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# City of Grand Island



**Tuesday, June 24, 2014**  
**Council Session Packet**

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**City Council:**

**Linna Dee Donaldson**  
**John Gericke**  
**Peg Gilbert**  
**Chuck Haase**  
**Julie Hehnke**  
**Kent Mann**  
**Vaughn Minton**  
**Mitchell Nickerson**  
**Mike Paulick**  
**Mark Stelk**

**Mayor:**

**Jay Vavricek**

**City Administrator:**

**Mary Lou Brown**

**City Clerk:**

**RaNae Edwards**

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**7:00 PM**  
**Council Chambers - City Hall**  
**100 East 1st Street**

### **Call to Order**

This is an open meeting of the Grand Island City Council. The City of Grand Island abides by the Open Meetings Act in conducting business. A copy of the Open Meetings Act is displayed in the back of this room as required by state law.

The City Council may vote to go into Closed Session on any agenda item as allowed by state law.

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**Invocation - Reverend Nick Petrick, New Life Community Church, 301 West 2nd Street**

**Pledge of Allegiance**

**Roll Call**

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### **A - SUBMITTAL OF REQUESTS FOR FUTURE ITEMS**

Individuals who have appropriate items for City Council consideration should complete the Request for Future Agenda Items form located at the Information Booth. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting or study session, notification of the date will be given.

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### **B - RESERVE TIME TO SPEAK ON AGENDA ITEMS**

This is an opportunity for individuals wishing to provide input on any of tonight's agenda items to reserve time to speak. Please come forward, state your name and address, and the Agenda topic on which you will be speaking.



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item C-1

### **Recognition of Central Catholic High School Student Zach Brittain – All-Class State Champion Discuss and Class “C” State Champion Shot Put**

*The Mayor and City Council will recognize Zach Brittain from Central Catholic High School and his Coaches Keith Kester, Duane Spale, and Bill Schlachter for the All-Class State Championship in Discuss and the Class "C" State Championship in Shot Put. Congratulations Brian and coaches on a job well done.*

Staff Contact: Mayor Jay Vavricek

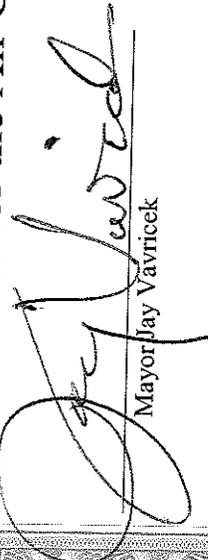


# *Certificate of Recognition*

Awarded to

**“Zach Britain”**

Central Catholic High School Student and Coaches Duane Spale, Bill Schlachter and Keith Kester for the All-Class State Champion Discuss and the Class “C” Shot Put.

  
Mayor Jay Vavricek

  
City Administrator Mary Lou Brown

  
City Clerk RaNaee Edwards



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item C-2

### **Recognition of Central Catholic High School Student Matt Novinski - State Champion Swimming - 100 Meter Backstroke**

*The Mayor and City Council will recognize Matt Novinski from Central Catholic High School and his Coach Brian Jensen for the State Championship in Swimming - 100 Meter Backstroke. Congratulations Matt and Coach Jensen on a job well done.*

Staff Contact: Mayor Jay Vavricek

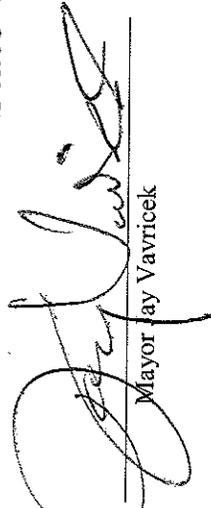


# *Certificate of Recognition*

Awarded to

**“Matt Novinski”**

Central Catholic High School Student and Coach Brian Jensen for the Swimming  
State Championship – 100 Meter Backstroke.

  
Mayor Jay Vavricek

  
City Administrator Mary Lou Brown

  
City Clerk RaNae Edwards



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-1

**Public Hearing on Acquisition of Utility Easement - 2920 S. Stuhr  
Road - Husen**

Staff Contact: Tim Luchsinger, Utilities Director

# **Council Agenda Memo**

**From:** Tim Luchsinger, Utilities Director

**Meeting:** June 24, 2014

**Subject:** Acquisition of Utility Easement – 2920 S. Stuhr Road - Husen

**Item #'s:** E-1 & G-6

**Presenter(s):** Timothy Luchsinger, Utilities Director

## **Background**

Nebraska State Law requires that acquisition of property must be approved by City Council. The Utilities Department needs to acquire an easement relative to the property of Steven L. and Sally K. Husen, located through a part of the Northeast Quarter of the Southeast Quarter (NE ¼, SE ¼), Section Twenty Seven (27), Township Eleven (11) North, Range Nine (9) West of the 6<sup>th</sup> P.M., Hall County, Nebraska, (along the south property line of property located at 2920 S. Stuhr Road), Hall County, in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers.

## **Discussion**

The existing power line is being relocated to accommodate property lines and is in need of upgrade. This easement will be used to clear-up old property records.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

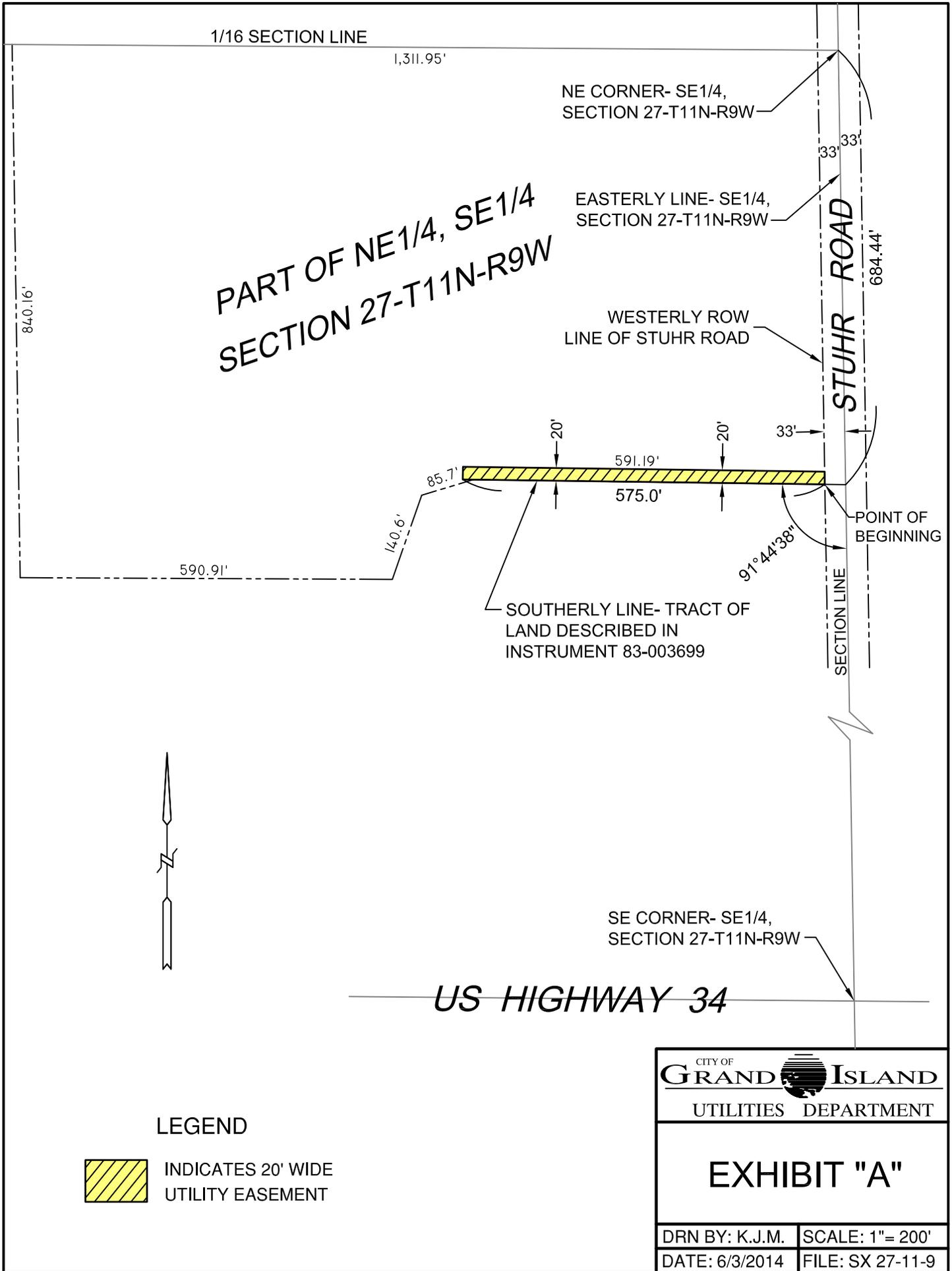
1. Make a motion to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the resolution for the acquisition of the easement for one dollar (\$1.00).

## **Sample Motion**

Move to approve acquisition of the Utility Easement.





# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-2

**Public Hearing on Acquisition of Utility Easement - 3521 U.S.  
Highway 34 - Dixon**

Staff Contact: Tim Luchsinger, Utilities Director

# **Council Agenda Memo**

**From:** Tim Luchsinger, Utilities Director  
**Meeting:** June 24, 2014  
**Subject:** Acquisition of Utility Easement – 3521 US Hwy. 34 -  
Dixson  
**Item #'s:** E-2 & G-7  
**Presenter(s):** Timothy Luchsinger, Utilities Director

## **Background**

Nebraska State Law requires that acquisition of property must be approved by City Council. The Utilities Department needs to acquire an easement relative to the property of Craig A. and Lesa M. Dixon, located southwest of Husker Highway along the center of the existing overhead power line located north of property located at 3521 U.S. Highway 34, in Hall County, Nebraska, in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers.

## **Discussion**

This easement will be used to provide a legal path across this property to allow electrical service to Lot One (1), Dixon Subdivision.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

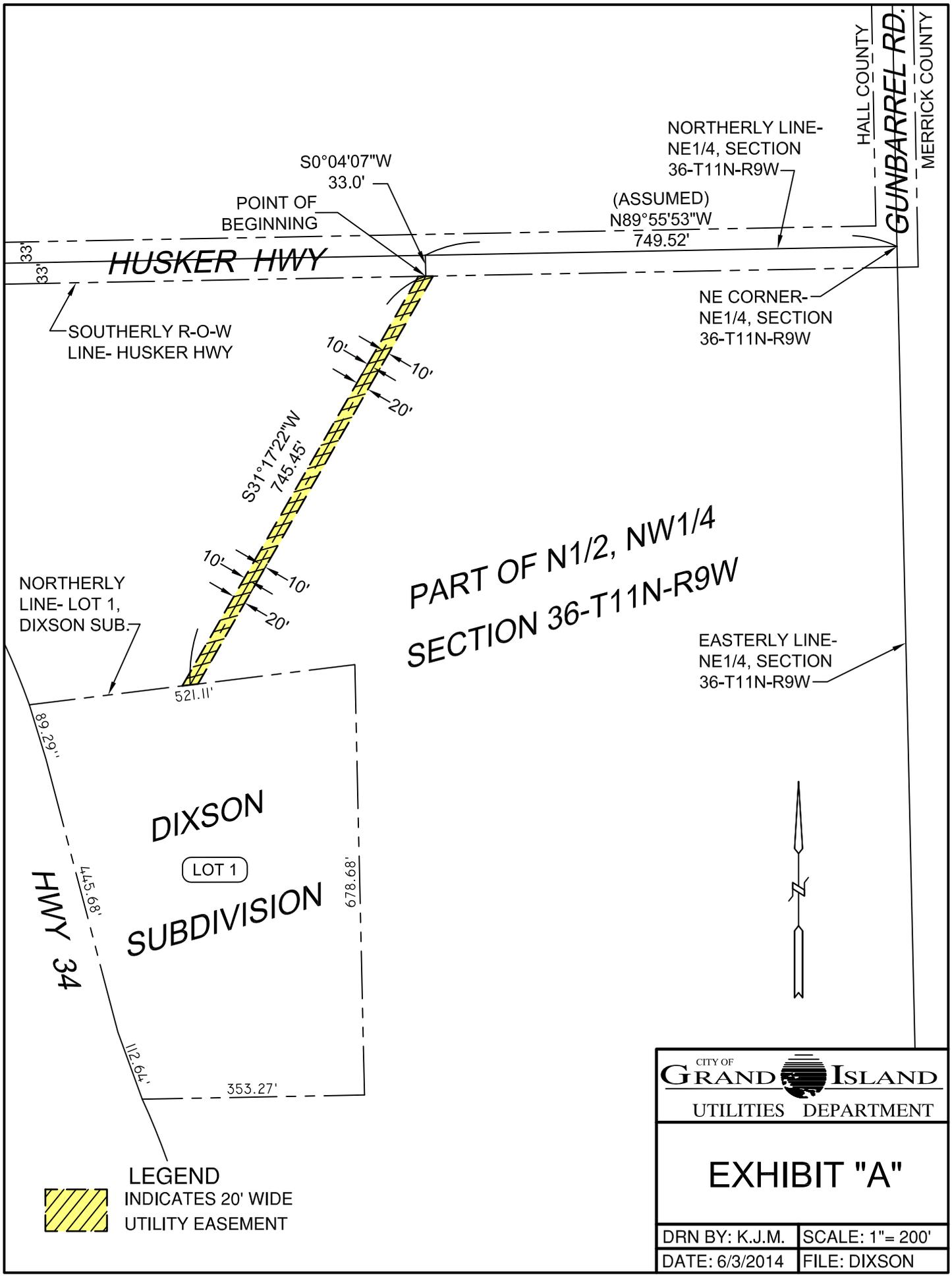
1. Make a motion to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the resolution for the acquisition of the easement for one dollar (\$1.00).

## **Sample Motion**

Move to approve acquisition of the Utility Easement.



SOUTHERLY R-O-W LINE- HUSKER HWY

NORTHERLY LINE- NE1/4, SECTION 36-T11N-R9W  
(ASSUMED) N89°55'53"W  
749.52'

NE CORNER- NE1/4, SECTION 36-T11N-R9W

NORTHERLY LINE- LOT 1, DIXSON SUB.

PART OF N1/2, NW1/4 SECTION 36-T11N-R9W

EASTERLY LINE- NE1/4, SECTION 36-T11N-R9W

DIXSON SUBDIVISION LOT 1

HWY 34

HALL COUNTY  
GUNBARREL RD.  
MERRICK COUNTY

LEGEND  
INDICATES 20' WIDE UTILITY EASEMENT

CITY OF GRAND ISLAND UTILITIES DEPARTMENT	
<b>EXHIBIT "A"</b>	
DRN BY: K.J.M.	SCALE: 1"= 200'
DATE: 6/3/2014	FILE: DIXSON



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-3

**Public Hearing on Acquisition of Utility Easement - 2807 & 2825  
N. Engleman Road - Joseph Brown & Lori Bear-Brown**

Staff Contact: Tim Luchsinger, Utilities Director

# **Council Agenda Memo**

**From:** Tim Luchsinger, Utilities Director

**Meeting:** June 24, 2014

**Subject:** Acquisition of Utility Easement – Along the East-West Property Line between 2807 & 2825 N. Engleman Road – Joseph M. Brown and Lori J. Bear-Brown

**Item #'s:** E-3 & G-8

**Presenter(s):** Timothy Luchsinger, Utilities Director

## **Background**

Nebraska State Law requires that acquisition of property must be approved by City Council. The Utilities Department needs to acquire an easement relative to the property of Joseph M. Brown and Lori J. Bear-Brown, located along the east-west property line between 2807 & 2825 N. Engleman Road, in the City of Grand Island, Hall County, in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers.

## **Discussion**

An existing overhead line running North/South across the center of Lot Seven (7) is planned to be removed to allow placement of the electric supply along the property line. The easement will be used to place a new underground power line and pad-mounted transformer to serve both 2807 and 2825 North Engleman Road.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

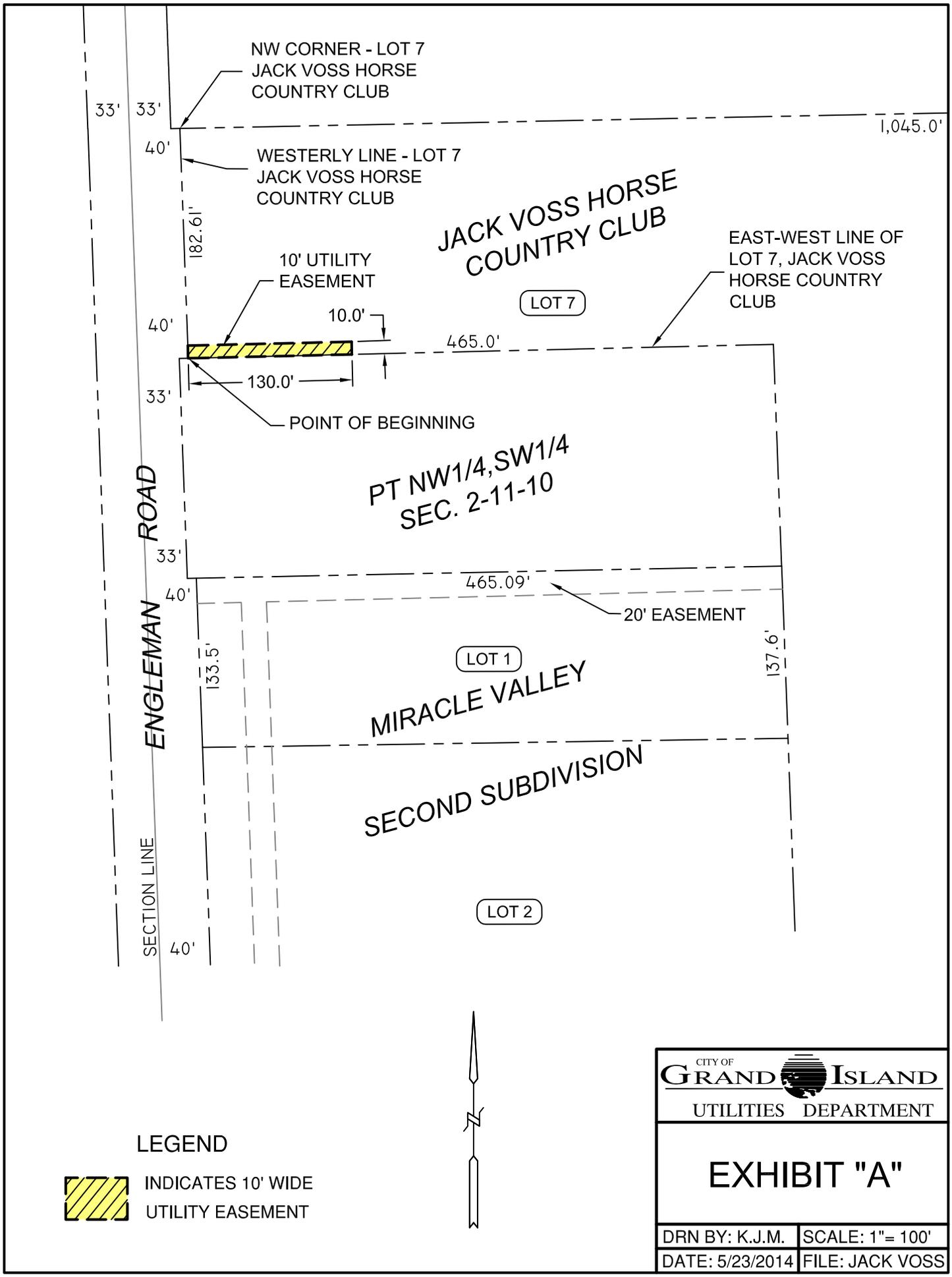
1. Make a motion to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the resolution for the acquisition of the easement for one dollar (\$1.00).

## **Sample Motion**

Move to approve acquisition of the Utility Easement.



**LEGEND**

-  INDICATES 10' WIDE UTILITY EASEMENT



CITY OF <b>GRAND ISLAND</b> UTILITIES DEPARTMENT	
EXHIBIT "A"	
DRN BY: K.J.M.	SCALE: 1"= 100'
DATE: 5/23/2014	FILE: JACK VOSS



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-4

**Public Hearing on Acquisition of Utility Easement - 2807 & 2825  
N. Engleman Road - Jack Voss**

Staff Contact: Tim Luchsinger, Utilities Director

# **Council Agenda Memo**

**From:** Tim Luchsinger, Utilities Director

**Meeting:** June 24, 2014

**Subject:** Acquisition of Utility Easement – Along the East/West Property Line between 2807 & 2825 N. Engleman Road – Jack Voss

**Item #'s:** E-4 & G-9

**Presenter(s):** Timothy Luchsinger, Utilities Director

## **Background**

Nebraska State Law requires that acquisition of property must be approved by City Council. The Utilities Department needs to acquire an easement relative to the property of Jack Voss, located along the east-west property line between 2807 & 2825 N. Engleman Road, in the City of Grand Island, Hall County, in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers.

## **Discussion**

An existing overhead line running North/South across the center of Lot Seven (7) is planned to be removed to allow placement of the electric supply along the property line. The easement will be used to place a new underground power line and pad-mounted transformer to serve both 2807 and 2825 North Engleman Road.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

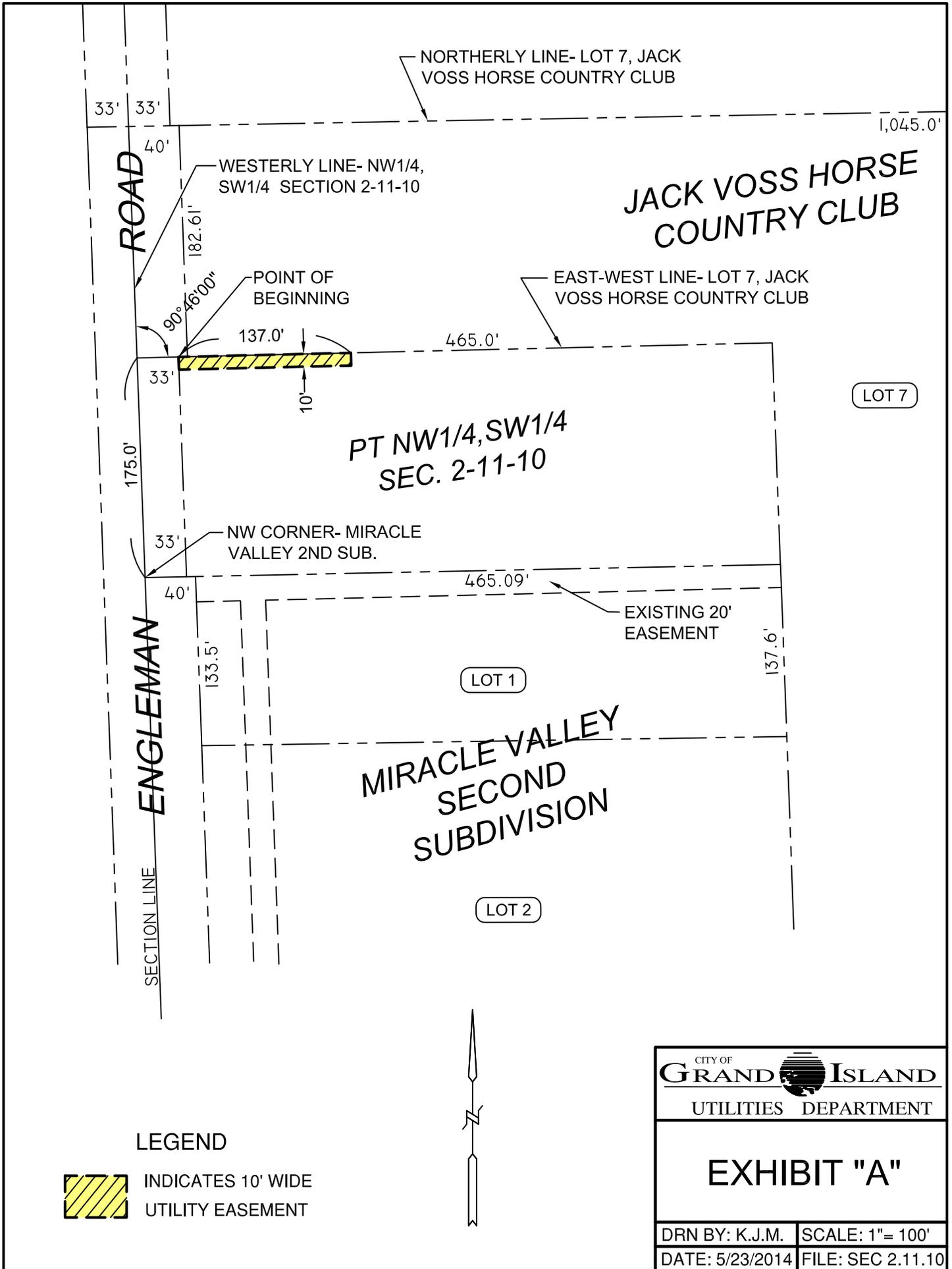
1. Make a motion to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the resolution for the acquisition of the easement for one dollar (\$1.00).

## **Sample Motion**

Move to approve acquisition of the Utility Easement.



**LEGEND**



INDICATES 10' WIDE  
UTILITY EASEMENT



CITY OF <b>GRAND ISLAND</b>	
UTILITIES DEPARTMENT	
<b>EXHIBIT "A"</b>	
DRN BY: K.J.M.	SCALE: 1"= 100'
DATE: 5/23/2014	FILE: SEC 2.11.10



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-5

### Public Hearing for Phase II Comprehensive Revitalization Community Block Grant Application

Staff Contact: Jaye Monter, Finance Director

# Council Agenda Memo

**From:** Tonja Carey, Community Development Administrator

**Meeting:** June 24, 2014

**Subject:** Public Hearing Phase II Comprehensive Revitalization  
Community Block Grant Application

**Item #'s:** E-5 & G-13

**Presenter(s):** Jaye Monter, Finance Director

## Background

In 2005, the Nebraska Department of Economic Development (NDED) developed a Comprehensive Revitalization program to utilize Community Development Block Grant (CDBG) funds in non-entitlement communities. This program allocates grant funds over a multi-year period to meet locally identified needs that are CDBG eligible.

Eligible communities interested in the 2014 Phase II Comprehensive Revitalization category must submit an application to the Nebraska Department of Economic Development by June 30, 2014. A public hearing is required prior to submission of an application to the Nebraska Department of Economic Development to solicit public comment and input into the proposed project and grant application. A legal notice was published on June 17th, 2014 in the *Grand Island Independent* with notice of this council meeting and contact information for written comments.

In 2012 the City completed a Comprehensive Needs Assessment as a preface to applying for this multi-year program grant to determine qualifying needs in the low to moderate income neighborhoods of our community. The CDBG Phase I and Supplemental Comprehensive Revitalization grants were applied for and awarded on August 5<sup>th</sup>, 2013 for \$220,000 and October 9, 2013 for \$295,000, respectively with approved project activities of sidewalk, street, sewer repair and rental housing improvements.

An amendment was completed on March 25, 2014 to combine and change the scope of the Phase I and Supplemental grants to focus on street revitalization to the low to moderate neighborhoods from South Front Street to 12<sup>th</sup> Street, and from Broadwell Avenue to Plum Street. Within this neighborhood, the immediate target within the Public Works department will consist of 4<sup>th</sup> and 5<sup>th</sup> Streets from Eddy to Sycamore, including Lion's Club Park. Improvements will include installing handicap accessible crosswalk

ramps at each intersection and moving sewer inlets if necessary. Concentration on 4<sup>th</sup> and 5<sup>th</sup> streets will create a more pedestrian friendly corridor. An irrigation system is planned to be installed in Lion's Club Park as part of qualified matching funds.

### **Discussion**

The City of Grand Island is now requesting a 2014 Phase II Comprehensive Revitalization Grant for \$220,000 plus \$5,000 in General Administration to assist in funding the 4<sup>th</sup> and 5<sup>th</sup> Street improvement project. After reassessing the needs and future direction of the qualifying neighborhoods, the City felt top priority was to focus on continuing the improvement efforts of ADA accessibility along the pedestrian corridor of 4th & 5th streets. Housing is still a very important issue and we are looking at housing assistance in the future. These grant dollars will allow more work in this area along with possibly even more safety enhancements at Lion's Club park such as lighting and handicap accessible playground equipment.

The City will provide the required local match of \$220,000. The required match will be more than adequately funded through projects in the 2014-2015 Capital Improvement Projects 400 Fund.

### **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

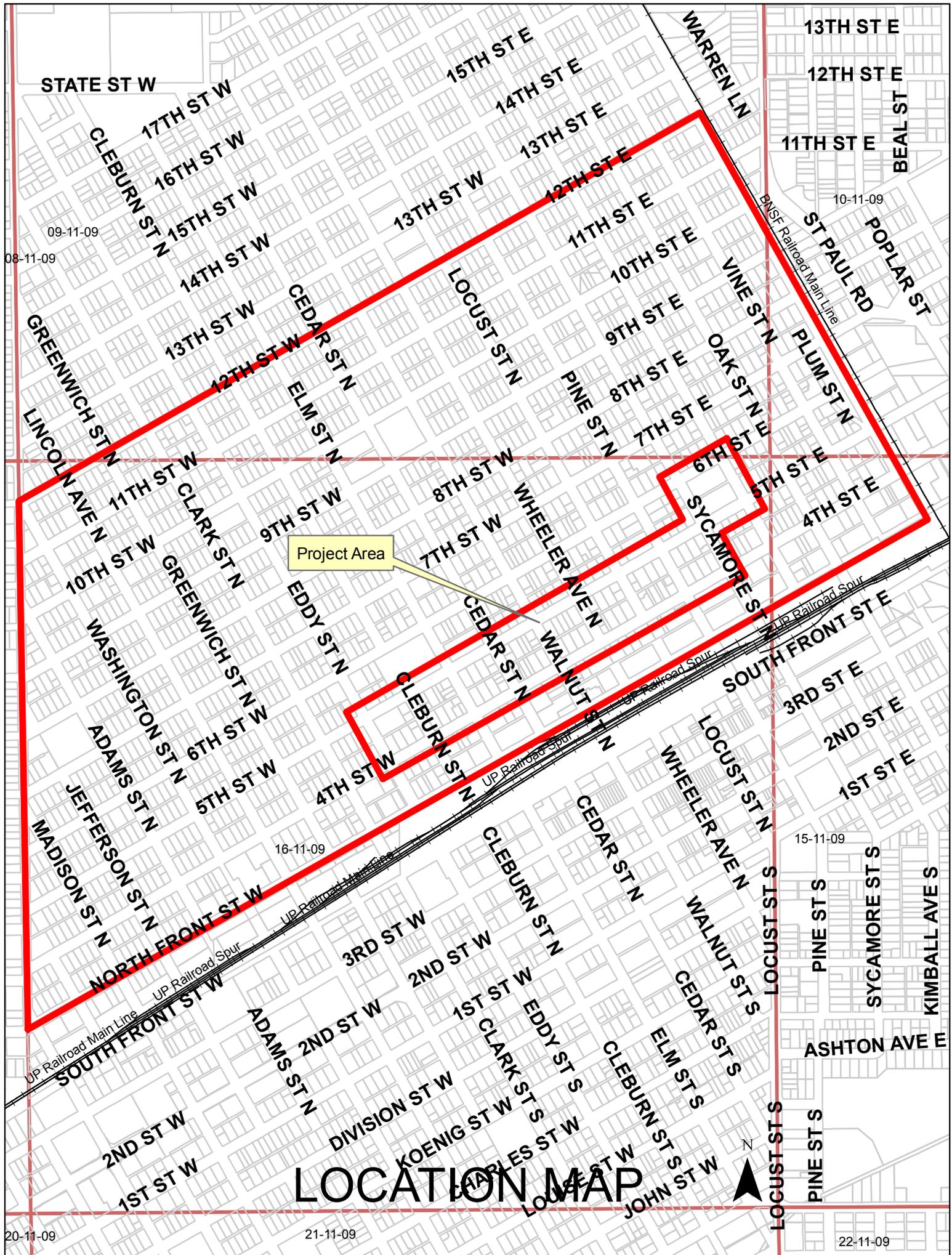
1. Move to approve the 2014 Phase II Comprehensive Revitalization application and authorize the Mayor to sign all related documents
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

### **Recommendation**

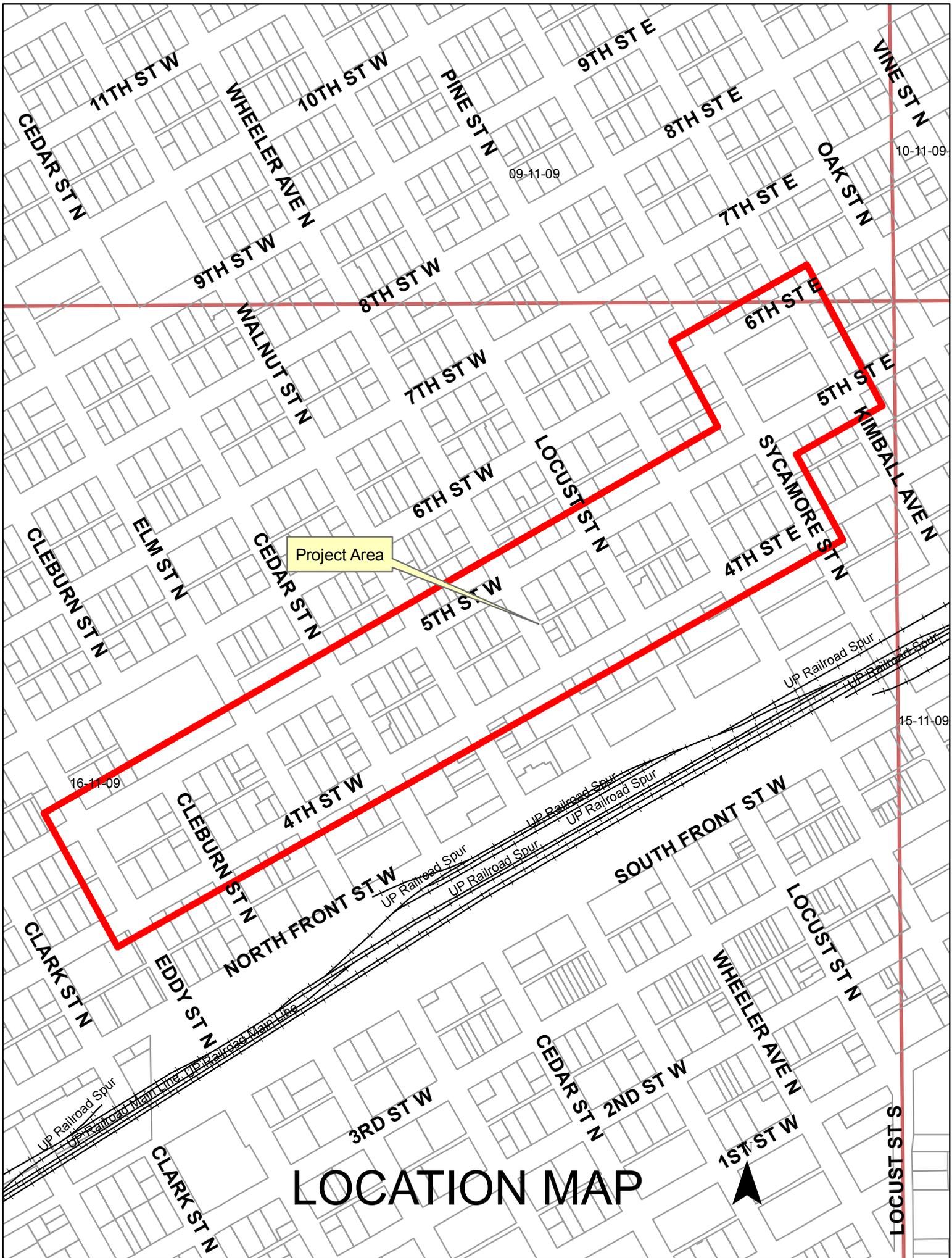
City Administration recommends that the Council approve the 2014 Phase II Comprehensive Revitalization application and authorize the Mayor to sign all related documents.

### **Sample Motion**

Move to approve the 2014 Phase II Comprehensive Revitalization application and authorize the Mayor to sign all related documents.



# LOCATION MAP



# LOCATION MAP



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item E-6

**Public Hearing on Dedication of Right-of-Way for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (Webb Mini Park)**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Scott Griepenstroh, Project Manager

**Meeting:** June 24, 2014

**Subject:** Public Hearing on Dedication of Right-of-Way for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (Webb Mini Park)

**Item #'s:** E-6 & G-17

**Presenter(s):** John Collins PE, Public Works Director

## Background

Nebraska State Statutes stipulate that the acquisition of property requires a public hearing to be conducted with the acquisition approved by the City Council. The City of Grand Island is dedicating current park property as right-of-way to accommodate a widened roadway along Capital Avenue from Webb Road to Broadwell Avenue and for the North Interceptor Phase II Sanitary Sewer.

## Discussion

To allow for the accommodation of public utilities and a widened roadway along Capital Avenue from Webb Road to Broadwell Avenue it is required that current park property be dedicated by the City of Grand Island as right-of-way. This area is on the east side of Webb Road, south side of Capital Avenue.

## Alternatives

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

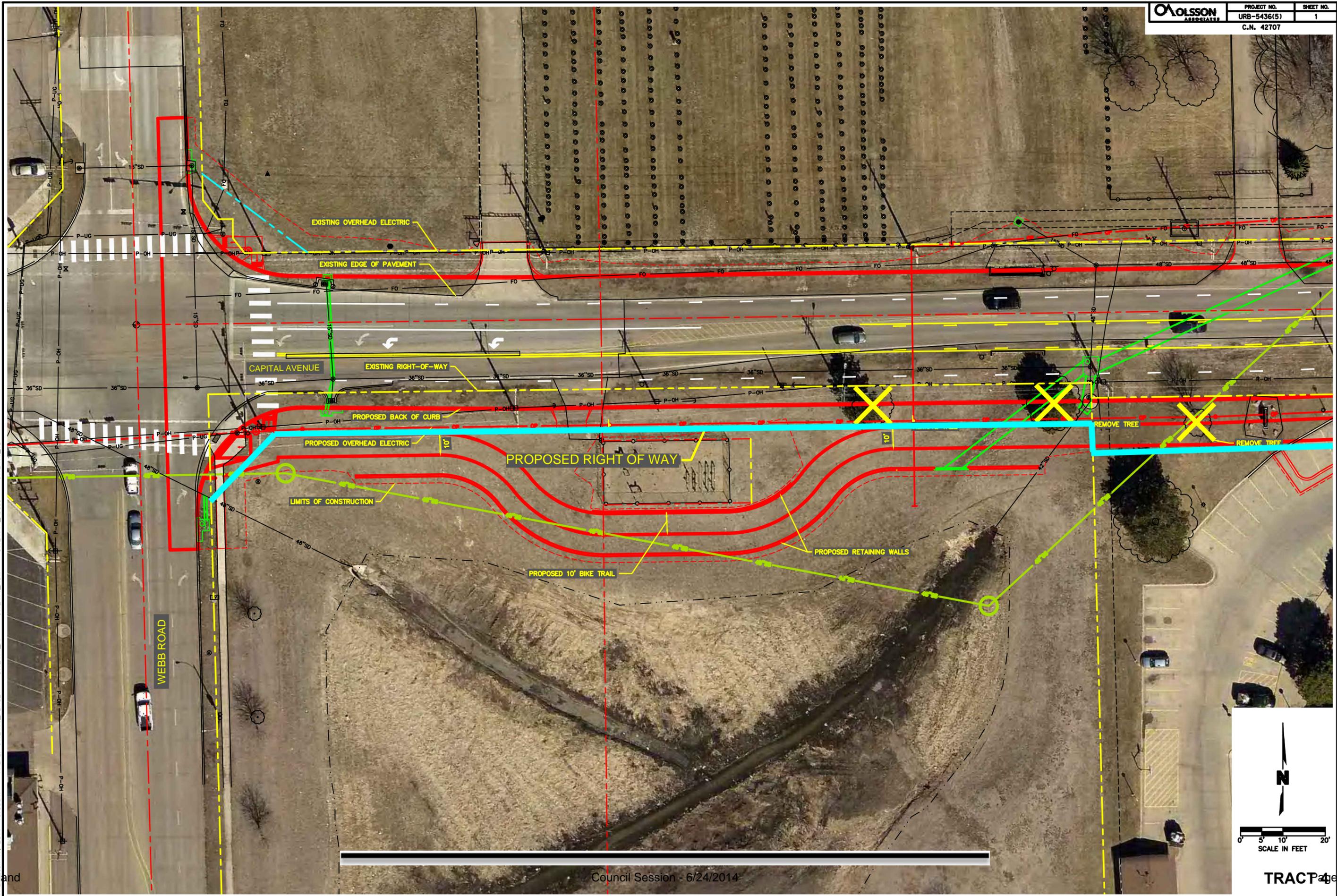
1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

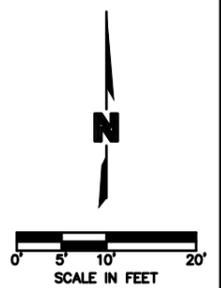
City Administration recommends that the Council conduct a Public Hearing and approve the dedication of right-of-way.

## **Sample Motion**

Move to conduct a Public Hearing and approve the dedication of right-of-way.



DWG: F:\projects\011-2414\MUNI\ROW\_Plots\Roadway\0112414\_AP\_Exhibits.dwg USER: mmsmith  
 DATE: Jun 17, 2014 10:55am XREFS: 0112414\_PBASE 0112414\_ROW 0112414\_xbase 0112414\_TB





# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-1

**Approving Minutes of June 10, 2014 City Council Regular Meeting**

Staff Contact: RaNae Edwards

CITY OF GRAND ISLAND, NEBRASKA

MINUTES OF CITY COUNCIL REGULAR MEETING  
June 10, 2014

Pursuant to due call and notice thereof, a Regular Meeting of the City Council of the City of Grand Island, Nebraska was conducted in the Council Chambers of City Hall, 100 East First Street, on June 10, 2014. Notice of the meeting was given in *The Grand Island Independent* on June 4, 2014.

Mayor Jay Vavricek called the meeting to order at 7:00 p.m. The following City Council members were present: Kent Mann, Linna Dee Donaldson, Chuck Haase, Julie Hehnke, Mitch Nickerson, Peg Gilbert, John Gericke, Mark Stelk, Mike Paulick, and Vaughn Minton. The following City Officials were present: City Administrator Mary Lou Brown, City Clerk RaNae Edwards, Treasurer and Finance Director Jaye Monter, City Attorney Robert Sivick, and City Engineer and Public Works Director John Collins.

INVOCATION was given by Pastor George Jones, Church of God of Prophecy, 1620 North Broadwell Avenue followed by the PLEDGE OF ALLEGIANCE.

Mayor Vavricek introduced Community Youth Council member Jimmy Riley.

PRESENTATIONS AND PROCLAMATIONS:

Recognition of Northwest High School Girls Track and Field Team – Class “B” State Championship. The Mayor and City Council recognized the Northwest High School Girls Track and Field Team and Coach Dave Gee for their Class “B” State Championship. Several of the girls from the Girls Track and Field Team and Coach Gee were present for the recognition.

Recognition of Grand Island Senior High Student Kevin Cahoy - Class “A” Pole Vault Championship. The Mayor and City Council recognized Grand Island Senior High Junior Kevin Cahoy and Coaches Jessi McDowell and Clint Simmons for his Class “A” Pole Vault Championship. Kevin Cahoy and Coaches Jessie McDowell and Clint Simmons were present for the recognition.

PUBLIC HEARINGS:

Public Hearing on Declaration of Intent to Use Clean Water State Revolving Fund (CWSRF) Loan Proceeds for Sanitary Sewer Collection System and Wastewater Treatment Plant Improvements. Finance Director Jaye Monter stated in May of 2013 the city council declared its intention to issue bonds for \$60 million. A Revenue Bond was issued on September 17, 2013 for \$35,430,000. An estimated \$38,844,700 was needed in addition to the Revenue Bond issued last year, to finance the remaining portion of the ongoing Wastewater Infrastructure Plan. Most of the remaining costs would occur with the North Interceptor Phase 2 Project to be bid later this year. Due to favorable interest rates it was recommended that council raise its intention to issue debt from \$60 million to \$74,275,000 and recognize that up to \$40,000,000 of such borrowing be in the form of a loan from the Clean Water State Revolving Fund (CWSRF) Program administered by the Nebraska Department of Environmental Quality (NDEQ).

Ms. Monter introduced the speakers for this presentation. Introduced was Wastewater Plant Engineer Marvin Strong P.E.

Mr. Strong explained the background of the Wastewater projects included in the 5 Year Wastewater Capital Improvement Plan which were: Plant – Headworks; Sanitary Sewer Collection System Rehabilitation - South and West Interceptor Rehabilitation, 4<sup>th</sup> and 5<sup>th</sup> Eddy to Vine Rehabilitation, North Interceptor Phase I, North Interceptor Phase II, and Growth – 281 Sanitary Sewer Improvements (District 530T). Also reviewed was the Rate Study completed by Black & Veatch and CH2MHill. The Wastewater Master Plan was developed for the next 50 years. Explained were the North Interceptor Phase 2 costs and lift station abandonments and the savings of \$162,000 per year by abandoning 11 lift stations.

Anna White with Black and Veatch presented the Capital Financing Plan as shown in the Wastewater Rate Study completed in October 2013. Revenue increases would stay the same. The 2014-2017 Capital Improvement Projects (CIP) would increase by \$9,432,100. Revenue bond financing would be replaced with SRF loans with lower interest rates and lower annual debt service. Explained were the SRF loan terms. There would be a 3 year construction period with a 20 year repayment period. Total amount of debt financing would increase from \$34,800,000 to \$38,500,000. Annual debt service would increase from \$3,015,900 in 2014 to \$3,757,900 in 2017.

Tom Fuenning with NDEQ commented on the federal dollars that come through the state. Explained was the timeline for the loan contract. Michael Rogers with Gilmore & Bell, P.C. commented on the financial impact of the loan contract with the NDEQ compared to a bond.

Paul Wicht, 1708 Jerry Drive spoke in opposition. No further public testimony was heard.

#### RESOLUTIONS:

#2014-162 - Consideration of Approving Intent to Use Clean Water State Revolving Fund (CWSRF) Loan Proceeds for Sanitary Sewer Collection System and Wastewater Treatment Plant Improvements. This item related to the aforementioned Public Hearing. Discussion was held regarding increasing the indebtedness to the Wastewater Treatment Plant. Mr. Rogers commented on bond ratings. Mr. Collins answered questions regarding abandoning lift stations. Comments were made concerning interest rates and the administration fees. Mr. Fuenning explained the administration fee which was 1% of the outstanding balance of the loan.

Motion by Gilbert, second by Nickerson to approve Resolution #2014-162. Upon roll call vote, all voted aye. Motion adopted.

#2014-163 - Consideration of Approving Bid Award for Sanitary Sewer District No. 528 and No. 530T Sanitary Sewer Collection System Improvements with Van Kirk Bros. Contracting of Sutton, NE in an Amount of \$3,374,118.70. Public Works Director John Collins reported that four bids were received for the above mentioned project that would extend sanitary sewer to the Wildwood Subdivision as well as south along US Highway 281 to Interstate 80. Staff recommended approval.

Motion by Haase, second by Hehnke to approve Resolution #2014-163. Upon roll call vote, all voted aye. Motion adopted.

PUBLIC HEARINGS:

Public Hearing on Acquisition of Utility Easement located at 418 N. Webb Road (Mid Plains Construction Co.). Utilities Director Tim Luchsinger reported that acquisition of a utility easement located at 418 N. Webb Road was needed in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers for the purpose of locating underground conduit, cable, and a pad-mounted transformer to provide electrical power to a new business. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Utility Easement located at 4360 West Hwy. 30 (L & P Investments). Utilities Director Tim Luchsinger reported that acquisition of a utility easement located at 4360 West Hwy. 30 was needed in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers for the purpose of providing underground conduit, cable, and a pad-mounted transformer to provide electricity to a new building. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Utility Easement located at 4443 W. Capital Avenue (Gian Baxter Roberts). Utilities Director Tim Luchsinger reported that acquisition of a utility easement located at 4443 W. Capital Avenue was needed in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers for the purpose of locating underground conduit, cable, and a pad-mounted transformer to provide electrical service to a new home. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Utility Easement located South of the Alley behind 106 & 108 West 4th Streets (Nitzel & Company and El Palenque, Inc.). Utilities Director Tim Luchsinger reported that acquisition of a utility easement located south of the alley behind 106 & 108 West 4<sup>th</sup> Streets was needed in order to have access to install, upgrade, maintain, and repair power appurtenances, including lines and transformers for the purpose of providing a location for a pad-mounted transformer to supply electricity for an upgraded service at El Palenque and for future expansion and renewal of a second service for Nitzel & Company. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Public Right-of-Way and Temporary Easements for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (State of Nebraska Department of Administrative Services). Public Works Director John Collins reported that acquisition of utility easements located along Capital Avenue between Webb Road and Broadwell Avenue were needed in order to allow for the construction of the roadway improvement project. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Utility Easement for Sanitary Sewer Tap District No. 530T – Sanitary Sewer Extension to Interstate 80 (Kirby Kay Smith). Public Works Director John Collins reported that acquisition of a utility easement was needed to accommodate the extension of sanitary sewer to Interstate 80 and would allow for the construction, operation, maintenance, extension, repair, replacement, and removal of sanitary sewer within the easement for a total amount of \$4,480.00. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Right-of-Way for Capital Avenue Widening – Webb Road to Broadwell Avenue. Public Works Director John Collins reported that acquisition of right-of-way located along Capital Avenue between Webb Road and Broadwell Avenue was needed in order to remove an existing 24’ wide asphalt roadway and construct new concrete pavement. Other improvements included construction of sidewalks and a concrete hike/bike trail, updated street lighting, and construction of new storm sewer. Right-of-way would be needed from three property owners for a total of \$1,790.00. Staff recommended approval. No public testimony was heard.

Public Hearing on Acquisition of Utility Easements for Capital Avenue Widening - Webb Road to Broadwell Avenue. Public Works Director John Collins reported that acquisition of utility easements located along Capital Avenue between Webb Road and Broadwell Avenue were needed in order to remove an existing 24’ wide asphalt roadway and construct new concrete pavement. Other improvements included construction of sidewalks and a concrete hike/bike trail, updated street lighting, and construction of new storm sewer. Utility easements would be needed from seven property owners for a total of \$740.00. Staff recommended approval. No public testimony was heard.

ORDINANCES:

Councilmember Gilbert moved “that the statutory rules requiring ordinances to be read by title on three different days are suspended and that ordinance numbered:

#9492 – Consideration of Vacating N. Wheeler Avenue from 3rd Street to W. South Front Street

be considered for passage on the same day upon reading by number only and that the City Clerk be permitted to call out the number of this ordinance on first and second reading and then upon final passage and call for a roll call vote on each reading and then upon final passage.” Councilmember Nickerson seconded the motion. Upon roll call vote, all voted aye. Motion adopted.

City Attorney Robert Sivick reported that in 1989 the City Council directed the City to take appropriate steps to close N. Wheeler Avenue between W. South Front Street and Third Street for the development of the Wheeler Avenue Project, including a pedestrian mall and parking area, but no action was taken by the Council. Ordinance #9492 would legitimize the existing situation and the City would retain title in the real estate subject to existing easements, rights of way, and license agreements.

Motion by Donaldson, second by Minton to approve Ordinance #9492.

City Clerk: Ordinance #9492 on first reading. All those in favor of the passage of this ordinance on first reading, answer roll call vote. Upon roll call vote, all voted aye. Motion adopted.

City Clerk: Ordinance #9492 on second and final passage. All those in favor of the passage of this ordinance on second and final passage, answer roll call vote. Upon roll call vote, all voted aye. Motion adopted.

Mayor Vavricek: By reason of the roll call votes on first reading and then upon final passage, Ordinance #9492 is declared to be lawfully adopted upon publication as required by law.

CONSENT AGENDA: Consent Agenda item G-16 was pulled from the agenda for further discussion. Motion by Donaldson, second by Hehnke to approve the Consent Agenda excluding item G-16. Upon roll call vote, all voted aye. Motion adopted.

Approving Minutes of May 27, 2014 City Council Regular Meeting.

Approving Appointment of Bradley Kissler to the Downtown Business Improvement District 2013 Board.

#2014-139 - Approving Acquisition of Utility Easement - 418 N. Webb Road - Mid Plains Construction Company.

#2014-140 - Approving Acquisition of Utility Easement - 4360 West Hwy. 30 - L & P Investments.

#2014-141 - Approving Acquisition of Utility Easement - 4443 West Capital Avenue - Gian Baxter Roberts.

#2014-142 - Approving Acquisition of Utility Easement - South of the Alley behind 106 & 108 West 4th Streets - Nitzel & Company and El Palenque, Inc..

#2014-143 - Approving Certificate of Final Completion with The Diamond Engineering Company of Grand Island, NE for Water Main District 458T - Platte Valley Industrial Park East - and Setting Board of Equalization Hearing for July 8, 2014.

#2014-144 - Approving Bid Award for Pad-Mount Switch Gear, #2 Aluminum URD Cable, and Various other Power Cable for the Utilities Department with Dutton-Lainson Company of Hastings, NE in an Amount of \$67,819.00 plus \$877.00 for freight; Wesco of Sioux City, IA in an Amount of \$1,213,984.00; and Kriz-Davis of Grand Island, NE in an Amount of \$51,600.00.

#2014-145 - Approving Acquisition of Public Right-of-Way and Temporary Easements for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (State of Nebraska Department of Administrative Services).

#2014-146 - Approving Acquisition of Utility Easement for Sanitary Sewer Tap District No. 530T – Sanitary Sewer Extension to Interstate 80 (Kirby Kay Smith) in an Amount of \$4,480.00.

#2014-147 - Approving Temporary Construction Easement for Sanitary Sewer Tap District No. 530T – Sanitary Sewer Extension to Interstate 80 (Kirby Kay Smith) in an Amount of \$2,950.00.

#2014-148 - Approving Agreement for Engineering Consulting Services Related to Traffic Signal at Faidley Avenue & Diers Avenue Intersection; Project No. 2014-TS-1 with Schemmer Associates of Lincoln, NE in an Amount of \$65,691.25.

#2014-149 - Approving Certificate of Final Completion for Blaine Street Paving Project No. 2012-P-2; Wildwood Drive to Schimmer Drive with Gehring Construction and Ready Mix Co., Inc. of Columbus, NE.

#2014-150 - Approving Certificate of Final Completion and Scheduling the Board of Equalization for Sanitary Sewer District No. 527T – Platte Valley Industrial Park with The Diamond Engineering Co. of Grand Island, NE.

#2014-151 - Approving Agreement for Engineering Consulting Services Related to Community Development Block Grant Handicap Ramps 4th to 5th Streets; Sycamore Street to Eddy Street; Project No. 2014-2G with Schemmer Associates of Lincoln, NE in an Amount of \$94,352.00.

#2014-152 - Approving Discontinuation of Sanitary Sewer District No. 532; Westwood Park Subdivision. Public Works Director John Collins reported this was the fifth time the homeowners requested creating this district. Protests were received from 61% of the homeowners in the district which required discontinuing the district. Kerri Blackburn, 624 Sweetwood Drive spoke in opposition and requested a tap district.

Discussion was held regarding tap districts, assessment districts, and cost of replacing septic systems. It was recommended this item come back to a Study Session.

Motion by Minton, second by Haase to approve Resolution #2014-152. Upon roll call vote, all voted aye. Motion adopted.

#2014-153 - Approving Discontinuation of Sanitary Sewer District No. 533; Lots 1, 2, 21 & 22, all in Block 5 of Valley View Subdivision.

#2014-154 - Approving Bid Award for the 2014 Asphalt Resurfacing Project Number 2014-AC-1 with J.I.L. Asphalt Paving Co. of Grand Island, NE in an Amount of \$531,871.56.

#2014-155 - Approving Bid Award for Claude Road Drainage Improvement Project No. 2013-D-2 with The Diamond Engineering Co. of Grand Island, NE in an Amount of \$55,818.10.

#2014-156 - Approving Supplemental Agreement to the Temporary Construction Easement Agreement for Tract 2 for the US-30 Drainage Improvement Project with Juan Munoz of Grand Island, NE in an Amount of \$4,500.00.

#2014-157 - Approving Change Order No. 1 for Southwest Outfall Drainage – Central Community College to the Wood River; Project No. 2011-D-1 with Van Kirk Bros. Contracting of Sutton, NE for an Increase of \$58,824.45 and a Revised Contract Amount of \$501,320.65.

#2014-158 - Approving Certificate of Final Completion for Southwest Outfall Drainage – Central Community College to the Wood River; Project No. 2011-D-1 with Van Kirk Bros. Contracting of Sutton, NE.

#2014-159 - Approving Acquisition of Right-of-Way for Capital Avenue Widening – Webb Road to Broadwell Avenue with: Windsor Square Association - \$1,470.00; Shirley Bruhn - \$150.00; and Jason and Amy Ummel - \$170.00.

#2014-160 - Approving Agreement for Temporary Construction Easement & Leasehold Agreements for Capital Avenue Widening – Webb Road to Broadwell Avenue with: Windsor Square - \$9,350.00; Via Milano Homeowner’s Association - \$2,870.00; David & Catherine Larson - \$730.00; Tara Arnold & Jonathon Aguilar - \$100.00; Curtis & Beverly Cramm & Deanna Shonka - \$100.00; Richard Jack & Sharon Jarecke - \$400.00; Joe & Candice Rivera - \$100.00; Herman & Joanne Meyer - \$270.00; Joleen Altarabo - \$100.00; Kathryn Vandeberg - \$2,760.00; Ethel Lamborn - \$320.00; Newell and Associates LLC - \$6,670.00; Ryan & Tonya Banzhaf - \$4,641.00; Shirley Bruhn - \$300.00; Jason & Amy Ummel - \$620.00; Ralph Cynova, Andrew & Katherine, Gerrard & Kay Cynova - \$220.00; Greater NE Independent Housing, Inc. - \$950.00; Terry & Dora Rinke - \$760.00; David & Paula Snider - \$110.00; Kenneth Snider - \$100.00; Gilbert & Katherine Kyhn - \$2,780.00; Luis & Sonia Aguilar - \$320.00; and D & J Enterprises - \$2,130.00 for a Total Amount of \$36,701.00.

#2014-161 - Approving Acquisition of Utility Easements for Capital Avenue Widening - Webb Road to Broadwell Avenue with: Via Milano Homeowner’s Association - \$100.00; David & Catherine Larson - \$100.00; Richard Jack & Sharon Jarecke - \$100.00; Newell and Associates, LLC - \$100.00; Ralph Cynova, Andrew & Katherine Cynova; Gerrard & Kay Cynova - \$100.00; David & Paula Snider - \$130.00; and Gilbert & Katherine Kyhn - \$110.00 for a Total Amount of \$740.00.

RESOLUTIONS:

#2014-164 – Consideration of Approving Economic Development Incentive Agreement with Bosselman Tank & Trailer, Inc. City Administrator Mary Lou Brown reported that Bosselman Tank & Trailer, Inc. had submitted an application for LB 840 funds in the amount of \$90,000.00. Proposed was the creation of 8 new jobs within one year with an average hourly wage of \$16.00. Requested was \$6,250.00 per new employee for job training totaling \$50,000.00 and \$5,000.00 per new employee for job creation totaling \$40,000.00 for a total incentive request of \$90,000.00. Staff recommended approval.

Motion by Haase, second by Hehnke to approve Resolution #2014-164. Upon roll call vote, all voted aye. Motion adopted.

Kent Caldwell representing Bosselman Tank & Trailer thanked the council for their support.

#2014-165 – Consideration of Approving Maintenance Agreement for N. Wheeler Avenue with the Downtown Business Improvement District 2013. City Attorney Robert Sivick reported that for a number of years the Downtown Business Improvement District (BID) 2013 had maintained the park at the intersection of Third Street and N. Wheeler Avenue. Approval of the maintenance agreement would legitimize the existing situation. Staff recommended approval.

Amos Anson representing the Downtown BID spoke in support. Discussion was held regarding permits and fees for events at this location. Also mentioned was the name for this area.

Motion by Donaldson, second by Gilbert to approve Resolution #2014-165. Upon roll call vote, Councilmembers Minton, Paulick, Stelk, Gericke, Gilbert, Nickerson, Hehnke, Haase, and Donaldson voted aye. Councilmember Mann voted no. Motion adopted.

#2014-166 – Consideration of Approving Settlement with the Ponderosa Lake Estates Subdivision Homeowners Associations, Inc. This item was removed from the agenda pending more internal investigation.

PAYMENT OF CLAIMS:

Motion by Gericke, second by Nickerson to approve the Claims for the period of May 28, 2014 through June 10, 2014, for a total amount of \$8,633,744.33. Unanimously approved.

ADJOURNMENT: The meeting was adjourned at 9:28 p.m.

RaNae Edwards  
City Clerk



# **City of Grand Island**

**Tuesday, June 24, 2014**

**Council Session**

## **Item G-2**

**Approving Minutes of June 17, 2014 City Council Study Session**

**Staff Contact: RaNae Edwards**

CITY OF GRAND ISLAND, NEBRASKA

MINUTES OF CITY COUNCIL STUDY SESSION

June 17, 2014

Pursuant to due call and notice thereof, a Study Session of the City Council of the City of Grand Island, Nebraska was conducted in the Council Chambers of City Hall, 100 East First Street, on June 17, 2014. Notice of the meeting was given in the *Grand Island Independent* on June 11, 2014.

Mayor Jay Vavricek called the meeting to order at 7:00 p.m. The following Councilmembers were present: Vaughn Minton, Mike Paulick, John Gericke, Mitch Nickerson, Chuck Haase, Linna Dee Donaldson, and Kent Mann. Councilmembers Mark Stelk, Peg Gilbert, and Julie Hehnke were absent. The following City Officials were present: City Administrator Mary Lou Brown, City Clerk RaNae Edwards, City Attorney Robert Sivick, City Treasurer and Finance Director Jaye Monter, and City Engineer and Public Works Director John Collins.

The PLEDGE OF ALLEGIANCE was said.

SPECIAL ITEMS:

Recognition of 2013-2014 Community Youth Council. Public Information Officer Wendy Meyer-Jerke introduced Rebecca Riley, Marlena Ramirez and Kennedy Martinez who gave an update and video of activities the CYC students participated in the past year. The Mayor and City Council recognized the following Community Youth Council (CYC) members: Rebecca Riley, Jimmy Riley, Hannah Price, Allie Richardson, Diana Molina, Marlena Ramirez, Kennedy Martinez, and Regan Dimmitt; and Board Members – Erin Blauhorn, Craig Garrett, Maria Lopez, Ramona Otto, and Randy See. Those not present were: CYC students Hannah Sugita, Joe Huston, John Albers, and Kerrigan Anspauch; and Board Members – Jennifer Cramer, Dan Burchess, and Jared Stockwell. The “Above and Beyond Award” was presented to Marlena Ramirez and Kennedy Martinez.

Mayor thanked the CYC students and Public Information Officer Wendy Meyer-Jerke for their work over the past year.

Consideration to Modify Racquet Center/Tennis Association Lease Agreement. Parks and Recreation Director Todd McCoy reported that in May of 2010 the City Council approved a lease agreement with the Grand Island Tennis Association to operate the City owned Grand Island Racquet Center located at 2204 Bellwood Drive for one dollar per month to operate and maintain the facility for tennis activities and improvements to the property. The Tennis Association had maintained the Racquet Center property along with several improvements to the indoor facility.

The Tennis Association would like to partner with the City to build a new outdoor tennis complex at Ryder Park for public use. The Tennis Association was offering to support the project by providing \$160,000 of the anticipated \$300,000 to \$350,000 needed to build six new tennis courts. If Council supported the Ryder Park tennis project the lease agreement would need to be modified.

Tennis Association members: Phil Maltzhan, 1203 West 2<sup>nd</sup> Street; Jeff Bogner, 3007 State Street; Ron Bender, 1434 Howard Avenue; Kara Heim, USTA Tennis Service Representative for Nebraska, Lincoln, NE, and Matt Westfall, 2003 West Division Street gave a presentation and spoke in support of a modified agreement.

Discussion was held regarding courts per capita compared to surrounding towns. Maintenance and upkeep would be the responsibility of the city. City Administrator Mary Lou Brown answered questions regarding insurance on the racquet center building.

Platte Valley Industrial Park East – Community Development Block Grant Update. Finance Director Jaye Monter reported that in July of 2010, the City through its LB-840 funds granted \$575,000 to the Grand Island Area Economic Development Corporation (GIAEDC) to be used for infrastructure improvements for the 280 acres of undeveloped area known as Platte Valley Industrial Park East owned by GIAEDC. The GIAEDC requested the City apply for and it received a \$925,000 Community Development Block Grant from the Nebraska Department of Economic Development (NDED) to help with the total estimated project costs for water and sewer improvements of \$2,200,000. The \$575,000 of LB 840 dollars would be committed and used to help achieve a portion of the 1:1 match requirement of the grant.

In 2012, the actual costs for water and sanitary sewer infrastructure activities were running below the estimated costs. As a result, the City requested and was granted an amendment to the grant contract to allow for the paving of Blaine Street as an additional grant activity. In February 2013, Council also approved the use of the \$575,000 LB-840 fund dollars to assist in the matching fund requirements of the paving of Blaine Street grant activity. With the Blaine Street paving complete, a contract amendment was requested and granted to reallocate excess funds reserved for the paving project back into infrastructure costs to ensure grant funds were utilized in its entirety.

The Economic Development CDBG-Platte Valley Industrial Park contract term runs six years from the date of signature which was March 25, 2011. Two requirements fall into this six year term with the first having been met and the second in progress:

1. Two (2) years to complete the public infrastructure improvements which comprise the Project.
2. Five (5) years to have an eligible Benefiting Business occupy a business facility site within the Spec Park and create at least 37 new, full-time positions. At least 51% of the jobs created must be held by, or made available to, low-to-moderate income (LMI) persons. The 37 positions must be maintained for one year from date of original hire for each of the jobs. This requirement does not indicate that the same individual must occupy the position during the one year time frame, but the 'position' remains filled with any individual that qualifies under the LMI requirements for Hall County, NE.

If the second requirement had not been met by the contract deadline or an extension request had not been granted from the State of Nebraska; all or a portion of the \$925,000 would need to be repaid.

Randy Gard, President of GIAEDC presented an update regarding the business development and marketing plans in progress surrounding Platte Valley Industrial Park East. Water and sewer infrastructure are in place. Currently fiber optic infrastructure was in the process of moving south

from Central Community College to the Platte Valley Industrial Park. Mr. Gard stated they were pursuing every lead with a couple businesses looking very promising. Mr. Gard agreed with Mayor Vavricek's recommendation that a written agreement should be put in place regarding the repayment of the grant monies in the event the conditions of the grant are not met.

Downtown Presentation. Councilmember Linna Dee Donaldson reported that the Downtown BID had invited Councilmember Donaldson and Hehnke to their meetings. Introduced was Tom Ziller from the Downtown BID 2013 board who gave a PowerPoint presentation of the history of downtown. In the 1980s 56 condos were developed, in the 1990s 18 apartments were developed or renovated, from 2000 – 2008 six units were developed, but from 2008 to 2014 there were zero housing projects. The Downtown BID 2013 goal was to create 50 new housing units by 2020.

Mr. Ziller requested \$100,000 for each of the next 5 years from the general fund to implement a new Life Safety and Infrastructure Program that would be designed to promote upper level housing. An additional \$100,000 per year for each of the next 5 years is being requested from the CRA's Façade Program to be redirected to the newly formed Life Safety Program. Also requested is that the Façade Program be limited to historic buildings in the downtown district. It was recommended the CRA administer the newly formed program.

The following people spoke in support:

- Amos Anson, 4234 Arizona Avenue
- Randy Gard, 123 No. Locust Street
- Brad Mellema, Convention Visitors Bureau

Comments were made regarding reactivating the Master Plan, investing in the downtown, and the right time and place.

Council recessed at 9:20 p.m. and reconvened at 9:35 p.m.

2014-2015 City of Grand Island Budget Proposed Fee Schedule. Finance Director Jaye Monter reviewed the changes to the 2014-2015 fee schedule for the Administration Department. Parks and Recreation Director Todd McCoy commented on the cemetery fees. These were increased to keep up with the private cemetery fees. Aquatics and water park fees were presented. Golf course fees were in conjunction to help pay for the irrigation system. The Heartland Public Shooting Park fees were reviewed.

Discussion was held regarding the golf course fees and the capital maintenance fee. Mr. McCoy stated there was not a separate fund for the capital maintenance fund. Explained was the law enforcement training fee in the amount of \$1,700.00. This included the Grand Island Police Department, State Patrol and County Law Enforcement.

Public Works Director John Collins stated the special events fee would be actual cost. Discussion was held regarding what a special event would be. Comments were made concerning not having this in the fee schedule and whether or not to have a fee at all for special events.

The Wastewater Treatment increased fees were reflected from the rate study as presented in September 2013. A 20% surcharge would be added to the Wastewater rates for customers outside the City limits. Wastewater Plant Engineer Marvin Strong explained the monthly sewer bill for commercial/industrial customer without metered City water.

Fire Chief Cory Schmidt commented on generating fees to off-set costs as compared to other cities. They were proposing a \$165.00 fee if someone cut a gas line. Technical rescue fee proposed of \$500.00 per hour was due to the special equipment, training, and time involved. Commercial false alarm fee of more than three in 12 consecutive months would be \$165.00. This was an effort to get property owners to maintain their systems. Explained were the following fees: special burn permit fee - \$100.00; special display fireworks permit fee - \$100.00; pyrotechnics fee - \$200.00; environmental site assessment fee - \$25.00; inspection callback fee for code violation requiring three or more visits - \$50.00; engine company run fee - \$100.00; and motor vehicle collision response fee - \$500.00. All fees were to cover some costs of the Fire Department.

Mike Nolan, 1415 Gunbarrel Road spoke in opposition of the fee increases.

Comments were made by Council that some of the fees were reasonable such as false alarm, special burn permit, and inspection callback, but others such as motor vehicle collision response were regressive fees and not citizen friendly and would cause more work for city staff. Chief Schmidt stated the Fire Department was not in the business to make money but to off-set costs. Division Chief Russ Blackburn answered questions concerning the increased fees for the ambulance division. Collection rate last year was 52%.

Discussion was held regarding a fee for paying by credit card. Ms. Monter stated they would review that fee with the new system. Comments were made concerning this fee not being in the fee schedule.

2014-2015 City of Grand Island Budget Proposed Full-Time Equivalent Employee Changes. Finance Director Jaye Monter reviewed the changes to the 2014-2015 Full-Time Equivalent (FTE) positions and dollar impact of those requests. Reviewed were Emergency Management, Building Department, Fire Department, Parks and Recreation Department, Electric Utility, and Wastewater Treatment Plant.

Chief Schmidt explained the request for another Life Safety Inspector and benefits of having that position filled. Division Chief Fred Hotz commented on the number of inspections completed by the current Life Safety Inspector.

The following people spoke in support of the additional Safety Range Officer at the Heartland Public Shooting Park:

- Brad Mellema, Convention Visitors Bureau
- Steven Hayes, 4316 Clausen Road
- Jean Simons, 418 West 13<sup>th</sup> Street

Discussion was held regarding the cost of this position and what was supported by the fees and what was supported by the tax payers. Mr. McCoy stated there would be more revenue and this position would help grow the park. Mayor Vavricek commented on the number of volunteers and the size of the park.

Human Resources Director Brenda Sutherland explained the Wastewater Treatment Plant Operator I/II. Mr. Collins stated the Senior Equipment Operator position was no longer needed and the individual currently in this position would be best utilized in the Operator I/II capacity.

By making this change the Wastewater division would be able to reduce overtime, while ensuring the plant was always staffed.

Ms. Monter stated the total dollar amount increase in the FTE changes would be \$129,988.

ADJOURNMENT: The meeting was adjourned at 11:31 p.m.

RaNae Edwards  
City Clerk



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-3

### **Approving Appointments of Kelli Arens and Edward Meedel and the Re-Appointments of Rebecca Rosenlund and Alan Lepler to the Library Board**

*Mayor Vavricek has submitted the appointments of Kelli Arens and Edward Meedel to replace Karl Kostbahn and Nancy Jones and the re-appointments of Rebecca Rosenlund and Alan Lepler to the Library Board. The appointments would become effective July 1, 2014 upon approval by the City Council and would expire on June 30, 2018.*

Staff Contact: Mayor Jay Vavricek



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-4

**#2014-167 - Approving Final Plat and Subdivision Agreement for  
Copper Creek Estates Eighth Subdivision**

Staff Contact: Chad Nabity

# Council Agenda Memo

**From:** Regional Planning Commission  
**Meeting:** June 24, 2014  
**Subject:** Copper Creek Estates 8th Subdivision – Final Plat  
**Item #'s:** G-4  
**Presenter(s):** Chad Nabity AICP, Regional Planning Director

## Background

This property is located south of Old Potash Highway and east of Engleman Road, in the City of Grand Island, in Hall County, Nebraska and consists of (44 Lots) and 13.203 acres.

## Discussion

The plat for Copper Creek Estates 8<sup>th</sup> Subdivision Final Plat was considered by the Regional Planning Commission at the June 4, 2014 meeting.

A motion was made by Vincent and seconded by Hayes to approve the plat as presented.

A roll call vote was taken and the motion passed with 10 members present and voting in favor (Connick, O'Neill, Ruge, Hayes, Vincent, Reynolds, Heckman, McCarty, Haskins and Bredthauer) and no members abstaining.

## Alternatives

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

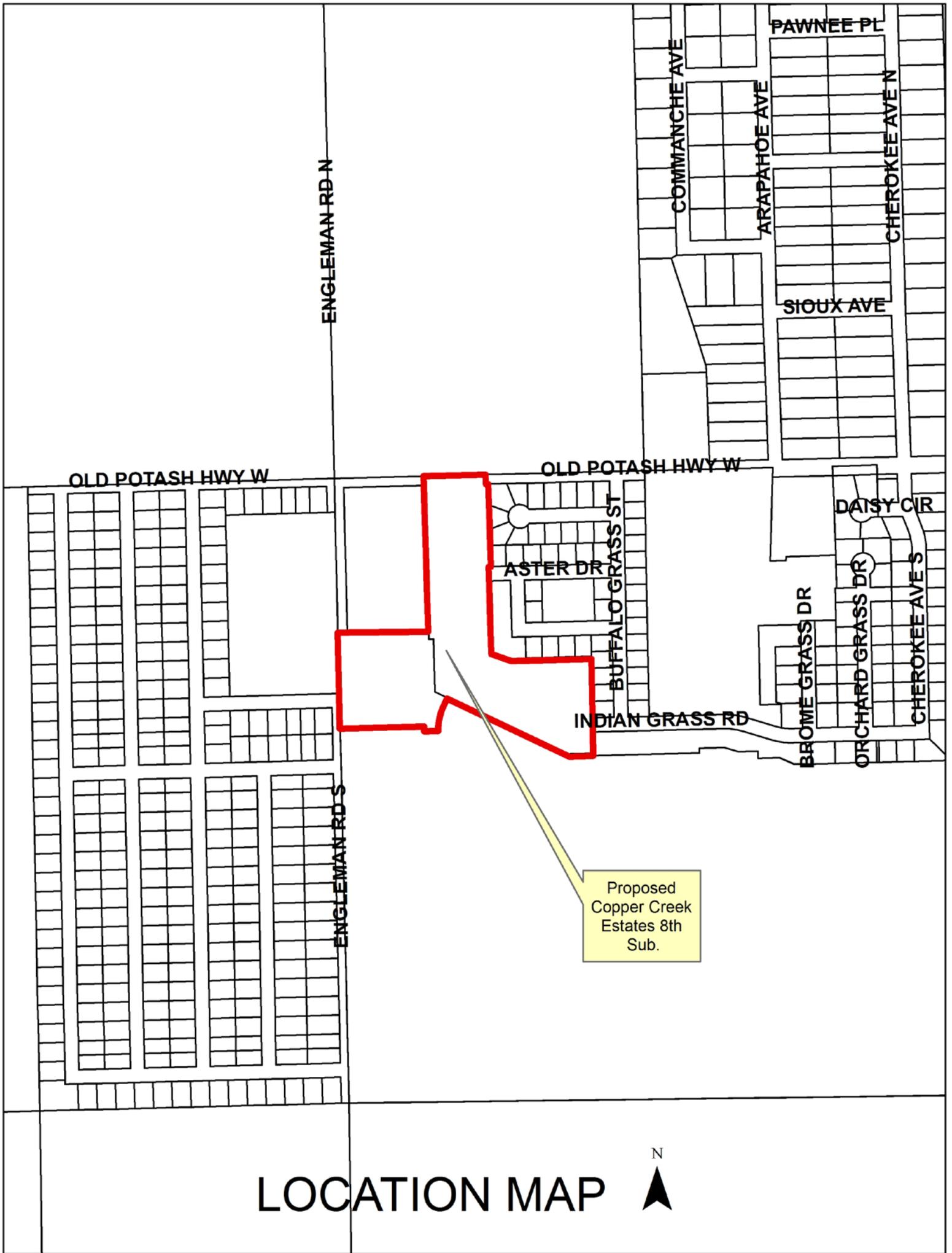
1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the final plat as presented.

## **Sample Motion**

Move to approve as recommended.



# LOCATION MAP



**The Guarantee Group, LLC**  
**Developer/Owner**

Sean P. O'Connor  
2502 N Webb Rd  
Grand Island NE 68801

To create 44 lots located south of Old Potash Hwy and east of Engleman Road, in the City of Grand Island, in Hall County, Nebraska.

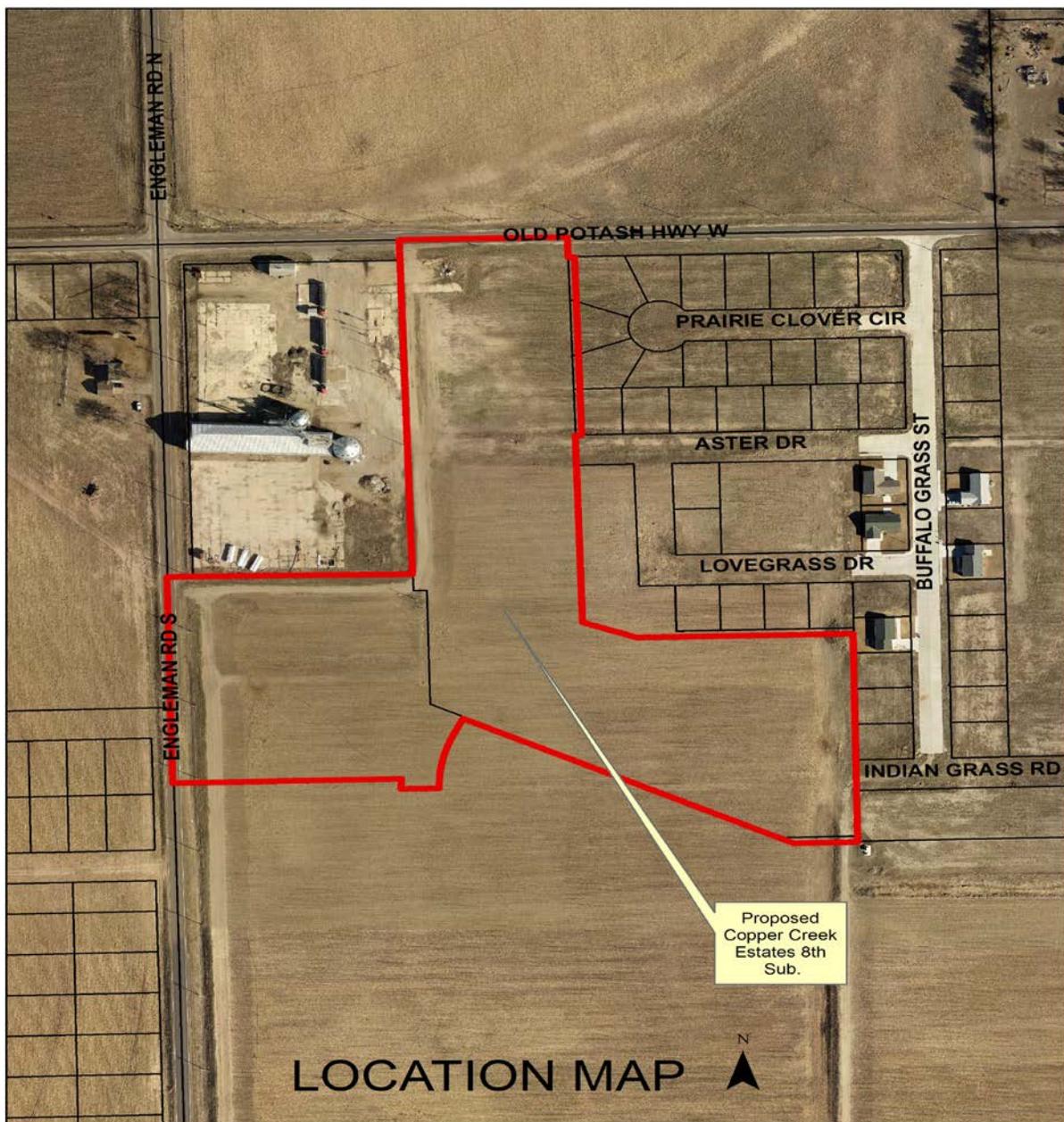
**Size:** 13.203 acres

**Zoning:** R2 – Low Density Residential Zone

**Road Access:** City Roads

**Water Public:** City water is available.

**Sewer Public:** City sewer is available.

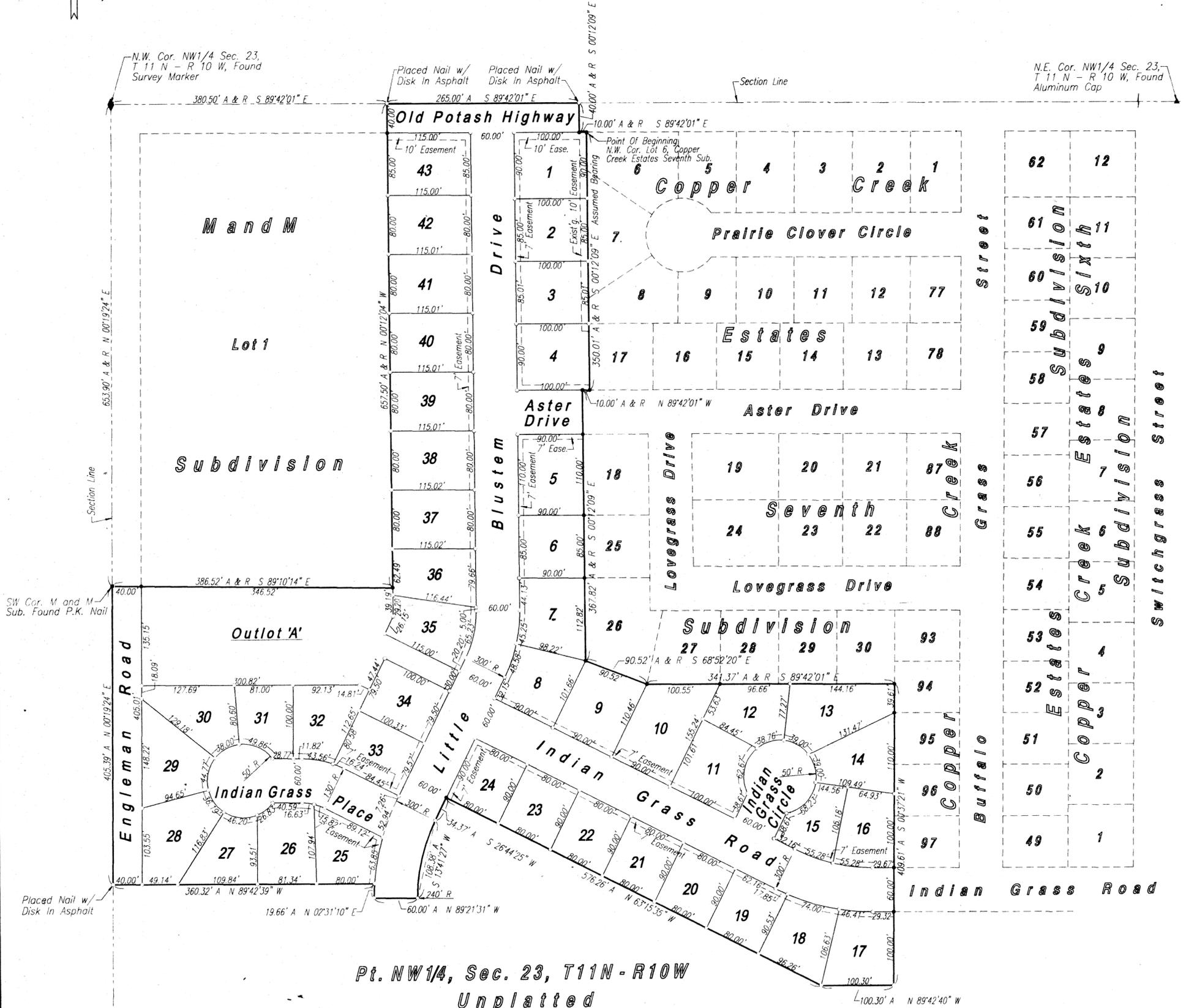


Scale: 1" = 100'

**LEGEND**

- - Indicates 1/2" Iron Pipe Found Unless Otherwise Noted
- - Indicates 1/2" Iron Pipe w/Survey Cap Placed Unless Otherwise Noted
- A - Indicates ACTUAL Distance
- R - Indicates RECORDED Distance
- All Distances Shown On Curves Are CHORD Distances
- All Distances Shown On Cul-de-sacs Are CHORD Distances

**Pt. SW1/4, Sec. 14, T11N - R10W  
Unplatted**



**Pt. NW1/4, Sec. 23, T11N - R10W  
Unplatted**

**COPPER CREEK ESTATES EIGHTH SUBDIVISION  
IN THE CITY OF GRAND ISLAND, NEBRASKA**

RESOLUTION 2014-167

WHEREAS the Guarantee Group, LLC., a Nebraska Limited Liability Company, being the owner of the land described hereon, has caused same to be surveyed, subdivided, platted and designated as "COPPER CREEK ESTATES EIGHTH SUBDIVISION", to be laid out into 44 lots, on a tract of land comprising a part of Vacated Lots Sixty Nine (69), Seventy (70), Seventy One (71) and Eighty Four (84), Copper Creek Estates Subdivision, along with a part of the Northwest Quarter (NW1/4), all in Section Twenty Three (23), Township Eleven (11) North, Range Ten (10) West of the 6<sup>th</sup> P.M., in the City of Grand Island, Hall County, Nebraska, and has caused a plat thereof to be acknowledged by it; and

WHEREAS, a copy of the plat of such subdivision has been presented to the Boards of Education of the various school districts in Grand Island, Hall County, Nebraska, as required by Section 19-923, R.R.S. 1943; and

WHEREAS, a form of subdivision agreement has been agreed to between the owner of the property and the City of Grand Island.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the form of subdivision agreement hereinbefore described is hereby approved, and the Mayor is hereby authorized to execute such agreement on behalf of the City of Grand Island.

BE IT FURTHER RESOLVED that the final plat of COPPER CREEK ESTATES EIGHTH SUBDIVISION, as made out, acknowledged, and certified, is hereby approved by the City Council of the City of Grand Island, Nebraska, and the Mayor is hereby authorized to execute the approval and acceptance of such plat by the City of Grand Island, Nebraska.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-5

**#2014-168 - Approving Final Plat and Subdivision Agreement for Karle Subdivision**

Staff Contact: Chad Nabity

# Council Agenda Memo

**From:** Regional Planning Commission  
**Meeting:** June 24, 2014  
**Subject:** Karle Subdivision – Final Plat  
**Item #'s:** G-5  
**Presenter(s):** Chad Nability AICP, Regional Planning Director

## Background

This property is located south of Old Potash Highway and east of Monitor Road, in the two mile jurisdiction of the City of Grand Island, in Hall County, Nebraska and consists of (2 Lots) and 4.92 acres.

## Discussion

The plat for Karle Subdivision Final Plat was considered by the Regional Planning Commission at the June 4, 2014 meeting.

A motion was made by Vincent and seconded by Hayes to approve the plat as presented.

A roll call vote was taken and the motion passed with 10 members present and voting in favor (Vincent, Connick, O'Neill, McCarty, Ruge, Hayes, Reynolds, Heckman, Haskins and Bredthauer) and no members abstaining.

## Alternatives

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

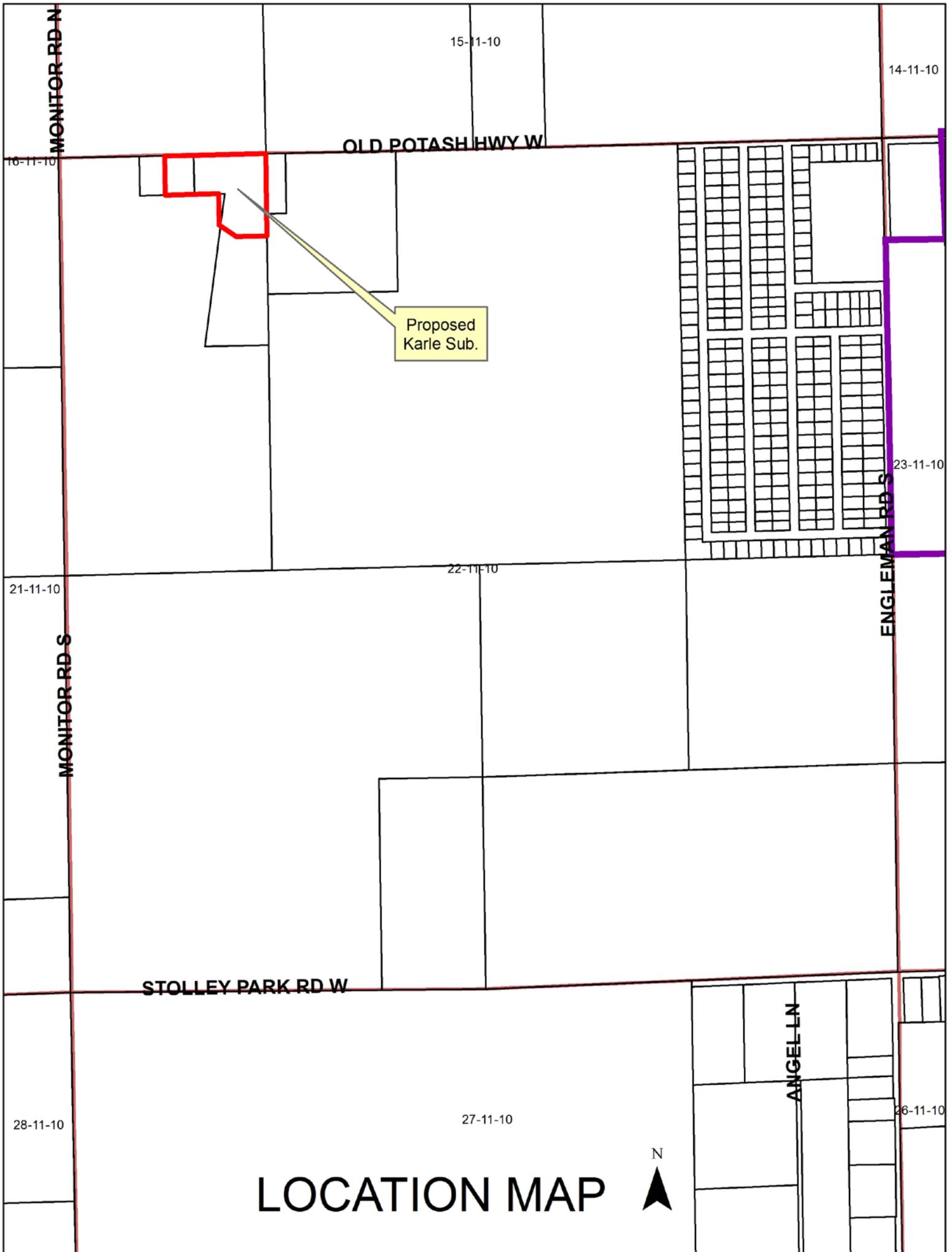
1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the final plat as presented.

## **Sample Motion**

Move to approve as recommended.



**Robert & Deborah Karle  
Pat & Gary Anderson  
Developer/Owner**

Robert & Deborah Karle  
4905 Old Potash Hwy  
Grand Island, NE 68803

Pat & Gary Anderson  
16705 Grove Rd  
Kearney NE 68845

To create 2 lots located south of Old Potash Hwy and east of Monitor Rd., in the two mile jurisdiction of the City of Grand Island, in Hall County, Nebraska.

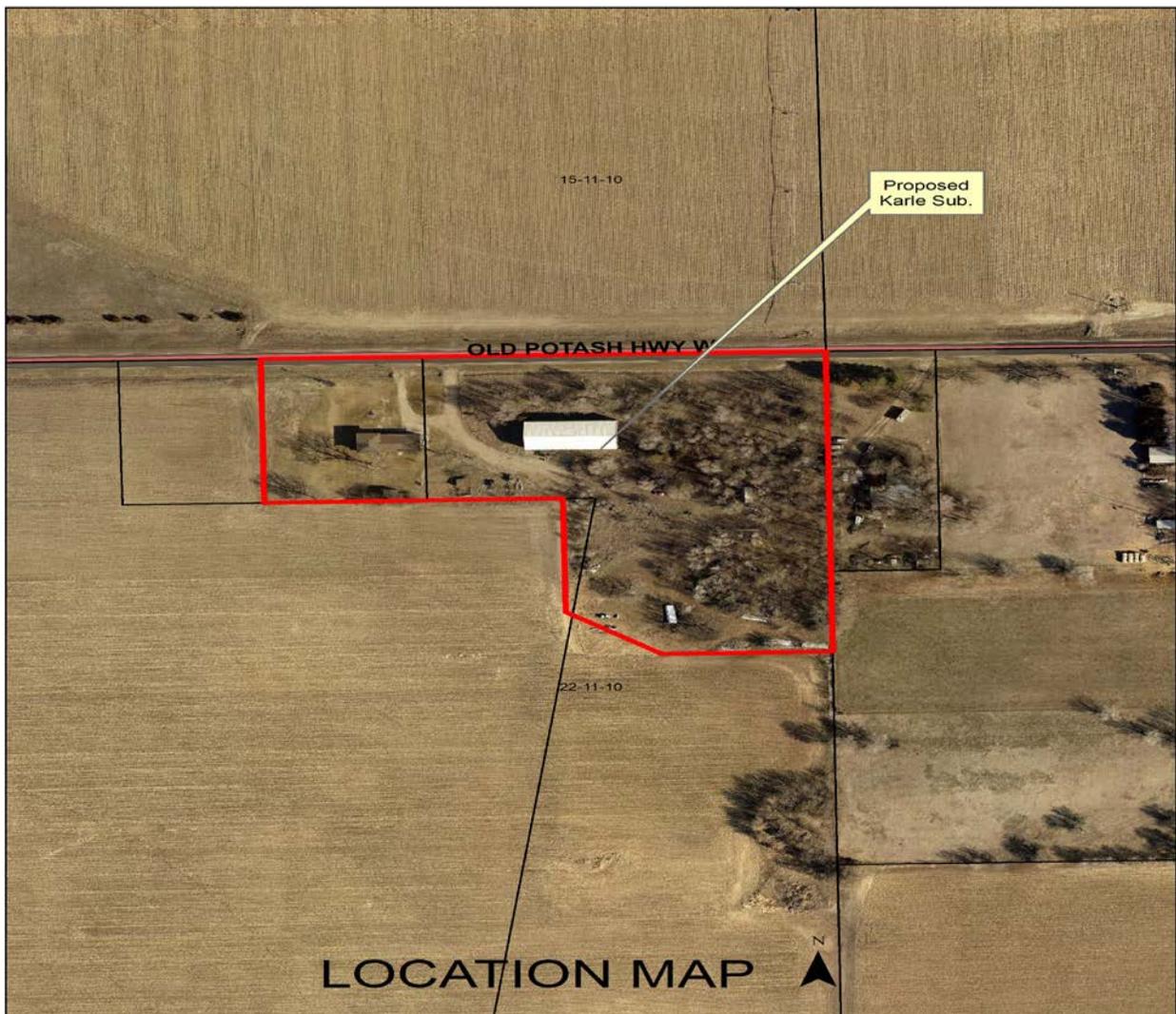
**Size:** 4.92 acres

**Zoning:** AG-2 Secondary Agricultural Zone

**Road Access:** City Roads

**Water Public:** City water is not available.

**Sewer Public:** City sewer is not available.



**Legal Description:**

A part of the West Half of the Northwest Quarter of Section 22, Township 11 North, Range 10 West of the Sixth Principal Meridian, in Hall County, Nebraska, described as;

Beginning at the Northeast corner of said West Half of the Northwest Quarter, said point being the Actual Point of Beginning, thence running westerly along and upon the north line of said West Half of the Northwest Quarter on an Assumed Bearing of S90°00'00"W, a distance of Six Hundred Forty Five and Sixty Six Hundredths (645.66) feet; thence running southerly perpendicular to the last course on a bearing of S00°00'00"E, a distance of Two Hundred Fifty (250.00) feet; thence running easterly parallel with the north line of said West Half of the Northwest Quarter on a bearing of S90°00'00"E, a distance of Three Hundred Forty One and Six Tens (341.60) feet; thence running southerly on a bearing of S01°41'36"E, a distance of One Hundred Ninety Seven and Fifty Four Hundredths (197.54) feet; thence running southeasterly on a bearing of S40°40'38"E, a distance of One Hundred (100.00) feet; thence running easterly on a bearing of N89°31'58"E, a distance of Two Hundred Twenty Nine and Eighty Three Hundredths (229.83) feet to a point on the east line the West Half of the Northwest Quarter; thence running northerly along and upon the east line the West Half of the Northwest Quarter, on a bearing of N00°21'13"E, a distance of Five Hundred Twenty One and Forty Three Hundredths (521.43) feet, to the Actual Point of Beginning;

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT ON May 8, 2014, I COMPLETED AN ACCURATE SURVEY (MADE UNDER MY SUPERVISION) OF "KARLE SUBDIVISION", IN THE CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA AS SHOWN ON THE ACCOMPANYING PLAT THEREOF; THAT THE LOTS, BLOCKS, STREETS, ROAD RIGHT OF WAY, AVENUES, ALLEYS, PARKS, COMMONS, AND OTHER GROUNDS AS CONTAINED IN SAID SUBDIVISION AS SHOWN ON THE ACCOMPANYING PLAT THEREOF, ARE WELL AND ACCURATELY STAKED OFF AND MARKED; THAT IRON MARKERS WERE PLACED AT ALL CORNERS AS SHOWN ON THE PLAT; THAT EACH LOT BEARS ITS OWN LOT NUMBER; AND THAT SAID SURVEY WAS MADE WITH REFERENCE TO KNOWN AND RECORDED MONUMENTS.

PAUL F. GRABOWSKI L.S.633 (SEAL)

**DEDICATION**

KNOWN ALL MEN BY THESE PRESENTS, THAT THE ROBERT AND DEBORAH KARLE, HUSBAND AND WIFE, AND GARY AND PATRICIA ANDERSON, HUSBAND AND WIFE, BEING THE OWNER OF THE LAND DESCRIBED HEREON, HAS CAUSED SAME TO BE SURVEYED, SUBDIVIDED, PLATTED AND DESIGNATED AS "KARLE SUBDIVISION", IN THE CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA AS SHOWN ON THE ACCOMPANYING PLAT THEREOF, AND DO HEREBY DEDICATED THE ROAD RIGHT OF WAY AS SHOWN THEREON TO THE PUBLIC FOR THEIR USE FOREVER, DESCRIBED IN THE DESCRIPTION HEREON AS APPEARS ON THE PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR. IN WITNESS WHEREOF, WE HAVE AFFIXED OUR SIGNATURES HERETO, AT GRAND ISLAND, NEBRASKA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.

ROBERT KARLE DEBORAH KARLE

GARY ANDERSON PATRICIA ANDERSON

**ACKNOWLEDGEMENT**

STATE OF NEBRASKA

SS

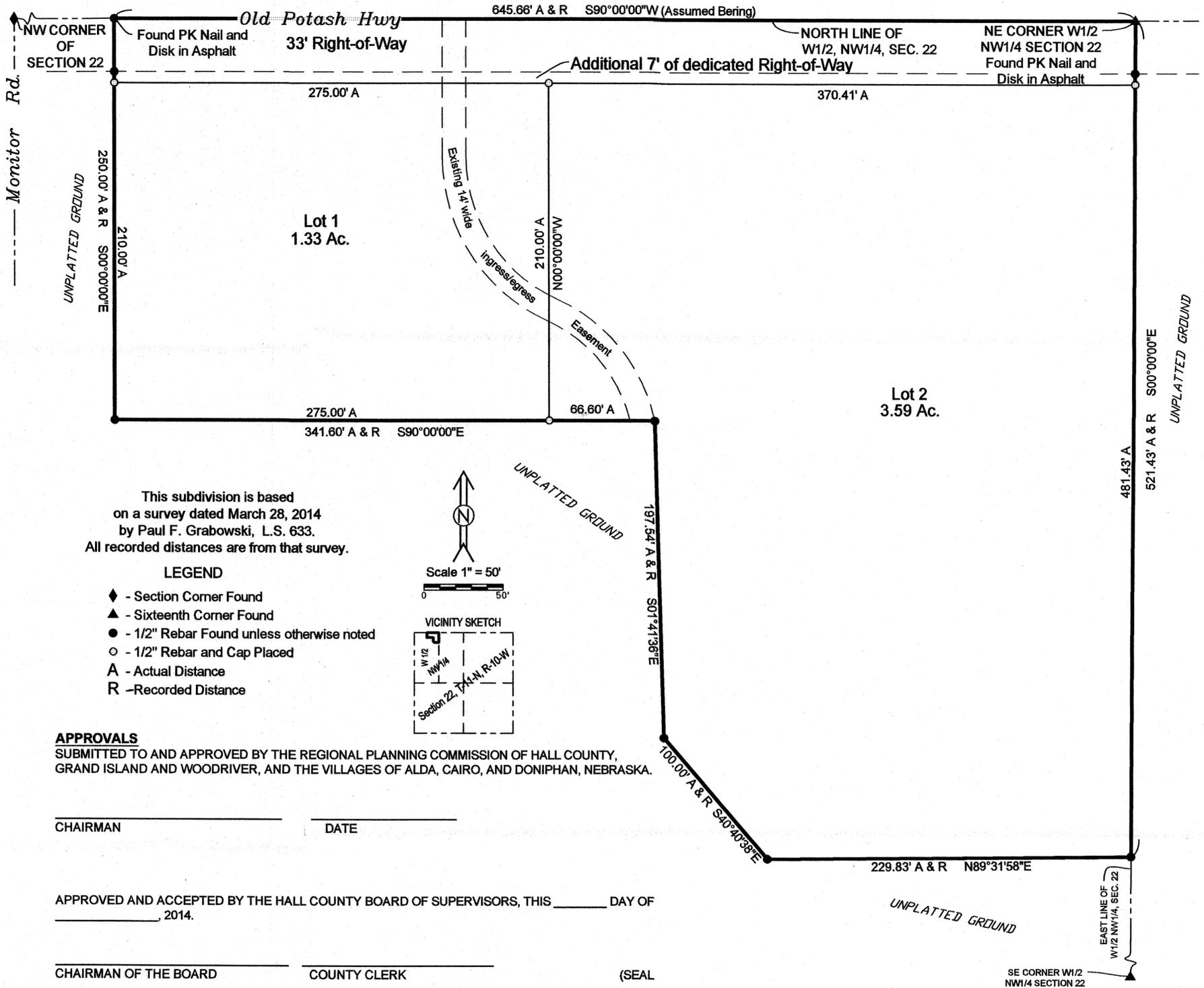
COUNTY OF HALL

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014, BEFORE ME, \_\_\_\_\_, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED ROBERT AND DEBORAH KARLE, HUSBAND AND WIFE, AND GARY AND PATRICIA ANDERSON, HUSBAND AND WIFE, TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSONS WHOSE SIGNATURES ARE AFFIXED HERETO, AND THEY DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HIS AND HER VOLUNTARY ACT AND DEED. MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC (SEAL)

Owners - Robert and Deborah Karle and Gary and Patricia Anderson  
Surveyor - Baseline Surveying LLC  
Number of lots: 2

**BASELINE SURVEYING LLC**  
P.O. Box 273 Aurora, Nebraska 68818-0273  
email surveyor28@yahoo.com Phone 402-631-9407  
May 9, 2014



This subdivision is based on a survey dated March 28, 2014 by Paul F. Grabowski, L.S. 633. All recorded distances are from that survey.

**LEGEND**

- ◆ - Section Corner Found
- ▲ - Sixteenth Corner Found
- - 1/2" Rebar Found unless otherwise noted
- - 1/2" Rebar and Cap Placed
- A - Actual Distance
- R - Recorded Distance

**APPROVALS**

SUBMITTED TO AND APPROVED BY THE REGIONAL PLANNING COMMISSION OF HALL COUNTY, GRAND ISLAND AND WOODRIVER, AND THE VILLAGES OF ALDA, CAIRO, AND DONIPHAN, NEBRASKA.

CHAIRMAN DATE

APPROVED AND ACCEPTED BY THE HALL COUNTY BOARD OF SUPERVISORS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.

CHAIRMAN OF THE BOARD COUNTY CLERK (SEAL)

APPROVED AND ACCEPTED BY THE CITY OF GRAND ISLAND, NEBRASKA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.

MAYOR CITY CLERK (SEAL)

# KARLE SUBDIVISION

HALL COUNTY,  
AN ADDITION TO THE CITY OF GRAND ISLAND

RESOLUTION 2014-168

WHEREAS, Robert and Deborah Karle, husband and wife, and Gary and Patricia Anderson, husband and wife, being the said owners of the land described in the legal description hereon, have filed an application for approval of the final plat of Karle Subdivision, comprising a part of the West Half of the Northwest Quarter of Section 22, Township 11 North, Range 10, West of the 6<sup>th</sup> P.M. in Hall County, Nebraska, and has caused a plat thereof to be acknowledged by it; and

WHEREAS, a copy of the plat of such subdivision has been presented to the Boards of Education of the various school districts in Grand Island, Hall County, Nebraska, as required by Section 19-923, R.R.S. 1943; and

WHEREAS, a form of subdivision agreement has been agreed to between the owner of the property and the City of Grand Island.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the form of subdivision agreement hereinbefore described is hereby approved, and the Mayor is hereby authorized to execute such agreement on behalf of the City of Grand Island.

BE IT FURTHER RESOLVED that the final plat of KARLE SUBDIVISION, as made out, acknowledged, and certified, is hereby approved by the City Council of the City of Grand Island, Nebraska, and the Mayor is hereby authorized to execute the approval and acceptance of such plat by the City of Grand Island, Nebraska.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☐ _____
June 20, 2014	☐ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-6

**#2014-169 - Approving Acquisition of Utility Easement - 2920 S. Stuhr Road - Husen**

*This item is related to the aforementioned Public Hearing item E-1.*

Staff Contact: Tim Luchsinger, Utilities Director

RESOLUTION 2014-169

WHEREAS, a public utility easement is required by the City of Grand Island from Steven L. and Sally K. Husen, to survey, construct, inspect, maintain, repair, replace, relocate, extend, remove, and operate thereon, public utilities and appurtenances, including lines and transformers; and;

WHEREAS, a public hearing was held on June 24, 2014, for the purpose of discussing the proposed acquisition of a twenty foot wide easement the center line of which is located in Hall County, Nebraska; and more particularly described as follows:

Commencing at the Northeast corner of the Southeast Quarter (SE1/4), Section Twenty Seven (27), Township Eleven (11) North, Range Nine (9) West of the 6<sup>th</sup> P.M., Hall County, Nebraska; thence southerly along the easterly line of the said Southeast Quarter (SE1/4), a distance of six hundred eighty four and forty four hundredths (684.44) feet; thence deflecting right, 91°44'38" and running westerly along the southerly line of a tract of land described in Instrument 83-003699 recorded in Office of the Register of Deeds, Hall County, Nebraska, a distance of thirty three (33.0) feet to a point on the westerly right-of-way line of Stuhr Road, being the ACTUAL Point of Beginning; thence continuing westerly along the southerly line of a tract of land described in said Instrument 83-003699 and its extension, a distance of five hundred seventy five (575.0) feet to the point of termination.

The above-described easement and right-of-way containing 0.26 acres, more or less, as shown on the plat dated 6/3/2014, marked Exhibit "A" attached hereto and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to acquire a public utility easement from Steven L. and Sally K. Husen, on the above-described tract of land.

- - -

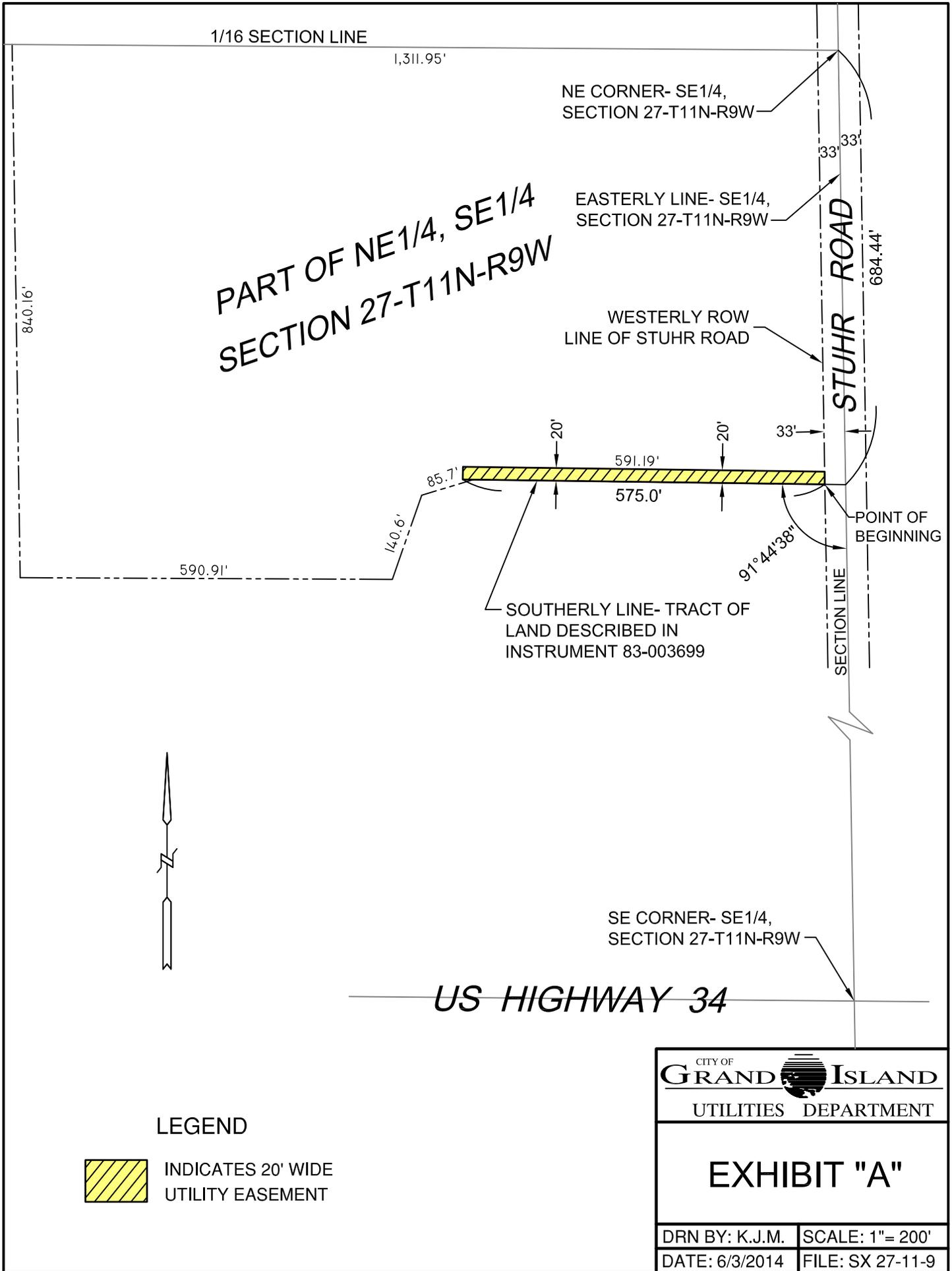
Adopted by the City Council of the City of Grand Island, Nebraska June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney





# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-7

**#2014-170 - Approving Acquisition of Utility Easement - 3521 U.S.  
Hwy. 34 - Dixon**

*This item is related to the aforementioned Public Hearing item E-2.*

Staff Contact: Tim Luchsinger, Utilities Director

RESOLUTION 2014-170

WHEREAS, a public utility easement is required by the City of Grand Island from Craig A. Dixon and Lesa M. Dixon, to survey, construct, inspect, maintain, repair, replace, relocate, extend, remove, and operate thereon, public utilities and appurtenances, including lines and transformers; and;

WHEREAS, a public hearing was held on June 24, 2014, for the purpose of discussing the proposed acquisition of a twenty foot wide easement the center line of which is located in Hall County, Nebraska; and more particularly described as follows:

Commencing at the Northeast corner of the Northeast Quarter (NE 1/4), Section Thirty Six (36), Township Eleven (11) North, Range Nine (9) West of the 6<sup>th</sup> P.M., Hall County, Nebraska; thence along the northerly line of the said Northeast Quarter (NE1/4), on an assumed bearing of N89°55'53"W, a distance of seven hundred forty nine and fifty two hundredths (749.52) feet; thence S0°04'07"W, a distance of thirty three (33.0) feet to a point on the southerly right-of-way line of Husker Highway, said point being the ACTUAL Point of Beginning; thence S31°17'22"W, a distance of seven hundred forty five and forty five hundredths (745.45) feet to a point on the northerly line of Lot One (1), Dixon Subdivision, Hall County, Nebraska. The side lines of the above described tract shall be prolonged or shortened as required to terminate on the boundary of Grantor's property.

The above-described easement and right-of-way containing 0.34 acres, more or less, as shown on the plat dated 6/3/2014, marked Exhibit "A" attached hereto and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to acquire a public utility easement from Craig A. Dixon and Lesa M. Dixon, on the above-described tract of land.

- - -

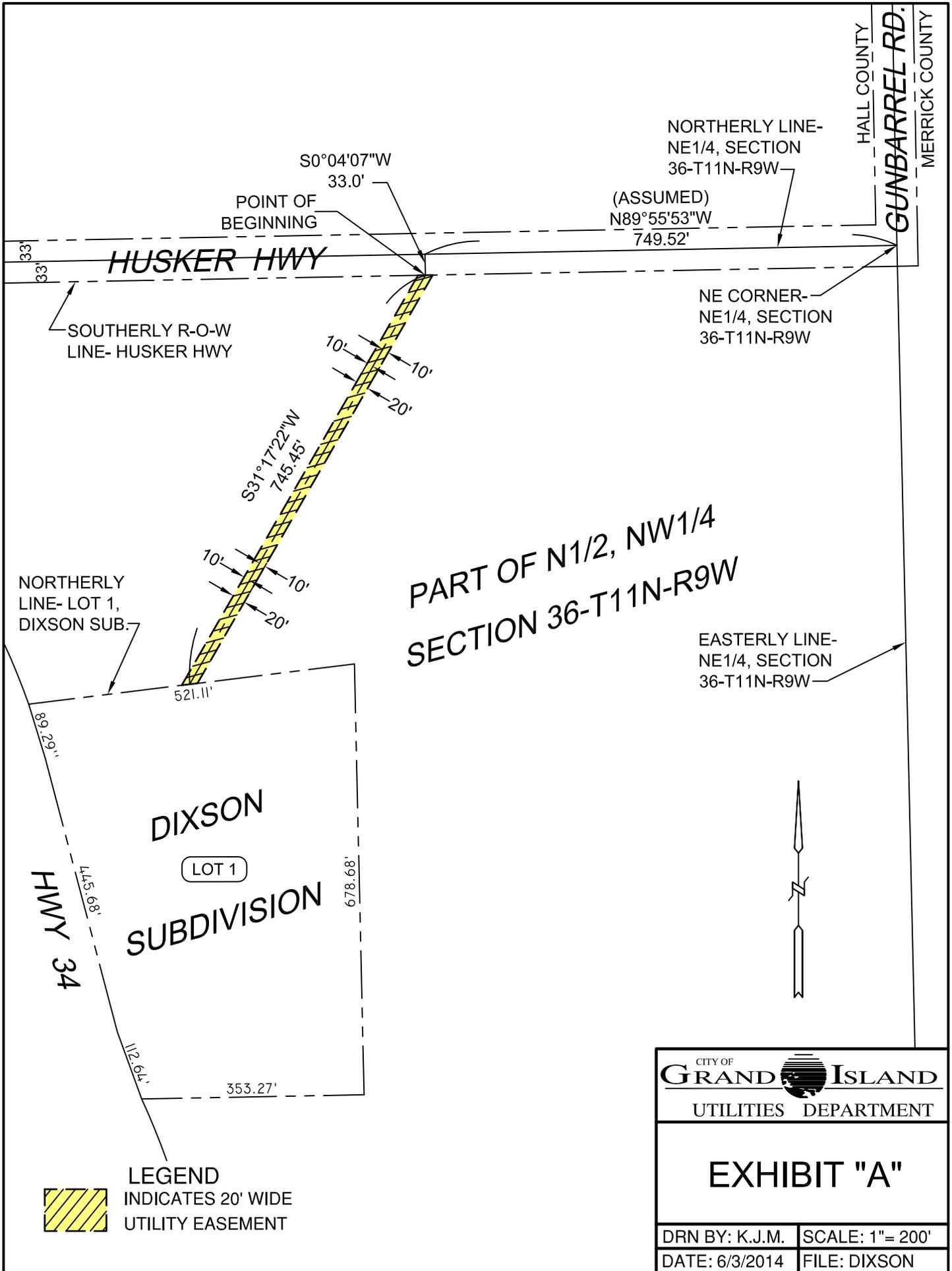
Adopted by the City Council of the City of Grand Island, Nebraska June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☐ _____
June 20, 2014	☐ City Attorney





# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-8

**#2014-171 - Approving Acquisition of Utility Easement - 2807 & 2825 N. Engleman Road - Joseph Brown and Lori Bear-Brown**

*This item is related to the aforementioned Public Hearing item E-3.*

Staff Contact: Tim Luchsinger, Utilities Director

RESOLUTION 2014-171

WHEREAS, a public utility easement is required by the City of Grand Island from Joseph M. Brown and Lori J. Bear-Brown, to survey, construct, inspect, maintain, repair, replace, relocate, extend, remove, and operate thereon, public utilities and appurtenances, including lines and transformers; and;

WHEREAS, a public hearing was held on June 24, 2014, for the purpose of discussing the proposed acquisition of a ten foot wide easement located in the City of Grand Island, Hall County, Nebraska; and more particularly described as follows:

Commencing at the northwest corner of Lot Seven (7), Jack Voss Horse Country Club, a subdivision in the City of Grand Island, Hall County, Nebraska; thence southerly along the westerly line of said Lot Seven (7), a distance of one hundred eighty two and sixty one hundredths (182.61) feet to a point on an east-west property line of said Lot Seven (7), being the ACTUAL Point of Beginning; thence easterly along an east-west line of said Lot Seven (7), a distance of one hundred thirty (130.0) feet to the point of termination.

The above-described easement and right-of-way containing 0.03 acres, more or less, as shown on the plat dated 5/23/2014, marked Exhibit "A" attached hereto and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to acquire a public utility easement from Joseph M. Brown and Lori J. Bear-Brown, on the above-described tract of land.

- - -

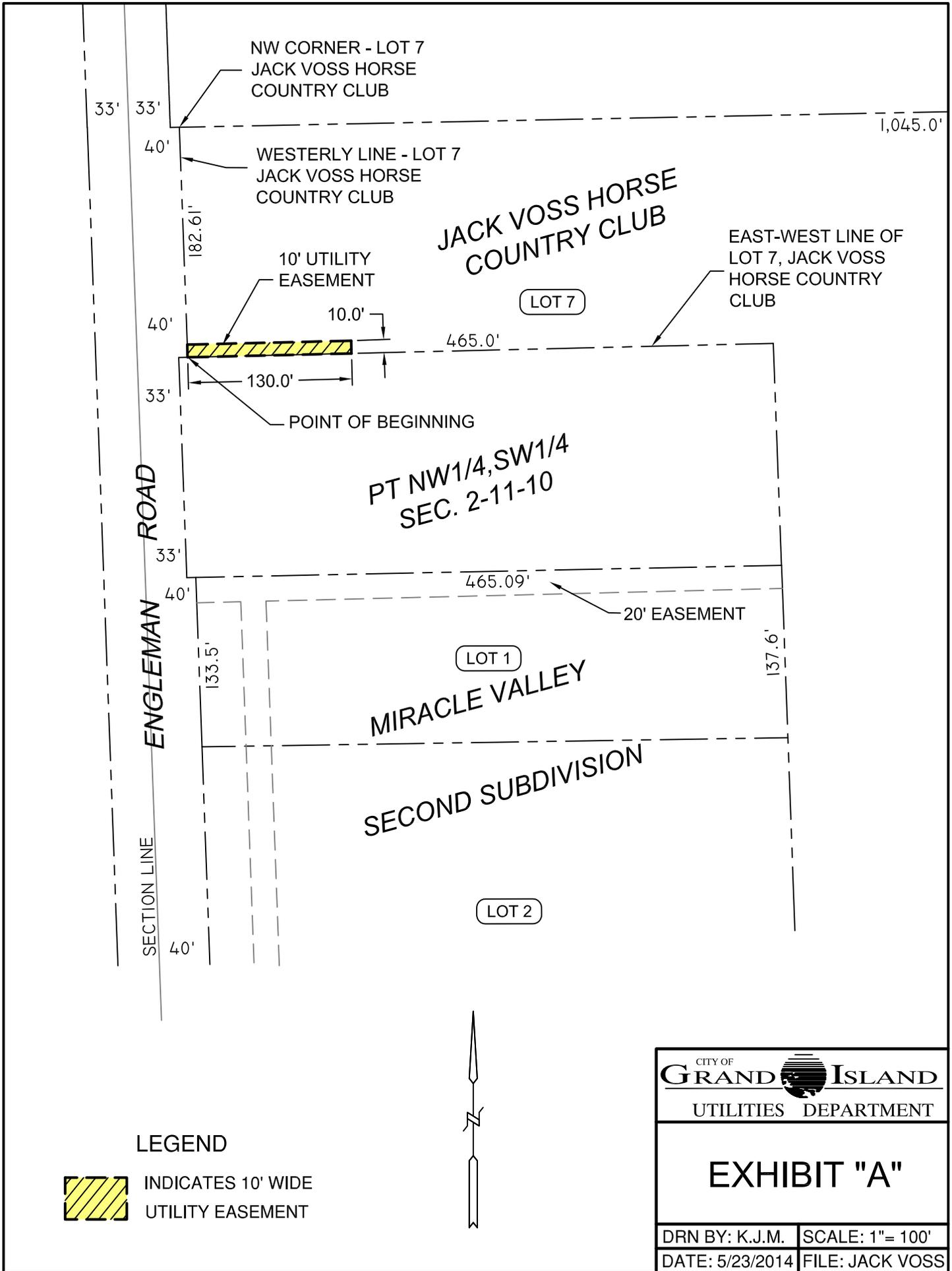
Adopted by the City Council of the City of Grand Island, Nebraska June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



**LEGEND**

-  INDICATES 10' WIDE UTILITY EASEMENT



CITY OF <b>GRAND ISLAND</b> UTILITIES DEPARTMENT	
EXHIBIT "A"	
DRN BY: K.J.M.	SCALE: 1"= 100'
DATE: 5/23/2014	FILE: JACK VOSS



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-9

**#2014-172 - Approving Acquisition of Utility Easement - 2807 & 2825 N. Engleman Road - Jack Voss**

*This item is related to the aforementioned Public Hearing item E-4.*

Staff Contact: Tim Luchsinger, Utilities Director

RESOLUTION 2014-172

WHEREAS, a public utility easement is required by the City of Grand Island from Jack Voss, to survey, construct, inspect, maintain, repair, replace, relocate, extend, remove, and operate thereon, public utilities and appurtenances, including lines and transformers; and;

WHEREAS, a public hearing was held on June 24, 2014, for the purpose of discussing the proposed acquisition of a ten foot wide easement located in the City of Grand Island, Hall County, Nebraska; and more particularly described as follows:

Commencing at the northwest corner of Miracle Valley Second Subdivision, Grand Island, Hall County, Nebraska, said point also being on the westerly line of the Northwest Quarter of the Southwest Quarter (NW1/4,SW1/4), Section Two (2) Eleven, Township Eleven (11) North, Range Ten (10) West; thence northerly along the westerly line of the said Northwest Quarter of the Southwest Quarter (NW1/4,SW1/4), a distance of one hundred seventy five (175.0) feet to a point on the prolongation of an East-West line of Lot Seven (7), Jack Voss Horse Country Club; thence deflecting right 96°46'00" and running easterly along the prolongation of said Lot Seven (7), a distance of thirty three (33.0) feet to the ACTUAL Point of Beginning; thence continuing easterly along the prolongation of an East-West line of said Lot Seven (7), a distance of one hundred thirty seven (137.0) feet to a point of termination.

The above-described easement and right-of-way containing 0.031 acres, more or less, as shown on the plat dated 5/23/2014, marked Exhibit "A" attached hereto and incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to acquire a public utility easement from Jack Voss, on the above-described tract of land.

- - -

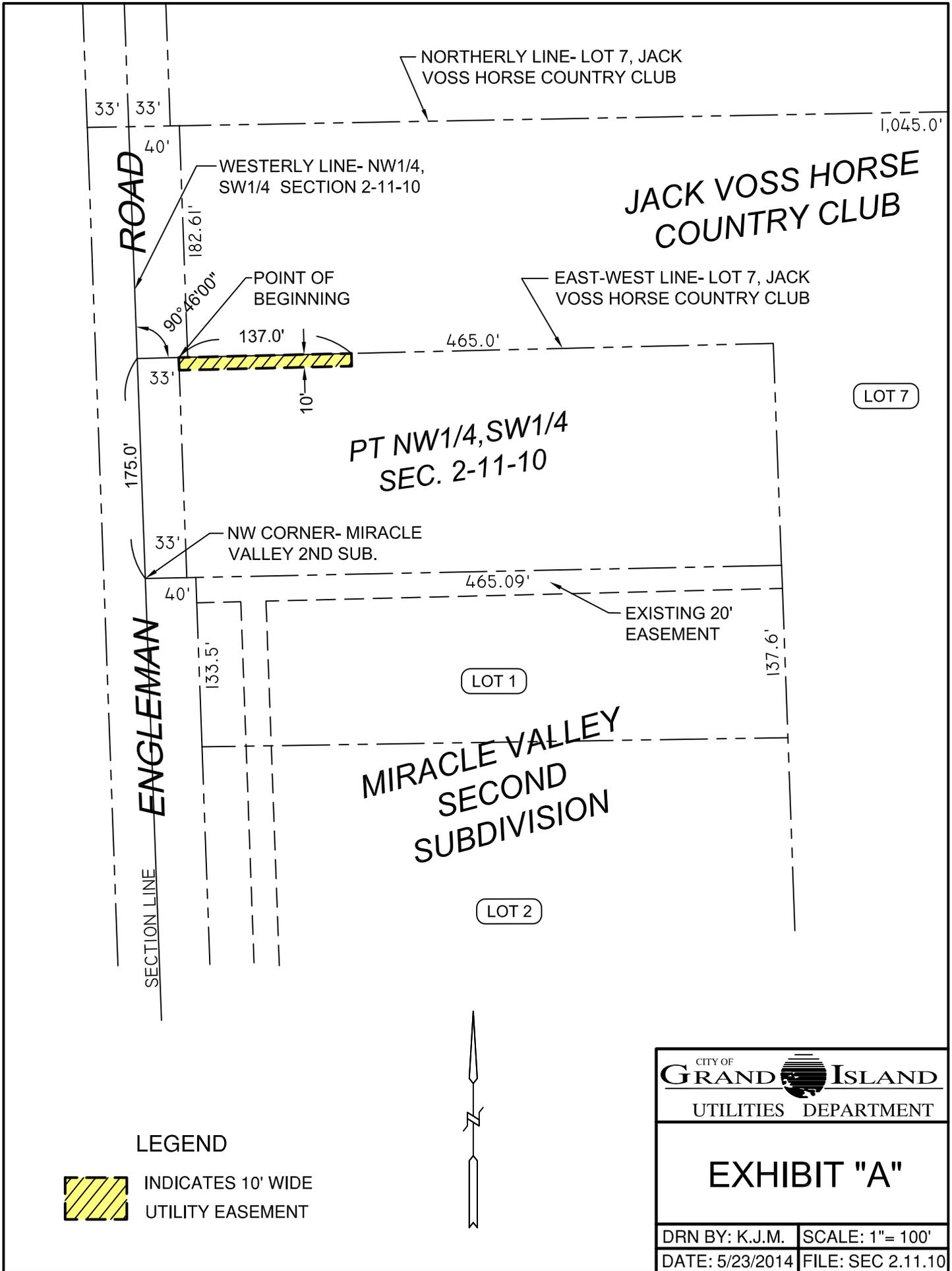
Adopted by the City Council of the City of Grand Island, Nebraska June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	▣ _____
June 20, 2014	▣ City Attorney



**LEGEND**



INDICATES 10' WIDE  
UTILITY EASEMENT



CITY OF <b>GRAND ISLAND</b>	
UTILITIES DEPARTMENT	
<b>EXHIBIT "A"</b>	
DRN BY: K.J.M.	SCALE: 1"= 100'
DATE: 5/23/2014	FILE: SEC 2.11.10



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-10

**#2014-173 - Approving Bid Award - Communication Cards for Electric Substations**

Staff Contact: Tim Luchsinger, Stacy Nonhof

# Council Agenda Memo

**From:** Tim Luchsinger, Utilities Director  
Stacy Nonhof, Assistant City Attorney

**Meeting:** June 24, 2014

**Subject:** Substation Communication Cards

**Item #'s:** G-10

**Presenter(s):** Tim Luchsinger, Utilities Director

## Background

The Utilities Department utilizes a fiber optic communications loop to provide necessary communications with the electrical substations around the City. Currently, communications is accomplished via two systems that contain fifteen year old equipment that has become obsolete. With the addition of Substation J to the south of the City, a need for an expansion of that system exists. Since the existing equipment is obsolete, a system replacement or upgrade is required.

Many factors were considered when determining the optimum system. These factors included new protective relay communications requirements, interconnections with Nebraska Public Power District (NPPD), availability of spare parts, system simplicity and technical support.

After studying these factors, it was determined that it was best to upgrade one of the systems and allow it to provide all communications and eliminate the other system. This provides the needed communications and simplifies the system. This particular system has had very good technical support since it was originally installed.

## Discussion

The following bids were received by the City on June 10, 2014 for the needed communication cards. The engineer's estimate for this material was \$160,000.00.

Bidder	Bid Price	Exceptions
RFL Electronics, Inc., Booton Township, NJ	\$149,975.48	None
Arjay Automation, Inc., Minneapolis, MN	\$151,128.94	None

## **Alternatives**

It appears that the Council that the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to a future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the bid for the Substation Communication Cards to the low bidder, RFL Electronics of Booton Township, New Jersey, in the amount of \$149,975.48.

## **Sample Motion**

Move to approve the bid for the Substation Communication Cards to the low bidder, RFL Electronics of Booton Township, New Jersey, in the amount of \$149,975.48.



Stacy Nonhof, Purchasing Agent

*Working Together for a  
Better Tomorrow, Today*

**BID OPENING**

**BID OPENING DATE:** June 10, 2014 at 2:00 p.m.  
**FOR:** Substation Communication Cards  
**DEPARTMENT:** Utilities  
**ESTIMATE:** \$160,000  
**FUND/ACCOUNT:** 520  
**PUBLICATION DATE:** May 21, 2014  
**NO. POTENTIAL BIDDERS:** 2

**SUMMARY**

<b>Bidder:</b>	<u>Arjay Automation, Inc.</u> Minneapolis, MN	<u>RFL Electronics, Inc.</u> Boonton Township, NJ
<b>Bid Security:</b>	Cashier's Check	Arch Insurance Co.
<b>Exceptions:</b>	None	None
<b>Bid Price:</b>		
<b>Total Base Bid:</b>	\$141,242.00	\$140,164.00
<b>Sales Tax:</b>	\$ 9,886.94	\$ 9,811.48
<b>Total Bid:</b>	\$151,128.94	\$149,975.48

cc: Travis Burdett, Assistant Utilities Director  
Tim Luchinger, Director  
Mary Lou Brown, City Administrator

**P1741**

RESOLUTION 2014-173

WHEREAS, the City of Grand Island invited sealed bids for Substation Communication Cards, according to plans and specifications on file with the Utilities Department; and

WHEREAS, on June 10, 2014, bids were received, opened and reviewed; and

WHEREAS, RFL Electronics, Inc., of Booton Township, New Jersey, submitted a bid in accordance with the terms of the advertisement of bids and plans and specifications and all other statutory requirements contained therein, such bid being in the amount of \$149,975.48; and

WHEREAS, the bid of RFL Electronics, Inc., is less than the estimate for the Substation Communication Cards.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the bid of RFL Electronics, Inc., in the amount of \$149,975.48 for Substation Communication Cards, is hereby approved as the lowest responsible bid.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form    ✕ \_\_\_\_\_  
June 20, 2014            ✕ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-11

**#2014-174 - Approving Vendor Payment Wind Damage Heartland  
Events Center**

Staff Contact: Jaye Monter, Finance Director

# Council Agenda Memo

**From:** Jaye Monter, Finance Director  
**Meeting:** June 24, 2014  
**Subject:** Approving Vendor Payment Wind Damage Heartland Events Center  
**Item #'s:** G-11  
**Presenter(s):** Jaye Monter, Finance Director

## Background

On January 17, 2014, the Heartland Events Center suffered storm related wind damage to exhaust hoods located on the roof.

## Discussion

A claim turned into the City Of Grand Island's insurance carrier EMC Insurance Companies resulted in a \$29,200.00 repair payable to Jerry's Sheet Metal, Inc. of Grand Island, NE. The City's property insurance carries a \$10,000.00 deductible, therefore \$19,200.00 was received from EMC Insurance on April 10, 2014.

City procurement requires Council approval of all payments over \$20,000.00.

## Alternatives

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Approve the payment to Jerry's Sheet Metal, Inc. as presented.
2. Postpone the issue to a future meeting.
3. Take no action.

## Recommendation

City Administration recommends that the Council approve the payment to Jerry's Sheet Metal, Inc. for the total amount of \$29,200.00.

## **Sample Motion**

Move to approve the payment to Jerry's Sheet Metal, Inc. for the total amount of \$29,200.00.

RESOLUTION 2014-174

WHEREAS, the Heartland Events Center suffered storm related wind damage to exhaust hoods located on the roof; and

WHEREAS, a claim to the City of Grand Island's insurance carrier EMC Insurance Companies resulted in a \$29,200.00 repair payable to Jerry's Sheet Metal, Inc. of Grand Island, NE; and

WHEREAS, City's property insurance carries a \$10,000.00 deductible and \$19,200.00 was received from EMC Insurance on April 10, 2014; and

WHEREAS, the City of Grand Island City Code Chapter 17 procurement requires Council approval of all City payments over \$20,000.00.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the vendor payment payable to Jerry's Sheet Metal, Inc. of Grand Island, NE in the amount of \$29,200.00 is hereby approved.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	▣ _____
June 20, 2014	▣ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-12

### **#2014-175 - Approving Designated Depositories and City Treasurer Authorizations**

Staff Contact: Jaye Monter, Finance Director

# Council Agenda Memo

**From:** Jaye Monter, Finance Director

**Meeting:** June 24, 2014

**Subject:** Approving Designated Depositories and City Treasurer Authorizations

**Item #s:** G-12

**Presenter(s):** Jaye Monter, Finance Director

## Background

The last update of this document occurred in May 2014. It is now necessary to update the comprehensive list of depositories to add one additional bank to the approved list.

## Discussion

The document adds Heritage Bank. The list as included in the Resolution is comprehensive. The change is included in paragraph number 1 of the resolution; there were no changes to any of the remaining paragraphs.

## Alternatives

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Approve the Resolution as presented.
2. Postpone the issue to a future meeting.
3. Take no action.

## Recommendation

City Administration recommends that the Council approve the changes to the depository institutions.

## Sample Motion

Move to approve the designated depositories.

RESOLUTION 2014-175

WHEREAS, in Section 16-712, R.R.S. 1943, the city treasurer shall deposit, and at all times keep on deposit, for safekeeping, in banks or capital stock financial institutions of approved and responsible standing all money collected, received or held by him/her as city treasurer; and

WHEREAS, in Section 16-713, R.R.S.1943, the city treasurer may purchase certificates of deposit from and make time deposits in banks or capital stock financial institutions selected as depositories of city funds; and

WHEREAS, in Section 16-714, R.R.S. 1943, for the security of the fund so deposited, the city treasurer shall require each depository to give bond for the safekeeping and payment of such deposits and the accretions thereof, which bond shall run to the city and be approved by the mayor.

WHEREAS, in Section 16-715, R.R.S. 1943, In lieu of the bond required by section 16-714, any bank, capital stock financial institution, or qualifying mutual financial institution making application to become a depository may give security as provided in the Public Funds Deposit Security Act to the city clerk.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that

1. Wells Fargo Bank Nebraska, N.A.; Great Western Bank; USbank, Union Bank and Trust Co.; Nebraska Public Agency Investment Trust (NPAIT); Smith Hayes Financial Services Corporation; ICMA Retirement Corp.; A.G. Edwards & Sons, Inc.; Ameritas Investment Corp.; Home Federal/Grand Island; The Equitable Building and Loan Association; First National Bank of Omaha; Five Points; Bank of New York Mellon; Cornerstone Bank; Exchange Bank; Bank of the West; and Heritage Bank be and hereby are, designated and approved as depositories for all money collected, received or held by the City of Grand Island, Nebraska.
2. The Finance Director or his/her designee, in his/her official capacity of the office, is directed and authorized to deposit such funds in said banks and capital stock financial institutions.
3. This authorization shall include the deposits of public funds in the hands of the Finance Director or his/her designee belonging to the City of Grand Island, Nebraska; the Tri-City Task Force; and the Grand Island Community Redevelopment Authority (CRA).
4. The Finance Director or his/her designee is hereby authorized to purchase certificates of deposit, treasury notes, treasury bills, treasury bond

Approved as to Form	☐ _____
June 20, 2014	☐ City Attorney

and or strips from the above named banks and capital stock financial institutions selected as depositories.

5. The Finance Director or his/her designee is hereby authorized by the mayor to require the depositories designated by this resolution to give security for the safekeeping and payment of City deposits and the accretion thereof, such security to be in the form and amounts as required by Nebraska statute and the Public Funds Deposit Security Act.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

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Jay Vavricek, Mayor

Attest:

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RaNae Edwards, City Clerk

- 2 -



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-13

### **#2014-176 - Approving Phase II Comprehensive Revitalization Community Block Grant Application**

*This item is related to the aforementioned Public Hearing item E-5.*

Staff Contact: Jaye Monter, Finance Director

RESOLUTION 2014-176

WHEREAS, the City of Grand Island, Nebraska, is an eligible unit of a general local government authorized to receive Community Development Block Grants (CDBG) funds through the Nebraska Department of Economic Development.

WHEREAS, the Nebraska Department of Economic Development is currently accepting applications for community revitalization opportunities through Phase II Comprehensive Revitalization grant; and

WHEREAS, a grant application has been prepared to request funding for the activities to include street repair; and

WHEREAS, a \$225,000 grant is being requested by the City; and

WHEREAS, the required 1:1 match will be provided by the City; and

WHEREAS, the Nebraska Department of Economic Development presently requires a public hearing to accept comments and inform the public on the status of the proposed grant application; and

WHEREAS, the public hearing on June 17, 2014, offered the public opportunity to make such comments to the City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island, Nebraska is hereby authorized to apply for assistance from the Nebraska Department of Economic Development for the purpose of funding eligible Community Development Block Grant activities; and

The Mayor is hereby authorized and directed to execute such grant applications and other documentation on behalf of the City of Grand Island for such grant programs.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☐ _____
June 20, 2014	☐ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-14

**#2014-177 - Approving Award of Proposal for Enterprise Asset Management System for the Public Works Department**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Terry Brown PE, Assistant Public Works Director

**Meeting:** June 24, 2014

**Subject:** Approving Award of Proposal for Enterprise Asset Management System for the Public Works Department

**Item #'s:** G-14

**Presenter(s):** John Collins PE, Public Works Director

## Background

A Request for Proposals (RFP) for an Enterprise Asset Management System (EAMS) for the Public Works Department was advertised in the Grand Island Independent on February 15, 2014. The RFP was also sent to twenty (20) potential proposers by the Engineering Division of the Public Works Department.

The EAMS implementation will focus on the needs of the Public Works Department, such as the work order process, customer service requests, asset reports, asset inspections, preventative maintenance, inventory, workflow management, capital improvement tracking, and document support. Full implementation should take about three (3) years and result in a significant improvement in planning, budgeting, and reporting.

## Discussion

Twelve (12) proposals were opened on March 26, 2014 and reviewed and scored.

The estimate for this work was \$100,000.00 for the first year and \$250,000 for the second with licensing fees in following years. Funds for the asset management system are in the approved 2013/2014 budget.

The proposal submitted by Cartegraph Systems, Inc. of Dubuque, Iowa was scored as the best firm to implement the asset management software. An agreement in the amount of \$121,840.00 has been reached for the current year implementation costs, with Year 1-3 costs being \$76,000.00 annually.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the award of the proposal to Cartegraph Systems, Inc. of Dubuque, Iowa.

## **Sample Motion**

Move to approve the award of the proposal.



Stacy Nonhof, Purchasing Agent

*Working Together for a  
Better Tomorrow, Today*

**REQUEST FOR PROPOSAL  
FOR ENTERPRISE ASSET MANAGEMENT SYSTEM**

**RFP DUE DATE:** March 26, 2014 at 4:00 p.m.

**DEPARTMENT:** Public Works

**PUBLICATION DATE:** February 15, 2014

**NO. POTENTIAL BIDDERS:** 20

**SUMMARY OF PROPOSALS RECEIVED**

**EA Engineering, Science & Technology, Inc.**  
Lincoln, NE

**Lucity, Inc.**  
Overland Park, KS

**Tyler Technologies, Inc.**  
Yarmouth, ME

**MobileEpiphany**  
Aurora, CO

**PSD Software**  
Marietta, GA

**MaintStar, Inc.**  
Irvine, CA

**VUEWorks LLC**  
Orlando, FL

**Asynerlytics, LLC**  
Pleasant Hill, IA

**Assetworks, Inc.**  
Wayne, PA

**Beehive Industries**  
Lincoln, NE

**CitiTech Systems, Inc.**  
Rapid City, SD

**Cartegraph**  
Dubuque, IA

cc: John Collins, Public Works Director  
Mary Lou Brown, City Administrator  
Catrina DeLosh, PW Admin. Assist.

David Riddle, PW GIS Coordinator  
Jaye Monter, Finance Director

**P1718**

RESOLUTION 2014-177

WHEREAS, the City Of Grand Island invited proposals for an Enterprise Asset Management System (EAMS) for the Public Works Department, according to the Request For Proposals (RFP) on file with the Engineering Division of the Public Works Department; and

WHEREAS, on March 26, 2014 proposals were received, reviewed, and evaluated in accordance with established criteria in the RFP; and

WHEREAS, Cartegraph Systems, Inc. of Dubuque, Iowa submitted a proposal in accordance with the terms of the Request for Proposals and all statutory requirements contained therein and the City Procurement Code with the current year implementation costs being \$121,840.00; and

WHEREAS, Year 1-3 licensing costs for such system will be \$76,000.00 annually.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the proposal of Cartegraph Systems, Inc. of Dubuque, Iowa is hereby approved.

BE IT FURTHER RESOLVED, that the Mayor is hereby authorized and directed to execute such agreement on behalf of the City of Grand Island.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-15

**#2014-178 - Approving Leasehold Agreement for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (United Veterans Club)**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Scott Griepenstroh, Project Manager

**Meeting:** June 24, 2014

**Subject:** Approving Leasehold Agreement for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (United Veterans Club)

**Item #'s:** G-15

**Presenter(s):** John Collins PE, Public Works Director

## Background

All agreements must be approved by the City Council.

On May 24, 2011, by Resolution No. 2011-124 the City of Grand Island and the Nebraska Department of Roads (NDOR) entered into an agreement for the Capital Avenue– Webb Road to Broadwell Avenue widening project. This agreement specified the various duties and funding responsibilities of this Federal-Aid project. The agreement required that NDOR Standards and Specifications are to be used for design, construction inspection and quality control.

The Capital Avenue – Webb Road to Broadwell Avenue Widening Project will consist of reconstructing the existing 24-foot-wide, two-lane roadway to a 62-foot-wide, five-lane roadway from Webb Road to Broadwell Avenue. This will require shifting the roadway centerline north to avoid impacts to residential homes. Other improvements include storm sewer construction, updated roadway lighting, relocation of overhead and underground utilities, construction of new sidewalk to current Americans with Disabilities Act standards, and construction of a concrete pedestrian/bike trail through the corridor.

On August 13, 2013, by Resolution No. 2013-264, City Council approved entering into an agreement with the State of Nebraska Department of Administrative Services for acquisition of right-of-way, permanent easements and temporary easements that were required for construction of the North Interceptor Phase II, Part B, Project No. 2013-S-4.

On June 10, 2014, by Resolution No. 2014-145, City Council approved acquisition of right-of-way and temporary easements from the State of Nebraska for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project.

## **Discussion**

As part of the five (5) temporary easements acquired from the State of Nebraska a leasehold agreement needs to be entered into with the current tenant, United Veterans Club, of such affected property. A payment of \$100.00 is scheduled for the relinquishment of leasehold interest.

Olsson Associates recently submitted final plans to NDOR for review. Acquisition of right-of-way and easements is planned to be completed in July of 2014. Relocation of utilities is anticipated to begin in the winter of 2014/2015. Roadway construction is anticipated to begin in late spring of 2015.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

Public Works Administration recommends that the Council approve a resolution authorizing the Mayor to sign the agreement.

## **Sample Motion**

Move to approve authorization for the Mayor to sign the agreement.

RESOLUTION 2014-178

WHEREAS, a leasehold agreement is required by the City of Grand Island, from the affected lessee in the Capital Avenue – Webb Road to Broadwell Avenue Widening Project area, as follows:

No.	Tenant	Legal Description	Area Payment (minimum \$100.00)	Total
1L	United Veterans Club	<p>CONSISTING OF PART OF THE SOUTH HALF OF SECTION 5, TOWNSHIP 11 NORTH, RANGE 9 WEST OF THE 6TH P.M., CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:</p> <p>COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 5; THENCE ON AN ASSUMED BEARING OF N01°14'48"W ALONG THE NORTH-SOUTH QUARTER SECTION LINE OF SAID SECTION 5 A DISTANCE OF 75.01 FEET TO THE POINT OF INTERSECTION OF SAID QUARTER LINE AND THE NORTH RIGHT-OF-WAY (R.O.W.) LINE OF CAPITAL AVENUE; THENCE CONTINUING N01°14'48"W ALONG SAID QUARTER SECTION LINE A DISTANCE OF 19.99 FEET TO THE POINT OF INTERSECTION OF SAID QUARTER LINE AND A NORTH LINE OF AN EXISTING PERMANENT EASEMENT DESCRIBED IN INSTRUMENT NUMBER 201306652, HALL COUNTY REGISTER OF DEEDS; THENCE N89°12'48"E ALONG SAID NORTH LINE A DISTANCE OF 1.29 FEET TO A NORTHERLY CORNER OF SAID EXISTING PERMANENT EASEMENT; THENCE N89°50'38"E ALONG A NORTH LINE OF SAID EXISTING PERMANENT EASEMENT A DISTANCE OF 1635.43 FEET TO THE POINT OF BEGINNING; THENCE N52°52'12"E A DISTANCE OF 76.48 FEET; THENCE N89°50'38"E A DISTANCE OF 30.72 FEET; THENCE S00°09'22"E A DISTANCE OF 46.00 FEET TO A POINT ON A NORTH LINE OF SAID EXISTING PERMANENT EASEMENT; THENCE S89°50'38"W ALONG SAID NORTH LINE A DISTANCE OF 16.00 FEET TO A NORTHERLY CORNER OF SAID EXISTING PERMANENT EASEMENT; THENCE N00°09'22"W ALONG A EASTERLY LINE OF SAID EXISTING PERMANENT EASEMENT A DISTANCE OF 20.00 FEET TO A NORTHERLY CORNER OF SAID EXISTING PERMANENT EASEMENT; THENCE S89°50'38"W ALONG A NORTH LINE OF SAID EXISTING PERMANENT EASEMENT A DISTANCE OF 10.00 FEET TO A NORTHERLY CORNER OF SAID EXISTING PERMANENT EASEMENT; THENCE S00°09'22"E ALONG A WESTERLY LINE OF SAID EXISTING PERMANENT EASEMENT A DISTANCE OF 20.00 FEET TO A NORTHERLY CORNER OF SAID EXISTING PERMANENT EASEMENT; THENCE S89°50'38"W ALONG A NORTH LINE OF SAID EXISTING PERMANENT EASEMENT A DISTANCE OF 65.82 FEET TO THE POINT OF BEGINNING. SAID TEMPORARY EASEMENT CONTAINS 2,619 SQUARE FEET MORE OR LESS.</p>	2,619 s.f.	\$100.00

Approved as to Form June 20, 2014	by _____ City Attorney
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**Total \$100.00**

WHEREAS, such Leasehold Agreement has been reviewed and approved by the City Legal Department.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to enter into the Leasehold Agreement on the above described tract of land, in the total amount of \$100.00.

BE IT FURTHER RESOLVED, that the Mayor is hereby authorized and directed to execute such agreement on behalf of the City of Grand Island.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

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Jay Vavricek, Mayor

Attest:

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RaNae Edwards, City Clerk



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-16

**#2014-179 - Approving Agreement for Utility Relocation Services to be performed by CenturyLink for the Capital Avenue – Webb Road to Broadwell Avenue Project**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Scott Griepenstroh, Project Manager

**Meeting:** June 24, 2014

**Subject:** Approving Agreement for Utility Relocation Services to be performed by CenturyLink for the Capital Avenue – Webb Road to Broadwell Avenue Project

**Item #'s:** G-16

**Presenter(s):** John Collins PE, Public Works Director

## Background

All agreements must be approved by the City Council.

The Capital Avenue – Webb Road to Broadwell Avenue widening project will consist of removal of the existing 24' wide asphalt roadway and construction of new concrete pavement on Capital Avenue from Webb Road through Broadwell Avenue. The new roadway will consist of a five-lane, curbed, concrete pavement street. Other improvements include construction of sidewalks and a concrete hike/bike trail, updated street lighting, and construction of new storm sewer. A pedestrian signal will be constructed approximately 1000' east of Webb Road to provide for safe crossing for users of the hike/bike trail.

This project will be coordinated with the North Interceptor Sanitary Sewer project.

This project will receive federal funding through the Surface Transportation Program (STP), which has typically been applied on an 80/20 basis. However, due to changes brought about by the new federal highway bill, the Moving Ahead for Progress in the 21st Century Act (MAP-21), federal funding for this project has been capped. Reference is made to Resolution 2013-141 approved by City Council on May 14, 2013.

The improvements require that utilities owned by the City of Grand Island, Northwestern Energy and CenturyLink are relocated due to the roadway widening and the construction of the hike/bike trail.

## **Discussion**

During the project design process, Public Works staff and the design team from Olsson Associates met with officials from CenturyLink to review impacts the roadway improvement would have on their existing telecommunications facilities. Through these meetings, it was determined where aboveground structures are in conflict with the roadway improvements and where underground fiber optic cable needs to be lowered.

The estimated cost for the relocation work of CenturyLink's facilities is \$272,388.74. Since the facilities resided in a private easement formerly owned by CenturyLink on the north side of Capital Avenue, the relocation work is a project cost and eligible for federal aid. The Nebraska Department of Roads Local Projects Division developed the agreement for utility relocation services.

The Capital Improvements Program will fund the utility relocation costs, and the City will be reimbursed 80% of the actual costs.

Final design plans have been submitted by Olsson Associates to the Nebraska Department of Road for review. Acquisition of right-of-way and easements is on schedule to be completed in July, 2014. Construction of this project is anticipated to begin in 2015.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the agreement for Utility Relocation Services to be performed by CenturyLink for the Capital Avenue – Webb Road to Broadwell Avenue Project.

## **Sample Motion**

Move to approve the agreement.

RESOLUTION 2014-179

WHEREAS, the City of Grand Island is developing a transportation project for which it intends to obtain Federal funds; and

WHEREAS, the City of Grand Island as a sub-recipient of Federal-Aid funding is charged with the responsibility of expanding said funds in accordance with Federal, State and local laws, rules, regulations, policies and guidelines applicable to the funding of the Federal-Aid project; and

WHEREAS, the City of Grand Island and CenturyLink wish to enter into a Professional Utility Services Agreement to provide utility services for the Federal-Aid project.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the Mayor is hereby authorized and directed to sign the attached utility services agreement between the City of Grand Island, Nebraska and CenturyLink.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-17

### **#2014-180 - Approving Dedication of Right-of-Way for the Capital Avenue – Webb Road to Broadwell Avenue Widening Project (Webb Mini Park)**

*This item is related to the aforementioned Public Hearing item E-6.*

Staff Contact: John Collins, P.E. - Public Works Director

RESOLUTION 2014-180

WHEREAS, current park property is being dedicated by the City of Grand Island as right-of-way to accommodate a widened roadway along Capital Avenue from Webb Road to Broadwell Avenue, described as follows:

A TRACT OF LAND CONSISTING OF PART OF THE NORTH HALF (N ½) OF FRACTIONAL SECTION 7 AND PART OF THE NORTHWEST QUARTER (NW ¼), TOWNSHIP 11 NORTH, RANGE 9 WEST OF THE 6<sup>TH</sup> P.M., CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID N ½ OF FRACTIONAL SECTION 7; THENCE ON AN ASSUMED BEARING OF S01°32'56"E ALONG THE WEST LINE OF SAID N ½ A DISTANCE OF 33.00 FEET; THENCE N89°15'58"E A DISTANCE OF 33.00 FEET TO THE NORTHWEST CORNER OF SAID UNPLATTED TRACT, SAID POINT ALSO BEING THE POINT OF INTERSECTION OF THE EAST RIGHT-OF-WAY (R.O.W.) LINE OF WEBB ROAD AND THE SOUTH R.O.W. LINE OF CAPITAL AVENUE AND THE POINT OF BEGINNING; THENCE N89°15'58"E ALONG SAID SOUTH R.O.W. LINE A DISTANCE OF 416.93 FEET TO THE NORTHEAST CORNER OF SAID UNPLATTED TRACT; THENCE S01°30'22"E ALONG THE EAST LINE OF SAID UNPLATTED TRACT A DISTANCE OF 19.00 FEET; THENCE S89°15'58"W A DISTANCE OF 385.94 FEET; THENCE S42°50'09"W A DISTANCE OF 43.51 FEET TO A POINT ON THE EAST R.O.W. LINE OF WEBB ROAD; THENCE N01°32'56"W ALONG SAID EAST R.O.W. LINE A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING. SAID TRACT CONTAINS 8,402 SQUARE FEET MORE OR LESS.

WHEREAS, such dedication of right-of-way has been reviewed and approved by the City Legal Department.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to dedicate said right-of-way on the above described tract of land.

- - -

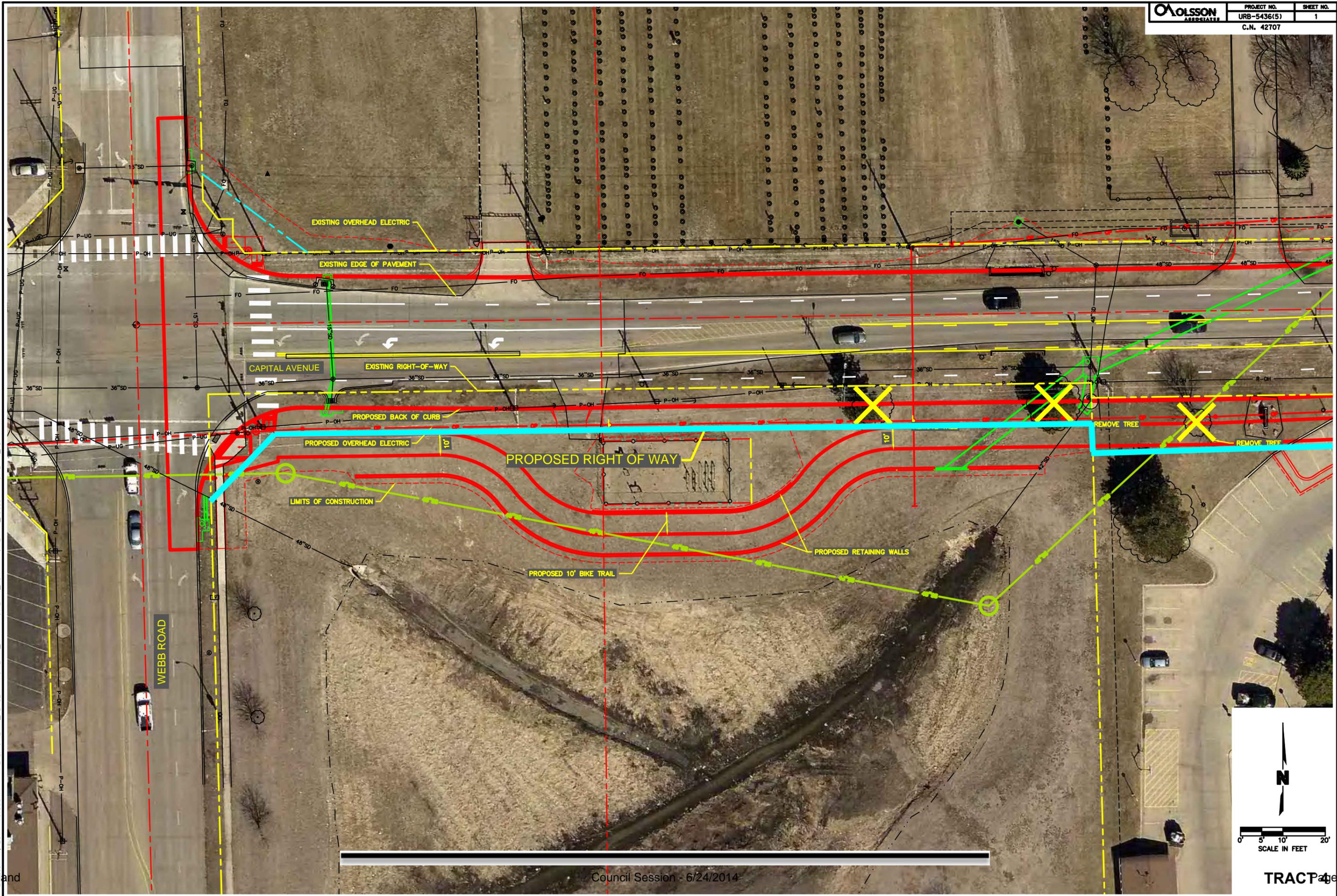
Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

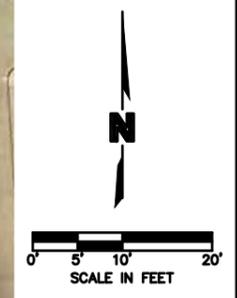
Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



DWG: I:\projects\011-2414\MUNI\ROW\_Plots\Roadway\0112414\_AP\_Exhibits.dwg USER: mmsmith  
 DATE: Jun 17, 2014 10:55am XREFS: 0112414\_PBASE 0112414\_ROW 0112414\_xbase 0112414\_TB





# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-18

**#2014-181 - Approving Compensation for Relocation of Fence and Sidewalk at the Nebraska Veterans Home Anderson Building for the North Interceptor Phase II Sanitary Sewer Project**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Terry Brown PE, Assistant Public Works Director

**Meeting:** June 24, 2014

**Subject:** Approving Compensation for Relocation of Fence and Sidewalk at the Nebraska Veterans Home Anderson Building for the North Interceptor Phase II Sanitary Sewer Project

**Item #'s:** G-18

**Presenter(s):** John Collins PE, Public Works Director

## Background

Public Works staff is currently working through the design phase of the North Interceptor Phase II sanitary sewer project, which will extend from Phase I of such project, 7<sup>th</sup> Street to Webb Road.

## Discussion

Relocation of the fence and sidewalk within the secured walking area of the Nebraska Veterans Home Anderson Building is necessary as part of the North Interceptor Phase II sanitary sewer project, as well as the concrete bike trail that will be constructed as part of the Capital Avenue – Webb Road to Broadwell Avenue Widening project.

The State of Nebraska solicited bids for such fence relocation and received one bid, which was from Lacy Construction of Grand Island, Nebraska in the amount of \$133,000.00.

Such bid is considered reasonable, as the work involves very specific mobilization schedules for the involved subcontractors. Work to be coordinated with the fence relocation is removal and reconstruction of the fence, as well as sprinkler system repair & maintenance, security gate and camera reconnection & upgrade and sodding. Throughout construction emergency exists must be maintained at all times, which adds complexity to the project. There will also be relocation of both aboveground and underground power lines.

## **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

## **Recommendation**

City Administration recommends that the Council approve the compensation for relocation of fence and sidewalk at the Nebraska Veterans Home Anderson Building in the amount of \$133,000.00.

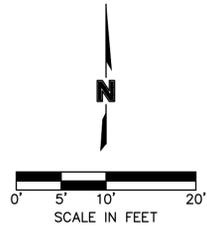
## **Sample Motion**

Move to approve the compensation.

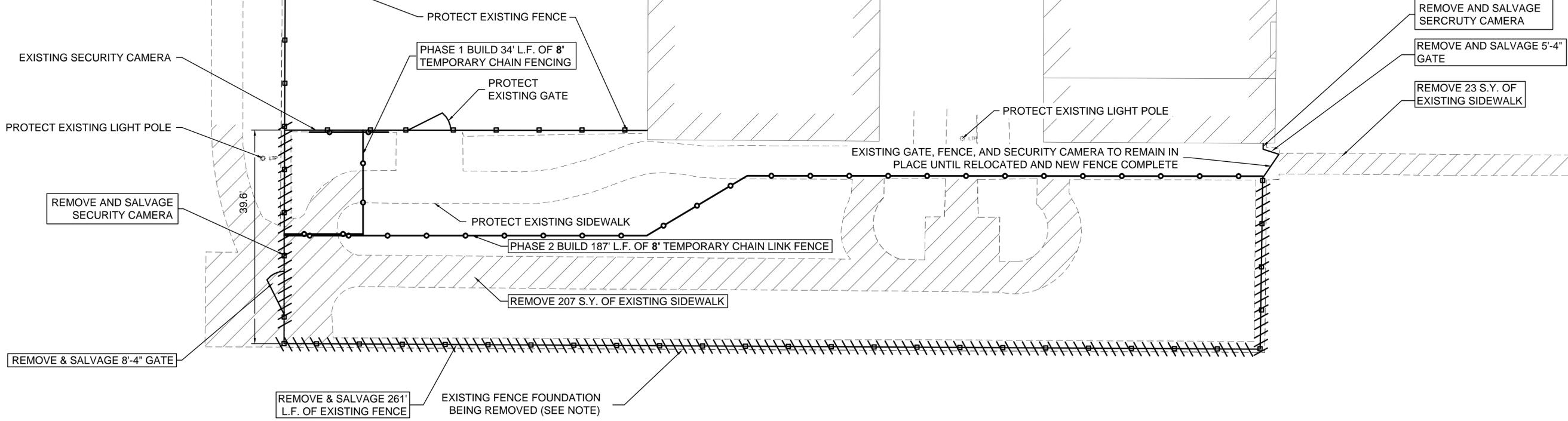








ANDERSON BUILDING



NOTE:

1. TEMPORARY FENCE MUST NOT BE REMOVED UNTIL RELOCATED FENCE IS PLACED AND ALL EXITS ARE LIGHTED AND WIRED. TEMPORARY FENCE TO BE 8' CHAIN LINK FENCING WITH TOP RAILING, AND SECURED AT BASE TO PREVENT SOMEONE FROM CRAWLING UNDER THE FENCE
2. REMOVAL OF FENCE FOUNDATION SHALL BE CONSIDERED SUBSIDIARY TO FENCE REMOVAL.
3. FENCE PANELS AND GATES SHALL BE REMOVED AND RE-USED, ALL FENCE POSTS SHALL BE NEW.



CAPITAL AVENUE

ANDERSON BUILDING



SHEET 1 OF 3

201 East 2nd Street  
 P.O. Box 1072  
 Grand Island, NE 68802-1072  
 TEL 308.384.8750  
 FAX 308.384.8752  
 www.olssonassociates.com

DWG: F:\projects\011-2414\MUNI Exhibits\VA\0112414\_VA ANDERSON BLDG PLANS.dwg  
 DATE: Jun 06, 2014 12:16pm XREFS: 0112414\_PBASE 0112414\_xbase USER: dfavazza



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 DATE: Jun 06, 2014 12:14pm  
 USER: dfavazza  
 XREFS: 0112414\_PBASE 0112414\_xbase

BOLT BASE DIAGRAM,  
COORDINATE WITH  
POLE REQUIREMENTS  
AND TEMPLATE

JOINT SEALING FILLER (HOT  
POURED TYPE)

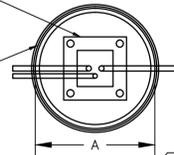
FURNISH AND INSTALL  
IN-LINE BALLAST FUSES IN  
BUSSMANN "TRON"  
WEATHERPROOF FUSE  
HOLDERS #HEB WITH #KTK  
FUSES. FUSE EACH  
LUMINAIRE SEPARATELY  
(SIZE AS REQUIRED, 5A  
MAX.)

ANCHOR BOLT  
PROJECTION 2 3/4"

12" MIN.  
ATTACH GROUNDING  
CONDUCTOR TO POLE  
GROUNDING LUG

1/2" CONDUIT FOR  
GROUND CONDUCTOR

GROUND ROD  
5/8" X 10'-0" MIN. COPPER  
CLAD ONE PIECE



BELL END  
ANCHOR BOLTS BY POLE  
MANUFACTURER  
METAL BOLT COVER  
1" CHAMFER

2'-0"

30" MIN.

2'-0"

PVC OR RIGID CONDUIT FOR  
FEEDER CABLE  
(SIZE AS SPECIFIED)

7-NO.6 BARS SPACED EVENLY  
AROUND REBAR STRUCTURE  
CIRCUMFERENCE

NO.4 BARS EQUALLY  
SPACED MAX. 12"  
O.C.

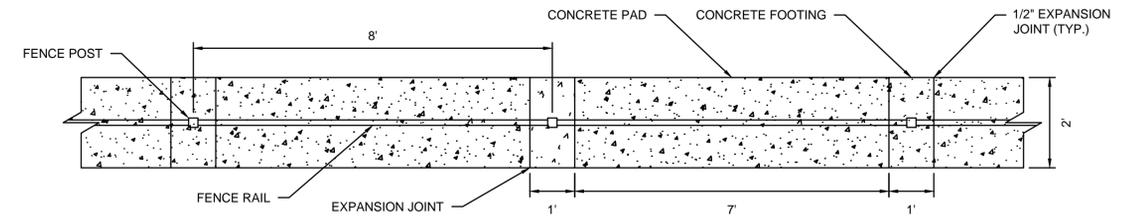
### RAISED CONCRETE FOUNDATION

NOT TO SCALE

### LIGHTING FOUNDATION DATA

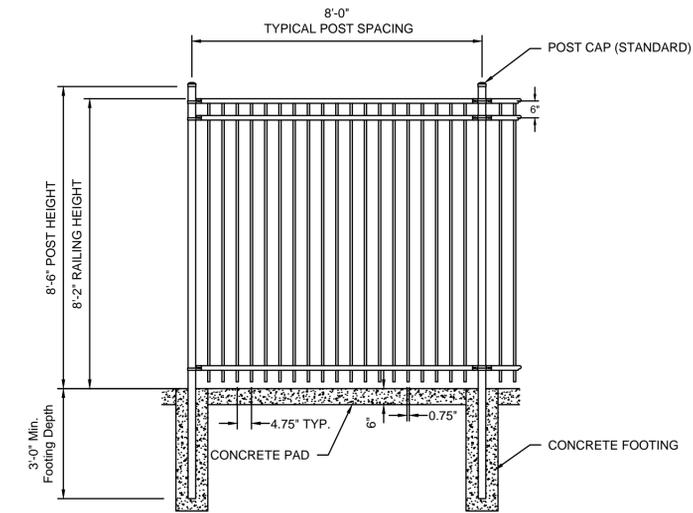
MOUNTING HEIGHT	A	B	STEEL	CONCRETE
UP TO 30'	2'-0"	5'-0"	70 lb.	0.81 CU. YDS.

LIGHT POLE AND ASSEMBLY ARE  
COOPERLIGHTING - LUMARK (PFT14023P209)  
CONCRETE CLASS "47B-3000"  
REINFORCING STEEL: GRADE 60  
ANCHOR BOLTS: 1" DIA. (AASHTO M314,  
GR.55)  
HEAVY HEX GALVANIZED NUTS: (AASHTO  
M291, GR A)  
FLAT WASHERS GALVANIZED: (AASHTO  
M293)



### FENCE CONCRETE FOOTING AND PAD

NOT TO SCALE



### ELEVATION AT TYPICAL PANEL

NOT TO SCALE

### TABLE OF APPROXIMATE QUANTITIES

ITEM	UNITS	QUANTITY
REMOVE AND SALVAGE SECURITY CAMERA	EA.	2
*REMOVE AND SALVAGE EXISTING FENCE	L.F.	261
BUILD TEMPORARY 8' CHAIN LINK FENCE	L.F.	221
REMOVE SIDEWALK	S.Y.	230
REMOVE AND SALVAGE 5'-4" SECURITY GATE	EA.	1
REMOVE AND SALVAGE 8'-4" SECURITY GATE	EA.	1
BUILD 5'-4" SECURITY GATE W/CARD ACCESS	EA.	4
BUILD 8'-4" SECURITY GATE W/CARD ACCESS	EA.	1
BUILD 4" CONCRETE SIDEWALK	S.Y.	212
BUILD LIGHT POLE BASE	EA.	2
BUILD LIGHT POLE	EA.	2
**BUILD SECURITY FENCE	L.F.	385
SECURITY/CAMERA SYSTEM	L.S.	1
SPRINKLER REPAIRS	L.S.	1
SODDING	S.Y.	900

\* APPROXIMATELY 30-8' FENCE PANELS CAN BE SALVAGED.

\*\* APPROXIMATELY 36-2.5' LINE POSTS AND 12-4' GATE AND END  
POST ARE REQUIRED FOR FENCE CONSTRUCTION.

### GENERAL NOTES

- CONTRACTOR SHALL COMPLY WITH ALL USVA, NEBRASKA LICENSURE CHAPTER 12, AND LIFE SAFETY CODES AT ALL TIMES. EXAMPLE: EMERGENCY EXITS WILL NEED TO BE MAINTAINED AT ALL TIMES FOR MEMBER USE IN CASE OF AN EVACUATION.
- THE CONTRACTOR SHALL COMPLY WITH THE NEBRASKA STATE PATROL WHO WILL COMPLETE A CRIMINAL BACKGROUND CHECK OF ALL EMPLOYEES ASSOCIATED WITH THIS PROJECT. THESE SHALL BE APPROVED BY THE ADMINISTRATION/HUMAN RESOURCES MANAGER AND A COPY OF THESE RECORDS WILL NEED TO BE MAINTAINED.
- MATERIALS SHALL BE STORED IN A FENCED IN AREA TO PROTECT MEMBERS.
- NEITHER CONTRACTOR NOR ANY EMPLOYEE OF THE CONTRACTOR SHALL ENGAGE IN THE UNLAWFUL MANUFACTURE, DISTRIBUTION, DISPENSING, POSSESSION, OR USE OF A CONTROLLED SUBSTANCE IN CONDUCTING ANY ACTIVITY OF THE PROJECT. THE DEPART OF ADMINISTRATIVE SERVICES RESERVES THE RIGHT TO REQUEST A COPY OF THE CONTRACTOR'S DRUG FREE WORKPLACE POLICY.
- THE VETERANS HOME CAMPUS IS TOBACCO FREE ENVIRONMENT. NO SMOKING IS ALLOWED ON THE GROUNDS.
- THE PROJECT SHALL START NO EARLIER THAN JULY 15, 2015. THE PROJECT SHALL BE SUBSTANTIALLY COMPLETE BY NOVEMBER 1, 2015. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS ALL RELATED ITEMS ARE COMPLETED FOR THE FENCE REMOVAL AND FENCE RELOCATION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY PRIVATE UTILITY LOCATES THAT "ONE-CALL" DOES NOT PROVIDE ON VETERANS HOME GROUNDS.
- MAINTAIN SECURITY FENCE AT ALL TIMES WHICH INCLUDES KEY PAD SYSTEM

### FENCE DETAIL

- DECORATIVE FENCE BASIS OF DESIGN IS AMERISTAR MONTAGE COMMERCIAL - MAJESTIC 3-RAIL STYLE ORNAMENTAL METAL FENCING SYSTEM. OTHER APPROVED MANUFACTURERS ARE MASTER HALCO AND BOUNDARY FENCE AND RAILING OR OWNER APPROVED EQUIVALENT.
- ALL LINE BRACKETS SHALL BE AMERISTAR STYLE BB114 OR OWNER APPROVED EQUIVALENT. ALL CORNER, GATE, AND END BRACKETS SHALL BE AMERISTAR STYLE BB112 OR OWNER APPROVED EQUIVALENT.
- ALL POSTS SHALL BE SET PLUMB. THE PANEL HEIGHT SHALL REMAIN CONSTANT THROUGHOUT THE FENCED AREA.
- ALL LINE POSTS SHALL BE AMERISTAR PB25144 OR OWNER APPROVED EQUIVALENT. ALL CORNER, GATE, AND END POSTS SHALL BE AMERISTAR PB40144 OR OWNER APPROVED EQUIVALENT.
- ALL STEEL SHALL BE PAINTED BLACK IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DIMENSIONS ARE ALONG THE  $\phi$  DECORATIVE FENCE.



ANDERSON BUILDING

**MOLSSON**  
ASSOCIATES

SHEET 3 OF 3

201 East 2nd Street  
P.O. Box 1072  
Grand Island, NE 68802-1072

TEL 308.384.8750  
FAX 308.384.8752 www.olssonassociates.com

June 6, 2014

**STATE OF NEBRASKA  
GRAND ISLAND VETERANS' HOME  
ANDERSON BUILDING  
FENCE REMODEL  
GRAND ISLAND, NE**

**Addendum #1**

Notice to Bidders: The Project Manual and Drawings for the above referenced project are hereby amended as follows:

PROJECT MANUAL – GENERAL

ITEM NO. G-1. PROPOSAL FORM

- a. Included in this addendum is a revised Proposal Form, which includes a unit price for replacing existing damaged sections of fence.

DRAWINGS – GENERAL

ITEM NO. G-2. CONSTRUCTION DOCUMENT CLARIFICATION

- a. For both Project Documents book and Plan Sheets, the project title is:

**STATE OF NEBRASKA  
GRAND ISLAND VETERANS' HOME  
ANDERSON BUILDING  
FENCE REMODEL  
GRAND ISLAND, NE**

ITEM NO. G-3. PLAN SET:

- a. Included in this addendum is a re-issued plan set dated 6/6/14, sheets 1-3. These changes include:
- Temporary fence shall be 8' high with a top railing and shall be secured at the bottom.
  - A storm drain cleanout shall be protected and adjusted to grade at the west access.
  - Notes added concerning maintaining the east and west accesses.
  - This work shall include repair of the sprinkler system.
  - Following General Notes were added on sheet 3.
- The project shall start no earlier than July 15, 2015. The project shall be substantially complete by November 1, 2015. Substantial completion shall be defined as all related items are completed for the fence removal and fence relocation.
- The Contractor shall provide necessary private utility locates that "one-call" does not provide on Veterans Home Grounds.
- Maintain security fence at all times which includes key pad system.

The following is a log of the people who attended the Pre-Bid Meeting on June 3<sup>rd</sup>, 2014:

<u>NAME</u>	<u>COMPANY</u>	<u>PHONE</u>
Tom Schuerman	State Building Division	402/471-0409
Tara Bevard	City of Grand Island	402/417-9700
Matt Rief	Olsson Associates	308/384-8750
Alex Willford	Grand Island Veterans' Home	308/385-6252
Will Glandt	Middleton electric	308/382-2550
Mike Schumacher	American Fence	308/395-0793
Chad Hancock	American Fence	308/395-0793
Steve Grubbs	Lacy Const. Co.	308/384-2866
Mark Craft	State Building Division	402/430-7451
George Burgess	Grand Island Veterans' Home	308/385-6252

End of Addendum #1

Revised PROPOSAL FORM

The undersigned, being familiar with local conditions affecting the cost of the work, and the Proposed Contract Documents, including the Advertisement for Bids, Instructions to Bidders, Proposal Form, Contract Form, Form of Contract Performance Bond, Form of Appointment of Purchasing Agent, Form of Exempt Sales/Use Tax Certificate, General Conditions, Special Conditions, Specifications and Plans all on file in the Office of the DAS/State Building Division, Planning & Construction, Lincoln, Nebraska, hereby proposes to furnish all plant, equipment, transportation, materials, tools, labor and skills necessary and required to perform all work as described in the Proposed Contract Documents entitled:

**STATE OF NEBRASKA - GRAND ISLAND VETERANS' HOME  
ANDERSON BUILDING FENCE REMODEL  
GRAND ISLAND, NE**

all in strict accordance with the Proposed Contract Documents including Addenda Numbers \_\_\_\_, \_\_\_\_, and \_\_\_\_, issued and attached thereto:

For the total contract sum of

\_\_\_\_\_ dollars \$ \_\_\_\_\_

Unit Price #1: Replacement of damaged Existing Fence Panel, per 8' section, meeting all requirements of new fencing. The number of existing panels to be replaced will be determined upon contract award so all new fencing materials can be ordered at once.

\_\_\_\_\_ dollars \$ \_\_\_\_\_

Bidders shall acknowledge the receipt of any and all addenda issued in the space provided above. The undersigned agrees to complete all work within \_\_\_\_ calendar days following the award of the Contract.

The undersigned states that he is complying with, and will continue to comply with, fair labor standards in the pursuit of his business and in the execution of the contract on which he is bidding. The undersigned acknowledges having reviewed provisions outlined for exemption of payment of sales taxes to the State of Nebraska and also understands the requirements for registration of any and all nonresident contractors and subcontractors with the Nebraska Department of Revenue. Bid security is required and accompanies this proposal, the same being subject to forfeiture in the event of default by the undersigned.

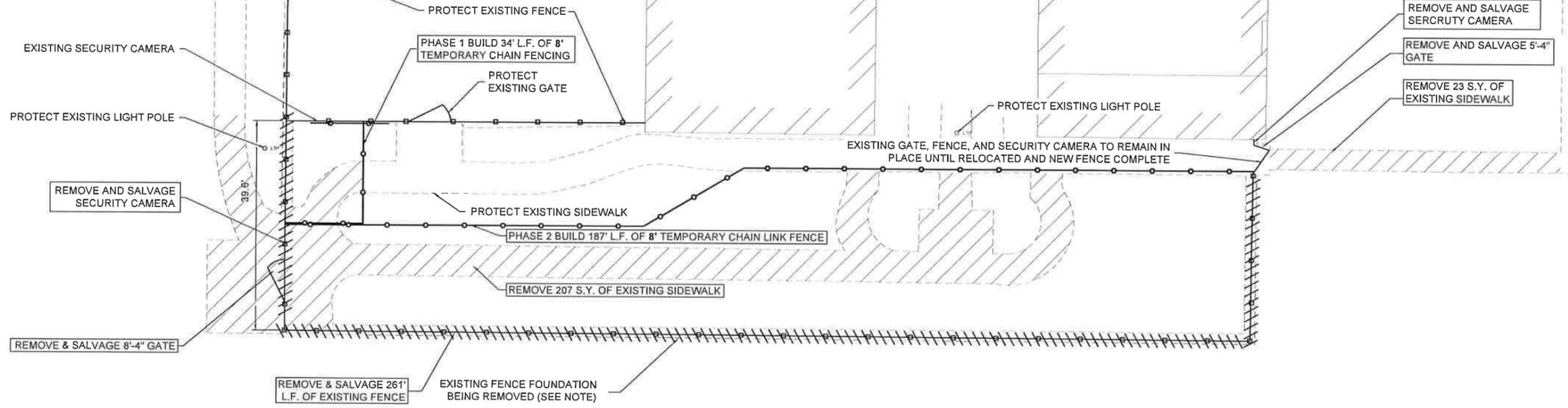
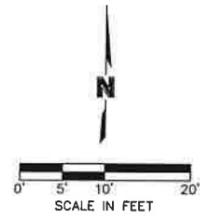
In submitting this bid, it is understood that the right is reserved by the DAS/State Building Division to reject any or all bids and to waive informalities, and it is further agreed that this bid may not be withdrawn during the period of Sixty (60) days following the scheduled closing time for receipt of the bids.

\_\_\_\_\_  
Date Firm Name

\_\_\_\_\_  
By: Address

\_\_\_\_\_  
Title Address

\_\_\_\_\_  
Firm's Federal Identification Number



- NOTE:
1. TEMPORARY FENCE MUST NOT BE REMOVED UNTIL RELOCATED FENCE IS PLACED AND ALL EXITS ARE LIGHTED AND WIRED. TEMPORARY FENCE TO BE 8' CHAIN LINK FENCING WITH TOP RAILING.
  2. REMOVAL OF FENCE FOUNDATION SHALL BE CONSIDERED SUBSIDIARY TO FENCE REMOVAL.
  3. FENCE PANELS AND GATES SHALL BE REMOVED AND RE-USED, ALL FENCE POSTS SHALL BE NEW.



DWG: F:\projects\01-2414\MUNI\Exhibits\VA\0112414\_VA ANDERSON BLDG PLANS.dwg  
 DATE: Jun 06, 2014 10:05am XREFS: 0112414\_PBASE 0112414\_xbase  
 USER: cfveazzo

CAPITAL AVENUE

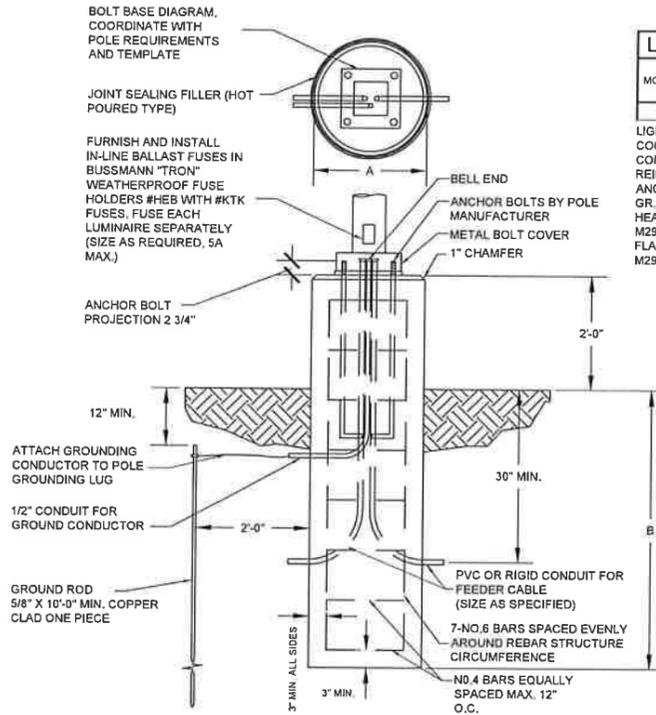
ANDERSON BUILDING



SHEET 1 OF 3

201 East 2nd Street  
 P.O. Box 1072  
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 FAX 308.384.8752 www.molssonassociates.com



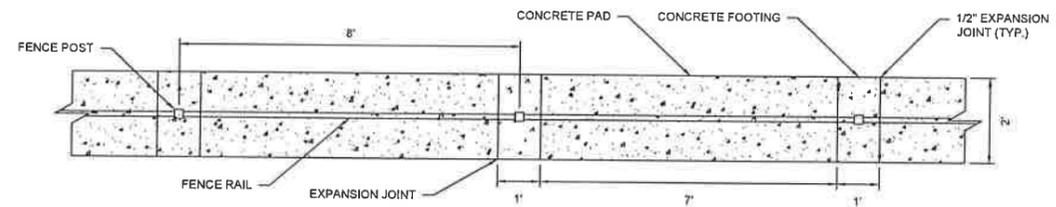


**RAISED CONCRETE FOUNDATION**  
NOT TO SCALE

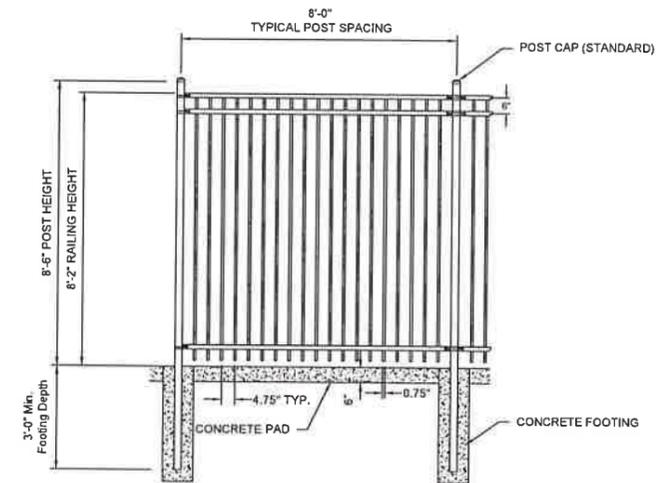
**LIGHTING FOUNDATION DATA**

MOUNTING HEIGHT	A	B	STEEL	CONCRETE
UP TO 30'	2'-0"	5'-0"	70 lb.	0.81 CU. YDS.

LIGHT POLE AND ASSEMBLY ARE COOPERLIGHTING - LUMARK (PFT14023P209)  
CONCRETE CLASS "47B-3000"  
REINFORCING STEEL: GRADE 60  
ANCHOR BOLTS: 1" DIA. (AASHTO M314, GR 55)  
HEAVY HEX GALVANIZED NUTS: (AASHTO M291, GR A)  
FLAT WASHERS GALVANIZED: (AASHTO M293)



**FENCE CONCRETE FOOTING AND PAD**  
NOT TO SCALE



**ELEVATION AT TYPICAL PANEL**  
NOT TO SCALE

**TABLE OF APPROXIMATE QUANTITIES**

ITEM	UNITS	QUANTITY
REMOVE AND SALVAGE SECURITY CAMERA	EA.	2
*REMOVE AND SALVAGE EXISTING FENCE	L.F.	261
BUILD TEMPORARY 8' CHAIN LINK FENCE	L.F.	221
REMOVE SIDEWALK	S.Y.	230
REMOVE AND SALVAGE 5'-4" SECURITY GATE	EA.	1
REMOVE AND SALVAGE 8'-4" SECURITY GATE	EA.	1
BUILD 5'-4" SECURITY GATE W/CARD ACCESS	EA.	4
BUILD 8'-4" SECURITY GATE W/CARD ACCESS	EA.	1
BUILD 4" CONCRETE SIDEWALK	S.Y.	212
BUILD LIGHT POLE BASE	EA.	2
BUILD LIGHT POLE	EA.	2
**BUILD SECURITY FENCE	L.F.	385
SECURITY/CAMERA SYSTEM	L.S.	1
SPRINKLER REPAIRS	L.S.	1
SODDING	S.Y.	900

\* APPROXIMATELY 30-8' FENCE PANELS CAN BE SALVAGED.  
\*\* APPROXIMATELY 36-2.5" LINE POSTS AND 12-4" GATE AND END POST ARE REQUIRED FOR FENCE CONSTRUCTION.

**GENERAL NOTES**

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- ALL STEEL SHALL BE PAINTED BLACK IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DIMENSIONS ARE ALONG THE C/C DECORATIVE FENCE.



ANDERSON BUILDING



SHEET 3 OF 3

201 East 2nd Street  
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Grand Island, NE 68802-1072  
TEL 308.384.8750  
FAX 308.384.8752  
www.molssonassociates.com

USER: dievozzo  
 DWG: F:\projects\011-2414\MUN\Exhibits\VA\0112414\_VA ANDERSON BLDG PLANS.dwg  
 DATE: Jun 06, 2014 10:06am  
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RESOLUTION 2014-181

WHEREAS, relocation of fence and sidewalk at the Nebraska Veterans Home Anderson Building is necessary for the North Interceptor Phase II sanitary sewer project and Capital Avenue – Webb Road to Broadwell Avenue widening project; and

WHEREAS, bids for such work were solicited by the State of Nebraska, with one bid being submitted; and

WHEREAS, such bid was submitted by Lacy Construction of Grand Island, Nebraska in the amount of \$133,000.00; and

WHEREAS, due to the complexity of the project coordination the submitted bid is considered fair and reasonable; and

WHEREAS, payment of the compensation is contingent upon City Council approval.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to compensate the Nebraska Veterans Home Anderson Building for relocation of fence and sidewalk in the amount of \$133,000.00

---

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-19

**#2014-182 - Approving Change Order No. 1 for the US-30  
Drainage Improvement Project**

Staff Contact: John Collins, P.E. - Public Works Director

# Council Agenda Memo

**From:** Scott Griepenstroh, Project Manager

**Meeting:** June 24, 2014

**Subject:** Approving Change Order No. 1 for the US-30 Drainage Improvement Project

**Item #'s:** G-19

**Presenter(s):** John Collins PE, Public Works Director

## Background

All agreements must be approved by the City Council.

The purpose of the US-30 Drainage Improvement project is to construct storm sewer to the detention cell at the former location of the Wasmer Elementary School from connections on Second Street at Logan Street, Broadwell Avenue, and Madison Street. The improvements will significantly reduce the likelihood of flooding during storm events on Second Street. The project includes constructing drainage inlets on First Street and Division Street between Logan Street and Madison Street, which will provide drainage relief in those areas as well.

Other benefits from the project include reconstruction of sidewalk ramps to Americans with Disabilities Act standards, construction of new concrete pavement, and relief for the storm sewer that drains Third Street north of the project area.

This project is receiving Federal Funding through the Surface Transportation Program (STP). The project will provide drainage improvements to areas not eligible for Federal Funding and, as per a February 2011 Drainage Study Report, the Federal Highway Administration (FHWA) agreed to participate on only 77% of the construction and utility relocation costs, which STP funding would then be applied on an 80/20 basis. The funding split for eligible construction and utility relocation costs is 62% Federal Aid and 38% local funds.

The City entered into the project Program Agreement with the Nebraska Department of Roads (NDOR) on April 12, 2011, by Resolution 2011-85. The Program Agreement requires that all phases of the project are to comply with Federal requirements and procedures. In regards to the construction phase, the Program Agreement states "*the inspection, sampling and testing of all materials must be done in accordance with the*

*current State of Nebraska Standard Specifications for Highway Construction, the Materials Sampling Guide, the Quality Assurance Program for Construction, and the State Standard Methods of Tests or applicable AASHTO or ASTM procedures.”*

On June 25, 2013, by Resolution No. 2013-198, the City entered into an agreement with Kirkham Michael & Associates (Consultant) for Construction Engineering Services for the project. The agreement obligates the Consultant to ensure all inspection, sampling and testing is done in compliance with Federal requirements and procedures. The agreement also includes language stating that the legal liability for all damages caused by errors, omissions or negligent acts is to be borne by the Consultant.

## **Discussion**

As per the NDOR Materials Sampling Guide, many concrete items require that an inspector is to be present at the concrete plant while concrete is being produced, that an inspector is also on site observing and documenting the placement of concrete, and that a variety of samples and tests are taken. The Guide also allows reduced testing which comprises collection of tickets to verify the concrete was batched properly and observation of the concrete pour to verify proper placement methods. Reduced testing requirements are permitted for smaller quantities of certain items at the discretion of field staff.

Sampling and testing of concrete materials are done to ensure the concrete is batched and mixed properly and that early failures (breaking and cracking) do not occur.

During the time period from October 1 through November 15 on eleven different days, the Consultant’s field staff erroneously applied the reduced testing requirements for concrete pours for portions of six manhole structures and on 262 square yards of pavement (equates to approximately 70’ of a 35’ wide residential street). The total contract value of these concrete items is \$38,998.80, of which 62% or \$24,179.26 is the Federal Share. The error occurred because inspection staff incorrectly assumed smaller pours of concrete for sections of manholes or for pavement with less than 15 cubic yards would not require the full testing.

The failure to test as per NDOR guidelines was not noticed immediately because test results for each concrete pour are not fully evaluated until reports are finalized at least 28 days past the day the pour occurs. Final compressive strength tests are taken on samples that have aged at least four weeks.

Public Works staff appealed to NDOR to permit the Consultant to use alternative methods to verify in-place concrete quality and strength and allow the concrete pavement and structures to remain eligible for funding. However, NDOR determined that the Consultant was to follow a 30-day deadline to appeal and no exceptions were allowed. Also, NDOR would not accept a letter by Public Works staff confirming the quality of concrete based on past performance from the concrete producer and evidence of properly batched concrete from automated weight tickets.

The approval of Change Order No. 1 will not result in a revised contract amount. However, in addition to the City's share of 38% for Construction costs, the City will be responsible to reimburse NDOR for 100% of the cost of the concrete items. The Consultant will be invoiced the \$24,179.26 Federal Share for these concrete items.

Construction is essentially complete. Only minor work, including restoration of lawns by placement of sod or seed, remains.

### **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

### **Recommendation**

City Administration recommends that the Council approve Change Order No. 1 for the US-30 Drainage Improvement Project.

### **Sample Motion**

Move to approve the resolution.

RESOLUTION 2014-182

WHEREAS, on June 25, 21013, by Resolution 2013-198, the Grand Island City Council approved entering into an agreement, in the amount of \$199,466.93 with Kirkham Michael & Associates for construction engineering services for the US Highway 30 Drainage Improvements; and

WHEREAS, it has been determined that additional work is necessary to complete such project; and

WHEREAS, such modifications have been incorporated into Change Order No. 1; and

WHEREAS, the result of such modifications will not increase the contract amount, however in addition to the City's share of 38% for construction costs , the City will be responsible to reimburse the Nebraska Department of Roads (NDOR) for 100% of the cost of the concrete items; and

WHEREAS, the consultant will be invoiced the federal share of \$24,179.26 for the concrete items, with payment to be made by the City.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the Mayor be, and hereby is, authorized and directed to execute Change Order No. 1 between the City of Grand Island and Kirkham Michael of Lincoln, Nebraska on the US Highway 30 Drainage Improvement project.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form    ✕ \_\_\_\_\_  
June 20, 2014            ✕ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item G-20

**#2014-183 - Approving Acceptance of Database Sharing Subgrant  
with the Nebraska State Patrol**

Staff Contact: Steven Lamken

# Council Agenda Memo

**From:** Steven Lamken, Police Chief  
**Meeting:** June 24, 2014  
**Subject:** Acceptance of Database Sharing Subgrant  
**Item #'s:** G-20  
**Presenter(s):** Steven Lamken, Police Chief

## Background

The Police Department has been working cooperatively with the Nebraska State Patrol (NSP) on the development of a project to allow the integration of our Records Management System (RMS) into the State Fusion Center (NFIN) database. The NSP has received a \$30,000 grant that is to be used for a consultant to develop the interface between our RMS and NFIN. The NSP wishes to make the Grand Island Police Department a subgrantee for the purposes of paying the consultant, which is Spillman Inc., our RMS software provider.

## Discussion

The Police Department has been working cooperatively with the Nebraska State Patrol (NSP) on the development of a project to allow the integration of our Records Management System (RMS) into the State Fusion Center (NFIN) database. The purpose of this is to enhance information sharing by providing other authorized law enforcement agencies to access our RMS database. The NFIN system is designed to host different law enforcement RMS systems around the State and allow information sharing statewide. The integration of the Police Department's RMS into NFIN would be a benefit to our department and law enforcement in Nebraska.

The NSP has received a \$30,000 grant that is to be used for a consultant to develop the interface between our RMS and NFIN. The NSP wishes to make the Grand Island Police Department a subgrantee for the purposes of paying the consultant to develop the interface between our RMS and NFIN. The Police Department uses a proprietary RMS software provided by Spillman Inc. Spillman will serve as the consultants to the project as a sole source vendor.

The purpose for the subgrant is to allow the Police Department to contract with Spillman for the interface development. Neither the Fusion Center nor NSP have any contractual relationship with Spillman. The Police Department will coordinate the project with Spillman and will be serving primarily as a pass through subgrantee for the payment of the \$30,000 in grant funds to Spillman.

### **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to approve
2. Refer the issue to a Committee
3. Postpone the issue to future date
4. Take no action on the issue

### **Recommendation**

City Administration recommends that the Council approve the Police Department to accept the subgrant of \$30,000 from the Nebraska State Patrol for the purpose of paying Spillman, Inc. to serve as consultants for the integration of the Department records management system software into the state NFIN system.

### **Sample Motion**

Move to approve the Police Department to accept the subgrant of \$30,000 from the Nebraska State Patrol for the purpose of paying Spillman, Inc. to serve as consultants for the integration of the Department records management system software into the state NFIN system and the Mayor sign the subgrant agreement.

**FY13 Office of Violence Prevention Program  
Nebraska State Patrol Funding Application**

**CHECKLIST**

- Cover Sheet (signed by authorized official, i.e, mayor, county commission chair).
- Project Activity Plan
- Project Timeline
- Budget Pages
- Budget Narratives (attach on separate pages)
- Certified Assurances (signed by authorized official, i.e., mayor, county commission chair)
- EEOP Form (signed by authorized official, i.e., mayor, county commission chair)

Return application kit by 5 p.m. (CST) on **xxxxxxx, 2014** to:

Jeannine Davison  
Nebraska State Patrol  
Box 94907  
Lincoln, NE 68509

**DRAFT**



**NEBRASKA STATE PATROL  
GANG REDUCTION INTELLIGENCE PROGRAM  
GRANT APPLICATION**

<b>1. Applicant Name:</b> (Agency/Organization) The applicant <u>must</u> be the agency that will receive and disburse the grant funds.	Name: Grand Island Police Department	Telephone (308)385-5400 Fax (308) 385-5398
<b>2. Federal Employer ID # of Applicant:</b> The Federal Identification Number must be the nine digit number of the applicant.		<b>DUNS # of Applicant:</b>
<b>3. Address:</b>	111 Public Safety Drive, Grand Island, NE 68801  ( Please include last four digits of zip code)	
<b>4. Project Title: Gang Reduction Intelligence Program</b>		
<b>5. Project Director:</b> (Receives all grant correspondence)	Name: Steven Lamken	Telephone (308)385-5400 #2201 Fax (308) 385-5398
	Email :slamken@gipolice. org	
	Address: 111 Public Safety Drive, Grand Island, NE 68801  ( Please include last four digits of zip code)	
<b>6. Project Coordinator:</b> (Contact Person)	Name: Dean Elliott	Telephone (208) 385-5400 Fax (308) 385-5398
	Email: dellott@gipolice.org	
	Address: 111 Public Safety Drive, Grand Island, NE 68801  ( Please include last four digits of zip code)	
<b>7. Fiscal Officer:</b> (Cannot be Project Director)	Name: Jaye Monter	Telephone (308) 385-5400 #169 Fax (308) 385-5565
	Email: jayem@grand-island.com	
	Address: 100 East 1 <sup>st</sup> Street, P.O. Box 1968, Grand Island, NE 68802-1968  ( Please include last four digits of zip code)	
<b>8. Authorized Official:</b> (NOTE: The authorized official would include: county board chair, mayor, city administrator, state agency director, chair or vice-chair of non-profit agency.)	Name: Jaye Vavricek	Telephone (308)385-5400 #109 Fax (308)385-5465

Email:mayor@grand-island.com

Address:100 East 1<sup>st</sup> Street, P.O. Box 1968, Grand Island, NE 68802-1968

( Please include last four digits of zip code)

[funds available July 1, 2014 – June 30, 2015]

**9. Proposed Project Period:**

From: July 1, 2014

To:June 30, 2015

**10. Proposed Project Summary:**

Violent crimes in communities such as Grand Island, Nebraska are sometimes associated with gang activity. In an attempt to better detect and deter gang incidents, the Gang Reduction Intelligence Project (GRIP) proposes to increase intelligence information available to Grand Island police officers and federal, state, and local law enforcement agencies.

During the past several years, gang incidents in Grand Island decreased due to aggressive enforcement by the Grand Island Police Department (GIPD). One of the enforcement strategies used by GIPD is to collect, analyze and disseminate intelligence information about gang-related incidents. Regular intelligence-sharing meetings occur between the GIPD, law enforcement from surrounding communities, Health and Human Services, Probation, Homeland Security, VA Hospital, and Hall County Corrections. The GIPD database used to collect and store gang-related intelligence information is a stand-alone system and limited to local area activities. As a result, it is difficult for GIPD to identify local area gang activities associated with those occurring in other geographical areas. Conversely, criminal justice agencies outside of Grand Island are unable to associate their gang incidents with those in the Grand Island area.

The Nebraska Fusion Information Network (NFIN), a statewide, electronic information-sharing solution, resides within the Nebraska Information Analysis Center (NIAC). The NIAC, housed by the Nebraska State Patrol, collects, analyzes, and disseminates intelligence information via NFIN on a statewide basis. Unfortunately, information held in the GIPD database is not linked to the NFIN database.

These intelligence gaps will be closed as the Nebraska Information Analysis Center (NIAC) and the GIPD join forces to share intelligence information related to gang activities and associated crimes. If successfully funded, GRIP will support consultant costs to integrate the GIPD Records Management System (RMS), which includes the department's case investigation information, into NFIN. Funds will be subgranted to GIPD to secure contract services from a vendor to extract GIPD's gang database. After the conversion is complete, training in the use of NFIN will be offered to GIPD officers and their crime analyst by NIAC personnel. A standard memo of understanding between the GIPD and NIAC will be created to document the conditions of sharing information within NFIN.

Once the link between GIPD and NFIN is in place, officers can rely on more comprehensive intelligence information to guide their enforcement actions to address problem crime areas, or "hot spots." The number of gang-related intelligence records will increase from 367 to approximately 1,667, including records on 375 gang members. Analytical products supplied through the GIPD and NIAC will encompass both local and any related statewide information pertaining to gang activities. Because of this intelligence-led policing method, officers will have increased opportunity to identify and apprehend those who are involved in illegal activities related to gangs.

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<p><b>11. Area(s) Served by Project: (Statewide, Counties, Cities, Neighborhoods)</b></p> <p>Grand Island and Statewide</p>	<p><b>12. List the agencies who are significant partners in this project:</b></p> <p>Nebraska State Patrol</p>
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<p><b>13. Type of Agency:</b></p> <ul style="list-style-type: none"> <li><input type="radio"/> State Agency</li> <li><input checked="" type="radio"/> Unit of Local Government</li> <li><input type="radio"/> Private Non-Profit</li> <li><input type="radio"/> Native American Tribe or Organization</li> <li><input type="radio"/> Technology</li> <li><input type="radio"/> Other</li> </ul>	<p><b>14. If Awarded, These Funds Will:</b></p> <ul style="list-style-type: none"> <li><input type="radio"/> Create New Service/Activity</li> <li><input checked="" type="radio"/> Enhance Existing Program</li> <li><input type="radio"/> Continue Existing Program</li> <li><input type="radio"/> Technology</li> <li><input type="radio"/> Other</li> </ul>
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<p><b>15. A violence prevention plan (incorporated in the county's or community's Comprehensive Community Juvenile Services Plan) is on file with the Crime Commission. :</b></p> <p><input checked="" type="radio"/> Yes   <input type="radio"/> No</p>
--

If Yes, please indicate when current plan expires:

Expires June 30, 2015

If No, please explain progress in completing the plan:

**16. Is the proposed program a model, best-practice, evidence-based, or promising practice program?**

Yes     No

**17. How many will be served:** 1.9 million, including 49,989 in Grand Island, NE

**NEBRASKA STATE PATROL  
BUDGET SUMMARY**

Category			Total Project Cost
	Requested Amount	Match Amount	
A. Personnel			
B. Consultants/Contracts	\$30,000.00		\$30,000.00
C. Travel			
D. Supplies/ Operating Expenses			
E. Equipment			
F. Other Costs			
TOTAL AMOUNT	\$30,000.00		
% Contribution			

**CERTIFICATION: I hereby certify the information in this application is accurate and, as the authorized official for the project, hereby agree to comply with all provisions of the grant program and all other applicable state and federal laws.**

<b>Name of Authorized Official:</b> Jay Vavricek
<b>Title:</b> Mayor
<b>Address:</b> 100 East 1 <sup>st</sup> Street, P.O. Box 1968
<b>City, State, Zip:</b> Grand Island, NE 68802-1968
<b>Telephone:</b> 308-385-5400 #109
<b>Signature:</b>
<b>Date:</b>

(\* NOTE: The authorized official would include: county board chair, mayor, city administrator, state agency director, chair or vice-chair of non-profit agency.)

**CATEGORY B – CONSULTANTS AND CONTRACTS**

<b>1. PURPOSE:</b> To extract information from Grand Island Police Department’s Records Management System for integration with the Nebraska Fusion Information Network					
<b>2. TYPE OF CONSULTANT:</b> Integrated Public Safety Software			● <b>Individual</b>	✳ <b>Organization</b>	
<b>3. CONSULTANT FEES:</b> 200 Hours x \$150/Hour					

	Rate	# Hours	Amount Requested	Applicant’s Match	Total Cost
Preparation Fees	\$150	200	\$30,000	\$	\$30,000
Presentation Fees			\$	\$	\$
Travel Time Fees			\$	\$	\$
<b>Total</b>			\$	\$	\$

<b>4. TRAVEL EXPENSES:</b>					
a. Mileage					
Total Miles		X .565	\$	\$	\$
b. Air Fare					
From		to	\$	\$	\$
From		to	\$	\$	\$
c. Meals					
# of days		X\$	\$	\$	\$
# of days		X\$	\$	\$	\$
d. Lodging					
# of nights		X\$	\$	\$	\$
# of nights		X\$	\$	\$	\$
e. Other Costs ( Must Also Be Explained in Budget Narrative)					
		\$	\$	\$	\$
		\$	\$	\$	\$
		\$	\$	\$	\$
<b>5. TOTAL COST:</b>			\$30,000	\$0	\$30,000

## **CONSULTANTS AND CONTRACTS BUDGET NARRATIVE:**

### **GIPD Gang Data Integration, Total Requested Funds = \$30,000**

Sole source procurement will secure the services of Spillman Technologies to create an interface between the Grand Island Police Department's (GIPD) gang database and the Nebraska Fusion Information Network (NFIN). Spillman Technologies designed and maintains the existing GIPD gang database and their participation in this project will alleviate the need to familiarize another company with existing technology. Specific services to be provided through the contract include:

- Export of data in the GIPD gang database to a location for retrieval by NFIN
- Provide guidance about the exported data
- Provide adjustments as needed to facilitate the import of data into NFIN

Funds to support this activity will be subgranted to GIPD, who will in turn, contract for services from Spillman Technologies. Sole source procurement will be made, requiring the GIPD to provide a cost analysis indicating no other vendor can provide the desired commodity or service.

It is anticipated \$30,000 (200 hours at \$150/hour) will support the costs associated with the services received.

### **Gang Information Data Entry Overtime, Total Requested Funds = \$2,600**

Because of how GIPD's existing gang information is formatted, there is no economical method to extract approximately 1,300 records for integration with NFIN. To ensure these records are available in NFIN, \$2,600 is budgeted to support overtime costs for GIPD support personnel to enter the information manually. This cost will be faster and cheaper than contracting with the database developer to perform a one-time extract of the existing information.

Funds for this data entry function will be subgranted to the GIPD, who will reimburse their employees based on their actual salary. It is estimated three minutes is needed to enter each of the 1,300 records, for a total of 65 hours. An hourly rate of \$40 (including salary and benefits) is used to project a total cost of \$2,600 (65 hours x \$40/hour).

Funding in this category supports the 2012-2015 Hall County Comprehensive Juvenile Services Plan.

Priority 3 – A continuum of cost effective evidence-based programs, policies and practices for **gang members** and their parents.

3.4 Coordinate and identify targeted suppression strategies for serious and chronic offenders. (For example, school resource officers, GIPD Gang Unit, and identification system)

**How project will impact proposed problem?**  
**(Limit 1-4 pages)**

Please explain how the project will impact the proposed problem:

- Clearly identify how the proposed project will impact the proposed problem. Be sure to include research used to gather conclusions of impact.

To improve law enforcement's ability to affect gang-related crime, the Gang Reduction Intelligence Program (GRIP) will be implemented. With completion of the project, law enforcement agencies in the Grand Island area will have access to increased intelligence information for use in forming their policing strategies. The number of gang-related intelligence records in NFIN will increase with the addition of the Grand Island Police Department's (GIPD) Records Management System (RMS) data. Project activities will establish the infrastructure and training needed for the integration of the (GIPD) gang database into NFIN. Upon completion of data integration, all NFIN users will be able to access, collect, analyze and exchange actionable intelligence electronically. Ultimately, all agencies with access to NFIN will have increased gang information available for use in planning enforcement. Their efforts will be guided by an evidence-based program known as intelligence-led policing.

Intelligence-led policing is a policing model that is built around the assessment and management of risk. Intelligence analysis provides a guide to operations, rather than operations guiding intelligence. Law enforcement agencies engaged in intelligence-led policing use a proactive approach to address problem crime areas, or "hot spots." The National Institute of Justice Crime Solutions.gov website identifies "Hot Spots Policing" as a promising practice.

This project will give the GIPD and Nebraska State Patrol the ability to replicate the evidence-based hot spots program by integrating GIPD's RMS and gang databases into the Nebraska Fusion Information Network (NFIN). The integration will enhance intelligence information sharing in two ways. State and local agencies will be able to access Grand Island area RMS and gang intelligence information through NFIN. Additionally, GIPD will have electronic mobile access to statewide intelligence through NFIN. Officers will focus operations on small geographic areas or places (hot spots) where crime is concentrated, based on shared investigative and intelligence information.

Initial efforts will increase the number of gang-related intelligence records and gang member names available to NFIN users. Another estimated 100,000 records containing GIPD's investigative information will also become accessible through NFIN. Presently, NFIN users can access records held by NFIN and the Omaha Police Department gang database.

	<b>Gang-Related Intelligence Reports</b>	<b>Gang-Related Situational Awareness Reports</b>	<b>Documented Gang Members</b>
NFIN	367	44	34
Omaha Police Department	Unavailable	Unavailable	4,189
Grand Island Police Department	1,300	0	375

Sources: Grand Island Police Department and Nebraska Information Analysis Center

GIPD's gang investigators and crime analyst will be able to access gang information in a mobile environment. Officers will benefit from this access through increased officer awareness of gang-related criminal activity and fewer hours spent trying to gather intelligence information. At the same time, NFIN users with proper security clearance will have the capability to access GIPD information.

Upon request, the NIAC and GIPD will analyze intelligence information to establish patterns of gang-related incidents, such as location, types of crimes, or criminal associations. Availability of intelligence information will also enhance the ability of NFIN users to research targets. As a result, gang members who are involved in criminal activities will be identified and apprehended more rapidly, ultimately reducing gang-related violent crime.

## Project Operation (Limit 2-4 pages)

For the Project Operation, please provide the following:

- *Clearly explain in detail how your proposed project will operate from beginning to end (should include all funded programs). For example, from the point of referral, through intake/assessment, services provided and exit from the program.*
- *Within this explanation, ensure that major budget requests for personnel, travel, contracts, etc. are described. Include the roles and responsibilities of each position/contract involved in the proposed project.*
- *Discuss the key funded partnerships involved in implementing and sustaining this project and how they will work together to impact the problem indicators discussed above.*

Implementation of the Gang Reduction Intelligence Program (GRIP) will be accomplished through a joint venture between the Grand Island Police Department (GIPD) and the Nebraska State Patrol (NSP). The result of this collaboration will be an expanded statewide gang database and an improved electronic method for capturing and reporting gang intelligence by the GIPD.

### *Pre-Grant Activities*

To ensure grant activities begin promptly on July 1, 2014, the process for sole source procurement of Spillman Technologies services will begin. No expenses will be incurred prior to July 1, 2014.

### *Procure Goods and Services*

Upon receipt of the OVP grant award, the Grand Island Police Department will secure services to integrate the GIPD RMS database with the Nebraska Fusion Information Network (NFIN). The GIPD RMS uses proprietary software developed by Spillman Technologies, who will be retained to develop coding to extract data for use in NFIN. Representatives of the NSP and GIPD will liaise with the vendor to facilitate the data conversion. In addition, the representatives will cooperate to develop an intelligence input format and template report for use by GIPD.

### *Integration of Data*

The Nebraska State Patrol Information Technology Division (NSP-IT) will initiate the purchase and installation of additional data storage within NIAC to house the GIPD RMS database. NSP-IT will work with Spillman to perform a data extract from the GIPD RMS database in the first month. In the next three months, NSP-IT will work with GIPD and NSP personnel to perform data mapping that will link the data models of the GIPD and NFIN databases. This will be tested and modified as needed for the final export/import.

NSP-IT will be responsible for creating GIPD users and user groups within NFIN, assigning security rights. This will prepare the way for GIPD personnel to input and query intelligence information through NFIN. The standard NFIN user agreement establishing information-sharing rules will be executed to govern GIPD's participation in NFIN.

Current NFIN users have the ability to input intelligence information through a web-based program called IntellCollector. To allow GIPD officers to continue to document information electronically about contacts with gang members, an input form will be developed by the NSP-IT. The input form will be adapted from the Suspicious Activity Report (SAR) used by NFIN, making it compatible with the statewide system. The development and testing of this application will take approximately three and one-half months. The data collection and search capabilities for GIPD will then "go live." GIPD data will be refreshed within NFIN on a regular basis to ensure the most current information is available to officers.

### *Intelligence Input Form and Report Template*

During the final quarter of this project, a report template will be developed for GIPD to allow them to retrieve RMS/gang information in a desired format. This information collection and reporting package will negate the need to extract data on a recurring basis from GIPD for inclusion in NFIN. Officers performing queries in NFIN will be able to determine if their search connects to information held in the Grand Island database. Their search will provide the submitting agency contact information, allowing for further discussion and intelligence exchange, if necessary. The enhanced reporting will help officers to plan their enforcement operations based on up-to-date, statewide intelligence information.

### *Data Entry of Gang Information*

The gang information currently held by the GIPD is not formatted in a manner that is easily converted or integrated for use within NFIN. To ensure this information remains available, plans were made to support costs for overtime incurred by GIPD staff to enter all existing information in NFIN manually. This will occur once the intelligence input form is finalized and ready for use.

### *Training*

Once the extract and testing of GIPD's gang information is complete, GIPD gang officers and crime analyst will be trained by NIAC personnel in the use of NFIN, the intelligence input form and the reporting feature. Upon completion of the training, the finished gang collection and reporting system for Grand Island will "go live."

\*\*\*\*\*

To guarantee implementation of the GRIP project, the GIPD will:

- Develop a service contract with Spillman Technologies
- Coordinate data extraction with Spillman Technologies, GIPD, and NSP IT
- Manage timelines,
- Enter into an MOUs with NIAC to establish information-sharing rules,
- Participate in training about the use of NFIN.
- Enter gang information into xxxxxxxx

GIPD will continue their regular gang intelligence briefings with other agencies, including and not limited to representatives from Kearney, Columbus, and Lexington Police Departments; Hall, Kearney, Buffalo and Dawson County Sheriffs, Department of Health and Human Services; Department of Corrections; State Probation; and Nebraska State Patrol. When the NFIN integration is complete, these meetings will consider links in GIPD's intelligence information with that are contained in NFIN. This link analysis will prompt further intelligence collection or instigate enforcement actions in identified hot spots.

The addition of GIPD's RMS and gang-related information to NFIN will strengthen their department operations by linking to intelligence from departments outside of their immediate proximity. Likewise, all NFIN users will now benefit from the newly available intelligence information. This global exchange of intelligence information will give law enforcement an improved ability to identify, apprehend, and arrest gang members who commit crimes in Nebraska.

Project success will be reported and evaluated by comparing achievements to those forecasted.

**Activity/Timeline:**

<b>Position/Agency</b>	<b>Activity Responsible For</b>
	<b>Pre-Grant</b>
NSP Applications Developer (App Dev)	Create virtual servers for Grand Island Police Department (GIPD) RMS and gang databases.
City of Gr. Island IT/GIPD Project Director, NSP Grants Div.	Prepare for sole source procurement of Spillman services
	<b>QUARTER 1</b>
GIPD Officers	Continue collection and exchange of intelligence using present system. Continue intelligence sharing meetings with surrounding agencies.
GIPD Project Director	Procure services from Spillman Technologies to extract RMS database information.
NSP App Dev+ NIAC Sgt. /City & County IT/Spillman Tech.	Work with vendor to extract data from existing RMS system
NSP App Dev & NIAC Sgt. /GIPD Project Director	Perform data mapping to include: (August, September 2014) <ul style="list-style-type: none"> <li>• Modifications to export</li> <li>• Enter sample data into system</li> <li>• Test and demo</li> <li>• Final modifications to XML export/import</li> </ul>
NSP IT/NSP Purchasing	Procure hard drives and controller shelf for additional data storage
	<b>QUARTER 2</b>
GIPD Officers	Continue collection and exchange of intelligence using present system. Continue intelligence sharing meetings with surrounding agencies.
NSP App Dev + NIAC Sgt. /GIPD Project Dir./City & County IT	Finalize data mapping to include: (October 2014) <ul style="list-style-type: none"> <li>• Modifications to export</li> <li>• Enter sample data into system</li> <li>• Test and demo</li> <li>• Final modifications to XML export/import</li> </ul>
NSP IT Staff	Create Users and Groups (November 2014)
NSP IT & NIAC Sergeant	Modify Intel Collector FI card to move GIPD data to NFIN Gang Virtual Server. Test data collection process and modify based on feedback. (November, December, mid-January)

**GOAL:**

<b>OBJECTIVE #1</b>	<b>Performance Indicators for Objective #1</b>	<b>Baseline Statistic</b>	<b>Projected Result</b>
To increase availability of gang-related information contained in Grand Island Police Department (GIPD) gang intelligence database for use in hot spots policing	Increase the number of GIPD gang intelligence records in Nebraska Fusion Information Network	0	1,300
<b>OBJECTIVE #2</b>	<b>Performance Indicators for Objective #1</b>	<b>Baseline Statistic</b>	<b>Projected Result</b>
Increase number of NFIN users within Grand Island Police Department	Number of NFIN Users	0	8
<b>OBJECTIVE #3</b>	<b>Performance Indicators for Objective #1</b>	<b>Baseline Statistic</b>	<b>Projected Result</b>

**CERTIFICATIONS REGARDING LOBBYING; DEBARMENT, SUSPENSION AND OTHER RESPONSIBILITY  
MATTER;  
AND DRUG-FREE WORKPLACE REQUIREMENTS**

Applicants should refer to the regulations cited below to determine the certification to which they are required to attest. Applicants should also review the instructions for certification included in the regulations before completing this form. Signature of this form provides for compliance with certification requirements under 28 CFR Part 69, "New Restrictions on Lobbying" and 28 CFR Part 67, "Government-wide Debarment and Suspension (Nonprocurement) and Government-wide Requirements for Drug-Free Workplace (Grants)." The certifications shall be treated as a material representation of fact upon which reliance will be placed when the Department of Justice determines to award the covered transaction, grant, or cooperative agreement.

**1. LOBBYING**

As required by Section 1352, Title 31 of the U.S. Code, and implemented at 28 CFR Part 69, for persons entering into a grant or cooperative agreement over \$100,000, as defined at 28 CFR Part 69, the applicant certifies that:

- (a) No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the making of any Federal grant, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal grant or cooperative agreement;
- (b) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal grant or cooperative agreement, the undersigned shall complete and submit Standard Form – LLL, "Disclosure of Lobbying Activities," in accordance with its instructions;
- (c) The undersigned shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subgrants, contracts under grants and cooperative agreements, and subcontracts) and that all subrecipients shall certify and disclose accordingly.

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**2. DEBARMENT, SUSPENSION, AND OTHER RESPONSIBILITY MATTERS (DIRECT RECIPIENT)**

As required by Executive Order 12549, Debarment and Suspension, and implemented at 28 CFR Part 67, for prospective participants in primary covered transaction, as defined at 28 CFR Part 67, Section 67.510-

A. The applicant certifies that it and its principals:

- (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible, sentenced to a denial of Federal benefits by a State of Federal court, or voluntarily excluded from covered transactions by any Federal department of agency;
- (b) Have not within a three-year period preceding this application been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State, or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
- (c) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (1)(b) of this certification; and
- (d) Have not within a three-year period preceding this application had one or more public transactions (Federal, State or local) terminated for cause or default; and

B. Where the applicant is unable to certify to any of the statements in this certification, he or she shall attach an explanation to this application.

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**3. DRUG-FREE WORKPLACE (GRANTEES OTHER THAN INDIVIDUALS)**

The applicant certifies that it will or will continue to provide a drug-free workplace by:

- A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the grantee's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
- B. Establishing an on-going drug-free awareness program to inform employees about—
  - (a) The dangers of drug abuse in the workplace;
  - (b) The grantee's policy of maintaining a drug-free workplace;
  - (c) Any available drug counseling, rehabilitation, and employee assistance programs; and



RESOLUTION 2014-183

WHEREAS, the Grand Island Police Department has been working in cooperation with the Nebraska State Patrol to integrate the department Records Management System (RMS) into a state information sharing database; and

WHEREAS, the integration of the Police Department RMS into the state system would benefit Grand Island and law enforcement agencies in the State; and

WHEREAS, the Nebraska State Patrol has been awarded a grant for \$30,000 to pay a consultant to develop a software interface between the department's RMS and the state database; and

WHEREAS, the Police Department's RMS is proprietary software licensed by Spillman, Inc. and the Police Department has a long term contractual relationship with Spillman, Inc., the Nebraska State Patrol desires to have the Police Department serve as a subgrantee for the project.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, to approve the Police Department to accept the subgrant of \$30,000 from the Nebraska State Patrol for the purpose of integration of the Department Records Management System software into the state NFIN system and the Mayor sign the subgrant agreement.

- - -

Adopted by the City Council of the City of Grand Island, Nebraska, June 24, 2014.

\_\_\_\_\_  
Jay Vavricek, Mayor

Attest:

\_\_\_\_\_  
RaNae Edwards, City Clerk

Approved as to Form	☒ _____
June 20, 2014	☒ City Attorney



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item H-1

**Consideration of Forwarding Blighted and Substandard Area #13R Study to the Hall County Regional Planning Commission**

Staff Contact: Chad Nabity

# Council Agenda Memo

**From:** Chad Nabity, AICP  
**Meeting:** June 24, 2014  
**Subject:** Proposed Blighted and Substandard Area #13R  
**Item #'s:** H-1  
**Presenter(s):** Chad Nabity, Director Grand Island CRA

## Background

Enclosed you will find a copy of a Substandard and Blight Study as prepared for Phil Ramsel by Marvin Planning Consultants. This study is for approximately 1.26 acres of property in central Grand Island north of Phoenix Avenue and west of Lincoln Avenue. The study as prepared and submitted indicates that this property could be considered substandard and blighted. The full study is attached for your review and consideration.

Mr. Ramsel has submitted this study for the review and consideration of the Grand Island City Council as permitted by Nebraska law. This is a micro-blight study for a small area that Mr. Ramsel intends to redevelop if the area can be declared blighted and substandard. This area was not included with the Area 8 designation as it was part of the County Industrial Tract and could not be annexed by the City. The Hall County Board of Supervisors has removed the County Industrial Area Designation from this property. The decision on whether to declare an area substandard and blighted is entirely within the jurisdiction of the City Council with a recommendation from the Planning Commission.

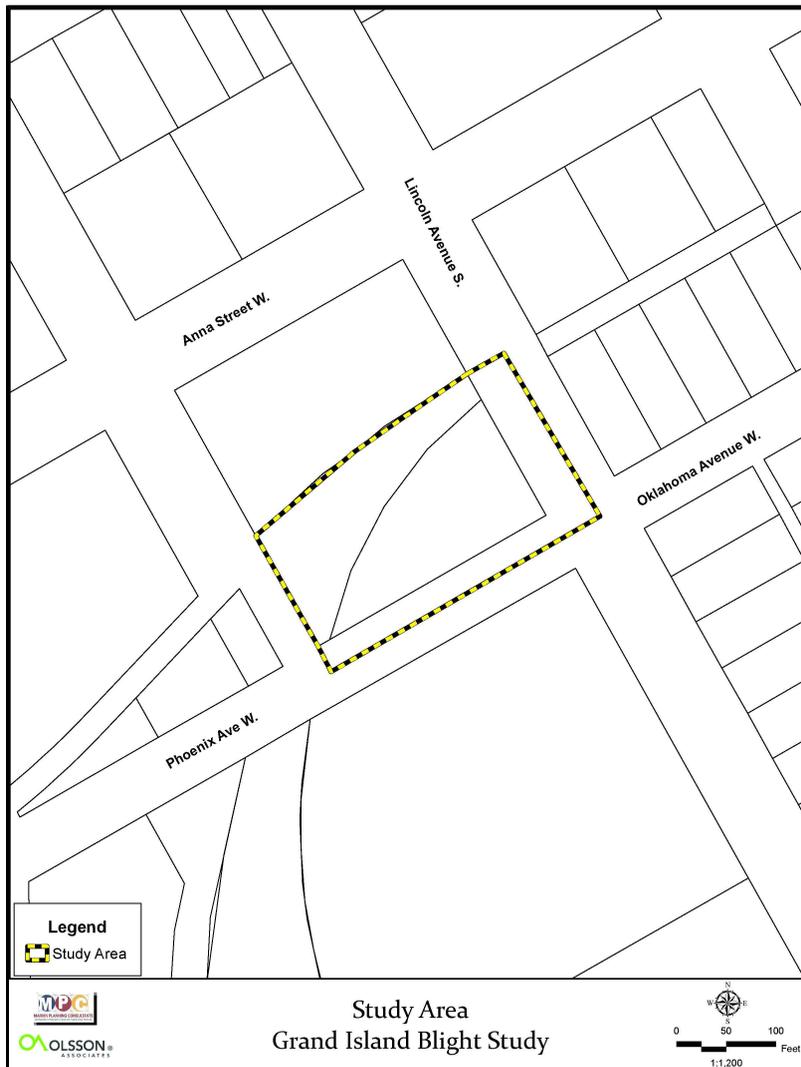
A slightly larger study area was considered by the Grand Island City Council in October and November of 2013 as Blighted Area 13. The previous study was not approved as it included property that has not been annexed into the City and there were new buildings on that property. This revised study does not include any property with new buildings or that is not within the municipal limits of the City of Grand Island.

The question before Council will be whether to send the Study to the Planning Commission for their review and feedback. If the item is not sent to the Planning Commission the Council cannot declare the area substandard and blighted. Planning Commission will meet on July 2 and would have a recommendation ready for the last Council meeting in July.

Once an area has been declared substandard and blighted the CRA can accept redevelopment proposals for the area that might or might not include an application for Tax Increment Financing.

## Discussion

The action item tonight relates to the Study for proposed CRA Area No. 13R in central Grand Island as shown below. The study was prepared for 1.26 acres, of all of which is in Grand Island City Limits



Robert Sivick, City Attorney has reviewed the Nebraska Statutes and case law pertaining to the declaration of property as blighted and substandard. His comments on this application are as follows:

The statutory procedures for accomplishing blight relief include the following steps: (1) the identification of a community redevelopment area consisting of portions of a city declared to be substandard or blighted in accordance with statutory definitions and in need of redevelopment, (2) the formulation of a redevelopment plan for such area or a redevelopment project within such area, and (3) the implementation of the redevelopment plan through various means including acquisition, sale, leasing, and contracting for redevelopment. Nebraska Revised State Statutes (NRSS) 18-2103, 18-2107, and 18-2109.

Under this statutory scheme, the governing body shall afford maximum opportunity consistent with the sound needs of the city as a whole to the rehabilitation or redevelopment of the community redevelopment area by private enterprise. A private development project would be eligible for tax increment financing only if it is included within an area which has previously been declared blighted or substandard and is in furtherance of an existing redevelopment plan for that area. The declaration of property as blighted or substandard is not simply a formality which must be met in order to assist a private developer with tax increment financing; it is the recognition of a specific public purpose which justifies the expenditure of public funds for redevelopment. See *Monarch Chemical Works, Inc. v. City of Omaha*, 203 Neb. 33, 277 N.W.2d 423 (1979), *Fitzke v. Hastings*, 255 NEB 46 (1998)

At this point, Council is only considering point 1 of Mr. Sivick's opinion. According to NRSS §18-2109, it is clear that the Planning Commission must have the opportunity to review the Blight Study prior to Council declaring the property substandard and blighted. If Council wishes to consider a declaration of substandard and blight State Statute requires that the question of whether an area is substandard and blighted is submitted to the Planning Commission for its review and recommendation.

The Planning Commission recommendation should be done at the first available opportunity, as the Planning Commission has 30 days to respond to Council's request for a recommendation.

### **Blighted Area of the Community**

The city of Grand Island, as a City of the First Class, is permitted to designate an area of up to 35% of the municipal limits as blighted and substandard. As of today, June 16, 2014, 18.57% of the City has been declared blighted and substandard. This micro blight area (Area 13R) would add less than 0.01%. If Area 13R was to be declared substandard and blighted by the Council, 18.57% of the community would bear that designation.

It does not appear that the declaration of Area 13R would significantly impact the City's ability to declare other areas substandard and blighted.

### **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Move to forward the Study to the Planning Commission for their recommendation.
2. Move to not forward the Study to the Planning Commission for their recommendation
3. Refer the issue to a Committee
4. Postpone the issue to future date
5. Take no action on the issue

### **Recommendation**

City Administration recommends that the Council Move to forward the Study to the Planning Commission.

### **Sample Motion**

Move to adopt resolution to forward the Study to the Planning Commission for their review and recommendation.



**City of Grand Island, NE**  
**Blight and Substandard Study**  
**Area #13 Revised**  
**June 2014**



## **PURPOSE OF THE BLIGHT AND SUBSTANDARD STUDY**

The purpose of completing this Blight and Substandard study is to examine existing conditions within the city of Grand Island as well as surrounding conditions. This study has been commissioned by an individual property owner within the community with the hope that the City will consider the study area for future redevelopment activity. The area is bordered on the south by a major transportation route and the general area of the community has begun to see some new investment in properties as well as considerable redevelopment activities.

The City of Grand Island, when considering conditions of Blight and Substandard, will be looking at those issues and definitions provided for in the Nebraska Community Redevelopment Law as found in Chapter 18, Section 2104 of the Revised Nebraska State Statutes, as follows:

*“The governing body of a city, to the greatest extent it deems to be feasible in carrying out the provisions of Sections 18-2101 to 18-2144, shall afford maximum opportunity, consistent with sound needs of the city as a whole, to the rehabilitation or redevelopment of the community redevelopment area by private enterprises. The governing body of a city shall give consideration to this objective in exercising its powers under sections 18-2101 to 18-2144, including the formulation of a workable program, the approval of community redevelopment plans consistent with the general plan for the development of the city, the exercise of its zoning powers, the enforcement of other laws, codes, and regulations relating to the use and occupancy of buildings and improvements, the disposition of any property acquired, and providing of necessary public improvements”.*

The Nebraska Revised Statutes §18-2105 continues by granting authority to the governing body for formulation of a workable program. The statute reads,

*“The governing body of a city or an authority at its direction for the purposes of the Community Development Law may formulate for the entire municipality a workable program for utilizing appropriate private and public resources to eliminate or prevent the development or spread of urban blight, to encourage needed urban rehabilitation, to provide for the redevelopment of substandard and blighted areas, or to undertake such of the aforesaid activities or other feasible municipal activities as may be suitably employed to achieve the objectives of such workable program. Such workable program may include, without limitation, provision for the prevention of the spread of blight into areas of the municipality which are free from blight through diligent enforcement of housing, zoning, and occupancy controls and standards; the rehabilitation or conservation of substandard and blighted areas or portions thereof by replanning, removing congestion, providing parks, playgrounds, and other public improvements by encouraging voluntary rehabilitation and by compelling the repair and rehabilitation of deteriorated or deteriorating structures; and the clearance and redevelopment of substandard and blighted areas or portions thereof.”*

Blight and Substandard are defined as the following:

*“Substandard areas means an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare;”*

*“Blighted area means an area, which (a) by reason of the presence of a substantial number of deteriorated or deteriorating structures, existence of defective or inadequate street layout, faulty lot layout in relation to size, adequacy, accessibility, or usefulness, insanitary or unsafe conditions, deterioration of site or other improvements, diversity of ownership, tax or special assessment delinquency exceeding the fair value of the land, defective or unusual conditions of title, improper subdivision or obsolete platting, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, substantially impairs or arrests the sound growth of the community, retards the provision of housing accommodations, or constitutes an economic or social liability and is detrimental to the public health, safety, morals, or welfare in its present condition and use and (b) in which there is at least one of the following conditions: (i) Unemployment in the designated area is at least one hundred twenty percent of the state or national average; (ii) the average age of the residential or commercial units in the area is at least forty years; (iii) more than half of the plotted and subdivided property in an area is unimproved land that has been*

*within the city for forty years and has remained unimproved during that time; (iv) the per capita income of the area is lower than the average per capita income of the city or village in which the area is designated; or (v) the area has had either stable or decreasing population based on the last two decennial censuses. In no event shall a city of the metropolitan, primary, or first class designate more than thirty-five percent of the city as blighted, a city of the second class shall not designate an area larger than fifty percent of the city as blighted, and a shall not designate an area larger than one hundred percent of the as blighted;"*

This Blight and Substandard Study is intended to give the Grand Island Community Redevelopment Authority and Grand Island City Council the basis for identifying and declaring Blighted and Substandard conditions existing within the City's jurisdiction. Through this process, the City and property owner will be attempting to address economic and/or social liabilities which are harmful to the well-being of the entire community.

The study area can be seen in Figure 1 of this report. The Redevelopment Plan portion of this report will contain, in accordance with the law, definite local objectives regarding appropriate land uses, improved traffic, public transportation, public utilities and other public improvements, and the proposed land uses and building requirements in the redevelopment area and shall include:

- The boundaries defining the blighted and substandard areas in question (including existing uses and conditions of the property within the area), and
- A list of the conditions present which qualify the area as blighted and substandard.

### **BLIGHT AND SUBSTANDARD ELIGIBILITY STUDY**

This study targets a specific area within an established part of the community for evaluation. The area is indicated in Figure 1 of this report. The existing uses in this area include industrial uses and public open space (primarily hike/bike trail).

Through the redevelopment process the City of Grand Island can guide future development and redevelopment throughout the area. Even though this is a smaller area than normal, it does meet the concept of the Micro-Blight process the City has been analyzing over the past couple of years. The use of the Community Redevelopment Act by the City of Grand Island is intended to redevelop and improve the area. Using the Community Redevelopment Act, the City of Grand Island can assist in the elimination of negative conditions and implement different programs/projects identified for the City.

The following is the description of the designated area within Grand Island.

#### ***Study Area***

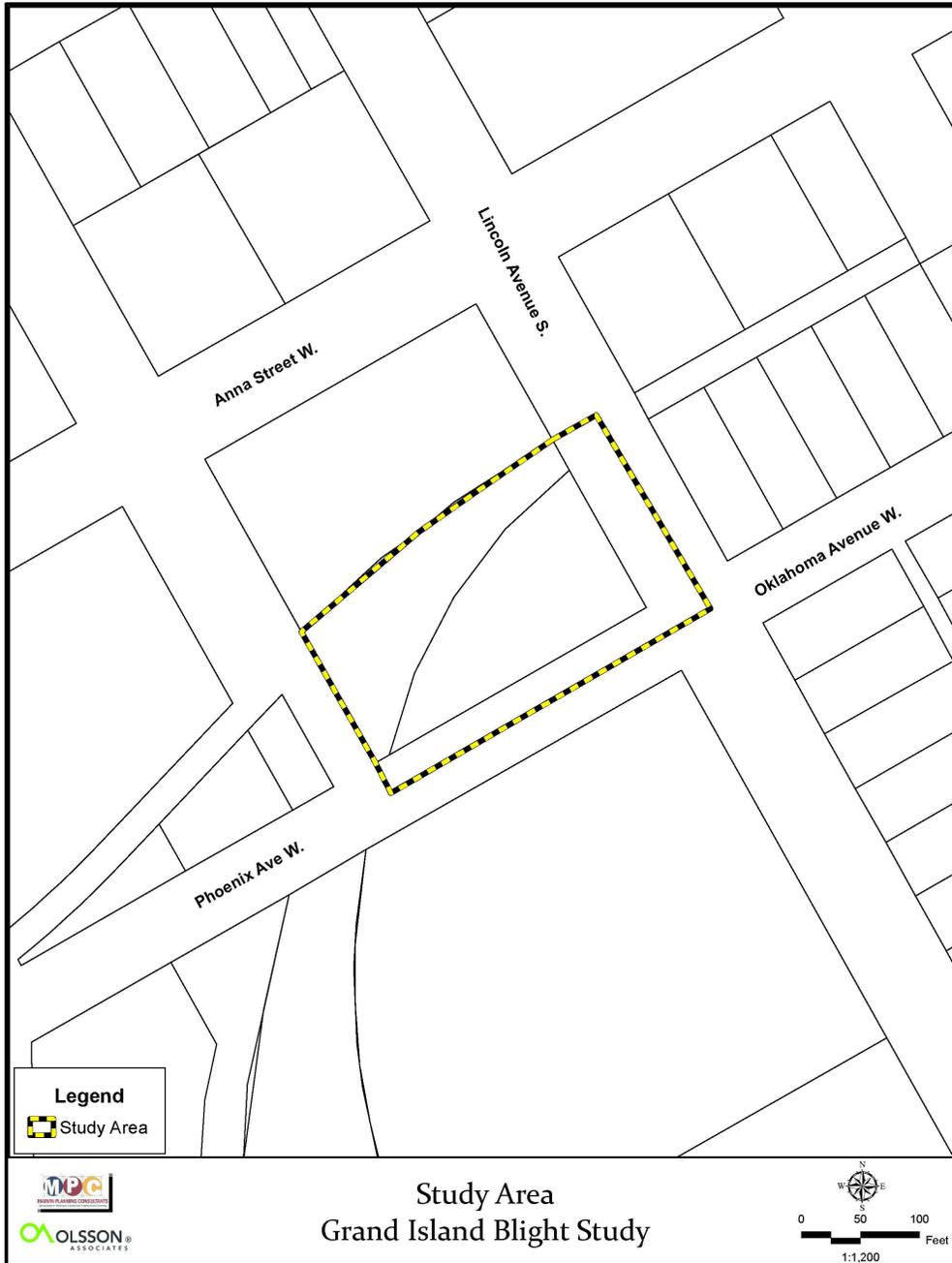
POINT OF BEGINNING IS THE INTERSECTION OF THE CENTERLINES OF LINCOLN AVENUE S. AND PHOENIX AVENUE W; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE OF PHOENIX AVENUE W TO THE SOUTHERLY EXTENDED EAST RIGHT-OF-WAY LINE OF THE UNOPENED PORTION OF PLATTED WASHINGTON STREET; THENCE NORTHWESTERLY ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTHWEST CORNER OF A PROPERTY DESCRIBED AS WASH TWP PT NE ¼ PT FORMER BLKS 7-8-9-10 SOUTH PARK 21-11-9 PT VAC WASHINGTON STREET; THENCE NORTHEASTERLY ALONG THE SOUTHERN PROPERTY LINE OF SAID DESCRIBE PROPERTY TO THE INTERSECTION WITH THE CENTERLINE OF LINCOLN AVENUE S; THENCE; SOUTHEASTERLY TO THE POINT OF BEGINNING.

#### **Figure 1**

Study

Area

Map



Source: Olsson Associates 2014

## **EXISTING LAND USES**

The term “Land Use” refers to the developed uses in place within a building or on a specific parcel of land. The number and type of uses are constantly changing within a community, and produce a number of impacts that either benefit or detract from the community. Because of this, the short and long-term success and sustainability of the community is directly contingent upon available resources utilized in the best manner given the constraints the City faces during the course of the planning period. Existing patterns of land use are often fixed in older communities and neighborhoods, while development in newer areas is often reflective of current development practices.

### **Existing Land Use Analysis within Study Area**

As part of the planning process, a survey was conducted through both in-field observations, as well as data collection online using the Hall County Assessors website. This survey noted the use of each parcel of land within the study area. These data from the survey are analyzed in the following paragraphs.

Table 1 includes the existing land uses for the entire study area. The table contains the total acres determined per land use from the survey; next is the percentage of those areas compared to the total developed land; and finally, the third set of data compare the all land uses to the total area within the Study Area.

The Study Area is predominately Industrial uses with 38.1% of land in this use. The remaining 68.2% is either Public or Transportation related, specifically public right-of-way and streets.

**TABLE 1: EXISTING LAND USE, GRAND ISLAND - 2014**

Type of Use	Acres	Percent of Developed land within the Study Area	Percent of Study Area
Residential	0	0.0%	0.0%
Single-family	0	0.0%	0.0%
Multi-family	0	0.0%	0.0%
Manufactured Housing	0	0.0%	0.0%
Commercial	0	0.0%	0.0%
Industrial	0.48	38.1%	38.1%
Quasi-Public/Public	0.41	32.5%	32.5%
Parks/Recreation	0	0.0%	0.0%
Transportation	0.37	29.4%	29.4%
<b>Total Developed Land</b>	<b>1.26</b>	<b>100.0%</b>	
Vacant/Agriculture	0		0.0%
<b>Total Area</b>	<b>1.26</b>		<b>100.0%</b>

Source: 2014 Grand Island Blight Study Area 13R, Marvin Planning Consultants and Olsson Associates

Figure 2  
Existing

Land

Use

Map



Source: Marvin Planning Consultants and Olsson Associates, 2013

## FINDINGS OF BLIGHT AND SUBSTANDARD CONDITIONS ELIGIBILITY STUDY

This section of the Eligibility Report examines the conditions found in the study area. The Findings Section will review the conditions based upon the statutory definitions.

### CONTRIBUTING FACTORS

There are a number of conditions that were examined and evaluated in the field and online. There are a number of conditions that will be reviewed in detail, on the following pages, while some of the statutory conditions are present, other are not.

#### Age of Structure

Age of structures can be a contributing factor to the blighted and substandard conditions in an area. Statutes allow for a predominance of structures that are 40 years of age or older to be a contributing factor regardless of their condition. The following paragraphs document the structural age of the structures within the Study Area. Note that the age of structure was determined from the Appraisal data within the Hall County Assessor's website data.

Within the study area there is a total of two structures. After researching the structural age on the Hall County Assessor's and Treasurer's websites, the following breakdown was determined:

- One (100.0%) unit was determined to be 40 years of age or older
- Also there are numerous structures outside of the boundary in another previously blighted area that are 40 years of age or older and are negatively impacting the area under discussion.

The age of the structures would be a direct contributing factor.

**Figure 3**

**Unit**

**Age**

**Map**



Source: Marvin Planning Consultants and Olsson Associates, 2014

#### Structural Conditions

Where structural conditions were evaluated, structures were either rated as: No problems, Adequate, Deteriorating, or Dilapidated. The following are the definitions of these terms:

**No Problem/ Adequate Conditions**

- No structural or aesthetic problems were visible, or
- Slight damage to porches, steps, roofs etc. is present on the structure,
- Slight wearing away of mortar between bricks, stones, or concrete blocks,
- Small cracks in walls or chimneys,
- Cracked windows,
- Lack of paint, and
- Slight wear on steps, doors, and door and window sills and frames.

**Deteriorating Conditions**

- Holes, open cracks, rotted, loose, or missing materials in parts of the foundation, walls, or roof (up to 1/4 of wall or roof),
- Shaky, broken, or missing steps or railings,
- Numerous missing and cracked window panes,
- Some rotted or loose windows or doors (no longer wind- or water-proof), and
- Missing bricks, or cracks, in chimney or makeshift (uninsulated) chimney.

**Dilapidated Conditions**

- Holes, open cracks, or rotted, loose or missing material (siding, shingles, brick, concrete, tiles, plaster, floorboards) over large areas of foundation,
- Substantial sagging of roof, floors, or walls,
- Extensive damage by fire, flood or storm, and
- Inadequate original construction such as makeshift walls, roofs made of scrap materials, foundations or floors lacking, or converted barns, sheds, and other structures not adequate for housing.

These are criteria used to determine the quality of each structure in the Study Area.

In a recent conditions survey, the structures within the corporate limits were rated. Within the corporate limits portion of the study area there are a total of two structures.

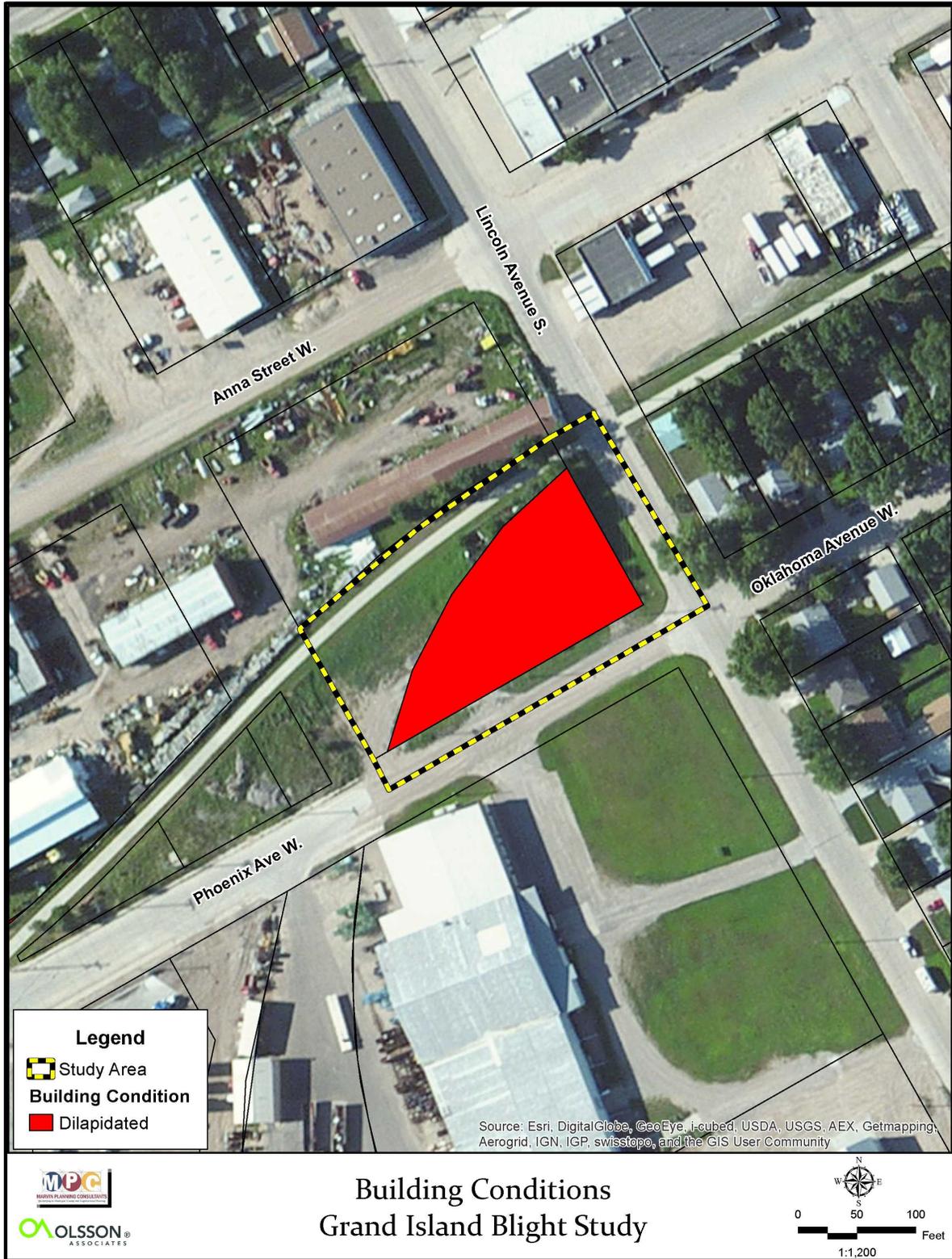
After reviewing the overall conditions of the structures in the corporate limits portion include:

- 0 (0.00%) structures rated as adequate
- 0 (0.00%) structures rated as deteriorating
- 1 (100.0%) structure rated as dilapidated

Overall, 100.0% of the structures in this area are in a state of disrepair. Figure 3 shows the data on a block level as opposed to structure. Typically, if there were several structures deemed to be deteriorating or dilapidated then the entire block was downgraded. For purposes of this study there is approximately 100.0% of the block area within the Study Area has dilapidated structures.

Due to the state of disrepair of a number of properties in the area, the conditions represent conditions which are Dangerous to conditions of life or property due to fire or other causes.

**Figure 4**  
**Structural Conditions**



Source: Marvin Planning Consultants and Olsson Associates, 2014

**Sidewalk Conditions**

The sidewalk conditions were analyzed in the Study Area. The sidewalks were rated on four categories; adequate, deteriorating, dilapidating, and missing completely.

Within the study area there is approximately 430 lineal feet of sidewalk. After reviewing the conditions in the field, the following is how the sidewalk conditions breakdown within the study area:

- 0 (0.00%) lineal feet of adequate sidewalk
- 0 (0.00%) lineal feet of deteriorating sidewalk
- 428 (100.00%) lineal feet of no sidewalk. There was no sidewalk deemed to be dilapidated.

Overall, 100% of the area had no sidewalks available along the public streets. Missing sidewalk is as bad as dilapidated or deteriorating sidewalk since there is no safe place to walk other than across someone else’s property or in the street. See Figure 5 for the locations of these sidewalks.

Due to the large amount of deteriorating and missing sidewalk, the sidewalk conditions would be a direct contributing factor.



**Street Conditions**

The street conditions were analyzed in the Study Area. The streets were also rated on four categories; adequate, deteriorating, dilapidating, and missing completely. The following is the breakdown for the area.

Within the study area there is approximately 500 lineal feet of street. After reviewing the conditions in the field, the following is how the street conditions breakdown within the corporate limits:

- 0 (0.00%) lineal feet of adequate street
- 189 (37.9%) lineal feet of deteriorating street
- 310 (62.1%) lineal feet of gravel streets.
- There was no street deemed to be dilapidated.

Overall, 100.0% of the streets are in either a deteriorating state or were paved with gravel, thus an obsolete material for an urban area. See Figure 6 for the locations of these streets.

Due to the large amount of deteriorating and missing street, the street conditions would be a direct contributing factor.



**Curb and Gutter**

Curb and Gutters have a number of direct and indirect roles in neighborhoods. Their primary functions is to be a barrier that collects and directs water to be drained away. On a secondary level, they can help define where the streets start and stop, and they act as a physical barrier between pedestrian and vehicular traffic.

Curb and gutter for the Study Area were examined similarly to streets and sidewalks. The curb and gutter will be graded as either adequate, deteriorating, dilapidated, or missing. In addition, curb and gutter will be examined based upon their location, within the incorporated area or within the county industrial park.

Within the study area there is approximately 460 lineal feet of curb and gutter possible. After reviewing the conditions in the field, the following is how the curb and gutter conditions breakdown within the corporate limits:

- 0.00 (0.0%) lineal feet of adequate curb and gutter
- 173 (37.8%) lineal feet of deteriorating curb and gutter



- 285 (62.2%) lineal feet of no curb and gutter or rural section. There was no curb and gutter deemed to be dilapidated.

In total, 100% of the curb and gutters are in either a deteriorating state or are missing. See Figure 7 for the locations of these curb and gutter.

Due to the large amount of deteriorating and missing curb and gutter, the curb and gutter conditions would be a direct contributing factor.

#### **Deterioration of site or other improvements**

Throughout this Area, there is a large portion of sidewalk that is either deteriorating or missing. In addition, a large portion of the curb and gutter has been determined to be either deteriorating or missing.

Finally, the area has a large amount of deteriorating streets. The streets have been patched over and over due to large amounts of cracking that has been occurring in the pavement.

These are major considerations in determining if the area has deteriorated sites or improvements.

Based upon the field analysis, there are sufficient elements present to meet the definition of deterioration of site and other improvements in the Study Area.

#### **Improper Platting or Obsolete Platting**

The majority of this area was platted in the 1800's as the city began to grow and when there was still an active railroad line serving this part of Grand Island. The vast number of the lots, as they are platted today, will be difficult to redevelop.

Based upon the review of the plat of the area, there are sufficient elements present to meet the definition of improper platting or obsolete platting within the Study Area.

#### **Unsanitary / Unsafe conditions**

The area being evaluated for the conditions of blighted and substandard needs to be examined for the unsanitary and unsafe conditions. A primary item that was examined was the drainage conditions of the area.

##### *Drainage Conditions*

Grand Island has a long history of drainage issue due to the extreme flatness of the area, as well as the high water table. Topography and soils can have a major impact on how a given portion of the city drains. The area designated in this Study Area is nearly flat or has an extremely small slope.

The field survey examined the entire area for potential drainage problems. One field survey was completed the same day of a rain event. During the field visit there was standing water throughout the entire area. Water was standing in large potholes, in drainage ditches, along areas that were supposed to drain the water away.

Standing water from poor drainage can be a catalyst for Health issues like West Nile due to the potential mosquito breeding that can occur.

Drainage also can be tied directly to the next issue that was analyzed during the field investigations, curb and gutter conditions.

Based upon the field analysis, there are sufficient elements present to meet the definition of unsanitary/unsafe conditions within the Study Area.

### **Blighting Summary**

These conditions are contributing to the blighted conditions of the study area.

- Substantial number of deteriorating structures
  - 100.00% of the structures identified within the corporate limits, of the Study Area, were deemed to be in a state of deterioration or dilapidation



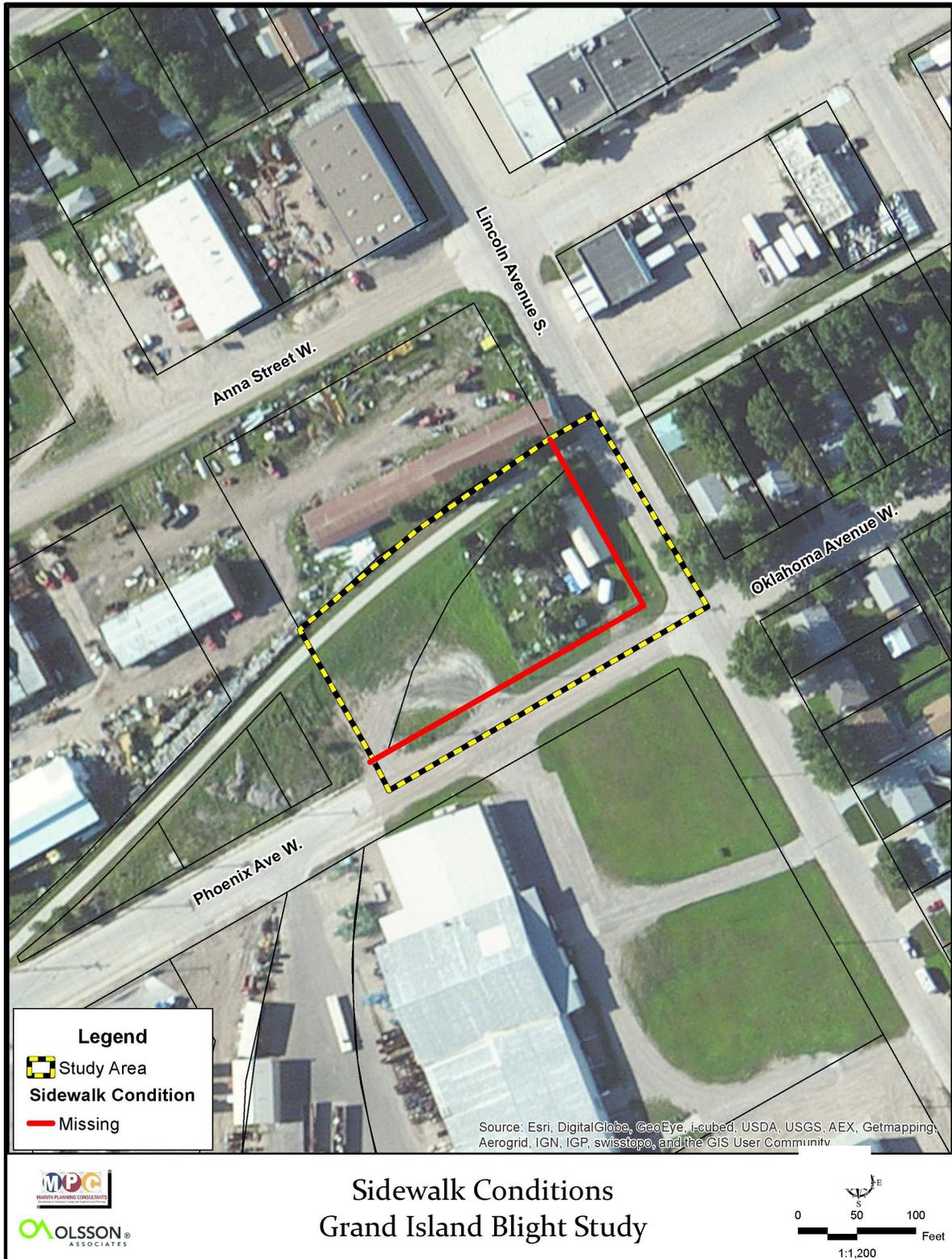
- Deterioration of site or other improvements
  - A large amount of sidewalk either in a deteriorated state or missing from properties in the area.
  - The existence of gravel streets within the study area.
  - The condition of the streets within the corporate limits.
- Dangerous conditions to life or property due to fire or other causes
  - The number of deteriorating structures
- Average age of structures is over 40 years of age
  - Within the Study Area 100.00% of the structures meet the criteria of 40 years of age or older.
- Improper Subdivision or obsolete platting
- Unsanitary / Unsafe conditions
  - The area has major drainage issues and does not drain well and has the potential for standing water to be present for long periods of time.
- The area has had either stable or decreasing population based upon the last two decennial censuses.

The other criteria for Blight were not present in the area, these included:

- Combination of factors which are impairing and/or arresting sound growth
- Defective/Inadequate street layouts,
- Faulty lot layout,
- Defective or unusual condition of title,
- Economic or social liability detrimental to health, safety and welfare,
- Conditions provision of housing accommodations,
- One-half of unimproved property is over 40 years old,
- Inadequate provisions for ventilation, light, air, open spaces or sanitation, and
- Diversity of ownership.

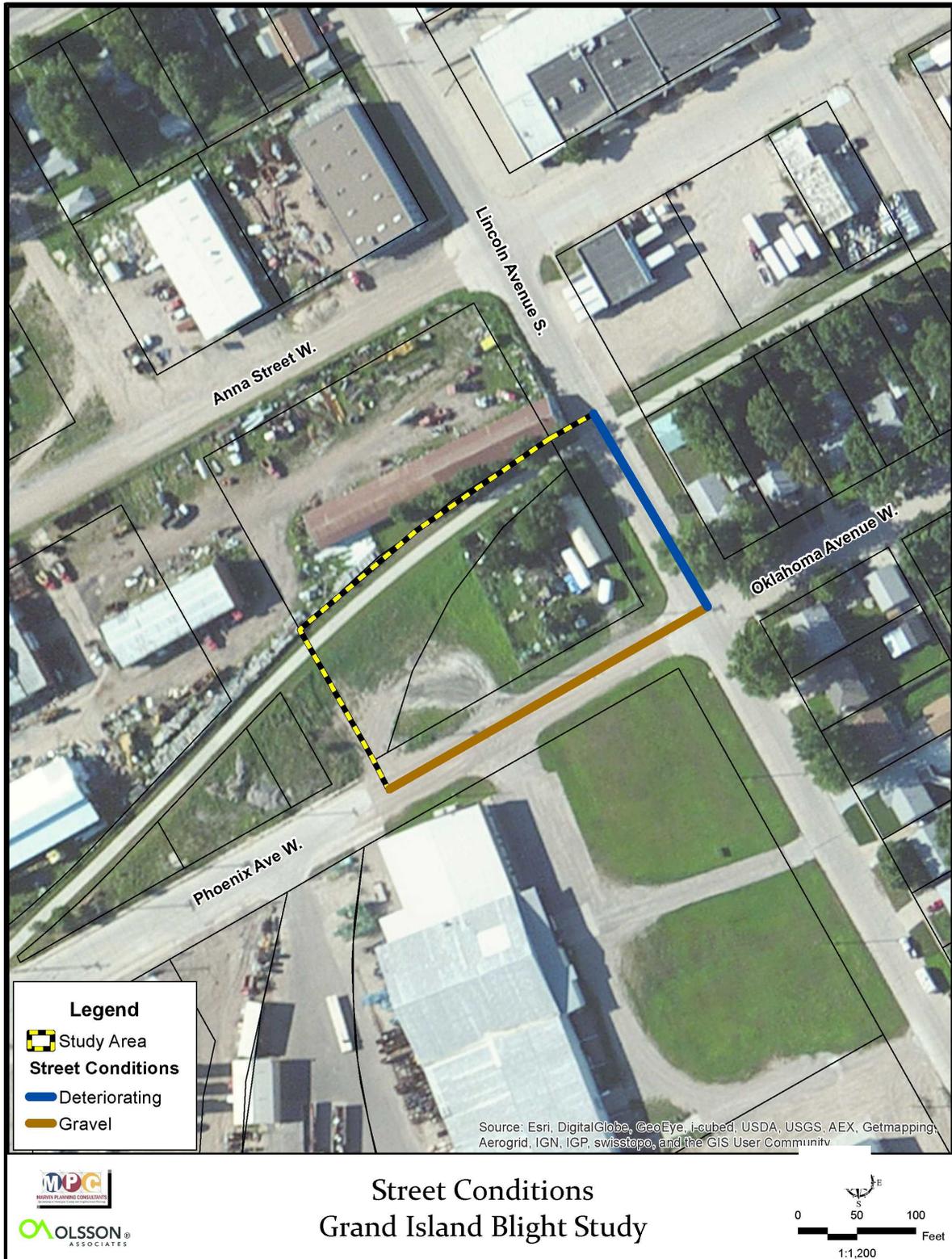
These issues were either not present or were limited enough as to have little impact on the overall condition of the study area.

Figure 5  
Sidewalk Conditions



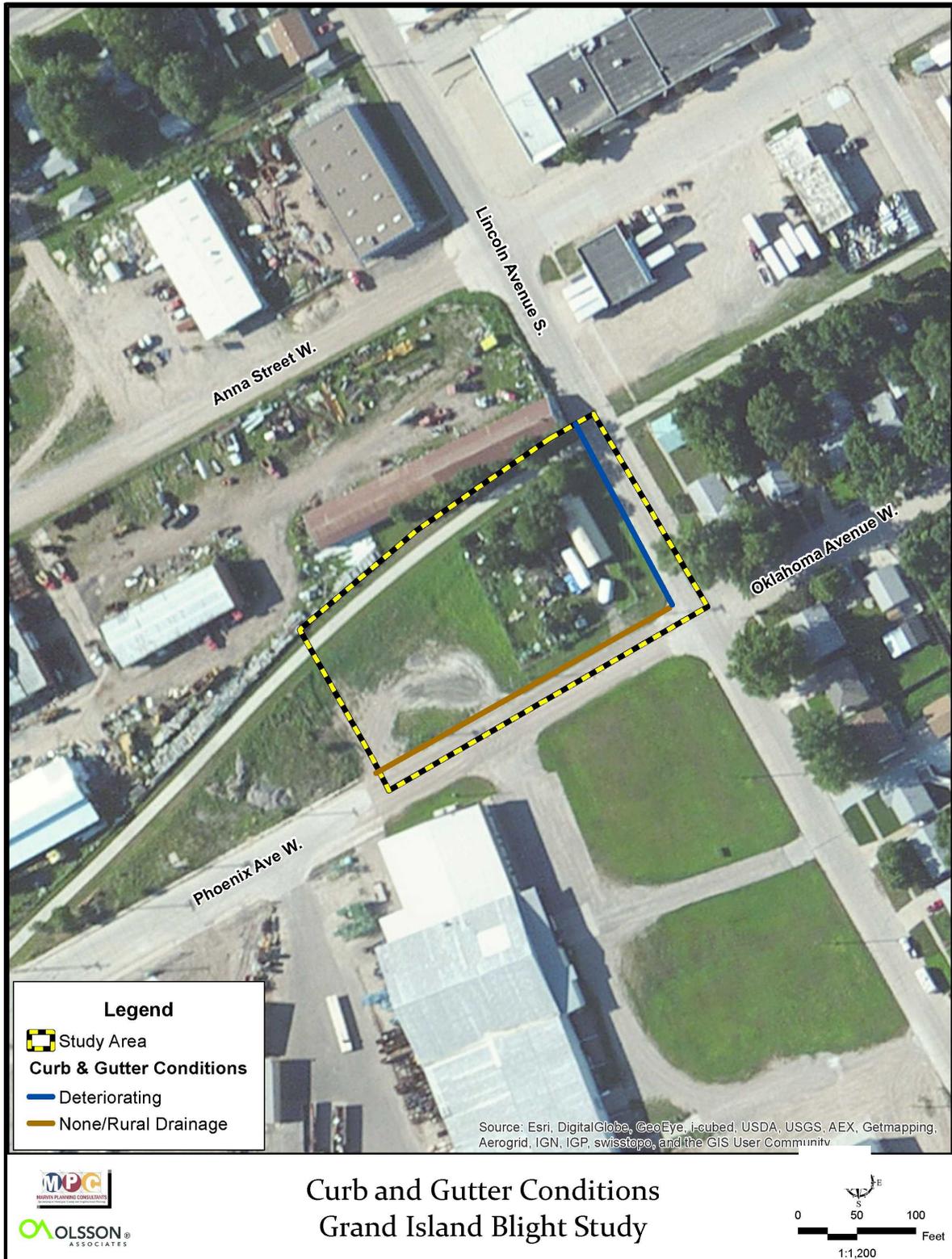
Source: Marvin Planning Consultants and Olsson Associates, 2014

Figure 6  
Street Conditions



Source: Marvin Planning Consultants and Olsson Associates, 2014

Figure 7  
Curb and Gutter Conditions



Source: Marvin Planning Consultants and Olsson Associates, 2014

## Substandard Conditions

### **Predominance of improvements**

There is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces.

- There are several public improvements in the area that are in a dilapidated, deteriorated or missing
- Where there are some public improvements, such as streets, a majority of them are in a state of obsolescence.

In addition, there is one structure in the area and it is over 40 years old.

- 1 (100.00%) unit was determined to be 40 years of age or older

There is a predominance of units 40 years of age or older.

## Substandard Summary

Nebraska State Statute requires “...an area in which there is a predominance of buildings or improvements, whether nonresidential or residential in character, which, by reason of dilapidation, deterioration, age or obsolescence, inadequate provision for ventilation, light, air, sanitation, or open spaces, high density of population and overcrowding, or the existence of conditions which endanger life or property by fire and other causes, or any combination of such factors, is conducive to ill health, transmission of disease, infant mortality, juvenile delinquency, and crime, (which cannot be remedied through construction of prisons), and is detrimental to the public health, safety, morals, or welfare;”

This Study Area in Grand Island meets the definition with the average age of the structures being more than 40 years of age. In addition, the area meets the criteria for the existence of conditions which endanger life or property by fire and other causes.

## FINDINGS FOR GRAND ISLAND BLIGHT STUDY AREA #13R

Blight Study Area #13R has several items contributing to the Blight and Substandard Conditions. These conditions include:

### **Blighted Conditions**

- Substantial number of deteriorating structures.
- Improper subdivision or obsolete platting.
- Deterioration of site or other improvements.
- Dangerous conditions to life or property due to fire or other causes.
- Average age of units is over 40 years of age.
- Unsanitary/unsafe conditions.
- The area has had either stable or decreasing population based upon the last two decennial censuses.

### **Substandard Conditions**

- Predominance of deteriorated infrastructure due to age and obsolescence.
- Average age of the structures in the area is at least forty years.
- Existence of conditions which endanger life or property by fire and other causes.



# City of Grand Island

Tuesday, June 24, 2014

Council Session

## Item J-1

### **Approving Payment of Claims for the Period of June 11, 2014 through June 24, 2014**

*The Claims for the period of June 11, 2014 through June 24, 2014 for a total amount of \$7,515,616.29.  
A MOTION is in order.*

Staff Contact: Jaye Monter, Finance Director