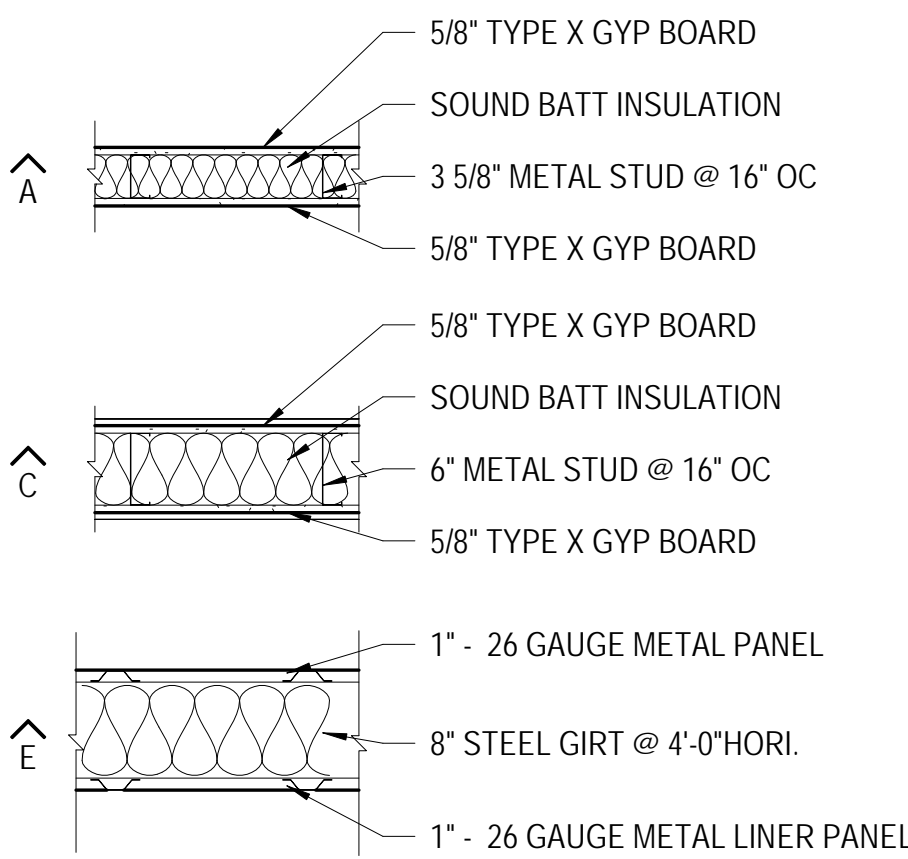
INFORMATION SUPPLIED VIA METHODS OTHER THAN THOSE NOTED ABOVE ARE NOT TO BE CONSIDERED APPROVED DOCUMENTS. THE RECEIVER OF ELECTRONICALLY TRANSMITTED DOCUMENTS IS RESPONSIBLE FOR VERIFYING THE INFORMATION PROVIDED IS AN APPROVED DOCUMENT. THE USE OF ELECTRONICALLY TRANSMITTED DRAWINGS IS CONSIDERED TO BE AT THE USER'S RISK. STUDIO 120 ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR ANY CLAIMS OR DAMAGES RESULTING FROM USE OF THIS ELECTRONIC INFORMATION.

ELECTRONIC INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT ONLY. THE ELECTRONIC INFORMATION IS COPYRIGHTED AND MAY NOT BE TRANSFERRED TO ANY OTHER PARTY WITHOUT THE PERMISSION OF STUDIO 120 ARCHITECTURE.
  - REASONABLE EFFORT HAS BEEN MADE BY THE ENGINEER TO INDICATE THE TYPE, SIZE, LOCATION, AND NUMBER OF KNOWN UNDERGROUND FACILITIES ON THE DRAWING(S). HOWEVER, NO GUARANTEE IS MADE AS TO THE TRUE TYPE, SIZE, LOCATION, OR NUMBER OF SUCH FACILITIES. THE OMISSION FROM OR THE INCLUSION OF, UTILITY LOCATIONS ON THE DRAWING(S) IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR AN ABSOLUTE LOCATION OF, EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE NEBRASKA ONE-CALL NOTIFICATION ACT (STATE OF NEBRASKA TITLE 155, CHAPTER 2) OR WYOMING UNDERGROUND FACILITIES NOTIFICATION ACT (STATE OF WYOMING TITLE 37, CHAPTER 12) AS APPROPRIATE.

ARCHITECTURAL SUPPLEMENTAL NOTES

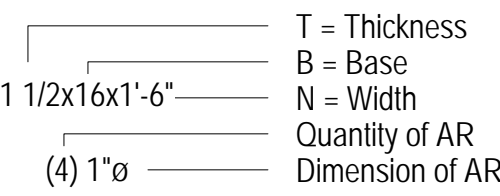
- ALL NEW CONSTRUCTION IS TO CONFORM TO LOCAL, STATE AND NATIONAL BUILDING AND SAFETY GOVERNING AGENCIES. THE FOLLOWING DRAWINGS ARE SUBJECT TO ANY CHANGES THAT MAY BE REQUIRED BY LOCAL, STATE AND NATIONAL GOVERNING AGENCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR TOTAL FAMILIARITY WITH EXISTING CONDITIONS. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO SUBMITTAL OF BID TO BUILDING REPRESENTATIVE.
- CONTRACTOR IS TO COORDINATE BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS ALONG WITH THE DESIGNATED SUB-CONTRACTORS FOR ALL OF THE TRADES.
- ALL NEW CONSTRUCTION DETAILS, FINISHES, TEXTURES, ETC., ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR BUILDING INDUSTRY STANDARDS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO COORDINATE WITH OWNER'S VENDORS ON SCHEDULING REQUIREMENTS AND INSTALLATION OF ITEMS BEING SUPPLIED AND INSTALLED BY THEM IF THEY ARE NOT A PART OF THE CONSTRUCTION CONTRACT.
- ALL THE FIRE PROTECTION AND LIFE SAFETY SYSTEMS ARE TO BE PROVIDED AS REQUIRED PER THE CODE REQUIREMENTS. VERIFY WITH THE BUILDING DEPARTMENT AND FIRE DEPARTMENT. INCLUDE ADDITIONAL SMOKE DETECTORS AND INDICATOR LIGHTS AS REQUIRED AND TYING INTO THE FIRE PROTECTION SYSTEM.
- ALL NEW CONSTRUCTION IS TO ADHERE TO A.D.A. REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE OWNER, SUCH AS LATCH SETS, MOUNTING HEIGHTS, CLEARANCES, SLOPES, GRADES, ETC.
- THE FLOOR SLAB IS NOT TO BE POURED UNTIL ALL EQUIPMENT CONDUIT, PLUMBING, POWER, ETC. HAS BEEN ROUGHED IN.
- PROVIDE TYPE "X" 5/8" GYPSUM BOARD THROUGHOUT NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- PROVIDE RATED WALLS AS REQUIRED FOR NEW CONSTRUCTION. THIS INCLUDES WALLS, CEILINGS, DUCTWORK, DOORS, FRAMES, HARDWARE, ETC.
- ALL INTERIOR COLORS, TEXTURES AND FINISHES ARE TO BE SELECTED BY THE OWNER/ARCHITECT.
- ANY NOTES MENTIONED ON THIS SHEET OR ON ANY OTHER SHEET SHALL PERTAIN TO ALL SHEETS.
- ALL WORK AND DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.

ARCHITECTURAL WALL TYPES



ARCHITECTURAL SYMBOL LEGEND

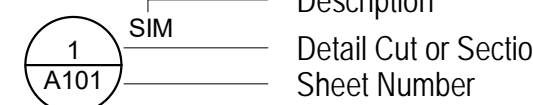
Base Plate Tag



Break Line Symbol



Callout Head Symbol



Door Tag



Drawing Revision Tag



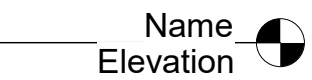
Grid Head Symbol



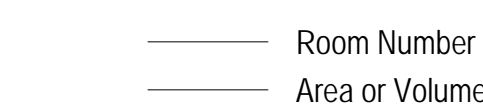
Key Note Symbol



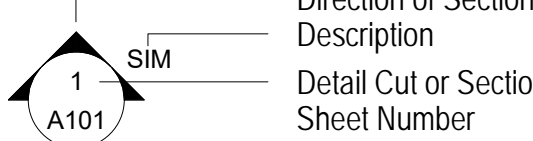
Level Head Symbol



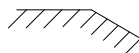
Room Tag



Section Head Symbol



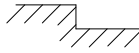
Slope Down Symbol



Spot Elevation Symbol



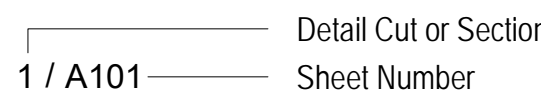
Step Down Symbol



Valley Symbol



View Reference Symbol



Wall Tag



Window Tag



BUILDING STATISTICS

CODE SUMMARY

AREA (GROSS SQUARE FOOTAGE)		APPLICABLE CODES	
Basement	NA	BUILDING	INTERNATIONAL BUILDING CODE - 2009
Non -occupied	NA	LIFE SAFETY	NFPA 101 - 2000
First Floor	1,600 SF	ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE - 2009
Second Floor	NA	MECHANICAL	UNIFORM MECHANICAL CODE - 2012
Third Floor	NA	PLUMBING	UNIFORM PLUMBING CODE - 2012
Fourth Floor	NA	ELECTRICAL	NATIONAL ELECTRICAL CODE - 2011
OCCUPIED SPACE TOTAL		ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
OCCUPIED SPACE TOTAL		FIRE PROTECTIVE SYSTEMS	
OCCUPIED SPACE TOTAL		AUTO FIRE SUPPRESSION	NO
OCCUPIED SPACE TOTAL		STANDPIPE	NO
OCCUPIED SPACE TOTAL		FIRE ALARM SYSTEM	NO
OCCUPIED SPACE TOTAL		AUTO FIRE DETECTION	NO
OCCUPIED SPACE TOTAL		SMOKE DETECTION	NO
OCCUPANCY GROUP		Assembly Group - A5	
TYPE OF CONSTRUCTION		Type II B	



SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. Date Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
ARCHITECTURAL NOTES, CODE  
SUMMARY AND SYMBOL LEGEND

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

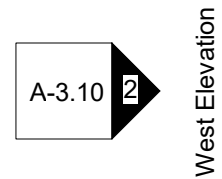
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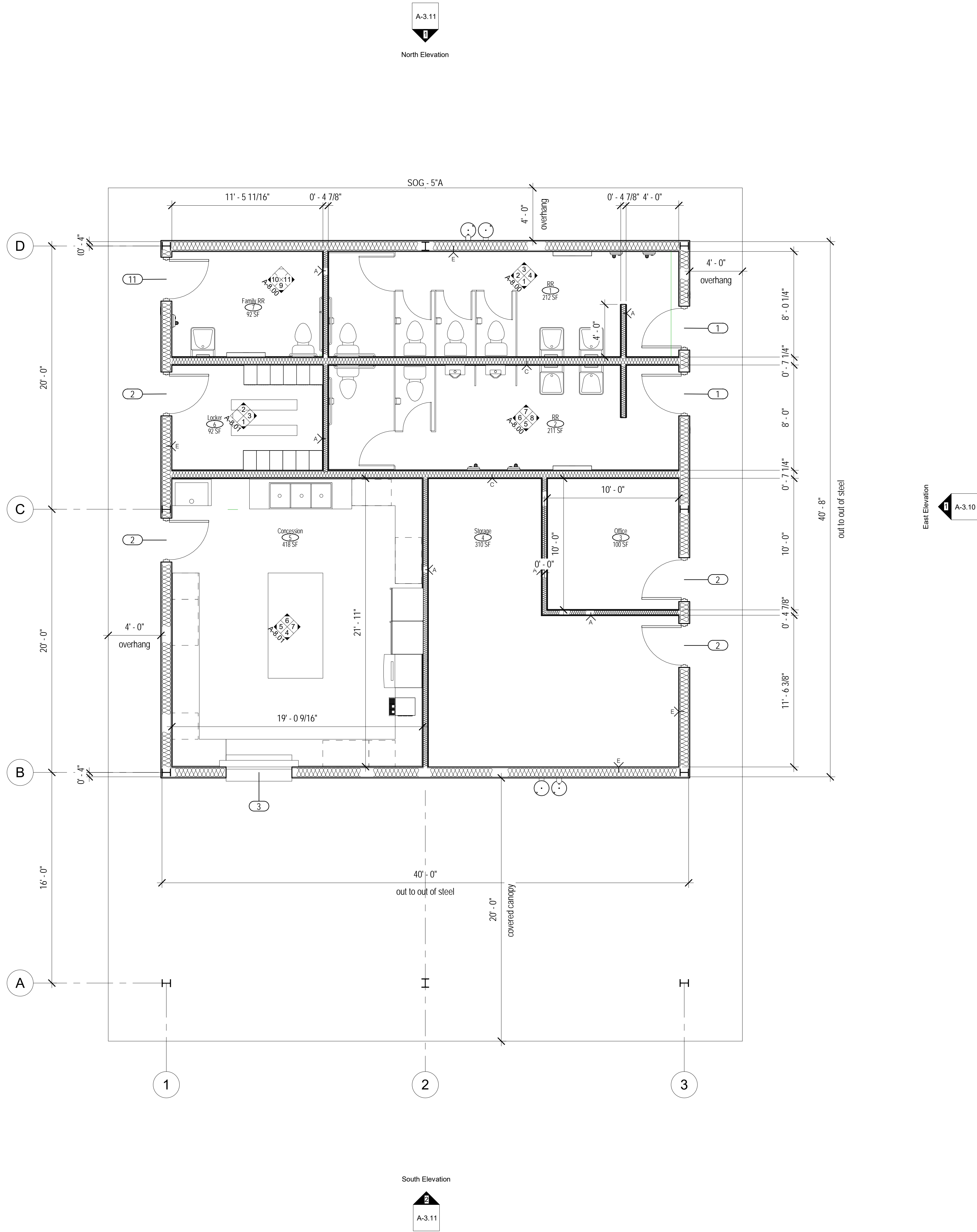


# 1 Ground Level Plan

1/4" = 1'-0"



West Elevation



## KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

STUDIO 120 ARCHITECTURE  
120 EAST 10TH STREET, SCOTTSBLUFF, NE 69361  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM

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SUB-CONSULTANT:

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Revision Schedule	
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PROJECT TITLE:  
**23 CLUB BASEBALL IMPROVEMENTS**

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
**GROUND LEVEL PLAN CONCESSIONS BLDG.**

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

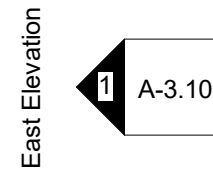
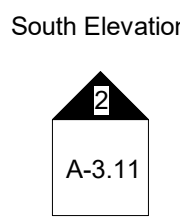
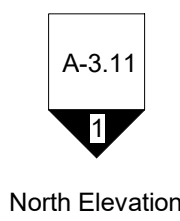
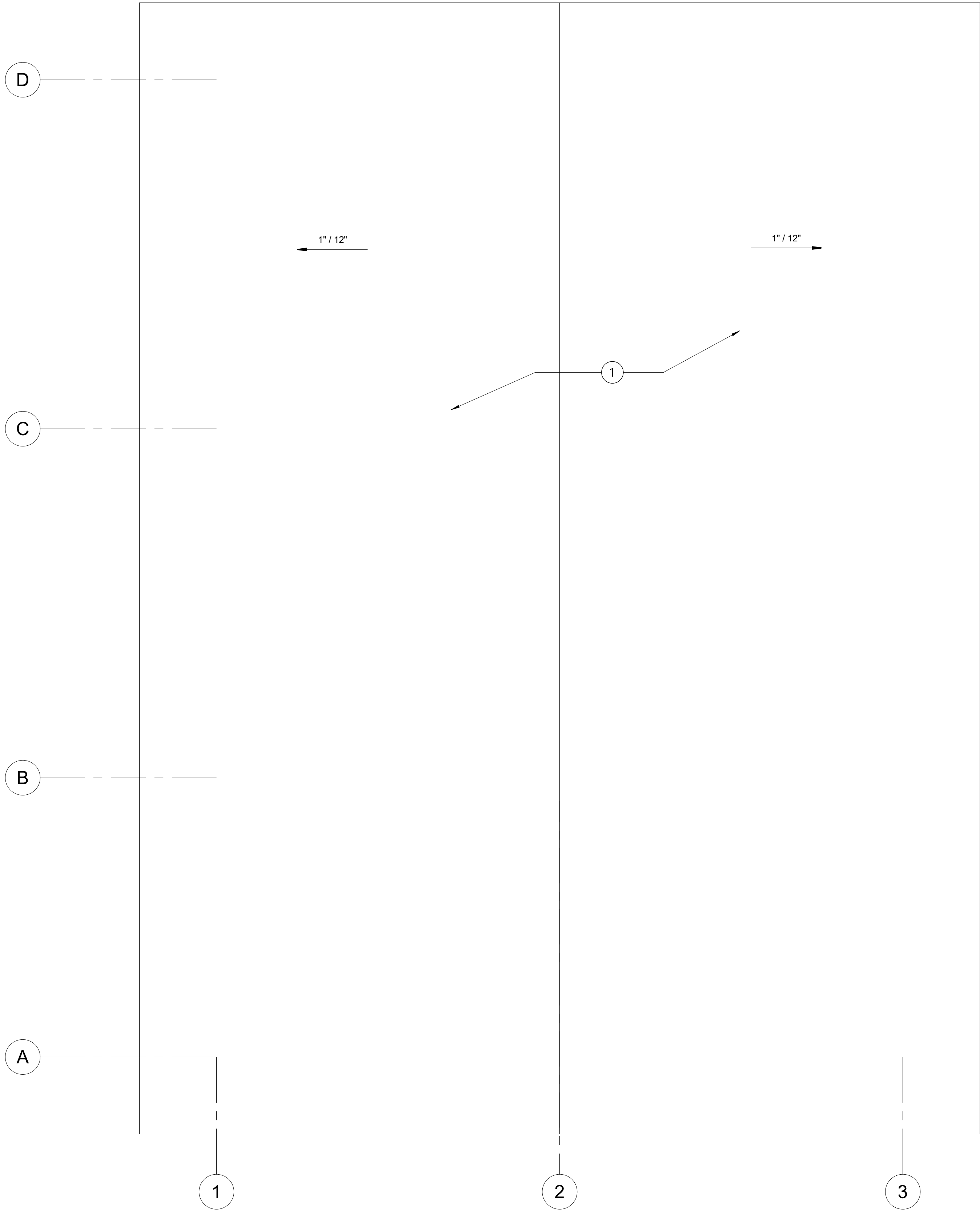
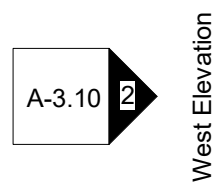
DESIGN	DRAWN	CHECK
Designer	Author	Checker

SHEET NUMBER  
**A-1.00**

1

Roof Plan

1/4" = 1'-0"



KEYNOTE LEGEND

- 1
- ENCLOSED PORTION METAL BUILDING ROOF SYSTEM TO HAVE R-30 VALUE INSULATION SYSTEM.
- 2
- Sample keynote

Revision Schedule		
No.	Date	Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
ROOF PLAN

COMPLETION: Project Status  
DATE ISSUED: Issue Date

PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER  
A-1.10

SUB-CONSULTANT:

PRELIMINARY PLAN  
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CONSTRUCTION



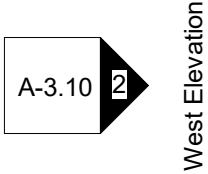
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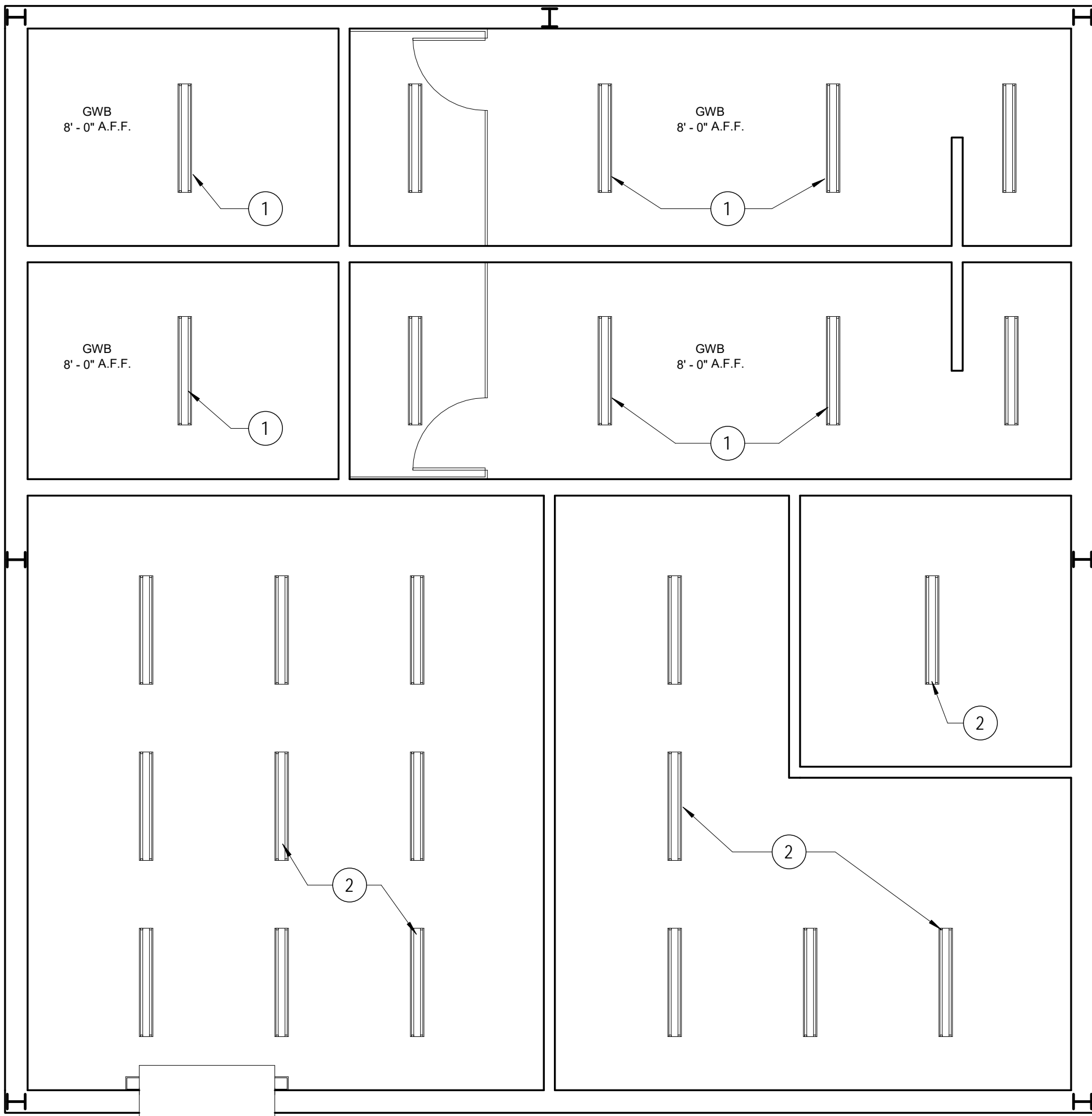


1 1/4" = 1'-0"

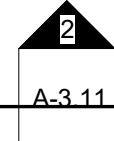
Reflected Ceiling Plan



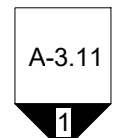
West Elevation



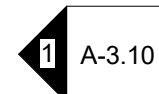
South Elevation



North Elevation



East Elevation



KEYNOTE LEGEND

- 1 CEILING MOUNTED LED TYPE LIGHT FIXTURES.
- 2 CEILING HUNG LED TYPE LIGHT FIXTURES. APPROXIMATE MOUNTING HEIGHT = 10'-0" ABOVE FLOOR.

SHEET TITLE:  
**GROUND LEVEL REFLECTED CEILING PLAN**

PROJECT: Project Number

DESIGN: Designer    DRAWN: Author    CHECK: Checker

SHEET NUMBER  
**A-2.00**

PROJECT TITLE:  
**23 CLUB BASEBALL IMPROVEMENTS**

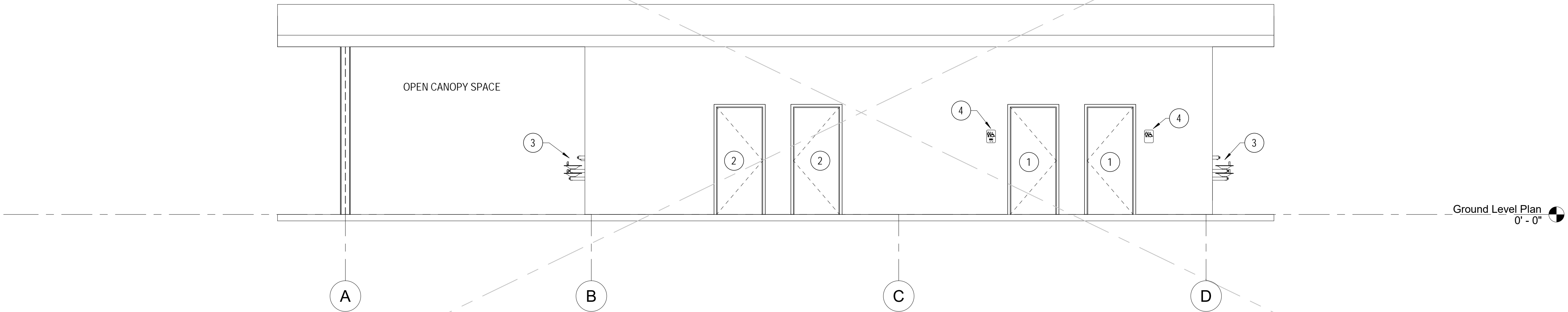
PO BOX 1185  
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CITY OF SCOTTSBLUFF

Revision Schedule	No.	Date	Description

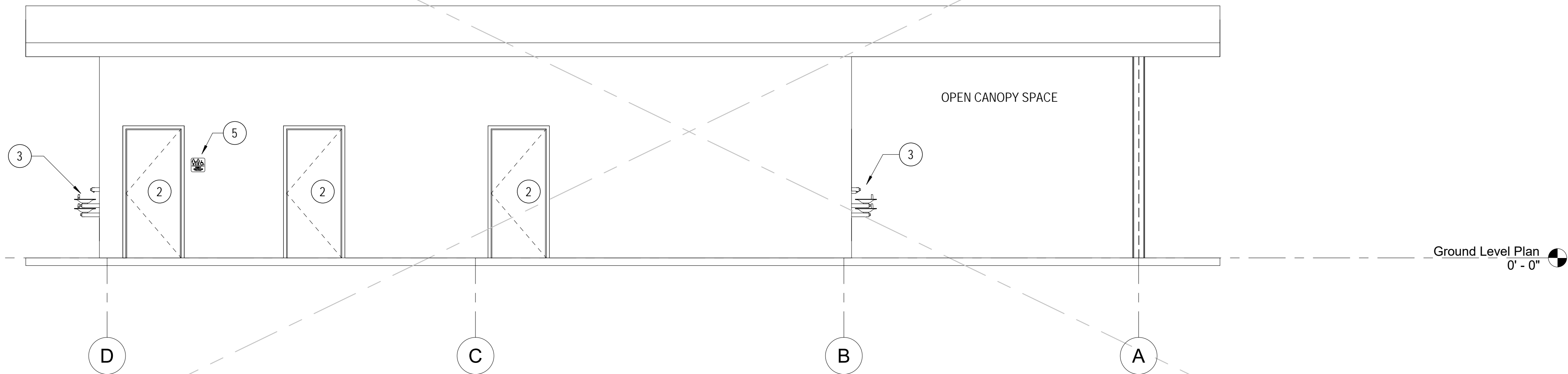
PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

SUB-CONSULTANT:

**STUDIO 120**  
ARCHITECTURE  
120 EAST 10TH STREET, SCOTTSBLUFF, NE 69361  
308.635.1331 WWW.STUDIO120ARCHITECTURE.COM



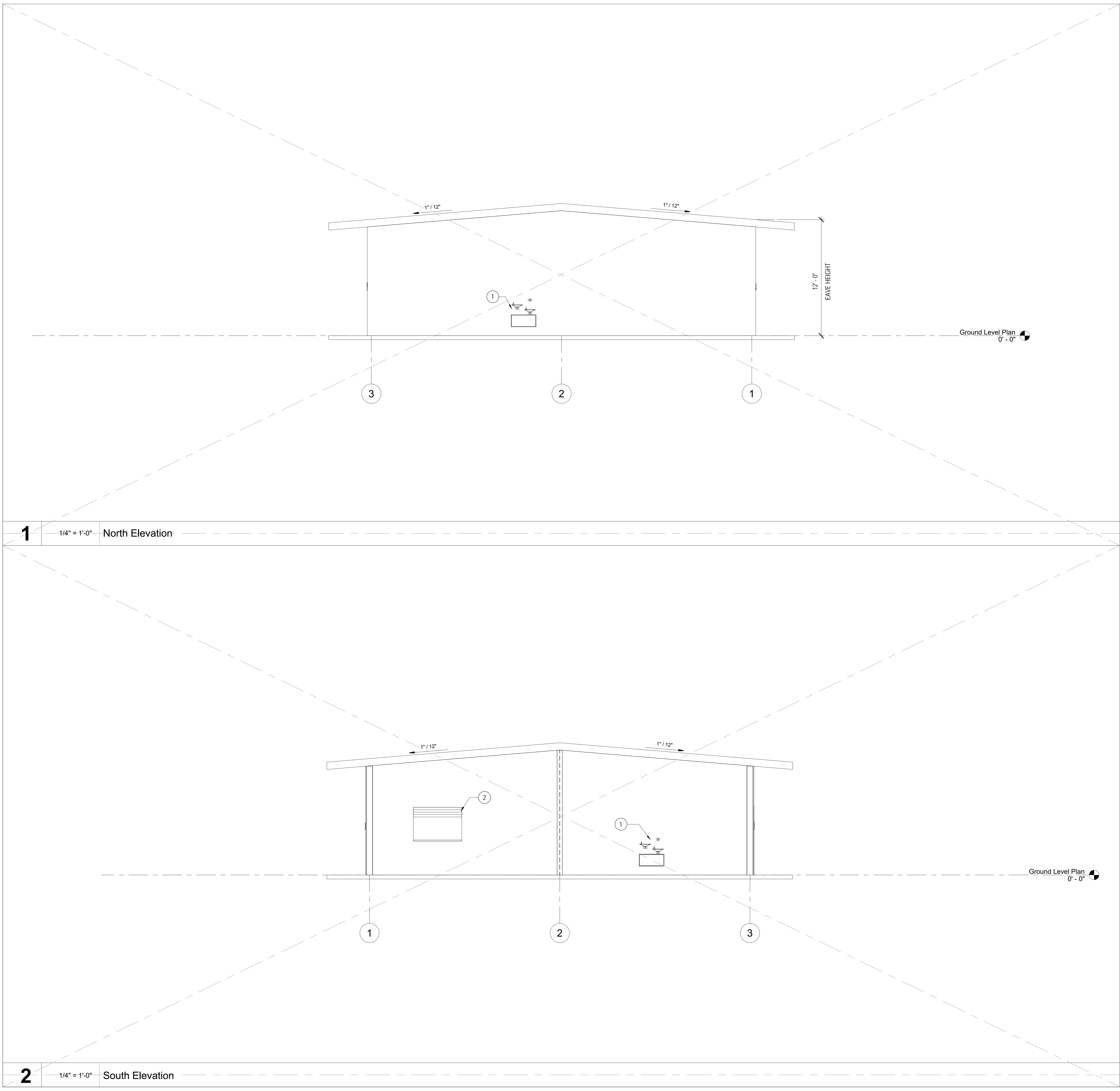
1 1/4" = 1'-0" East Elevation



2 1/4" = 1'-0" West Elevation

## KEYNOTE LEGEND

- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE PUSH/PULL HANDLES, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- A.D.A. COMPLIANT MENS AND WOMENS RESTROOM SIGNAGE.
- A.D.A. COMPLIANT FAMILY RESTROOM SIGNAGE.



### KEYNOTE LEGEND

- 1 TWO (2) POSITION A.D.A. COMPLIANT WATER FOUNTAIN WITH BOTTLE FILLER.
- 2 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.
- 3 Sample keynote
- 4 Sample keynote

SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. Date Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS

PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
EXTERIOR BUILDING ELEVATIONS

COMPLETION: Project Status  
DATE ISSUED: Issue Date

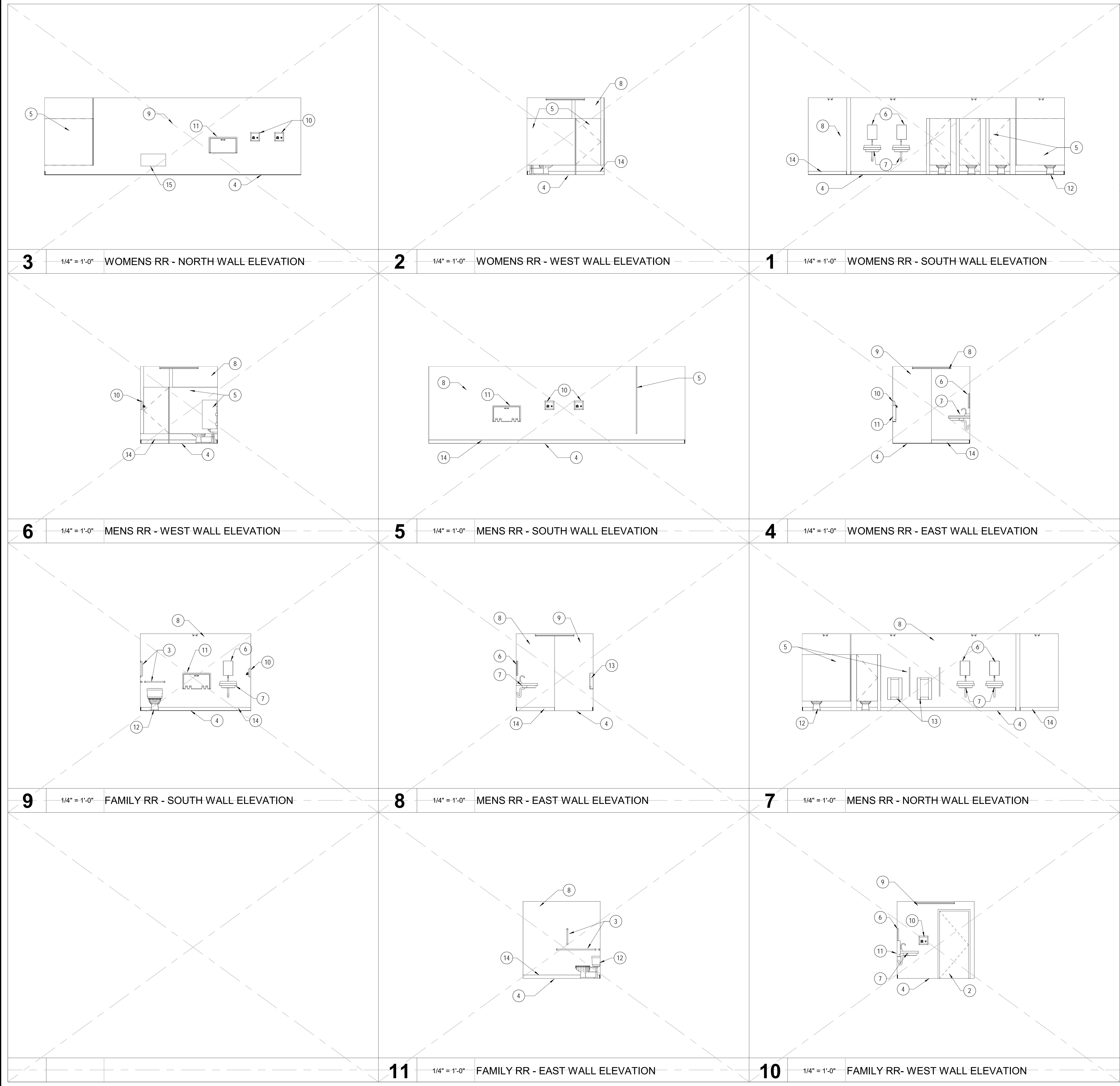
PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

SHEET NUMBER

A-3.11





### KEYNOTE LEGEND

- 1 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE PUSH/PULL HANDLES, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP. DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYPED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 A.D.A. GRAB BARS AS SHOWN ON DETAILS- A-10.00.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 SOLID POLYMER TYPE TOILET PARTITION UNIT MADE OF SOLID, HIGH DENSITY POLYETHYLENE (HDPE) PANEL MATERIAL NOT LESS THAN 1" THICK. DOOR MANUFACTURERS SUBJECT TO COMPLIANCE BUT NOT LIMITED TO SCRANTON PRODUCTS, OR BRADLEY PRODUCTS. MANUFACTURER'S STANDARD HINGES, LATCH AND KEEPERS, COAT HOOKS SHALL BE ACCEPTABLE. ANCHORAGES AND FASTENERS TO BE MANUFACTURER'S STANDARD NON-CORROSION ANCHORING ASSEMBLIES. SAME CONSTRUCTION FOR URINAL PARTITION.
- 6 A.D.A. STYLE WALL MIRROR - STAINLESS STEEL
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WALL COVER- WHITE.
- 10 ELECTRIC HAND DRYER, FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- 11 BABY CHANGING STATION. FOR METAL PANEL ATTACHMENT, USE 3/4" PLYWOOD SUBSTRATE OVER METAL PANEL, PAINT WHITE.
- 12 A.D.A. APPROPRIATE HEIGHT TOILET- SEE DETAILS SHEET A-2.00.
- 13 URINAL.
- 14 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY, COLOR BY OWNER.
- 15 WALL ACCESS DOOR PANEL TO ACCESS DRINKING FOUNTAIN.

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SUB-CONSULTANT:

PRELIMINARY PLAN  
NOT TO BE USED FOR  
CONSTRUCTION

Revision Schedule  
No. 1 Date 1 Description

PROJECT TITLE:  
23 CLUB BASEBALL IMPROVEMENTS  
PO BOX 1185  
SCOTTSBLUFF, NEBRASKA 69363  
CITY OF SCOTTSBLUFF

SHEET TITLE:  
INTERIOR ELEVATIONS  
COMPLETION: Project Status  
DATE ISSUED: Issue Date

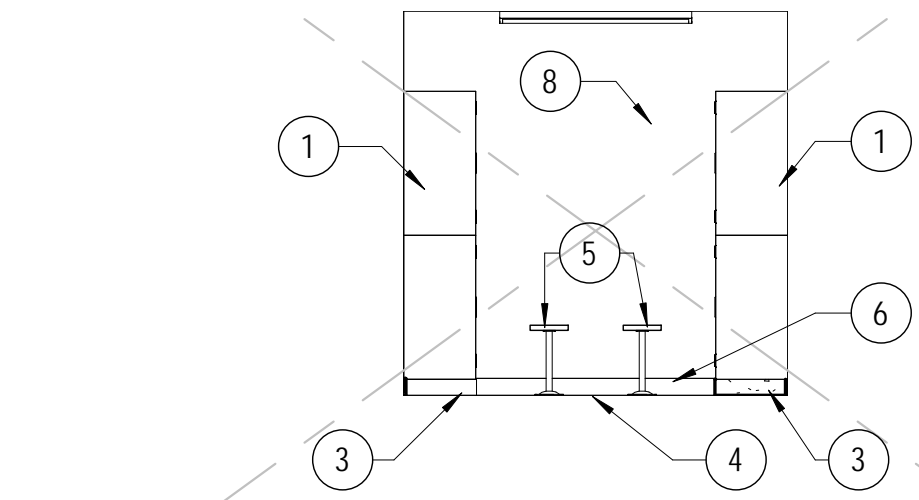
PROJECT: Project Number

DESIGN DRAWN CHECK  
Designer Author Checker

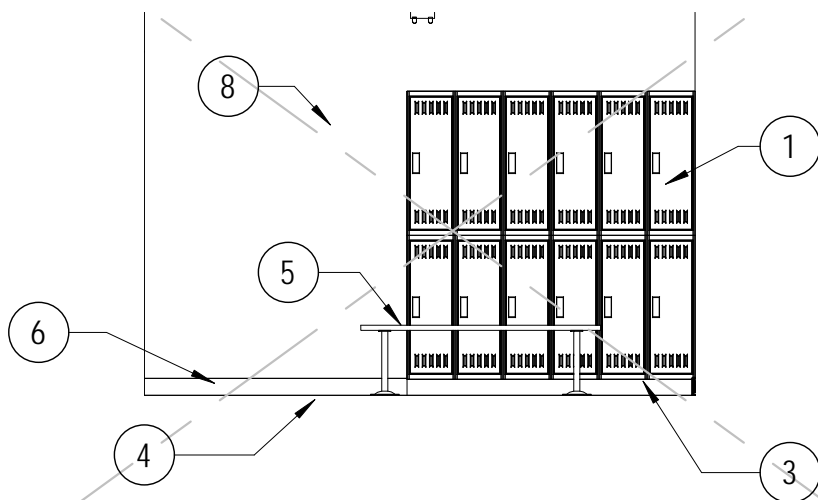
SHEET NUMBER  
A-8.00



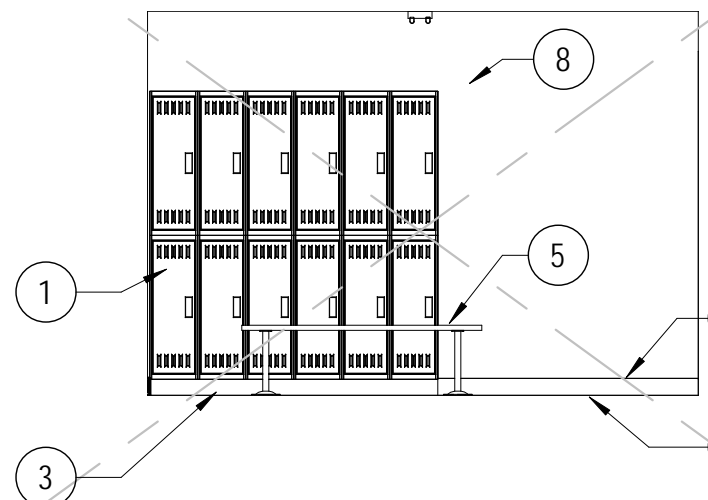
3 1/4" = 1'-0" LOCKER ROOM - EAST WALL ELEVATION



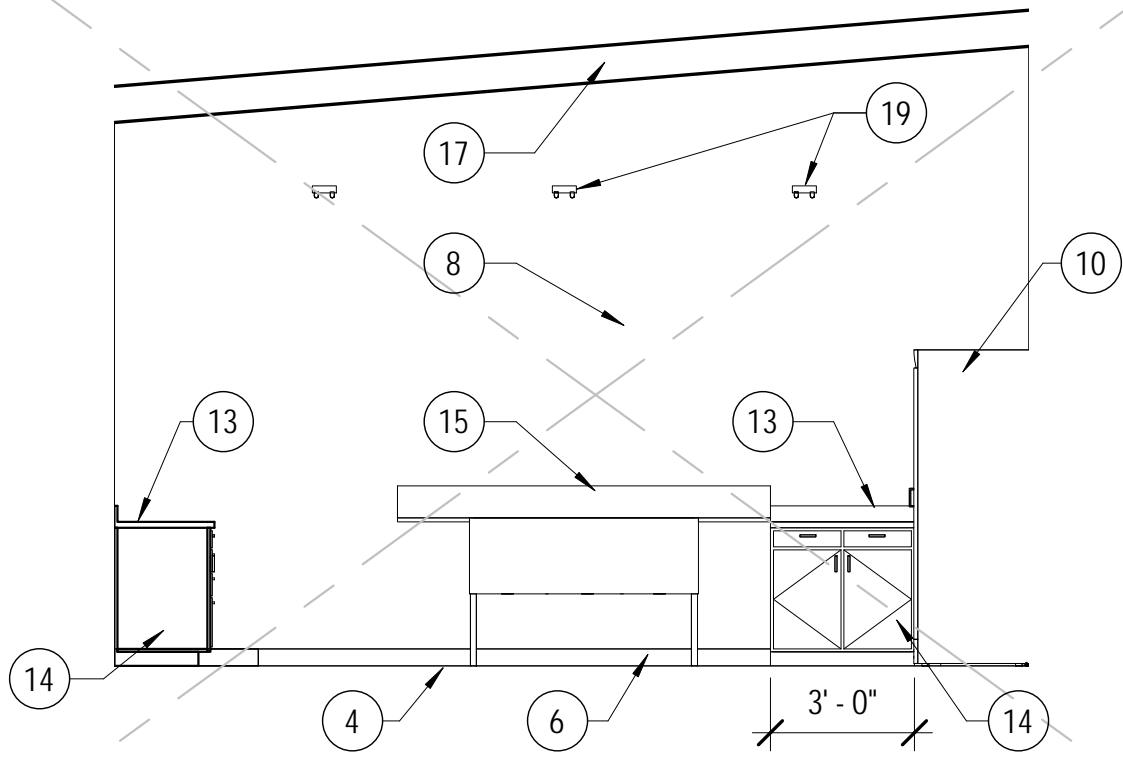
2 1/4" = 1'-0" LOCKER ROOM - NORTH WALL ELEVATION



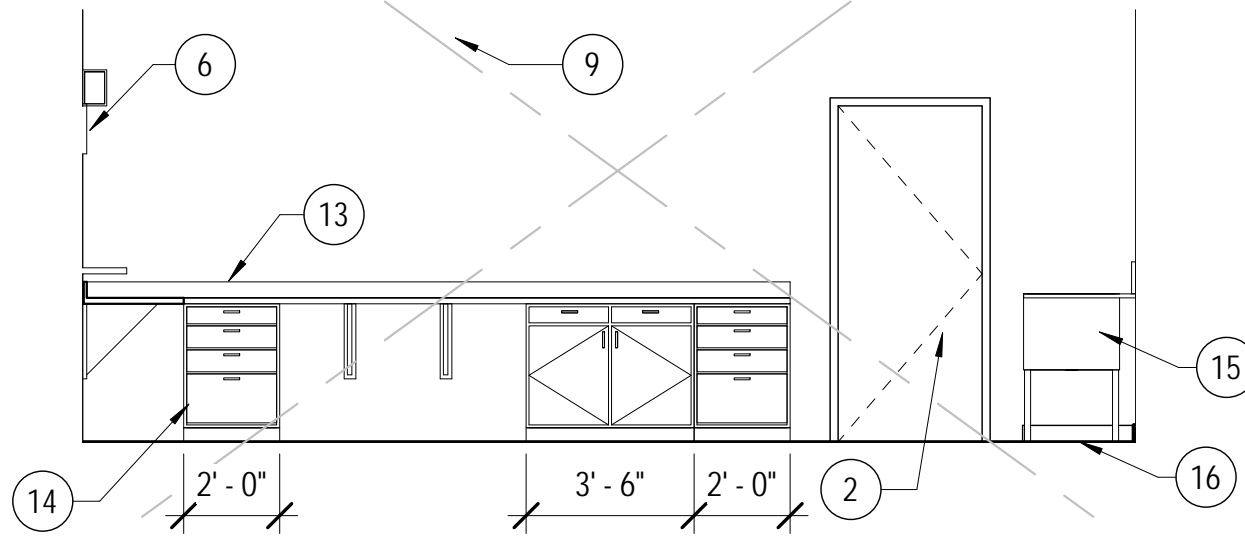
1 1/4" = 1'-0" LOCKER ROOM - SOUTH WALL ELEVATION



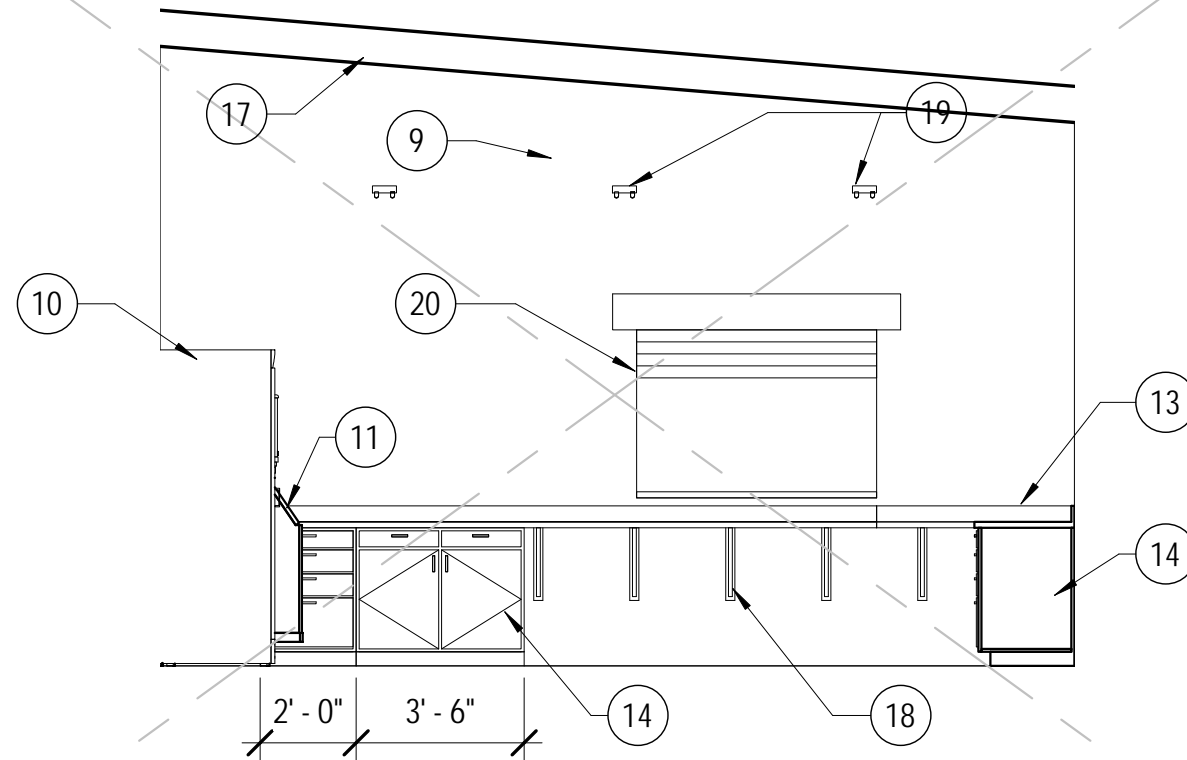
6 1/4" = 1'-0" Elevation 5 - b



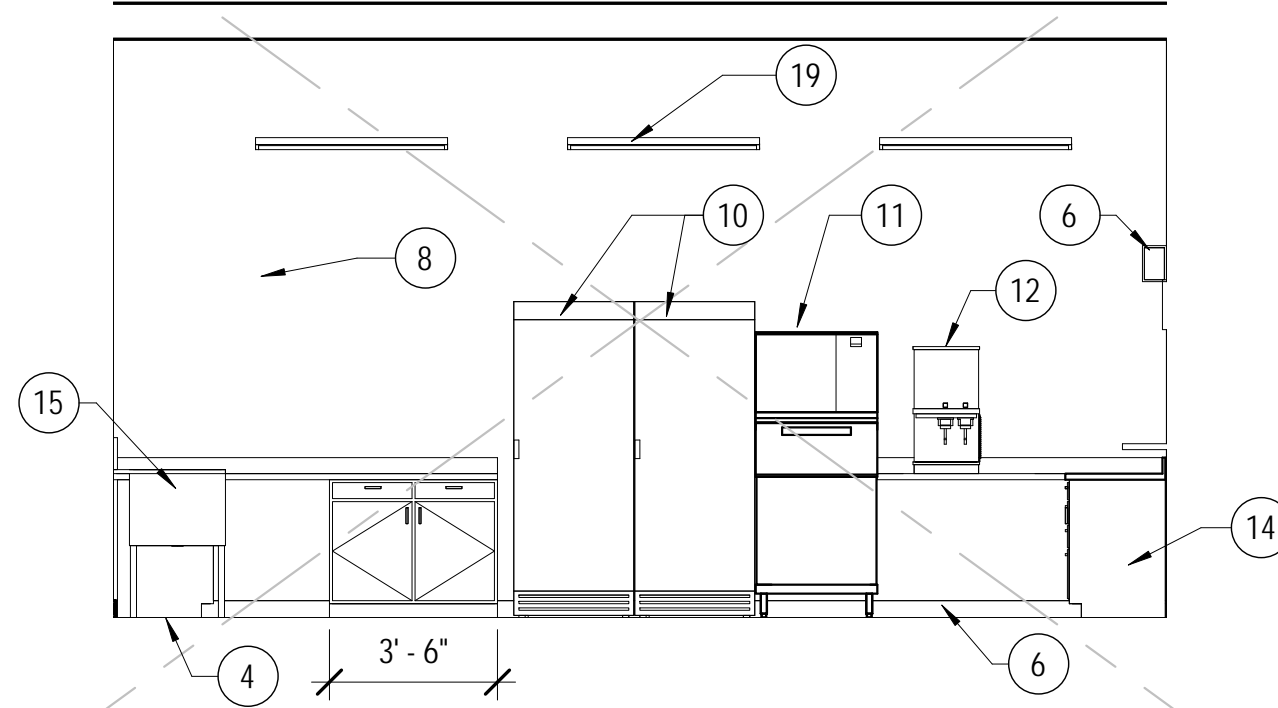
5 1/4" = 1'-0" Elevation 6 - a



4 1/4" = 1'-0" Elevation 2 - d



7 1/4" = 1'-0" Elevation 5 - c



## KEYNOTE LEGEND

- 1 DOUBLE TIER METAL ATHLETIC LOCKERS- 12" WIDE X 36" HIGH X 18" DEEP, BAKED ENAMEL OR POWDER COAT, COLOR BY OWNER, BASIS OF DESIGN- HADRIAN, GLADIATOR, OR AN APPROVED EQUAL.
- 2 3070 PAINTED METAL INSULATED DOOR WITH METAL BUILDING FRAME SETUP, DOOR TO INCLUDE LEVER TYPE LOCKSET WITH PRIVACY LOCK, KEYED DEAD BOLT LOCK, HYDRAULIC DOOR CLOSURE, KICK PLATE, HINGES, WEATHER STRIPPING, DOOR STOP AND ADA PROFILE SILL THRESHOLD.
- 3 4" LOCKER SUPPORT RISER, EITHER CONCRETE OR WOOD CONSTRUCTION.
- 4 SEALED CONCRETE FLOOR ENTIRE BUILDING.
- 5 LOCKER BENCH WITH OVERALL HEIGHT OF 17.5" 9.5" WIDE X 1.25" THICK BENCH SEAT MADE OF CLEAR LAMINATED MAPLE HARDWOOD WITH ONE COAT OF SEALER AND ONE COAT OF LACQUER. ALUMINUM PEDESTALS, POWDER COAT- COLOR BY OWNER.
- 6 4" VINYL BASE- APPLIED TO GYPSUM BOARD WALL SURFACES ONLY, COLOR BY OWNER.
- 7 WALL HUNG SINK - WRAP SUPPLY PIPES AND DRAIN TUBE FOR THERMAL PROTECTION.
- 8 PAINTED GYPSUM WALL SURFACE - LIGHT ORANGE PEEL FINISH.
- 9 METAL BUILDING LINER PANEL WALL COVER- WHITE.
- 10 DEPICTS POP COOLER- N.I.C.
- 11 DEPICTS ICE MACHINE- N.I.C.
- 12 DEPICTS SODA DISPENSER- N.I.C.
- 13 COUNTER TOPS WITH PLASTIC LAMINATE FINISH.
- 14 BASE CABINETS.
- 15 THREE COMPARTMENT STAINLESS STEEL SINK.
- 16 MOP SINK.
- 17 BUILDING STRUCTURE- ROOF LINE.
- 18 COUNTER TOP SUPPORT BRACKET- SPACED 2'-0" o.c..
- 19 CEILING MOUNTED OR HUNG LIGHT FIXTURES.
- 20 ROLL UP SHUTTER DOOR, STAINLESS STEEL CONSTRUCTION- 5'-0" WIDE X 3'-6" HIGH.

