

City of Scottsbluff, Nebraska

Monday, April 3, 2017

Regular Meeting

Item Consent3

Council to approve the bids and specifications for the secured entrance project at City Hall and authorize the city clerk to advertise for bids to be received by May 3, 2017 at 10:00 a.m.

Minutes:

The base bid for this project will secure the entrance to the city hall by reinforcing the walls with fiberglass bullet resistant panels hidden behind drywall, adding 2 transaction windows, and a bullet resistant storefront and door to the entrance.

The Alternate 1 part of the project will remove the front display wall, and install 3 new offices similar to the other offices that exist in the center of the building.

Staff Contact: Nathan Johnson, City Manager

**CITY OF SCOTTSBLUFF
NOTICE TO BIDDERS**

Sealed bids will be received by Cindy Dickinson, City Clerk at City Hall 2525 Circle Drive, Scottsbluff, Nebraska until 10:00 AM (Local Time) on May 3, 2017.

The bids shall be for all construction for the Entrance and Office renovation. All bids, properly received, will be opened at that time in an open and public letting. The City will review all bids with the architect with the intent of awarding a contract for all construction to the lowest responsible bidder.

One proposal for the general construction work, (including, but not limited to architectural, structural, mechanical and electrical construction) will be accepted.

Plans and specifications for the above construction may be obtained after April 11th, 2017 from A & D Technical Supply Co., 4320 So. 89th St, Omaha, Ne. 68127 (1-800-228- 2753) by submitting a \$50.00 refundable deposit payable to Joseph R. Hewgley for each printed set required; or by paying a non-refundable fee of \$25.00 for a CD or Download containing a complete set of drawings and specifications.

At the time of filing their bids, each bidder will be required to furnish a certified check, cashier's check or bid bond in an amount equal to five percent (5%) of their total bid. The City of Scottsbluff reserves the right to reject any or all bids or to award any bid considered most advantageous to them, including alternatives.

For the convenience of the sub-contractors and material suppliers, drawings and specifications may be examined by contacting the Office of the Architect, Joseph R. Hewgley & Associates, Inc., 818 S. Beltline Highway East, Suite B, Scottsbluff, NE. 69361 Phone: (308)633-3363.

The City of Scottsbluff
/s/Cindy Dickinson, City Clerk

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One affidavit of publication requested

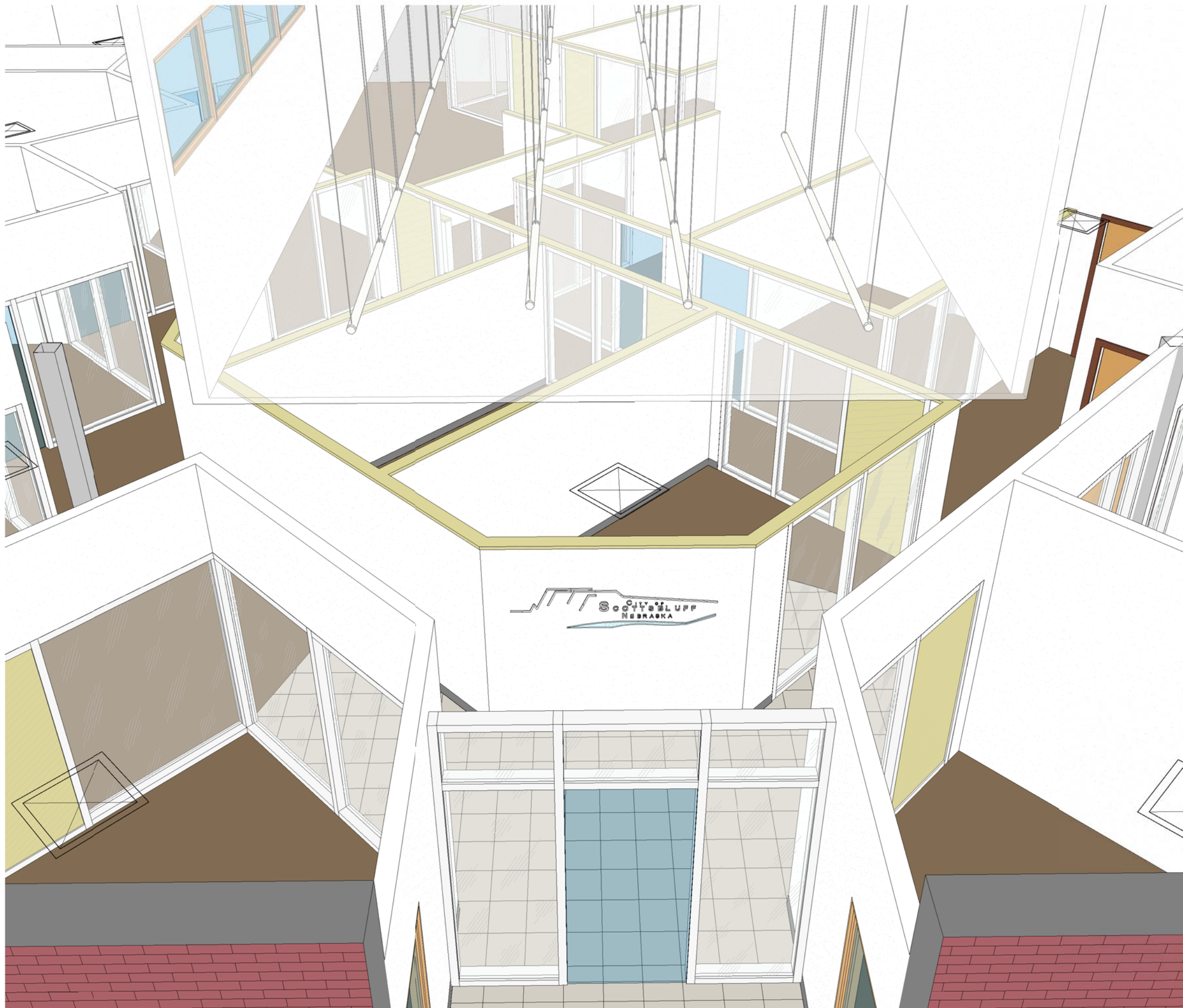
CITY HALL SECURE ENTRANCE & OFFICES

CITY OF SCOTTSBLUFF

SCHEDULE OF SHEETS

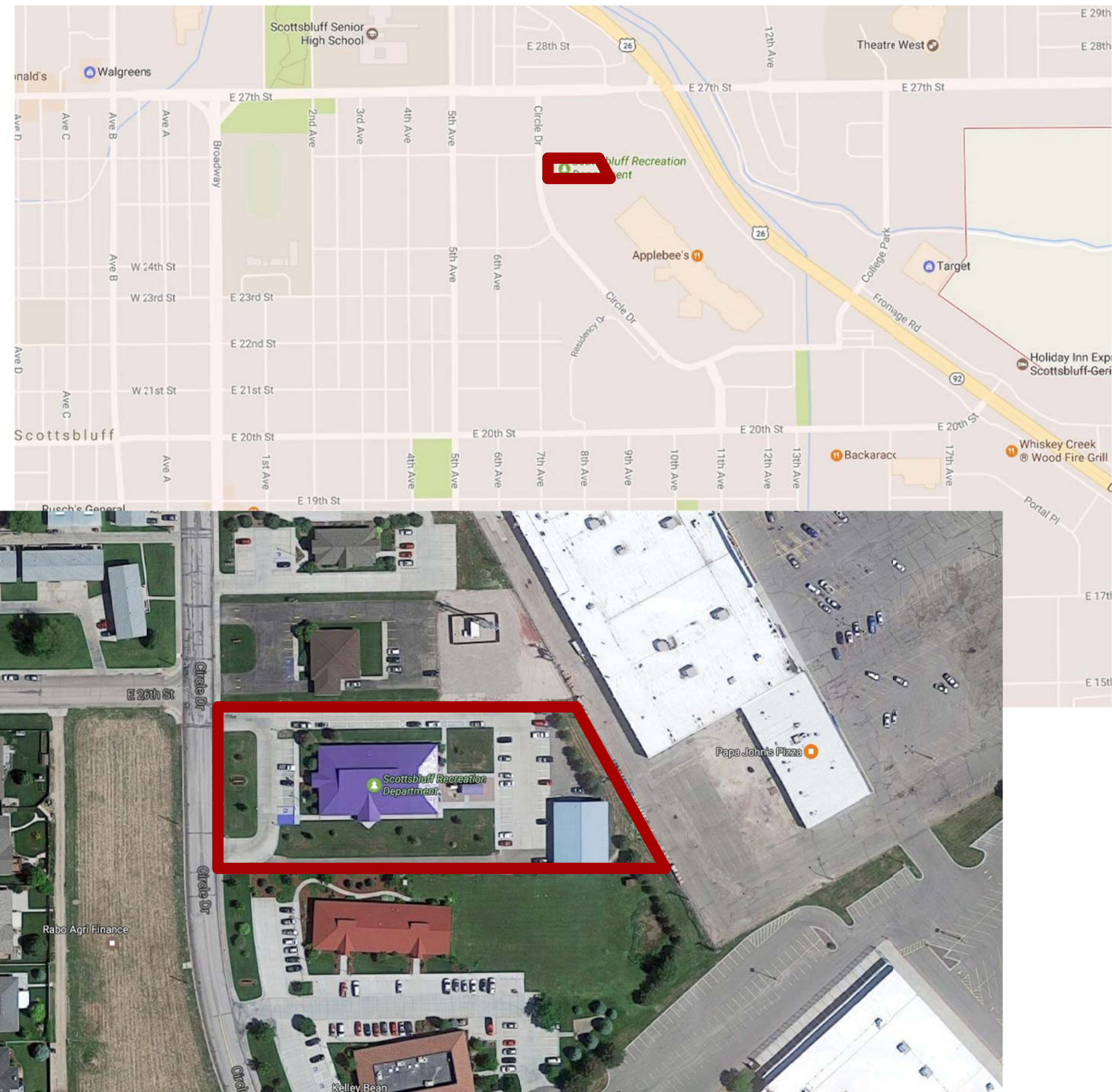
000	COVERSHEET
001	CODE SHEET
A001	ARCHITECTURAL GENERAL NOTES
A100	DEMO PLAN
A101	NEW PLANS
A121	FIRST FLOOR FINISH PLAN
A221	INTERIOR ELEVATIONS
A222	INTERIOR ELEVATIONS
A501	INTERIOR DETAILS
S100	STRUCTURAL
E100	ELECTRICAL DEMO
E101	ELECTRICAL NEW

3D VIEW



1. BASE BID- TO INCLUDE ALL DEMOLITION, CONSTRUCTION, MATERIALS, AND LABOR FOR A COMPLETE SECURE ENTRANCE AS SHOWN IN THESE DOCUMENTS, INCLUDING BUT NOT LIMITED TO REINFORCING OF VESTIBULE WALLS, INSTALLATION OF TWO SERVICE WINDOWS, REMOVAL AND INSTALLATION OF NEW STOREFRONT AND DOOR SYSTEM.
2. ALTERNATE 1 AREA: ADDITIONAL OFFICE SPACES AND NEW DOOR 112. TO INCLUDE ALL DEMOLITION, CONSTRUCTION, MATERIALS, AND LABOR FOR 3 NEW COMPLETE OFFICES AS SHOWN IN THESE PLANS, INCLUDING BUT NOT LIMITED TO NEW STUD DRYWALL ASSEMBLIES, STOREFRONTS, DOORS, ELECTRICAL OUTLETS, DATA OUTLETS, ETC.

PROJECT LOCATION



PROJECT ARCHITECT

JOSEPH R. HEWGLEY & ASSOCIATES, INC.

818 S BELTLINE HWY E. SUITE B (308) 633 - 3363 SCOTTSBLUFF, NEBRASKA

STRUCTURAL ENGINEER

N/A

MECHANICAL ENGINEER

N/A

ELECTRICAL ENGINEER

N/A



1 CODE REVIEW

CLASSIFICATION OF BUILDING, AS SPECIFIED IN 2009 EDITION OF IBC BUILDING CODE, ARE AS FOLLOWS:

BUILDING STATISTICS:

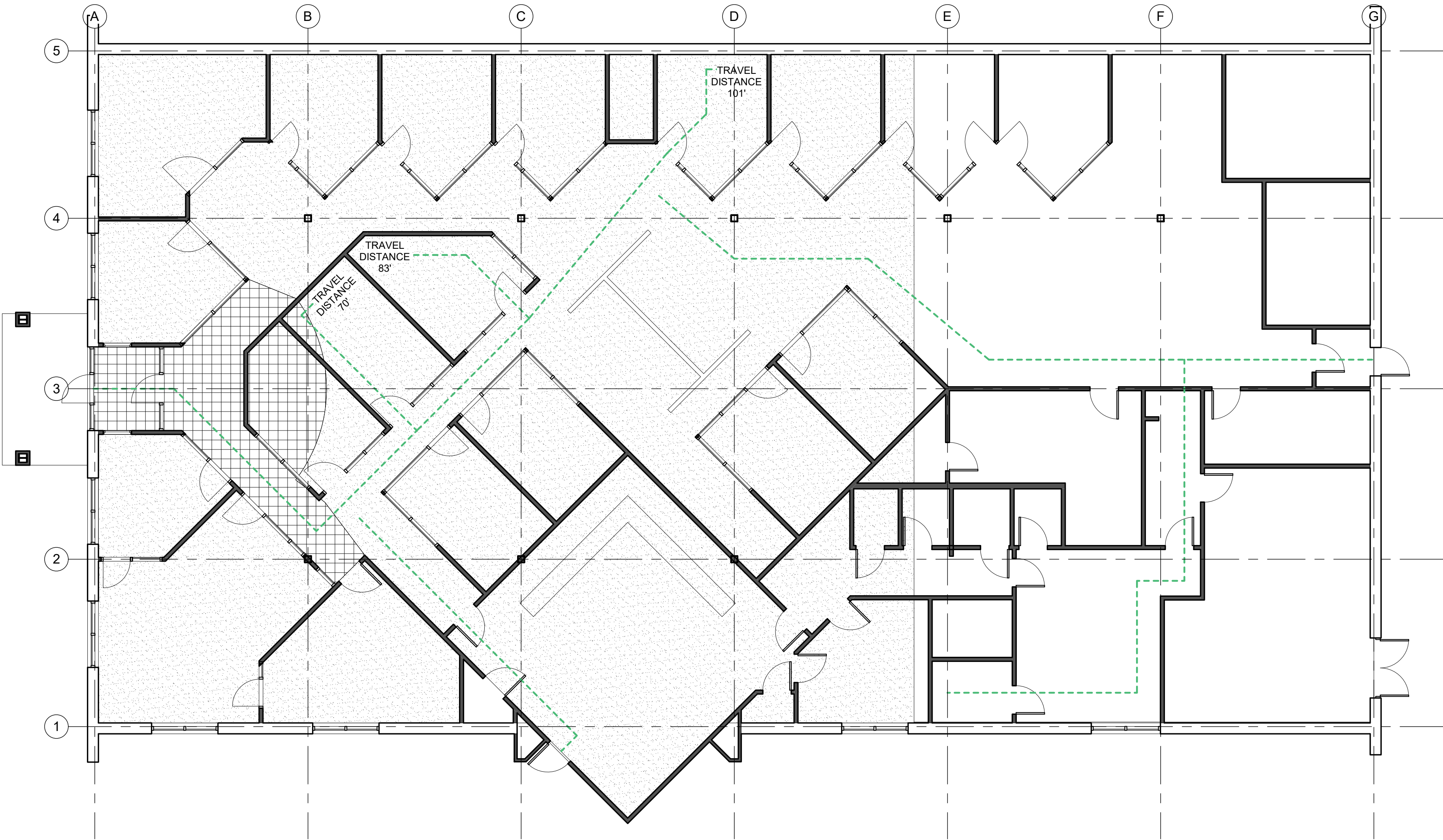
AREA: (BUILDING CODE) NO CHANGE TO SQUARE FOOTAGE
FIRST FLOOR: BUSINESSS 10,761 S.F.

NO BASEMENT OR ADDITIONAL STORIES 0 SQ. FT.

GROSS AREA: 10,761 SQ. FT.
HEIGHT: 20' - 7"

2009 INTERNATIONAL BUILDING CODE

Code Item Reference	Code Requirement	Actual Building Design
Occupancy Group Chapter 3	GROUP B + A Sec. 311.3	GROUP B + A Sec. 311.3
Construction Type Table 601	TYPE 2-B	TYPE 2-B
Allowable Floor Area Table 503	23,000 s.f.	Actual Area =10,761 s.f.
Maximum Height Table 503	3 story	1 story, 20' - 7"
Occupancy Table 1004.1.1	TOTAL SQ. FT. / 100 GROSS PER PERSON. TOTAL SQ. FT. / 7 NET PER PERSON.	101 PEOPLE 98 PEOPLE TOTAL: 199 PEOPLE
Exits Table 1005.1	2 exits min., 199 persons x .2 = 39.8" min.	3 exits 108" of Exit provided
Travel Distance Table 1016.1	150' - 0" base on NFPA requirements	101' - 0" Maximum.
Corridors Table 1017.1	Exit corridors - 1 hour rated if non-sprinklered	Exit corridors - N/A



2 CODE PLAN
1/8" = 1'-0"

FIRE PROTECTION NOTES:

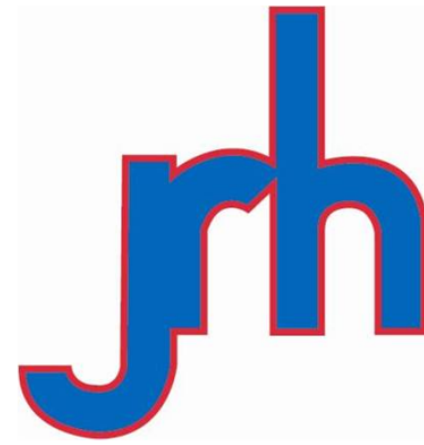
- FP-1 FOR LOCATIONS OF FIRE RATED PARTITIONS, SEE THIS SHEET. FIRE RATED PARTITIONS SHALL EXTEND TO THE STRUCTURE ABOVE, AND SHALL BE FIRESEALED TOP AND BOTTOM OF PARTITION
- FP-2
- FP-3 ALL WOOD IN RATED AREAS USED FOR BLOCKING, NAILERS, OR FRAMING SHALL BE FIRE RETARDANT TREATED.
- FP-4 FOR EXIT LIGHT AND EMERGENCY LIGHTING, SEE ELECTRICAL.
- FP-5 FOR FIRE DETECTION SYSTEMS, SEE ELECTRICAL.
- FP-6 FOR FIRE ALARM SYSTEMS, SEE ELECTRICAL.
- FP-7 WHERE FIRE EXTINGUISHER CABINETS OR OTHER EQUIPMENT IS RECESSED IN FIRE RATED PARTITIONS, MODIFY THE PARTITION AS REQUIRED TO PROVIDE A CONTINUOUS ENCLOSURE TO ENSURE UNINTERRUPTED FIRE RATING.
- FP-8 AT FIRE RATED DOOR LOCATIONS, FRAMES AND DOORS SHALL BE LABELED FOR THE INTENDED USE OR EQUIVALENT.
- FP-9 WHERE LABELED DOORS ARE SCHEDULED, PROVIDE LABELS ON DOORS AND GLASSES. DO NOT EXCEED 100 LBS. MAXIMUM TRAVEL DISTANCE TO EXIT ACCESS FOR A BUILDING WITHOUT A SPRINKLER SYSTEM FOR AN ASSEMBLY OCCUPANCY IS NOT TO EXCEED 150', ACCORDING TO THE NFPA.
- FP-10

FIRE PROTECTION SYSTEM:

NONE

FIRE/ CODE PLAN LEGEND

SYMBOL	DESCRIPTION
---12---	PARTIAL NUMBER OF OCCUPANTS
●	PATH OF EGRESS
---	FIRE RATED PARTITION LINE
---	FIRE RATED DOOR IN A RATED PARTITION
---	OCCUPANCY AREA SEPARATION LINE
12 OCC / 2.4"	OCCUPANCY AND REQ'D. DOOR WIDTH
36"	ACTUAL DOOR WIDTH USED



Joseph R. Hewgley & Associates, Inc.
702 South Bailey • North Platte, Ne. 69101
Phone: 308/534-4983 • Fax: 308/534-4944

PRELIMINARY
DRAWINGS

CITY HALL SECURE
ENTRANCE & OFFICES
for
CITY OF SCOTTSBLUFF

PROJECT #: R-1316

DATE: 3/30/17

DRAWN: MJH

REVISIONS

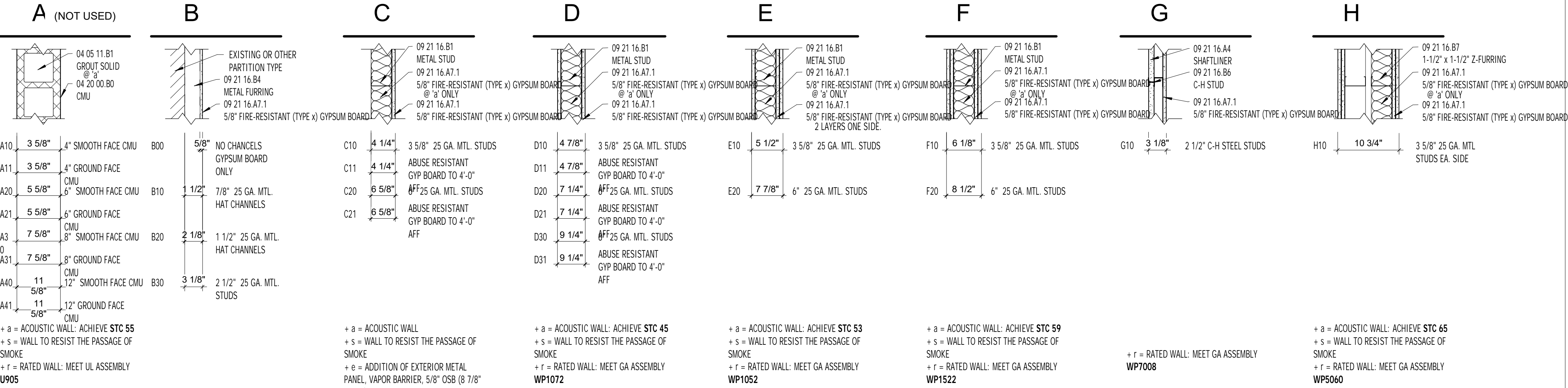
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SHEET
001

PARTITION TYPES



LUMBER AND FRAMING NOTES:

- PROVIDE MATERIALS IN THE QUANTITIES NEEDED FOR THE WORK SHOWN ON THE DRAWINGS, AND MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
- SILL AND PLATES, AND ALL OTHER LIGHT FRAMING: SPRUCE-PINE-FIR OR HEM-FIR, CONSTRUCTION GRADE OR BETTER.
- SILL, PLATES AND WOOD BLOCKING IN CONTACT WITH CONCRETE, MASONRY, ROOF INSULATION, ROOF CURBS AND ROOF PARAPETS WALLS. PRESSURE-TREATED SOUTHERN PINE, CONSTRUCTION GRADE OR BETTER, OR CALIFORNIA REDWOOD, CONSTRUCTION HEART, MIXED, OR BETTER.
- SILL SEALER UNDER WOOD SILL PLATES ON CONCRETE AND/OR MASONRY: ONE INCH THICK OWENS-CORNING FIBERGLASS SILL SEALER OR MANVILLE SILL SEALER.
- STUDS: SPRUCE-PINE-FIR OR HEM-FIR, STUD GRADE.
- SOUND BOARD: 1/2" THICK FIBER BOARD RATED AS A SOUND BOARD, IN 4' WIDTHS.
- HEADERS AND BEAMS: HEM-FIR #2 OR BETTER, UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.
- LAMINATED WOOD BEAMS (NOTED AS "LVL" ON DRAWINGS) GANG-LAM LVL AS MANUFACTURED BY LOUISIANA-PACIFIC, OR EQUAL.
- PLYWOOD FLOOR UNDERLAYMENT: APA 160C RATED STURD-FLOOR, EXPOSURE 1 (EXTERIOR GLUE), 23/32" MIN. THICKNESS, TONGUE AND GROOVE.
- ROOF AND WALL SHEATHING: APA 32/16 RATED SHEATHING, EXPOSURE 1 (EXTERIOR GLUE), 5/8" MINIMUM THICKNESS, 4 PLY PLYWOOD (NO WATERBOARD OR PARTIALBOARD ALLOWED).
- INSULATING WALL SHEATHING (APPLY OVER WALL SHEATHING): 1/2" EXTRUDED POLYSTYRENE R-2.5 (DOW "BLUEBOARD" OR FOAMULA 250 SE)
- ROOF UNDERLAYMENT: ASPHALT SATURATED FELT, NON-PERFORATED, 15#, CONFORMING TO ASTM D2226
- JOIST HANGERS, WOOD CONNECTORS, ETC. SIMPSON CO., OR TECO, OR SILVER METAL PRODUCTS. PROVIDE IN SIZES AND TYPES REQUIRED.
- STEEL HARDWARE: ASTM A 7 OR A 36 (USE GALVANIZED AT EXTERIOR LOCATIONS)
- MACHINE BOLTS: ASTM A 307
- LAG BOLTS: FED. SPEC. FF-B-561
- NAILS: COMMON, EXCEPT AS NOTED OR REQUIRED FED. SPEC. FF-N-1-1 (USE GALVANIZED AT EXTERIOR LOCATIONS)
- WOOD PRESERVATIVE: WOLMANIZED PROCESS BY KOPPERS CO., INC.
- ROOF VENTS: PROVIDE IN SIZES REQUIRED TO PROVIDE A FREE VENTILATING AREA OF 1/150 OF THE HORIZONTAL CEILING AREA. PROVIDE GALVANIZED METAL ROOF VENTS WITH A MESH INSECT SCREEN, LAMONCO #750.

GENERAL PROJECT NOTES:

- CONTRACTOR SHALL COMPLY WITH NATIONAL, STATE, & LOCAL CODES & NATIONAL, STATE & LOCAL AREA CODES.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- ALL CONTRACTORS SHALL WORK FROM THE ENTIRE SET OF DRAWINGS.
- IT IS THE RESPONSIBILITY THE GENERAL CONTRACTOR TO SUPPLY ANY SUBCONTRACTORS, SUPPLIERS, ETC. OF ALL REVISIONS OR CHANGES THROUGHOUT THE DURATION OF THE PROJECT.
- SCHEDULING OF WORK SHALL BE AS OUTLINE IN SUPPLEMENTARY CONDITIONS
- ALL LAWS, ORDINANCES, REGULATIONS, ORDERS, MANUALS, MANUFACTURES SPECIFICATIONS, OR PUBLICATIONS, WHERE OR NOT SPECIFICALLY MADE A PART OF OR INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL REFERENCE TO MANUFACTURES DIRECTIONS, SPECIFICATION OR RECOMMENDATION SHALL REFER TO THEIR REFERENCED MANUFACTURES CURRENT PUBLISHED MANUALS OR PUBLICATIONS. THESE PUBLICATIONS ARE HEREBY MADE A PART OF AND INCORPORATED BY THIS REFERENCES IN THE PROJECT SPECIFICATIONS.
- MANUFACTURER'S DIRECTIONS- MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERRECTED, USED, CLEANED, AND CONDITIONED AS PER THE MANUFACTURE'S PRINTED DIRECTIONS.
- EXCEPT AS OTHERWISE APPROVED BY THE ARCHITECT, DETERMINE AND COMPLY WITH MANUFACTURERS' RECOMMENDATIONS ON PRODUCT HANDLING, STORAGE, AND PROTECTION.
- COORDINATION - ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND WITH OTHER TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIALS.
- IT SHALL BE CLEARLY UNDERSTOOD THAT ALL WALLS, FLOORS, OR OTHER PORTIONS OF THE BUILDING SHALL BE "FINISHED SURFACES" I.E. PAINTED, CARPETED, ETC., UNLESS SPECIFICALLY NOTED OTHERWISE. ALL PATCHING OR REPLACEMENT OF WALLS, FLOORS, ETC. OR OTHER PORTION OF THE BUILDING SHALL BE FIGURES AS "FINISHED SURFACES" I.E. PAINTED, CARPETED, ETC., TO MATCH THE ADJACENT FINISH UNLESS SPECIFICALLY NOTED OTHERWISE.
- PROTECT FINISHED SURFACES, INCLUDING JAMBS, AND SOFFITS OF OPENING USED AS PASSAGEWAYS, THROUGH WHICH EQUIPMENT AN MATERIALS ARE HANDLED.
- PROVIDE PROTECTION FOR FINISHED FLOOR SURFACES IN TRAFFIC AREAS PRIOR TO ALLOWING EQUIPMENT OR MATERS TO BE MOVED OVER SUCH SURFACES.
- MAINTAIN FINISHED SURFACES CLEAN, UNMARKED, AND SUITABLY PROTECTED UNTIL ACCEPTED BY THE OWNER.
- PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS.
- ALL DIMENSIONS ARE TO THE CENTER OF STUD WALLS, THE EXTERIOR OF MASONRY WALLS, THE CENTER OF DOORS, AND EDGES OF WINDOWS UNLESS NOTED OTHERWISE.

GENERAL DEMOLITION NOTES:

- THE ARCHITECT AND SUB-CONSULTANTS HAVE MADE EFFORTS TO CONFIRM AND VERIFY BUILDING CONDITIONS WHICH WILL AFFECT THE QUALITY, NATURE, AND PERFORMANCE OF THE WORK. THE EXISTING INFORMATION ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED WITH THE MATERIALS THE ARCHITECT AND CONSULTANTS WERE GIVEN.
- THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS ARE INTENDED TO ASSIST THE CONTRACTOR IN UNDERSTANDING WHAT IS TO BE THE END RESULT OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITION PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO REMOVAL OF MATERIAL OR EQUIPMENT NOT INDICATED ON THE DRAWING TO BE REMOVED.
- EXACT LOCATIONS, LEVELS, MEASUREMENTS, DISTANCES, ETC. WILL BE GOVERNED BY CONDITIONS AT THE JOB SITE. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS WHICH AFFECT WORK TO BE PERFORMED AS A PART OF THE PROJECT. UNUSUAL CONDITIONS OR DISCREPANCIES ENCOUNTERED DURING DEMOLITION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS.
- HALFTONE NOTES OR LINE WORK ON PLAN INDICATE MATTER OR EQUIPMENT THAT IS EXISTING. DASHED LINE WORK ON PLANS INDICATE MATTER OR EQUIPMENT THAT IS TO BE REMOVED.
- EXISTING SURFACE DISTURBED BY NEW CONSTRUCTION SHALL BE PATCHED AND FINISHED TO MATCH ADJACENT SURFACES.
- REMOVAL WORK AT EXTERIOR OF BUILDING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT MATERIALS FROM DAMAGING ADJACENT STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING STRUCTURES SURROUNDING THE CONTRACT AREA. DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- PATCH, PREPARE, AND CLEAN EXISTING CONCRETE FLOORS AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS OR FINISHES.
- PORTIONS OF CONCRETE THAT ARE TO BE REMOVED SHALL HAVE SAW CUT EDGES THAT ARE RELATIVELY SMOOTH.
- FOR ADDITIONAL DEMOLITION, SEE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- LOOSE FURNITURE (I.E. DESKS, CHAIRS, CABINETS) ARE TO BE REMOVED BY OWNER AS REQUIRED.
- THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS REMOVED. IF THE OWNER DOES NOT WANT THE ITEM THEN THE CONTRACTOR IS RESPONSIBLE FOR RECYCLING THE PRODUCT IF POSSIBLE OR PROPERLY DISPOSING OF IT.
- ALL PATCHING AND/OR REPLACEMENT OF ANY PORTION OF THE BUILDING OR SITE SHALL, BE THE ULTIMATE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA REGULATIONS.

PARTITION NOTES:

- INTERIOR WALL TYPES ARE NOTED ON THE FLOOR PLANS WITH THE FOLLOWING SYMBOL:

a = ACOUSTIC CONDITION. PARTITION TO MEET ACOUSTIC RATING AND ACOUSTIC STANDARDS

AS DEFINED BY THE SPECIFICATIONS AND ACOUSTIC NOTES AND DETAILS ON THIS SHEET.

f = RATED CONDITION. PARTITION TO MEET FIRE RATING AS INDICATED ON CODE PLAN AND INCORPORATE FIRE RATING NOTES AND DETAILS ON THIS SHEET.

INCORPORATE FIRE RATING NOTES AND DETAILS ON THIS SHEET.

REFERENCE CODE PLAN FOR ALL SMOKE AND FIRE RATED PARTITION LOCATIONS.

REFERENCE REFLECTED CEILING PLANS FOR PARTITION HEIGHT. PARTITIONS ARE SHADED IN THE FOLLOWING MANNER:

NO SHADING INDICATES WALL EXTENDS 4" MIN ABOVE FINISH CEILING.

SHADING INDICATES WALL EXTENDS TO DECK (OR THROUGH SECOND FLOOR WHERE OCCURS).

REFERENCE FINISH PLANS FOR LOCATION OF RECESSED CARPET BASE, TILE, FRP, AND OTHER SPECIAL DETAIL.

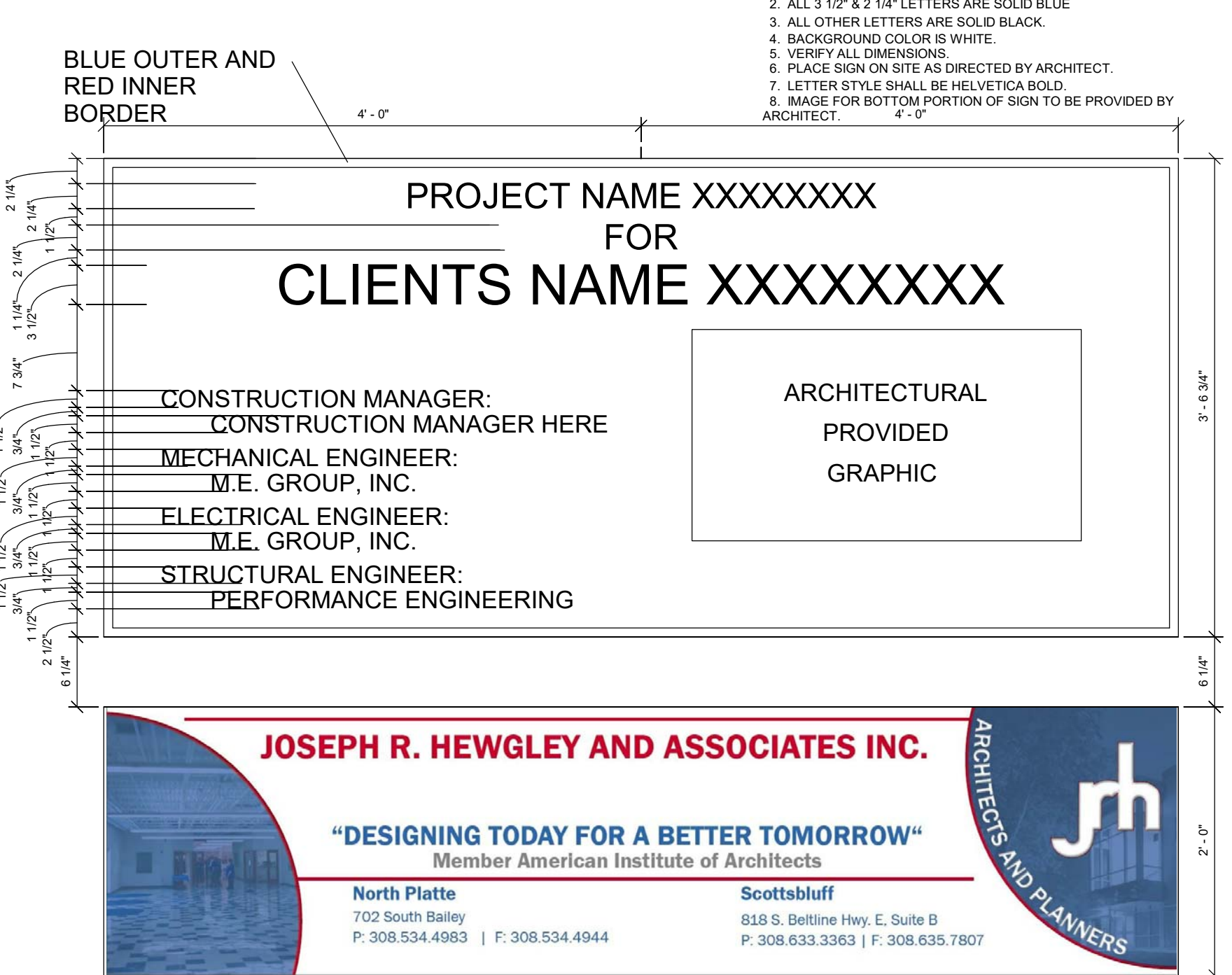
AND FINISH CONDITIONS.

PROVIDE 1/2" PLYWOOD BACKING BEHIND GYP BOARD ON WALLS SCHEDULED TO RECIEVE SHELIVING ON STANDARDS AND BRACKETS, (TYP).

BREAK METAL IS REQUIRED AT DECK WHERE IT IS EXPOSED. BREAK METAL SHALL BE 4" x 4" x 20 GA. UNO AND FASTENED WITH SCREWS TO DECK @ 2'-0" O.C.

REFERENCE DETAILS ON THIS SHEET FOR TOP OF WALL CONDITIONS.

PROJECT SIGN DETAIL NOTES:



702 South Bailey • North Platte, Ne. 69101
Phone: 308/534-4983 • Fax: 308/534-4944

PRELIMINARY DRAWINGS

CITY HALL SECURE ENTRANCE & OFFICES for CITY OF SCOTTSBLUFF

PROJECT #: R-1316

DATE: 3/30/17

DRAWN: MJH

REVISIONS

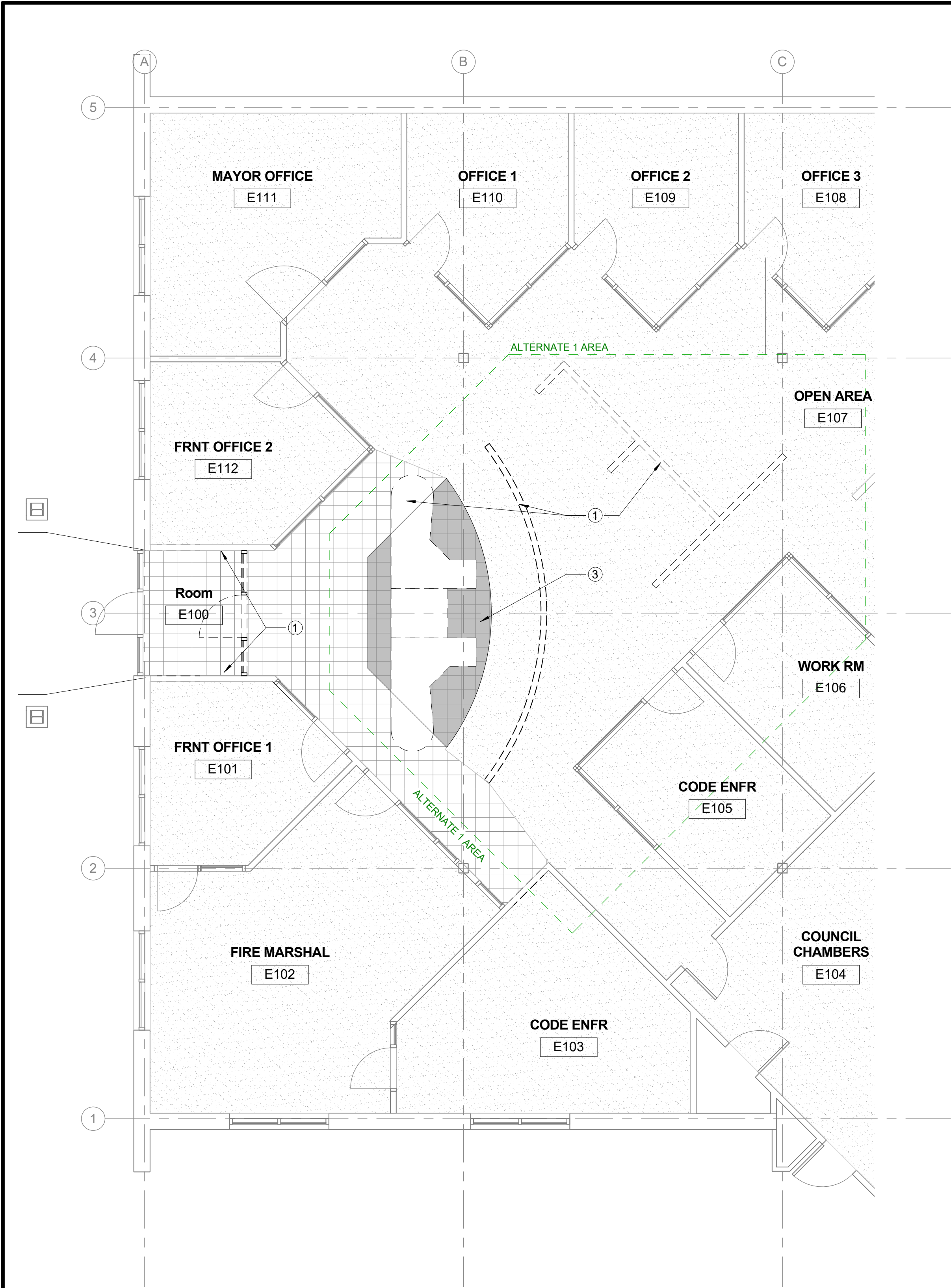
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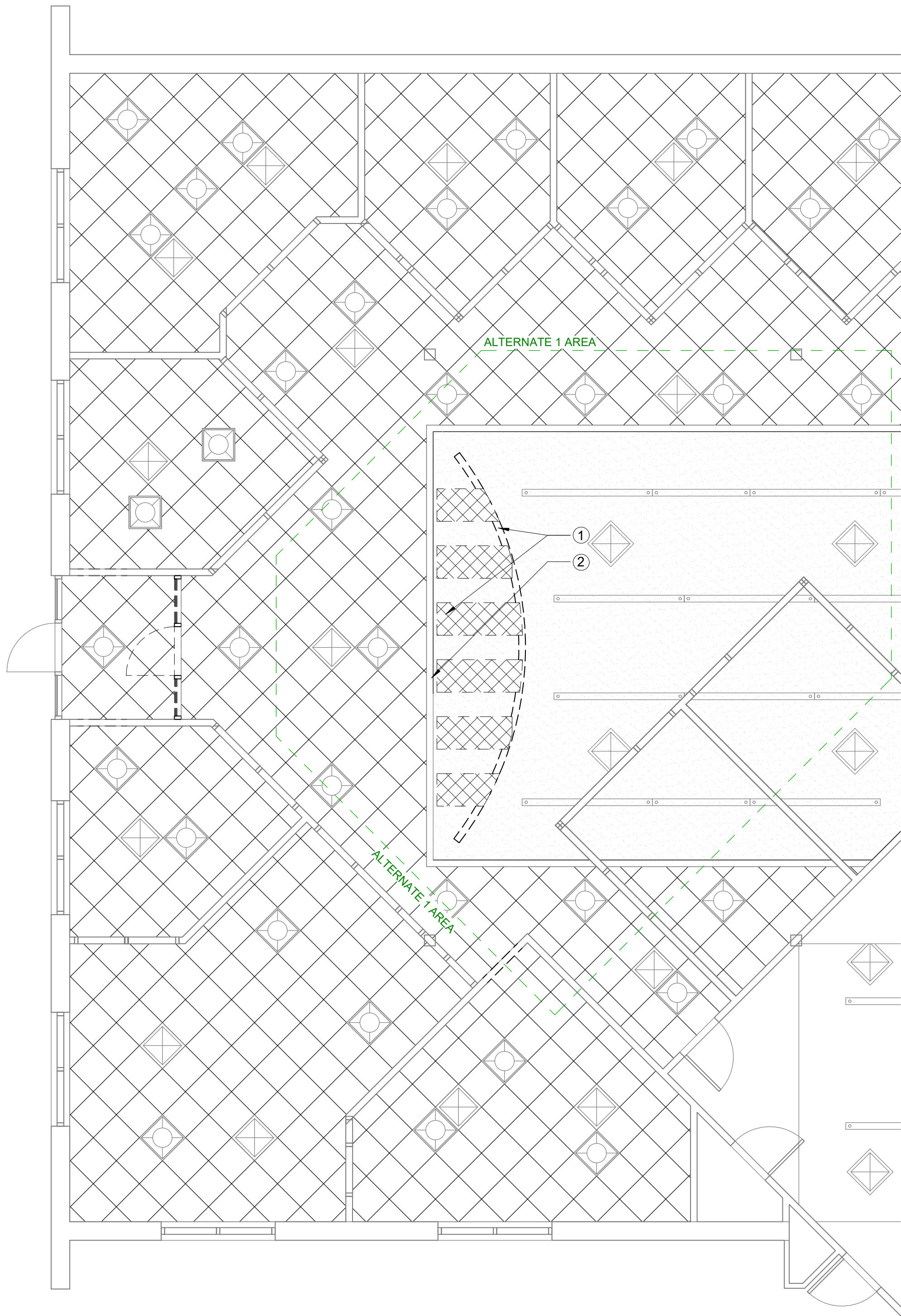


MEMBER
AMERICAN
INSTITUTE
OF ARCHITECTS

SHEET
A001



1 Existing Plan
3/16" = 1'-0"



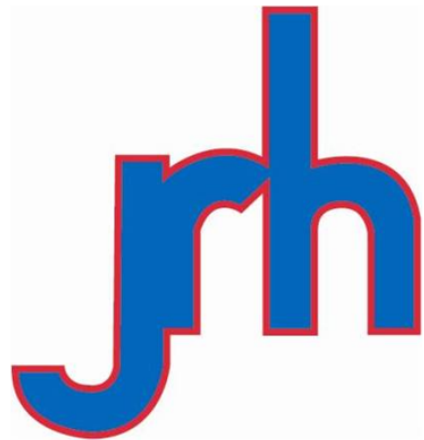
2 LEVEL 1 Existing Plan
3/16" = 1'-0"

GENERAL NOTES

1. RE: CODE PLAN FOR ANALYSIS AND FIRE RATINGS.
2. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY IF DISCREPNICIES ARE DISCOVERED.
3. INTERIOR DIMENSIONS ARE FROM CENTER OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE. WHERE DIMENSIONS ARE NOTED CLEAR DIMENSIONS ARE TO FINISH FACES.
4. REFER TO SHEET A002 FOR WALL TYPES. REFER TO REFLECTED CEILING PLANS FOR CIELING HEIGHTS. WALL ARE TO TERMINATE AT STRUCTURAL DECK UNLESS NOTED OTHERWISE.
5. PROVIDE BLOCKING AT ALL ACCESORIES; INCLUDING BUT NOT LIMITED TO GRAB BARS, HARDWARE AND WALL HUNG CABINETS.
6. ROOM NUMBERS SHOWN ON TEHDRAWINGS ARE FOR CONSTRUCTION REFERENCE ONLY. "FINAL" ROOM NUMBERS FOR SIGNAGE, ALARM SCHEDULES, PANEL SCHEDULES, ETC. BE ISSUED AT A LATER DATE AND SHALL BE APPROVED BY THE OWNER.
7. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS INCLUDING ARCHITECTURAL, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS. ROOF PLANS AND RCP'S DESCRIBE MECHANICAL AND ELECTRICAL WORK DIAGRAMATICALLY AS DO TO THE ARCHITECTURAL DRAWINGS. NO EXTRAS WILL BE ALLOWED FOR WORK SHOWN IN ANY PART OF THESE DRAWINGS, OR DESCRIBED IN ANY PART OF THE PROJECT MANUAL.

SHEET NOTES

1. REMOVE EXISTING WALL STRUCTURES, BULLTIN BOARDS, FURNITURE, AND ACCOUSTICAL PANELS. FIRST RIGHT OF REFUSAL SHALL GO TO THE OWNER. IF OWNER REFUSES ITEMS THE ITEMS BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY DISPOSE OF SAID ITEMS.
2. REMOVE SUPPORTS FOR ACCOUSTIC PANELS. FILL HOLES, AND REPAINT TO MATCH SURROUNDING FINISH.
3. REMOVE EXISTING TILES AND PREPARE GROUND FOR NEW CARPET.



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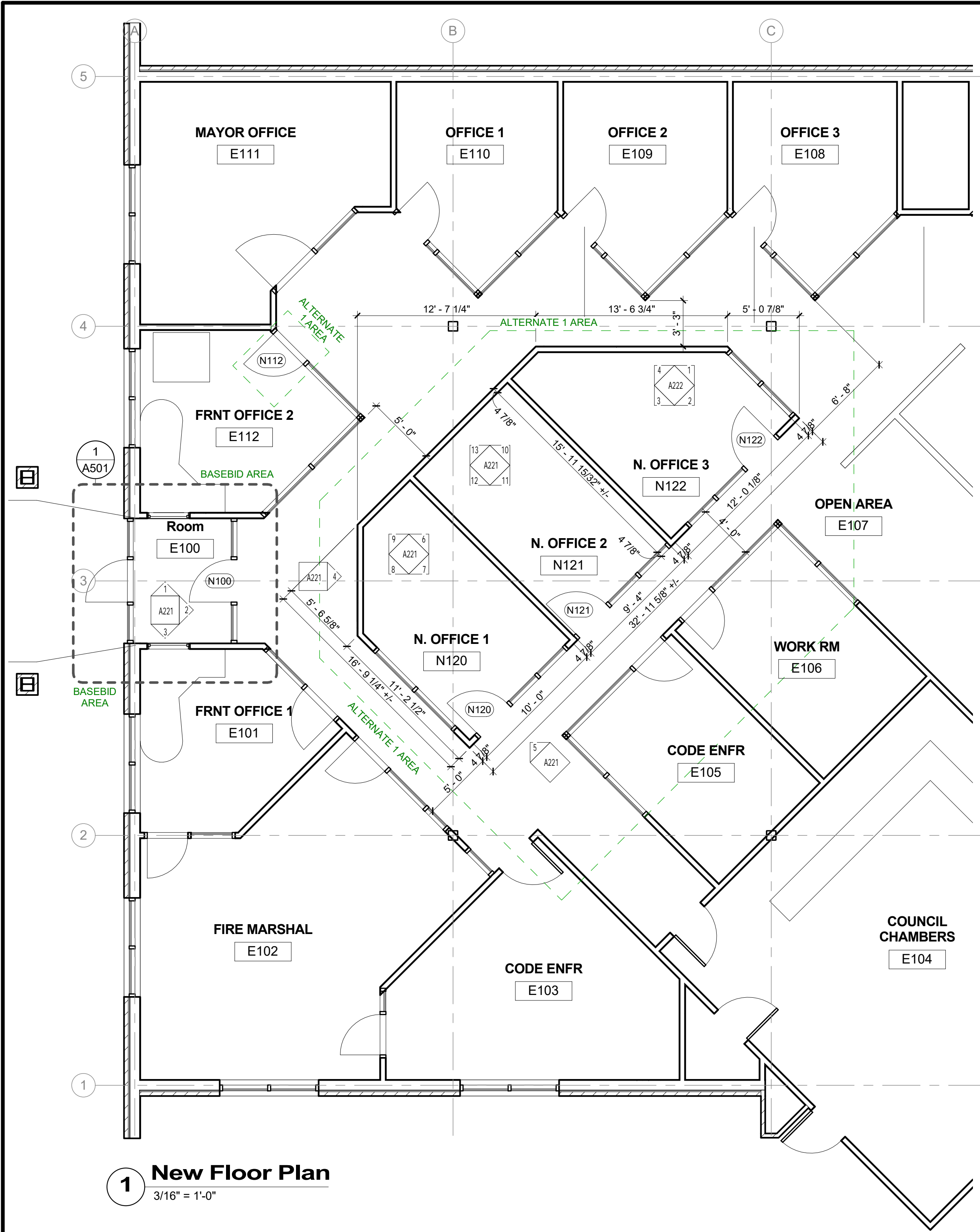
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MEMBER
AMERICAN
INSTITUTE
of ARCHITECTS

SHEET
A100



1 New Floor Plan
3/16" = 1'-0"



2 New Ceiling Plan
3/16" = 1'-0"

- CEILING LEGEND
- ACOUSTICAL CEILING 2 X 4 GRID
 - ACOUSTICAL CEILING 2 X 2 GRID
 - VINYL FACED ACOUSTICAL CEILING
 - GYP BD CEILING
 - METAL SOFFIT PANEL
 - 2x4 TROFFER FIXTURE
 - LINEAR PENDANT FIXTURE
 - WALL MOUNTED LINEAR FIXTURE
 - RECESSED FIXTURE
 - SA DIFFUSER
 - RA DIFFUSER
 - OCCUPANCY SENSOR

GENERAL NOTES

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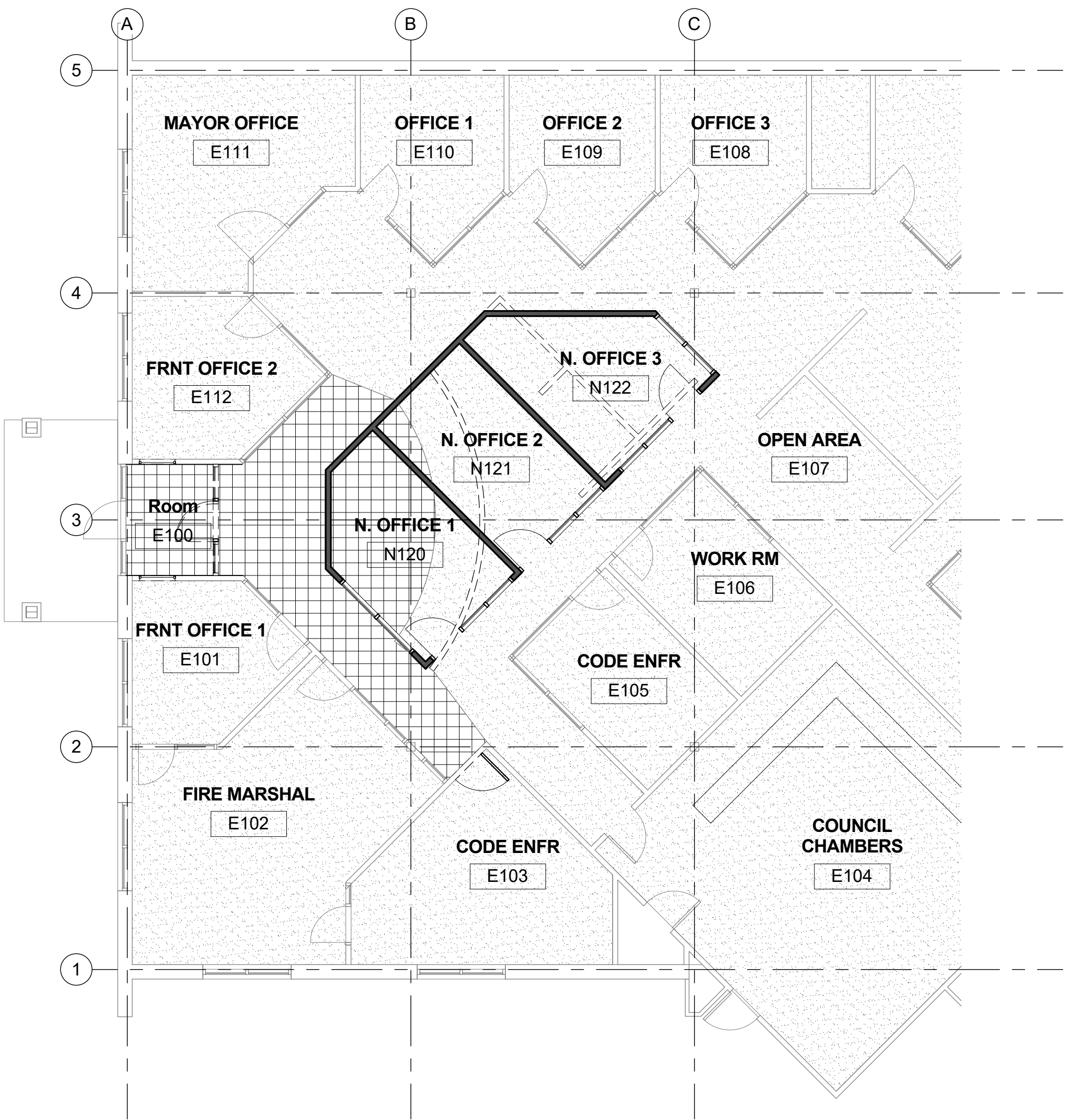
REVISIONS

DATE	DESCRIPTION

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ASSOCIATES, Inc.



SHEET
A101



2 **FINISH FLOOR PLAN**
1/8" = 1'-0"

- ABBREVIATIONS:**
- BC BASE COVE
 - CG CORNER GUARD
 - CP CARPET
 - CPT CARPET TILE
 - CS CLEAR SEALANT
 - CT CERAMIC TILE
 - EPT EPOXY PAINT
 - FAF FLUID APPLIED FLOORING
 - FM FLOOR MAT
 - GM GALVANIZED METAL
 - GYP BD GYPSUM BOARD
 - ICC INTEGRALLY COLORED CONCRETE
 - PT PAINT
 - PLAM PLASTIC LAMINATE
 - RES RESILIENT FLOORING
 - RB RUBBER BASE
 - RF RUBBER FLOOR
 - RT RUBBER TREAD
 - SLDC SEALED CONCRETE
 - SS STAINLESS STEEL
 - VWC VINYL WALL COVERING
 - WD WOOD

- GENRAL NOTES:**
1. PAINT ALL EXPOSED STRUCTURE AND JOISTS UNLESS NOTED OTHERWISE.
 2. USE MOISTURE RESISTANT GYPSUM BOARD IN LEU OF STANDARD GYPSUM BOARD IN ALL WET AREAS.
 3. CORNER GUARDS TO BE PROVIDED AT ALL OUTSIDE CORNERS.

- FLOOR FINISH LEGEND:**
- [Pattern] RESILIENT FLOOR
 - [Pattern] CARPET 1
 - [Pattern] CARPET 2 (ACCENT)
 - [Pattern] WALKOFF MAT
 - [Pattern] FLUID APPLIED FLOORING
 - [Pattern] RUBBER FLOORING
 - [Pattern] SEALED CONCRETE
 - [Pattern] INTEGRALLY COLORED CONCRETE

KEYNOTE LEGEND	
Key Value	Keynote Text



PRELIMINARY
DRAWINGS

CITY HALL SECURE
ENTRANCE & OFFICES
for
CITY OF SCOTTSBLUFF

PROJECT #: R-1316
DATE: 3/30/17
DRAWN: MJH

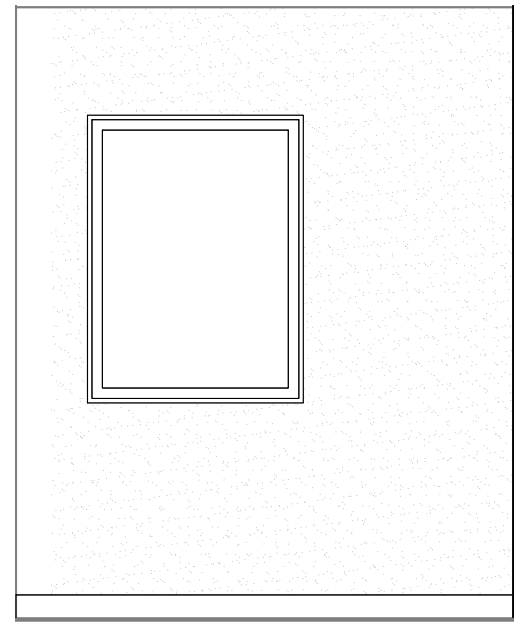
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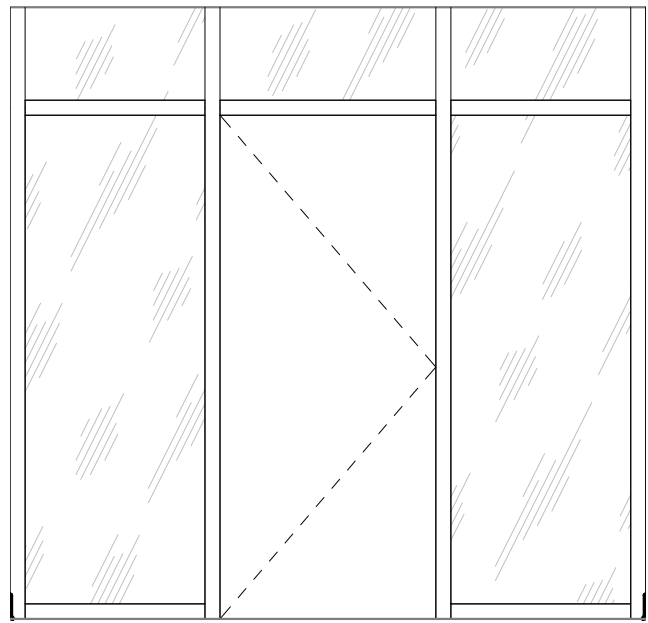
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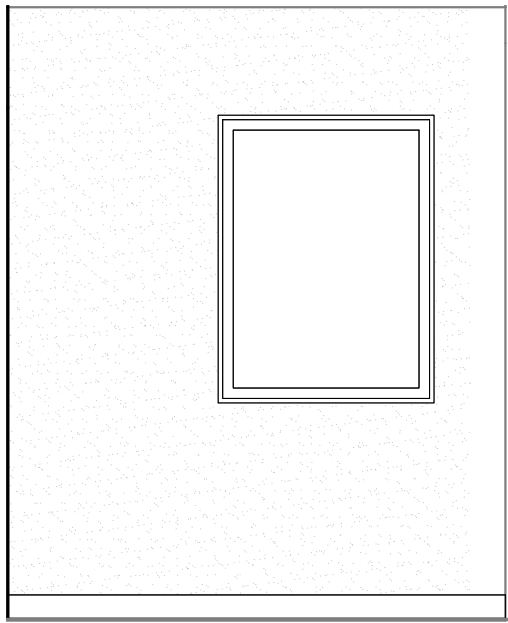
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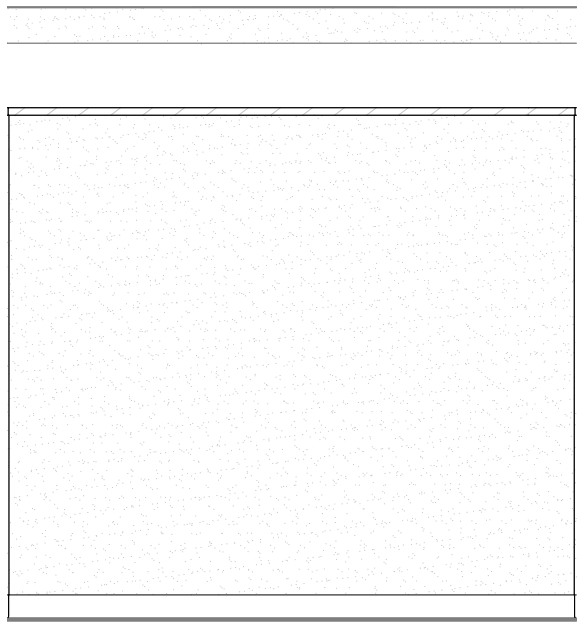
1 VEST. N
3/8" = 1'-0"



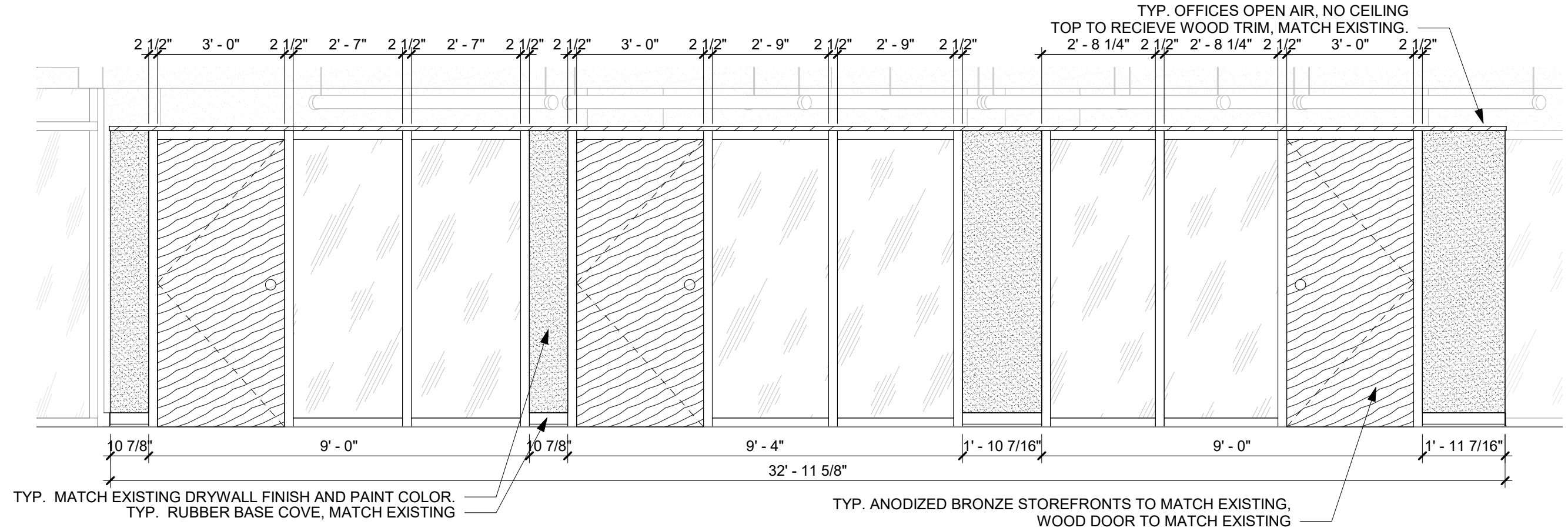
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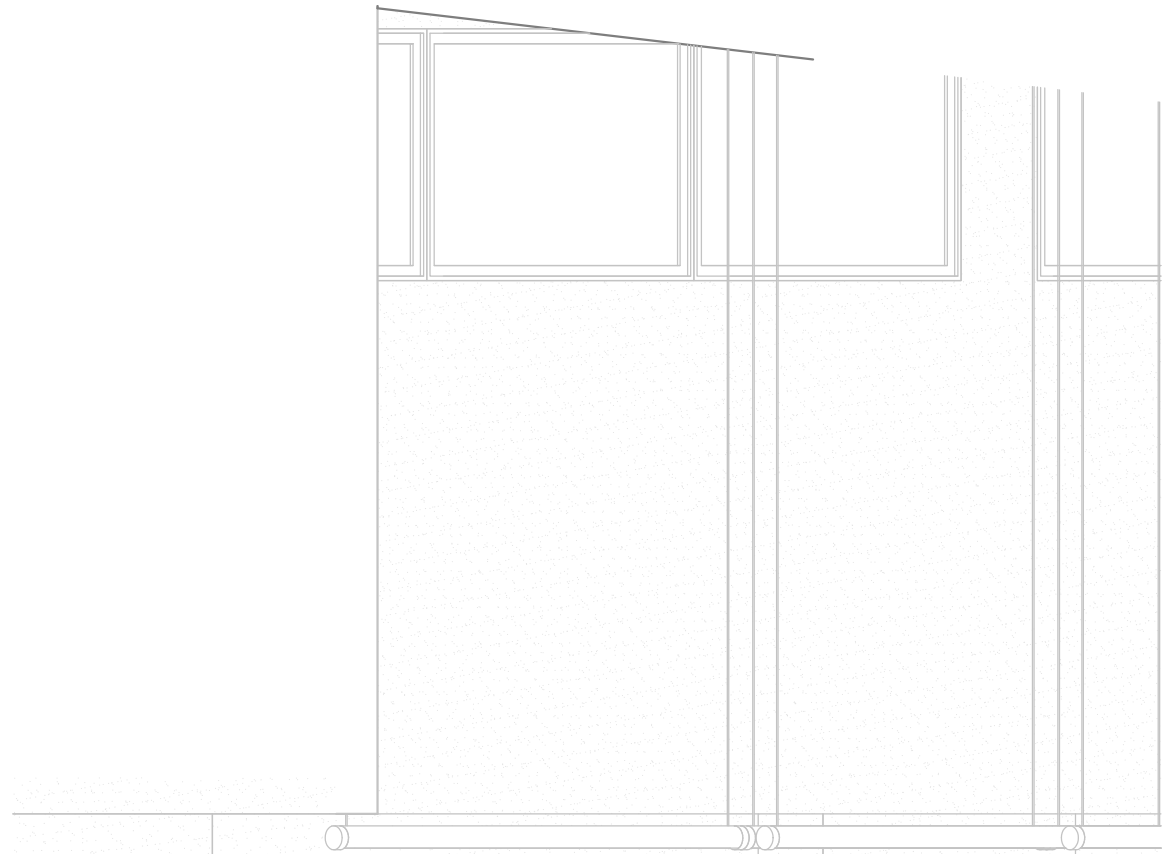
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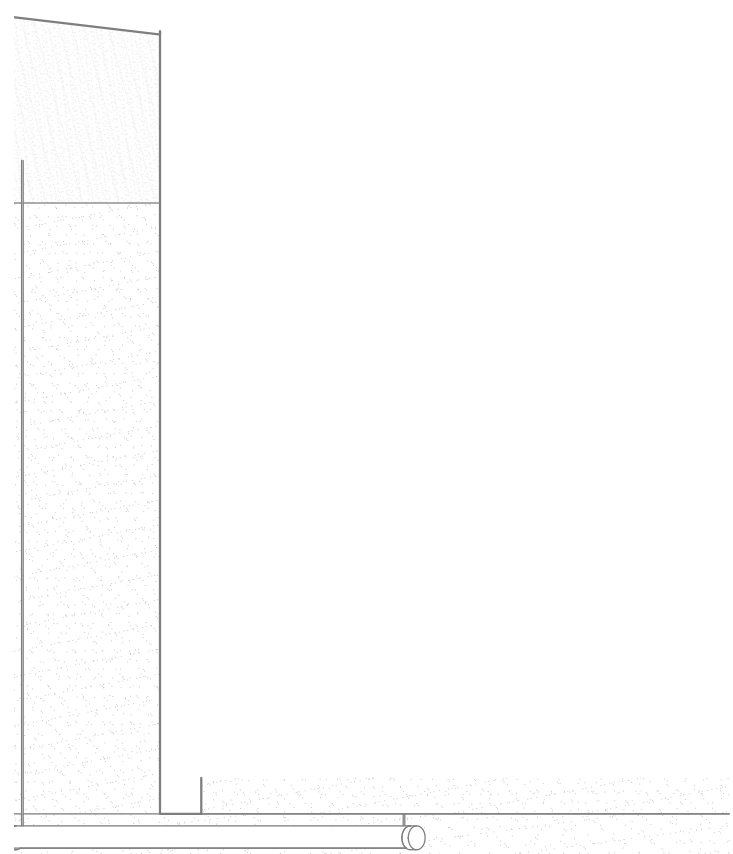
4 ENTRY W
3/8" = 1'-0"



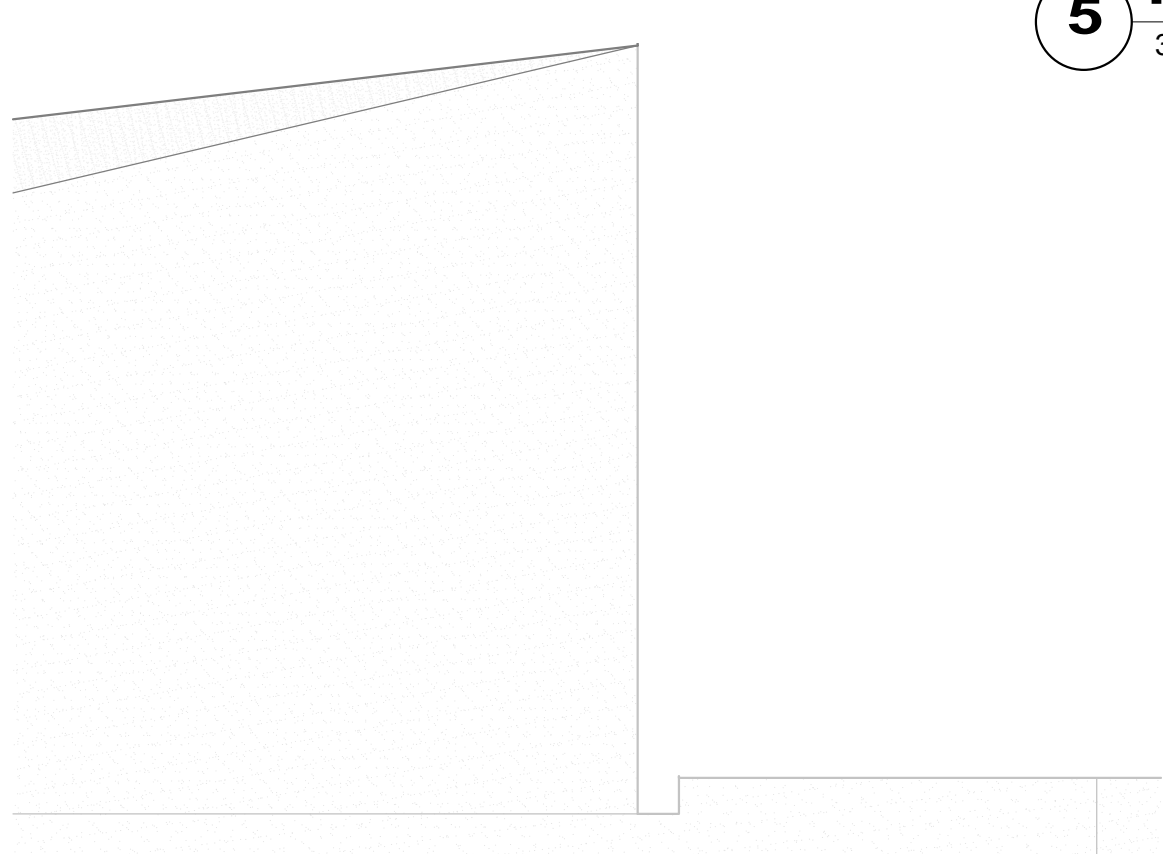
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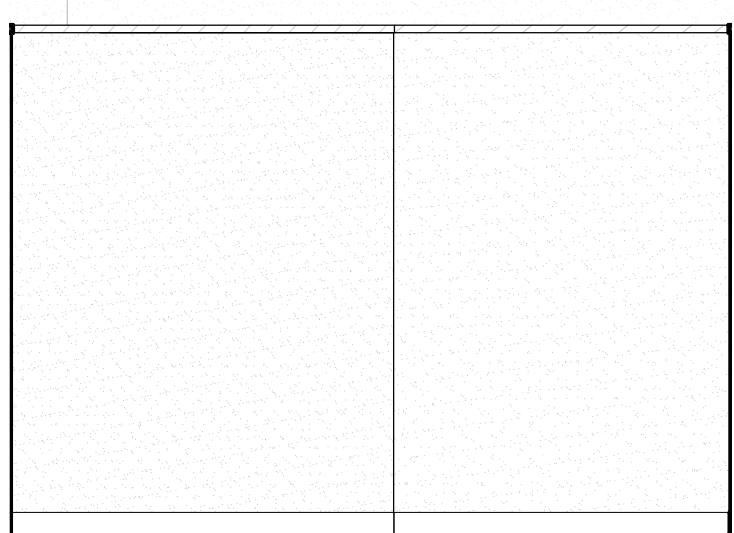
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3/8" = 1'-0"



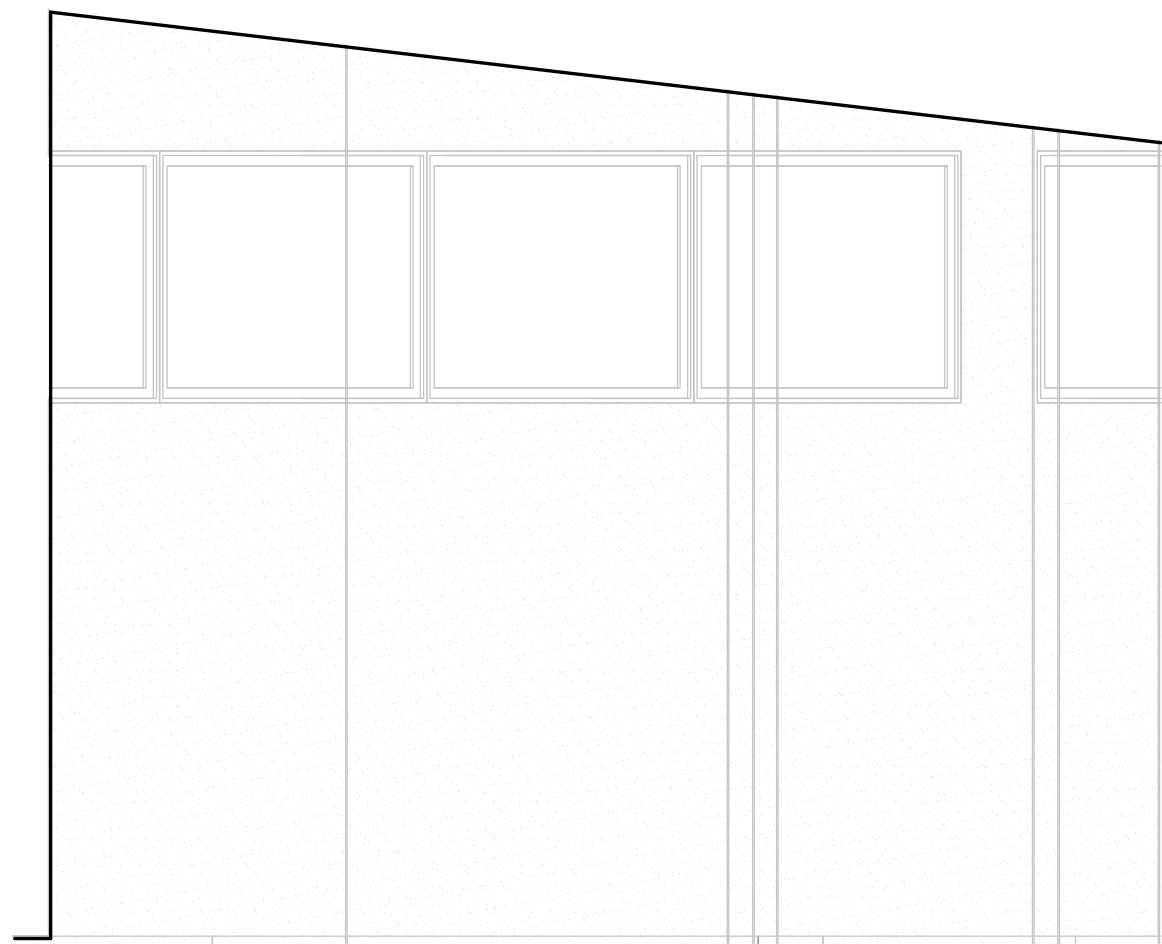
7 OFFICE 1 SE
3/8" = 1'-0"



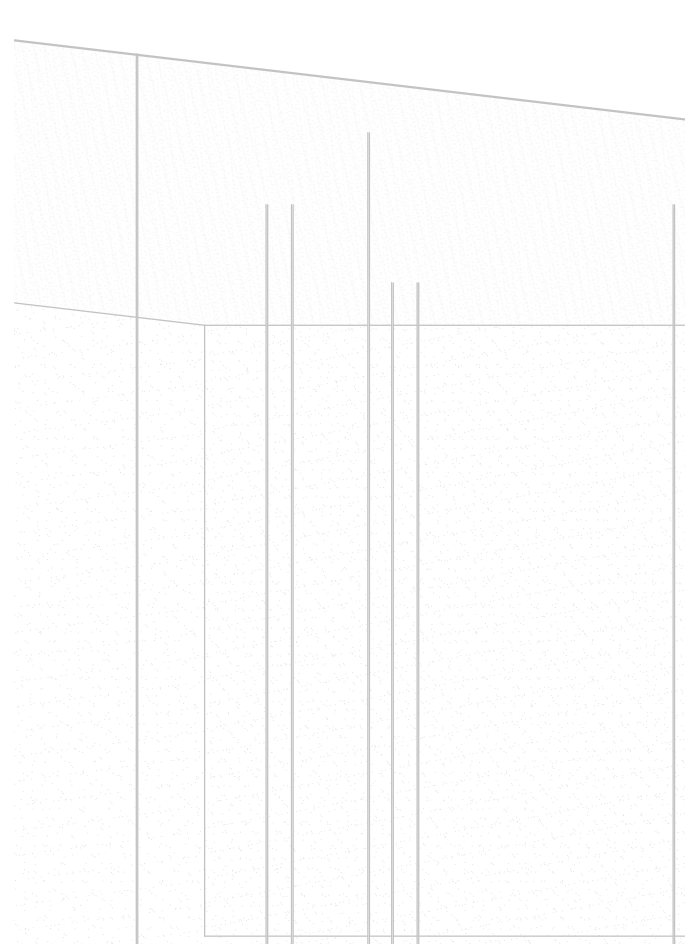
8 OFFICE 1 SW
3/8" = 1'-0"



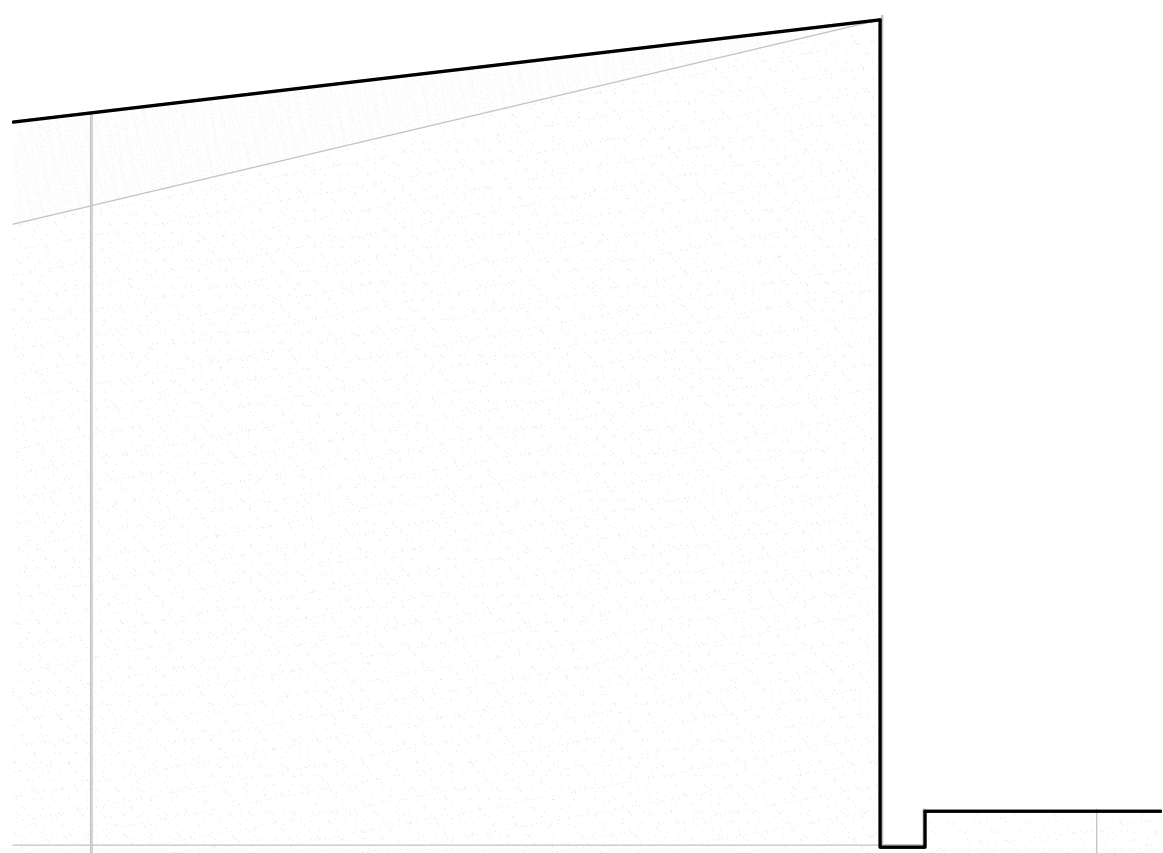
9 OFFICE 1 NW
3/8" = 1'-0"



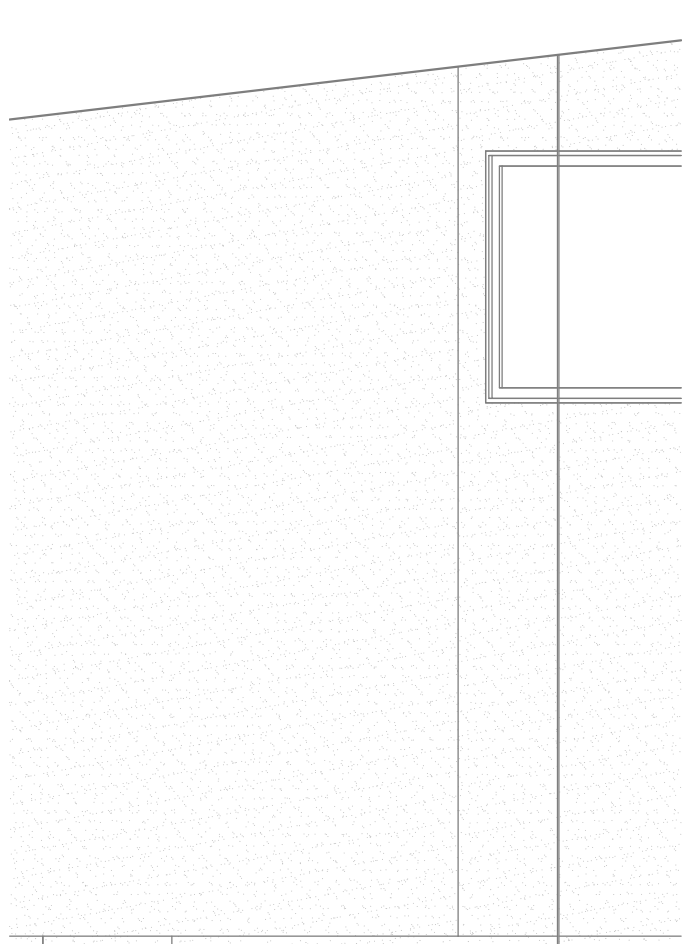
10 OFFICE 2 NE
3/8" = 1'-0"



11 OFFICE 2 SE
3/8" = 1'-0"



12 OFFICE 2 SW
3/8" = 1'-0"



13 OFFICE 2 NW
3/8" = 1'-0"

CITY HALL SECURE
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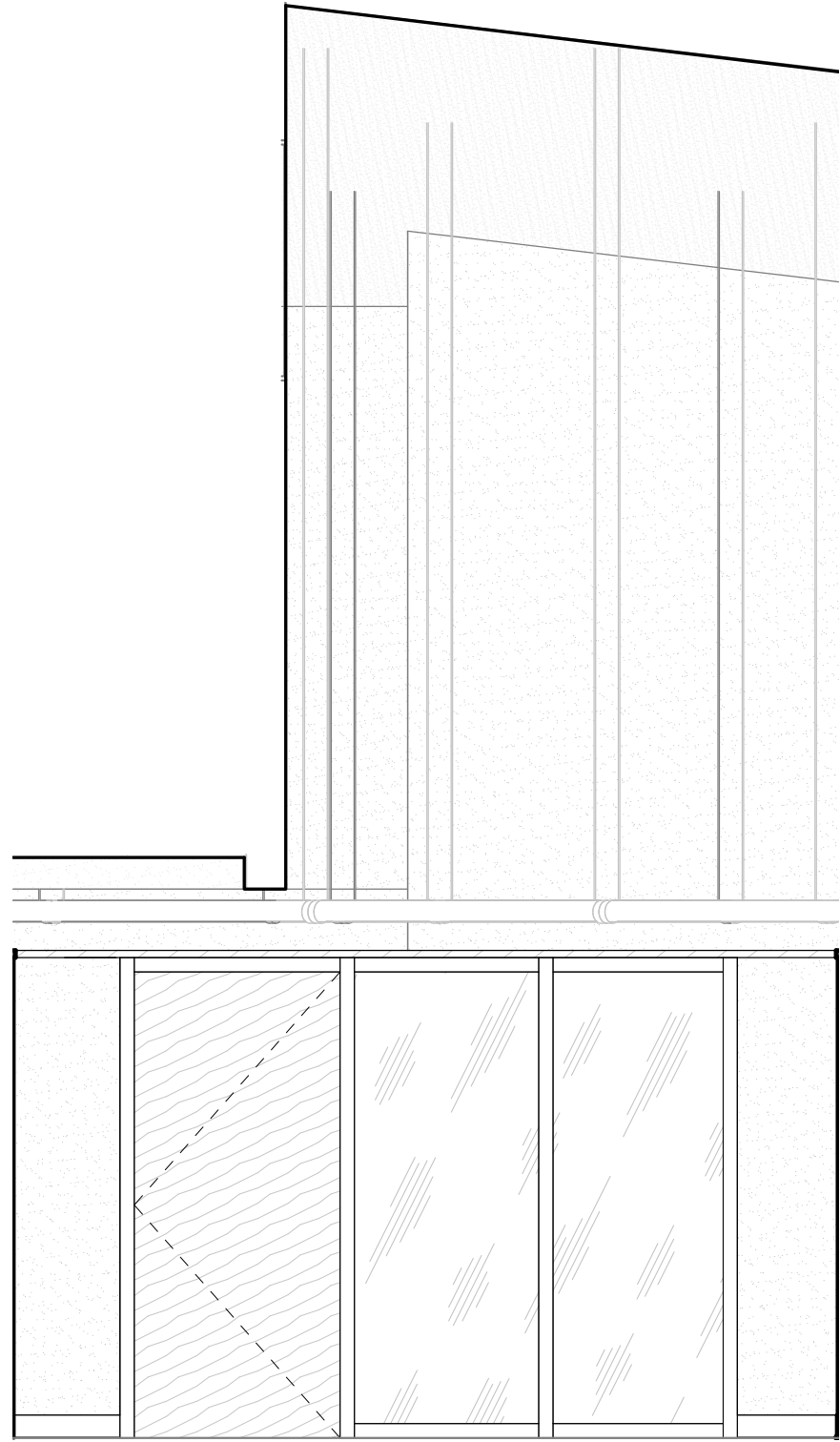
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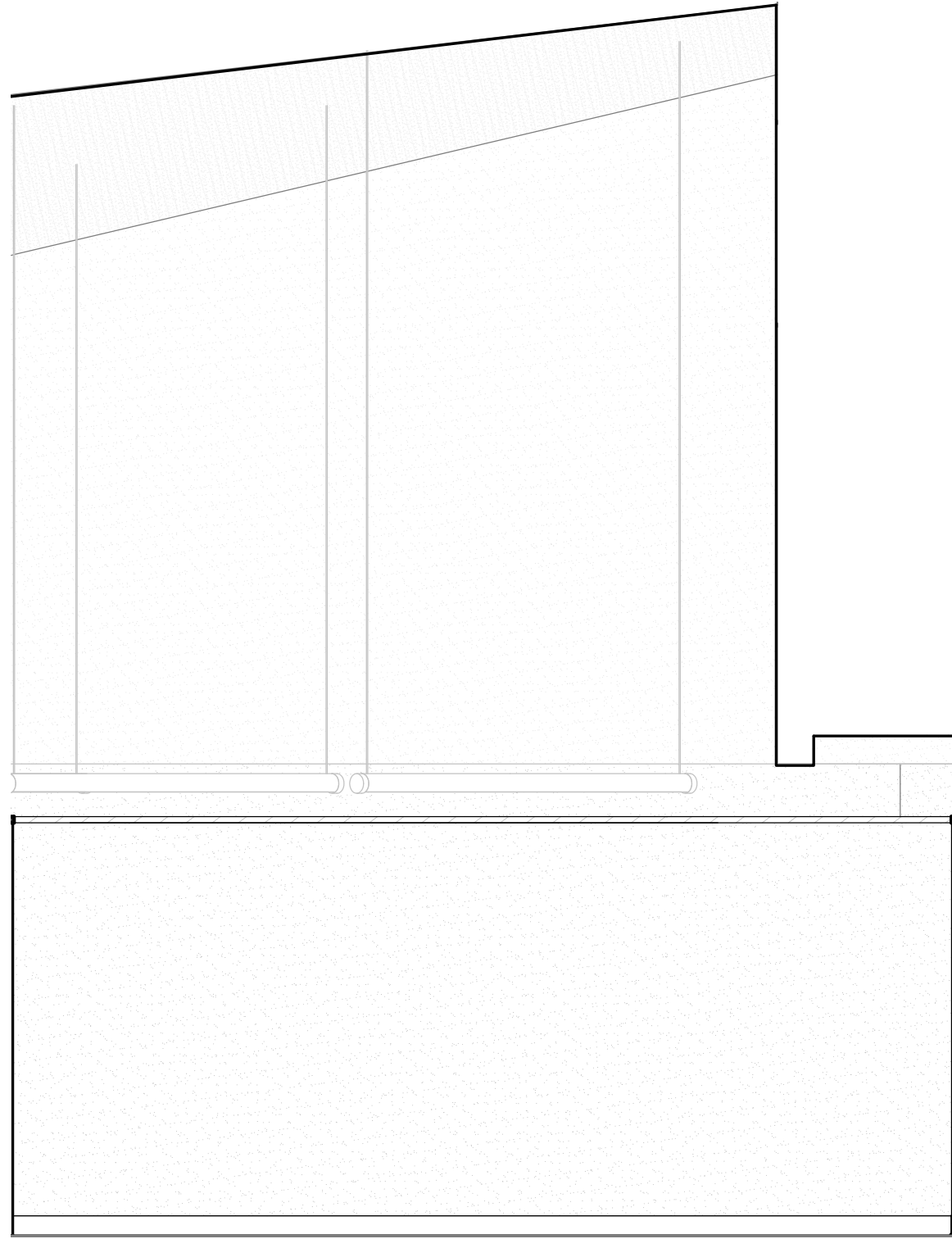




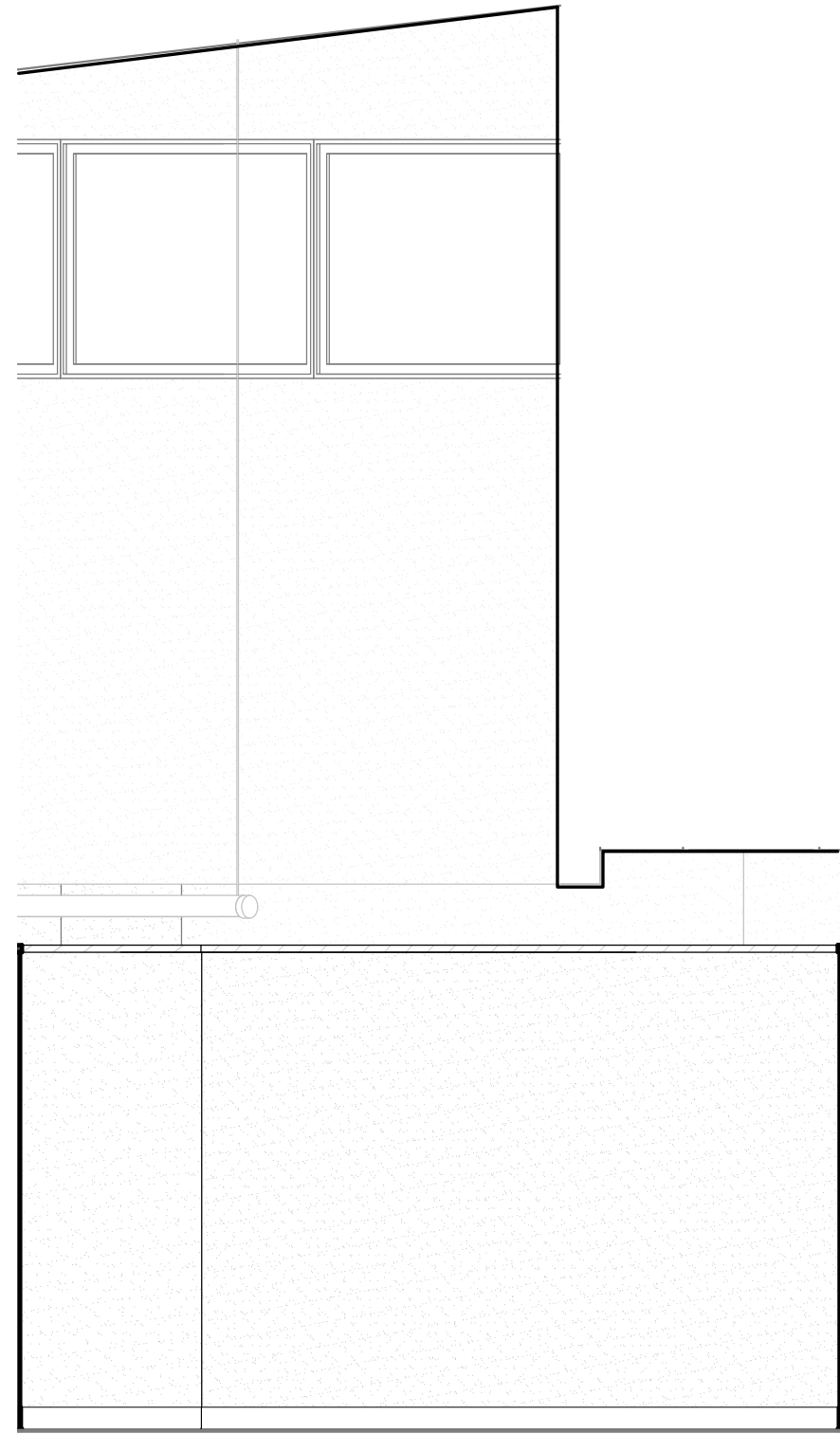
1 OFFICE 3 NE
3/8" = 1'-0"



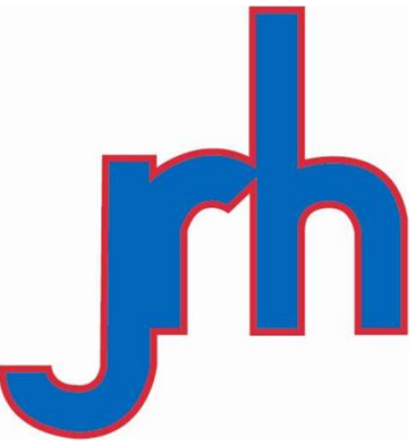
2 OFFICE 3 SE
3/8" = 1'-0"



3 OFFICE 3 SW
3/8" = 1'-0"



4 OFFICE 3 NW
3/8" = 1'-0"



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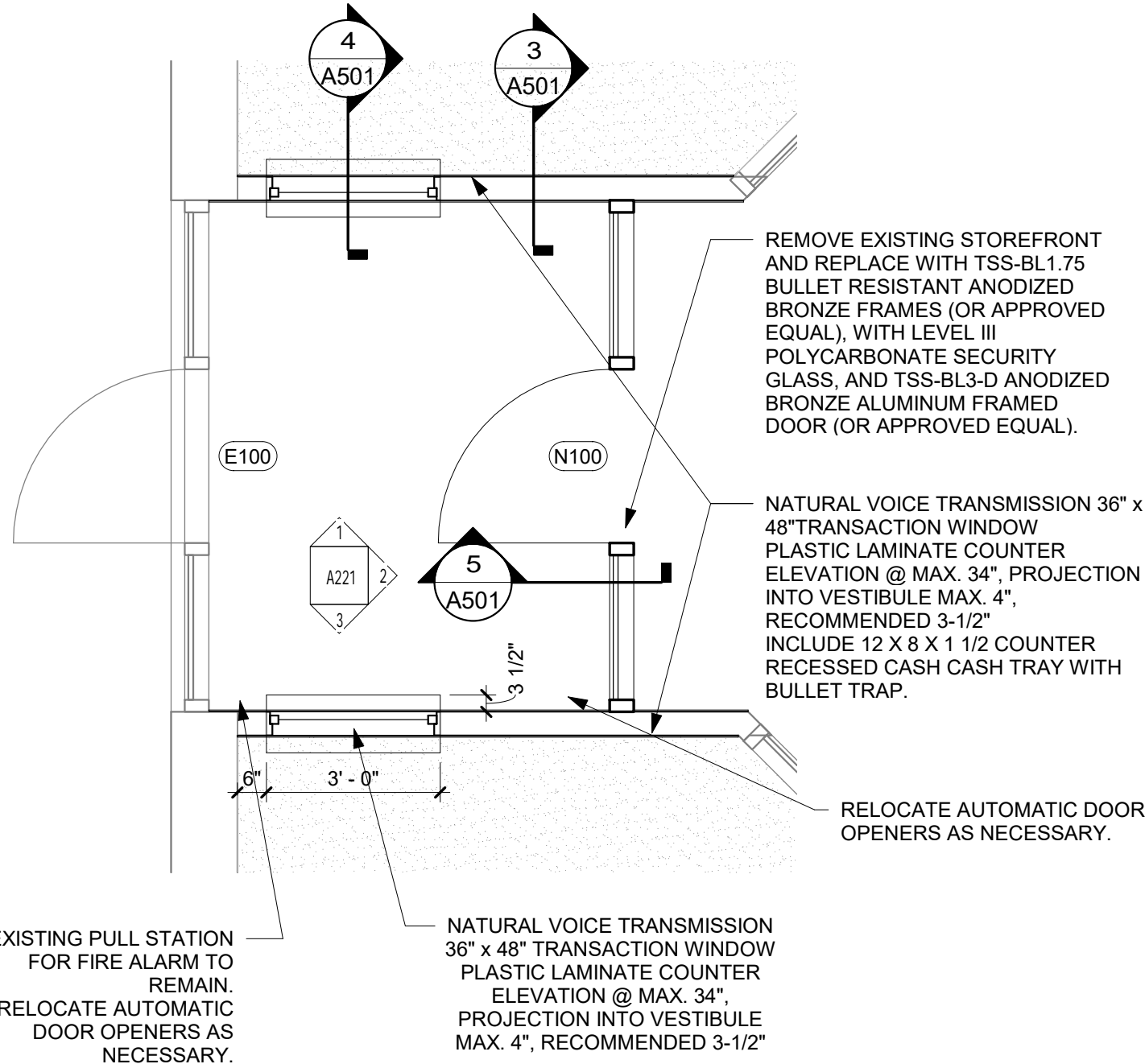
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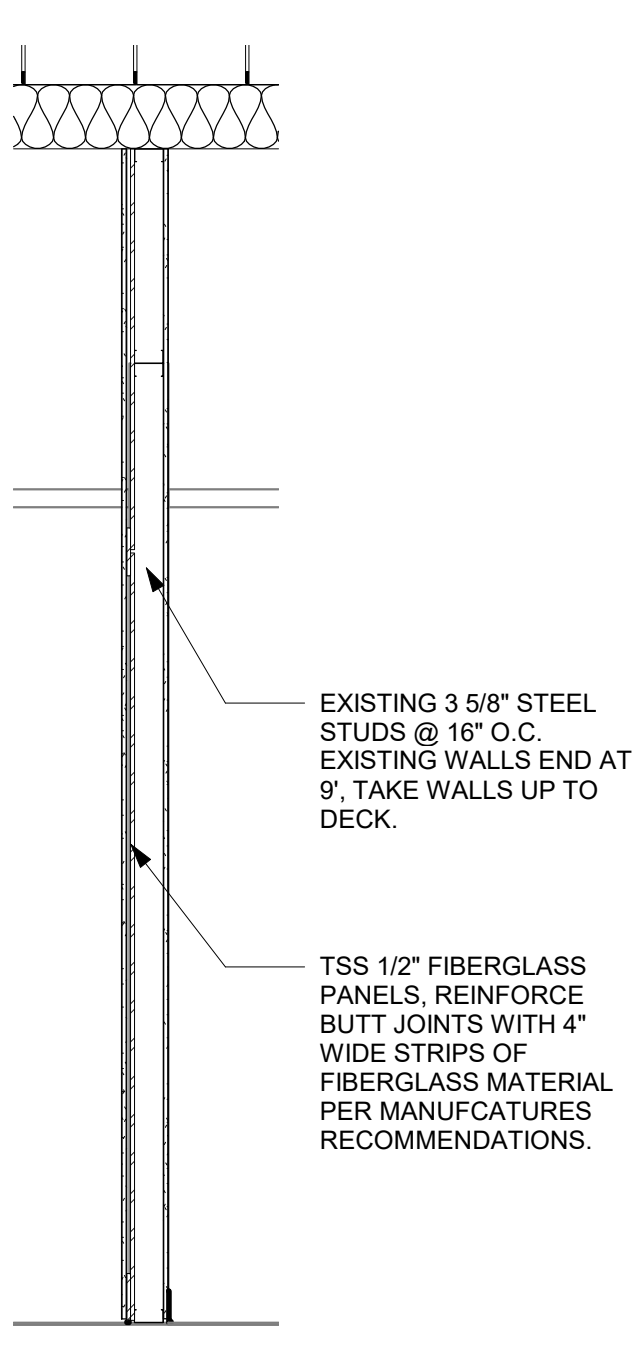
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AMERICAN
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of ARCHITECTS

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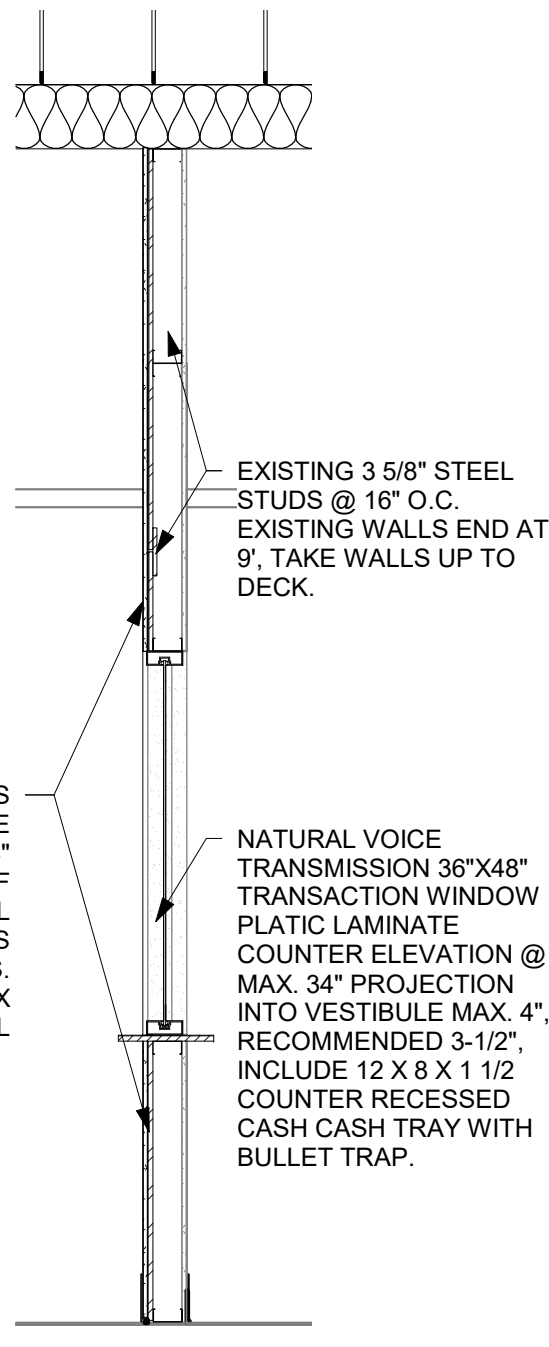
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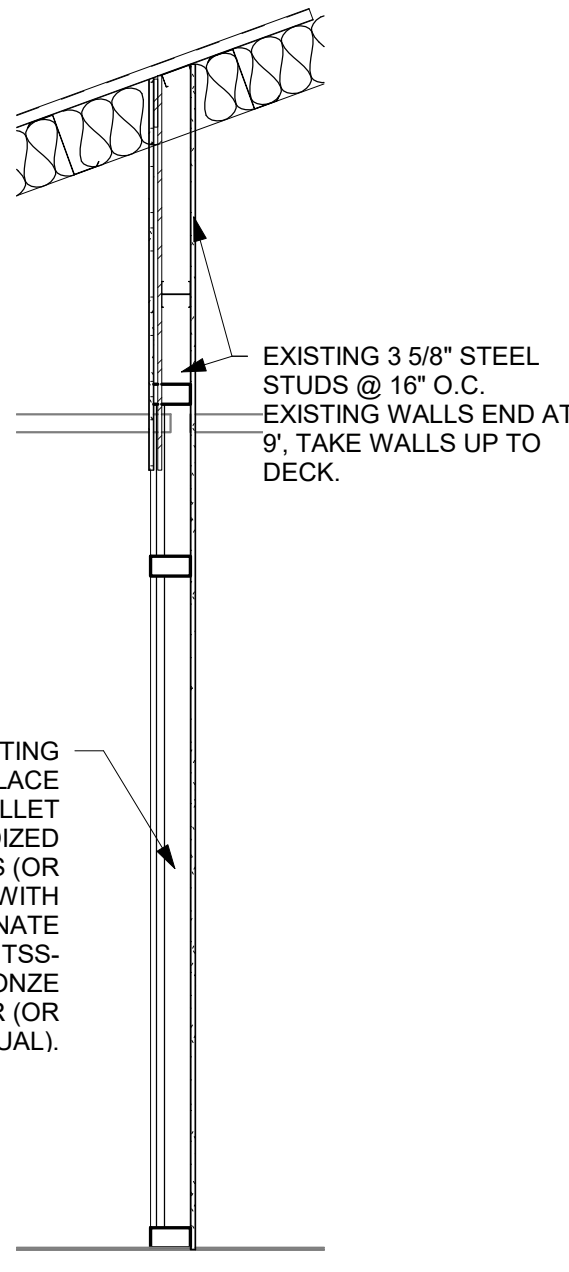
1 ENLARGED VESTIBULE PLAN
3/8" = 1'-0"



3 BULLET RESISTANT WALL DETAIL
1/2" = 1'-0"

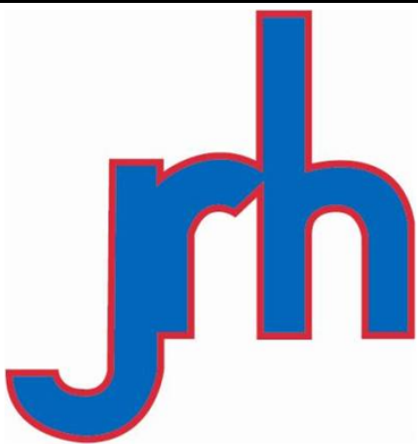


4 BULLET RESISTANT WINDOW
1/2" = 1'-0"



5 STOREFRONT WALL SECTION
1/2" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
07 90 05.A7	SEALANT AND BACKING MATERIAL BOTH SIDES
08 43 13.A1	ALUMINUM FRAMED STOREFRONT
09 21 16.B1	METAL STUD



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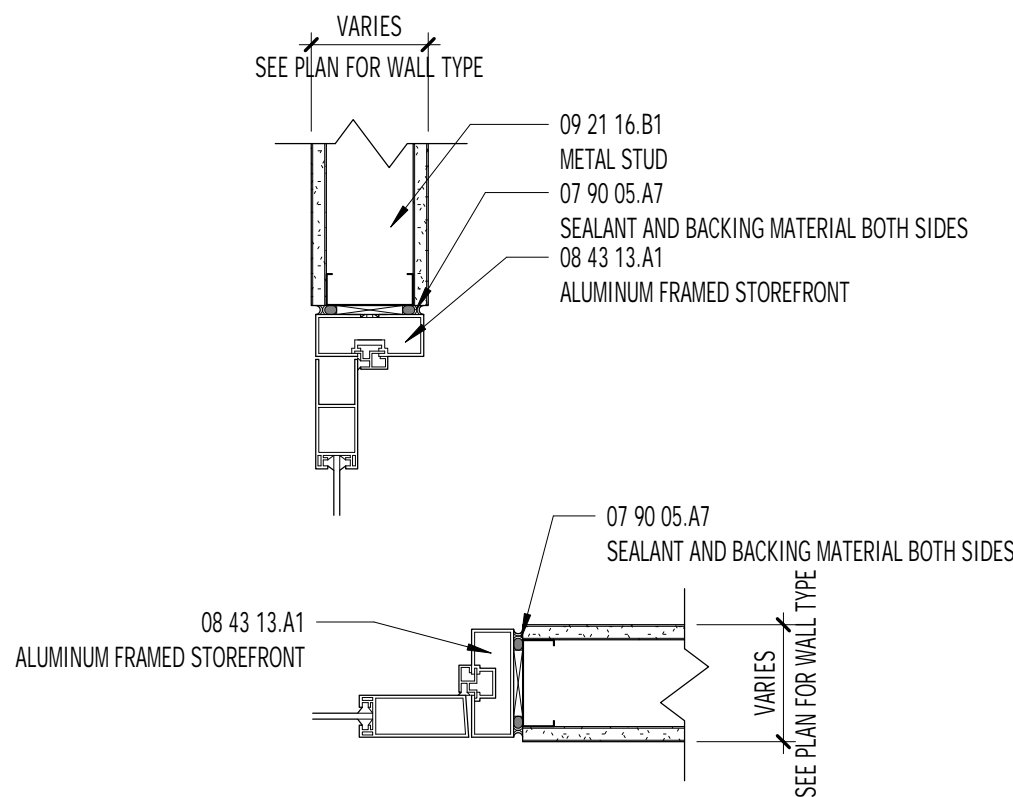
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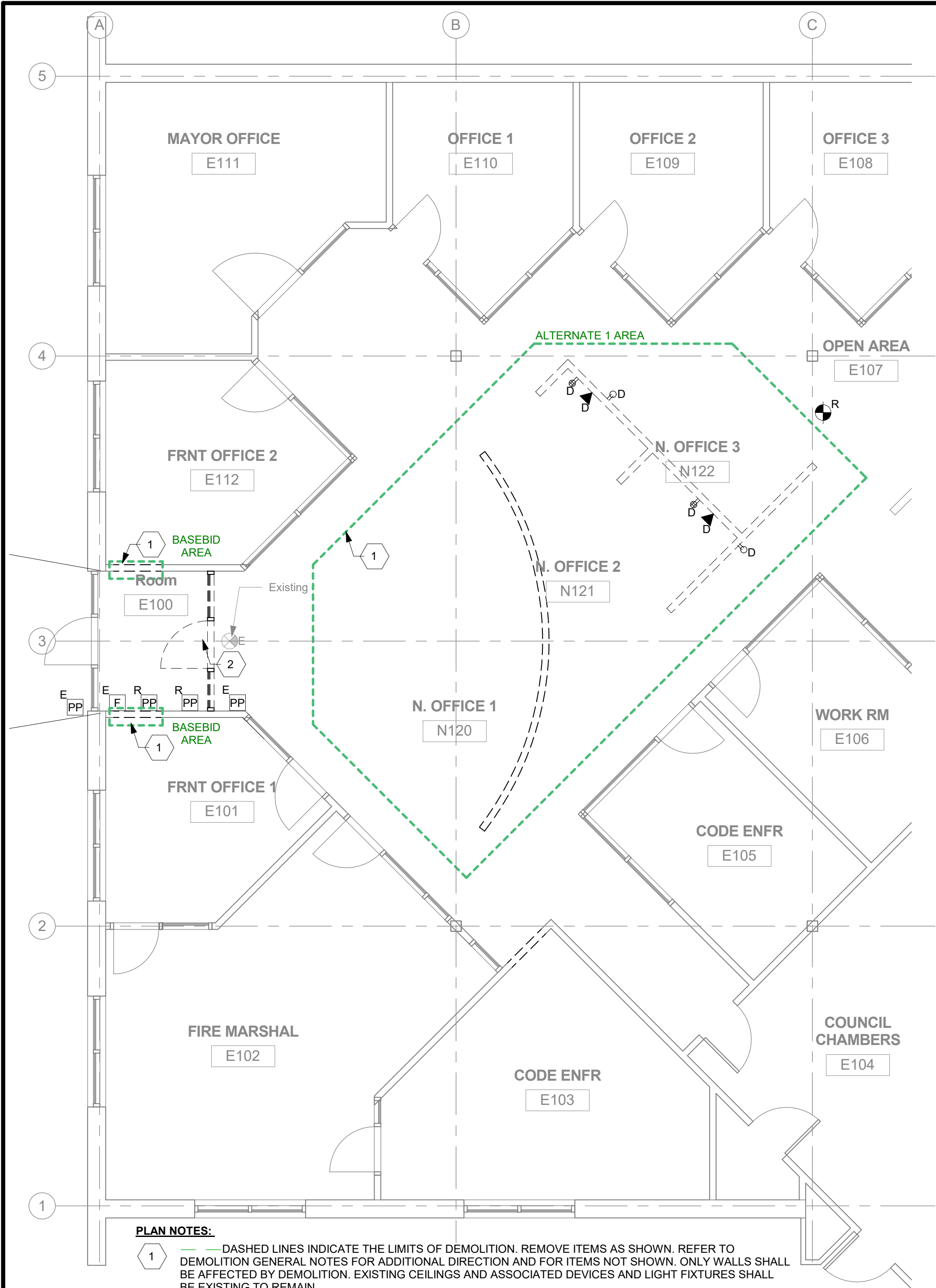


SHEET
A501



2 STOREFRONT DETAIL - STUD WALLS
1 1/2" = 1'-0"

DOOR SCHEDULE													
MARK	WIDTH	HEIGHT	HARDWARE	DOOR MATERIAL	DOOR TYPE	DOOR FINISH	FRAME MATERIAL	FRAME TYPE	FRAME FINISH	HEAD DETAIL	JAMB DETAIL	FIRE RATING	COMMENTS
N100	3' - 0"	7' - 0"											
N112	3' - 0"	6' - 7"											
N120	3' - 0"	6' - 9 1/2"		WOOD- SOLID CORE	F	STAIN(MATCH EXISTING)	ALUMINUM	STOREFRONT	ANODIZED BRONZE	A501/ DTL 2	A501 / DTL 2	N/A	
N121	3' - 0"	6' - 9 1/2"		WOOD- SOLID CORE	F	STAIN(MATCH EXISTING)	ALUMINUM	STOREFRONT	ANODIZED BRONZE	A501/ DTL 2	A501 / DTL 2	N/A	
N122	3' - 0"	6' - 9 1/2"		WOOD- SOLID CORE	F	STAIN(MATCH EXISTING)	ALUMINUM	STOREFRONT	ANODIZED BRONZE	A501/ DTL 2	A501 / DTL 2	N/A	



2 ELECTRICAL DEMO PLAN
3/16" = 1'-0"

- DEMOLITION GENERAL NOTES:** (THESE DEMOLITION NOTES APPLY TO ALL DEMOLITION PLANS AND ALL DEMOLITION WORK)
- A. THE INTENT OF THE DEMOLITION DRAWINGS IS TO DEFINE THE SCOPE OF ELECTRICAL DEMOLITION WORK. EXISTING ELECTRICAL SYSTEMS DEVICES, WIRING, AND RACEWAYS INCLUDING DATA/COMMUNICATION SYSTEMS) WITHIN LIMITS OF DEMOLITION AND NOT SERVING ADJACENT AREAS, SHALL BE REMOVED UNLESS OTHERWISE INDICATED. RE-SUPPORT EXISTING CONDUITS AND CABLES THAT MUST REMAIN.
 - B. ITEMS INDICATED WITH A SUBSCRIPT 'E' SHALL BE EXISTING TO REMAIN (E-EXISTING). ITEMS INDICATED WITH A SUBSCRIPT 'D' OR SHOWN HATCHED SHALL BE REMOVED (D-DEMOLITION). ITEMS INDICATED WITH A SUBSCRIPT 'R' SHALL BE REMOVED, STORED, AND REINSTALLED PER NEW WORK (R-RELOCATION).
 - C. THESE DRAWINGS DO NOT IDENTIFY EACH INDIVIDUAL ITEM TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ITEMS WHICH MUST BE REMOVED TO FACILITATE NEW CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR EXACT LIMITS OF DEMOLITION AND CONSTRUCTION. THESE PLANS ARE BASED ON SITE OBSERVATIONS. THE DRAWINGS ARE PROVIDED TO THE CONTRACTOR AS AN AID IN DETERMINING THE EXTENT OF WORK REQUIRED FOR DEMOLITION AND TO PROVIDE GENERAL INFORMATION ABOUT EXISTING SYSTEMS. THESE DRAWINGS MAY NOT BE ACCURATE IN ALL AREAS. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS AND IS ENCOURAGED TO REVIEW FACILITY DRAWINGS PRIOR TO THE BID DATE.
 - D. THE OWNER SHALL HAVE FIRST SALVAGE RIGHTS TO ALL ITEMS REMOVED. IF OWNER REFUSES SALVAGE, CONTRACTOR IS RESPONSIBLE FOR DISPOSAL.
 - E. WHERE EXISTING WALLS ARE TO BE REMOVED, ALL ASSOCIATED ELECTRICAL EQUIPMENT SHALL BE REMOVED. DISCONNECT POWER SO THAT DEVICES AND EQUIPMENT MAY BE REMOVED WITH WALLS. SEE ARCHITECTURAL DRAWINGS FOR WALLS TO BE REMOVED. ABANDON CONCEALED CONDUITS WHERE WALLS ARE NOT REMOVED. CONCEALED CONDUITS MAY BE REUSED WHERE AVAILABLE. WHERE EXISTING CIRCUITING/CABLING IS TO BE DEMOLISHED AND NOT REUSED, REMOVE CONDUCTORS AND ASSOCIATED ACCESSIBLE RACEWAYS/CONDUIT BACK TO THE SOURCE. WHERE EXISTING ELECTRICAL CIRCUITS TO BE DEMOLISHED ARE EMBEDDED IN CONCRETE FLOORS OR WALLS, CONDUITS MAY BE ABANDONED IN PLACE. EXISTING CONDUCTORS SHALL BE REMOVED BACK TO SOURCE AND CONDUITS SHALL BE CUT AT SURFACE OF CONCRETE AND FILLED. EXISTING BACK BOXES AND CONDUITS REMAINING FROM DEVICES BEING REMOVED MAY BE UTILIZED FOR NEW DEVICES WHERE LOCATIONS PERMIT. REMOVE AND PATCH WHERE BOXES ARE NOT REUSED. REMOVE CONCRETE EQUIPMENT PADS THAT REMAIN, TO BE FLUSH WITH FLOOR/GRADE.
 - F. EE ARCHITECTURAL DRAWINGS FOR ADDITIONAL ELECTRICAL DEMOLITION ITEMS. DISCONNECT AND REMOVE ELECTRICAL DEVICES, EQUIPMENT AND ASSOCIATED WIRING AS REQUIRED TO ACCOMMODATE NEW WORK. IF THE CONTRACTOR IS UNCLEAR REGARDING A SPECIFIC ITEM TO REMAIN OR BE REMOVED, THE CONTRACTOR SHALL SEEK CLARIFICATION FROM THE ARCHITECT.
 - G. SYSTEMS SERVING ADJACENT AREAS AND ITEMS THAT REMAIN SHALL BE MAINTAINED AT ALL TIMES. MODIFY SYSTEMS AS REQUIRED THROUGHOUT CONSTRUCTION TO MAINTAIN CONTINUITY OF SERVICE. DO NOT INTERRUPT SERVICE WITHOUT OWNER'S PRIOR WRITTEN APPROVAL. LIMIT DURATION OF INTERRUPTION ONLY TO THE TIME NECESSARY FOR DISCONNECTION AND IMMEDIATE RECONNECTION. INTERRUPTION TO SERVICE DEEMED BY OWNER AS ESSENTIAL MAY REQUIRE PREMIUM TIME AND SHALL BE INCLUDED WITH THE BID. EXTREME CARE SHALL BE TAKEN BY THE CONTRACTOR TO IDENTIFY EXISTING SYSTEM COMPONENTS ASSOCIATED WITH THESE SERVICES. APPROPRIATE METHODS OF MARKING THESE SHALL OCCUR TO ELIMINATE THE POSSIBILITY OF ACCIDENTAL INTERRUPTION.
 - H. COORDINATE DEMOLITION WITH THE WORK OF OTHER TRADES. PROVIDE TEMPORARY POWER AND LIGHTING AS REQUIRED TO ALLOW THE WORK OF OTHER TRADES TO PROCEED.
 - I. PROTECT EXISTING ELECTRICAL EQUIPMENT THAT REMAINS. IF DAMAGED OR DISTURBED IN THE COURSE OF THE WORK, REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL CAPACITY, QUALITY, AND FUNCTIONALITY.
 - J. PATCH AND REPAIR OPENINGS IN EXISTING WALLS AND FLOORS RESULTANT FROM SPECIFIED ELECTRICAL DEMOLITION. PATCH SHALL MATCH EXISTING CONSTRUCTION, FIRE RATING, AND FINISH. SEE ARCHITECTURAL SPECIFICATIONS FOR MEANS AND METHODS.

- GENERAL NOTES:**
- A. WORK PROVIDED SHALL BE IN COMPLIANCE WITH NFPA 70, 101, AND ALL OTHER APPLICABLE CODES.
 - B. THE ITEMS PROVIDED ON THIS SET OF DRAWINGS ARE PROVIDED TO THE ELECTRICAL CONTRACTOR AS A COURTESY. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICIAN TO PROVIDE ALL NECESSARY SERVICES TO LAWFULLY COMPLETE THE PROJECT INCLUDING BUT NOT LIMITED TO: DESIGN VERIFICATION, FIELD VERIFY ITEMS INDICATED AND MODIFY AS REQUIRED. PROVIDE COORDINATION WITH THE OWNER. OBTAIN REQUIRED BUILDING PERMITS FOR SCOPE OF WORK, PROVIDE SHOP DRAWINGS TO THE ARCHITECT, LOAD CALCULATIONS, INSTALLATIONS, AND PUNCH LIST ADHERENCE.
 - C. PROVIDE ALL LIGHTING AND RECEPTACLE BRANCH CIRCUITS WITH GREEN GROUND CONDUCTORS AND DEDICATED NEUTRALS.
 - D. COORDINATE FINAL DEVICE LOCATIONS WITH ARCHITECT AND OWNER TO BEST SERVE THE OWNERS NEEDS.
 - E. RECONFIGURE EXISTING BRANCH CIRCUITS AS NECESSARY TO ACCOMMODATE NEW BRANCH CIRCUITS INDICATED. THE CONTRACTOR SHALL METER EXISTING BRANCH CIRCUITS WHERE MODIFYING TO ENSURE COMPLIANCE AND PROPER FUNCTION.
 - F. COORDINATE WITH THE OWNER TO IDENTIFY LARGE EQUIPMENT WHICH MAY REQUIRE A DEDICATED BRANCH CIRCUIT AND MODIFY POWER DEVICES AS REQUIRED.
 - G. PROVIDE UPDATED PANEL DIRECTORIES WHERE PANELS ARE MODIFIED AS A PART OF THIS PROJECT.
 - H. WHERE 20 AMP BRANCH CIRCUITS EXCEED 75' IN TOTAL LENGTH, UPSIZE WIRE TO NUMBER 10 WIRE.
 - I. EXPAND, SUPPLEMENT, AND MODIFY EXISTING FIRE ALARM SYSTEM AS REQUIRED TO SUPPORT NEW OR MODIFIED DEVICES. NEW DEVICES, CABLING, AND COMPONENTS SHALL MATCH EXISTING. NEW STROBES SHALL BE SYNCHRONIZED WITH EXISTING. AUDIBLE SOUND TYPE SHALL MATCH EXISTING. OBTAIN APPROVAL FROM FIRE MARSHAL PRIOR TO STARTING WORK.
 - J. SAW CUT FLOOR AS REQUIRED TO ROUTE POWER AND COMM CABLING TO SERVE NEW DEVICES LOCATED WITHIN NEW WALLS NOT ROUTED TO STRUCTURE. PROVIDE DUST BARRIER TO PREVENT CONTAMINATION TO OCCUPIED AREAS. COORDINATE A WALL CAVITY WITH THE ARCHITECT TO ROUTE SYSTEMS FROM CEILING DOWN TO FLOOR. PATCH AND PAINT EXISTING WALLS AND FLOOR TO MATCH EXISTING.

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
▼	COMMUNICATIONS OUTLET. PROVIDE 4" SQUARE JUNCTION BOX WITH SINGLE GANG TRIM RING AND 1" CONDUIT TO ACCESSIBLE CEILING SPACE ABOVE WITH BUSHING. PROVIDE CABLING AND ASSOCIATED RJ45 CONNECTORS AS INDICATED. V=VOICE JACK AND D=DATA JACK. PROVIDE JACKS, CABLING, LABELING, COLOR CODING TO MATCH EXISTING. COMM AND POWER DEVICE COVER PLATES SHALL MATCH FOR EACH AREA.
⚡	NEMA 5-20 RECEPTACLE. PROVIDE COLOR, LABELING, AND FACEPLATE MATERIAL TO MATCH EXISTING. INSTALL ORIENTATION TO MATCH EXISTING. WHERE LOCATED WITHIN 6' OF A WATER SOURCE PROVIDE GFCI EQUIVALENT. WHERE INDICATED WITH A SUBSCRIPT "T", PROVIDE TAMPER PROOF EQUIVALENT. NEMA 5-20 RECEPTACLE. PROVIDE COLOR, LABELING, AND FACEPLATE MATERIAL TO MATCH EXISTING. INSTALL ORIENTATION TO MATCH EXISTING. WHERE LOCATED WITHIN 6' OF A WATER SOURCE PROVIDE GFCI EQUIVALENT. WHERE INDICATED WITH A SUBSCRIPT "T", PROVIDE TAMPER PROOF EQUIVALENT.
🚒	SMOKE DETECTOR
F	FIRE ALARM PULL STATION
📢	FIRE ALARM SOUND VISUAL NOTIFICATION DEVICE
🚪	EXIT DEVICE
PP	A.D.A. PUSH PAD
B	DOOR BUZZER FURNISHED BY OTHER, INSTALLED BY ELECTRICIAN. COORDINATE ROUGHIN WITH MANUFACTURER.
DR	DOOR RELEASE BUTTON FURNISHED BY OTHER, INSTALLED BY ELECTRICIAN. COORDINATE ROUGHIN WITH MANUFACTURER. FIELD VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO STARTING WORK.
🔌	PROVIDE POWER CONNECTION TO REMOTE DOOR RELEASE SYSTEM. PROVIDE 120V 20A CONNECTION FED FROM EXISTING PANEL. PROVIDE NEW 20/1 CIRCUIT BREAKER WITH CHARACTERISTICS TO MATCH EXISTING. PROVIDE 3/4"C. DOWN TO DOOR FRAME.



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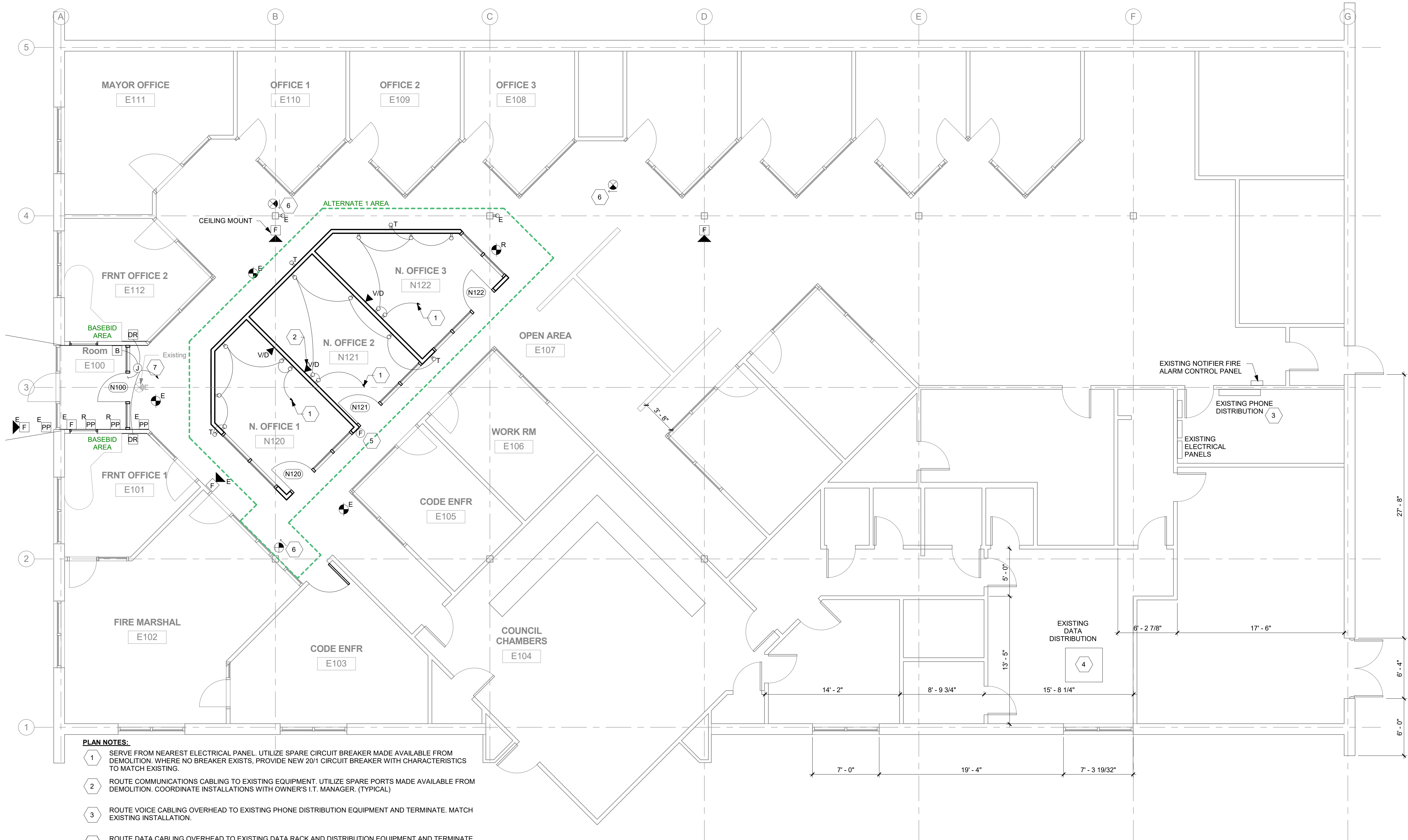
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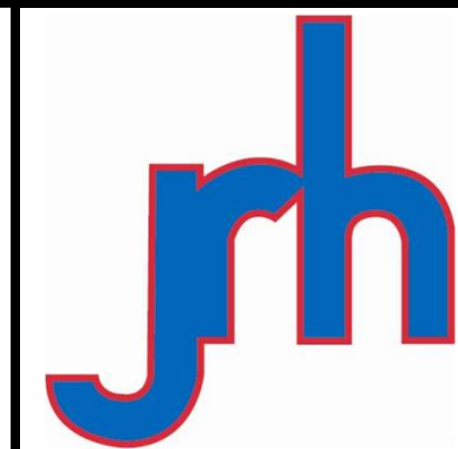
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E100



PLAN NOTES:

- 1 SERVE FROM NEAREST ELECTRICAL PANEL. UTILIZE SPARE CIRCUIT BREAKER MADE AVAILABLE FROM DEMOLITION. WHERE NO BREAKER EXISTS, PROVIDE NEW 20'1 CIRCUIT BREAKER WITH CHARACTERISTICS TO MATCH EXISTING.
- 2 ROUTE COMMUNICATIONS CABLING TO EXISTING EQUIPMENT. UTILIZE SPARE PORTS MADE AVAILABLE FROM DEMOLITION. COORDINATE INSTALLATIONS WITH OWNER'S I.T. MANAGER. (TYPICAL)
- 3 ROUTE VOICE CABLING OVERHEAD TO EXISTING PHONE DISTRIBUTION EQUIPMENT AND TERMINATE. MATCH EXISTING INSTALLATION.
- 4 ROUTE DATA CABLING OVERHEAD TO EXISTING DATA RACK AND DISTRIBUTION EQUIPMENT AND TERMINATE. MATCH EXISTING INSTALLATION.
- 5 PROVIDE WALL MOUNT FIRE ALARM STROBE. ROUTE CONDUIT FROM UNDER FLOOR AS WALLS DO NOT GO TO CEILING.
- 6 PROVIDE NEW EXIT LIGHT. TYPE TO MATCH EXISTING. PROVIDE WITH INTEGRAL BATTERY AND UNSWITCHED CONNECTION TO LOCAL LIGHTING BRACH CIRCUIT. PROVIDE DIRECTIONAL CHEVRONS AS INDICATED PER PLANS.
- 7 PROVIDE INSTALLATION OF COMPLETE REMOTE DOOR RELEASE SYSTEM. SYSTEM COMPONENTS FURNISHED BY OTHER, INSTALLED BY ELECTRICIAN. PROVIDE INTERLOCK CONNECTION BETWEEN DOOR RELEASE SYSTEM AND EXISTING ADA DOOR OPERATOR SO THAT THE DOOR OPERATOR WILL NOT WORK UNTIL THE DOOR RELEASE SYSTEM HAS BEEN ACTIVATED. ENSURE OPERATOR DOES NOT RECEIVE ANY POWER UNTIL RELEASE BUTTON IS ACTIVATED TO PREVENT BURNING UP DOOR OPERATOR MOTOR. PROVIDE ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION. COORDINATE ALL COMPONENTS WITH DOOR HARDWARE SPECIFICATION. COORDINATE EXACT COMPONENT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

1 ELECTRICAL NEW PLAN
3/16" = 1'-0"



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