



City of Grand Island

Tuesday, April 8, 2014

Council Session

Item G-6

**#2014-76 - Approving Acquisition of Utility Easement located at
3200 West Bachman Street in Wilson Concrete Subdivision
(Wilson Concrete Company)**

This item relates to the aforementioned Public Hearing item E-3.

Staff Contact: John Collins, P.E. - Public Works Director

RESOLUTION 2014-76

WHEREAS, a public utility easement is being acquired by the City of Grand Island from Wilson Concrete Company to allow for construction of Street Improvement District No. 1260; Webb Road – South Webb Road extending north from Stolley Park Road to Union Pacific Railroad Tracks, described as follows:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 2 VLACH SUBDIVISION, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE ON AN ASSUMED BEARING S0°58'38"E, ALONG THE EAST LINE OF AN EXISTING EASEMENT RECORDED IN BOOK R, PAGE 100, MISC. RECORDS, HALL COUNTY, NEBRASKA, A DISTANCE OF 216.77 FEET; THENCE S89°01'22"W A DISTANCE OF 33.00 FEET TO THE WEST LINE OF SAID EXISTING EASEMENT; THENCE N0°58'38"W, ALONG THE WEST LINE OF SAID EXISTING EASEMENT, A DISTANCE OF 216.90 FEET TO THE SOUTH LINE OF LOT 2, VLACH SUBDIVISION; THENCE N89°14'57"E, ALONG SAID SOUTH LINE OF LOT 2, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING. SAID UTILITY EASEMENT CONTAINS A CALCULATED AREA OF 7,155.51 SQUARE FEET OR 0.16 ACRES MORE OR LESS.

WHEREAS, an agreement for the public utility easement has been reviewed and approved by the City Legal Department.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GRAND ISLAND, NEBRASKA, that the City of Grand Island be, and hereby is, authorized to enter into the Agreement, with no compensation to the property owner, for the public utility easement on the above described tract of land.

BE IT FURTHER RESOLVED, that the Mayor is hereby authorized and directed to execute such agreement on behalf of the City of Grand Island.

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Adopted by the City Council of the City of Grand Island, Nebraska, April 8, 2014.

Jay Vavricek, Mayor

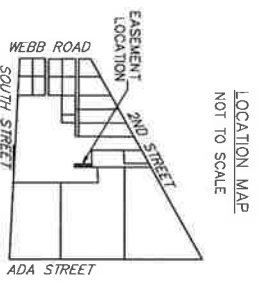
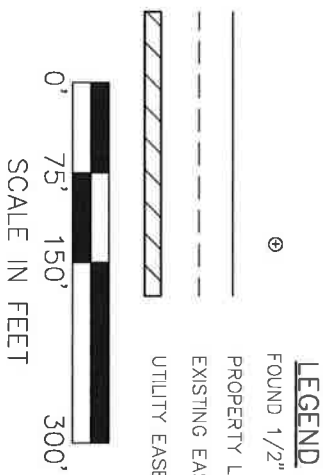
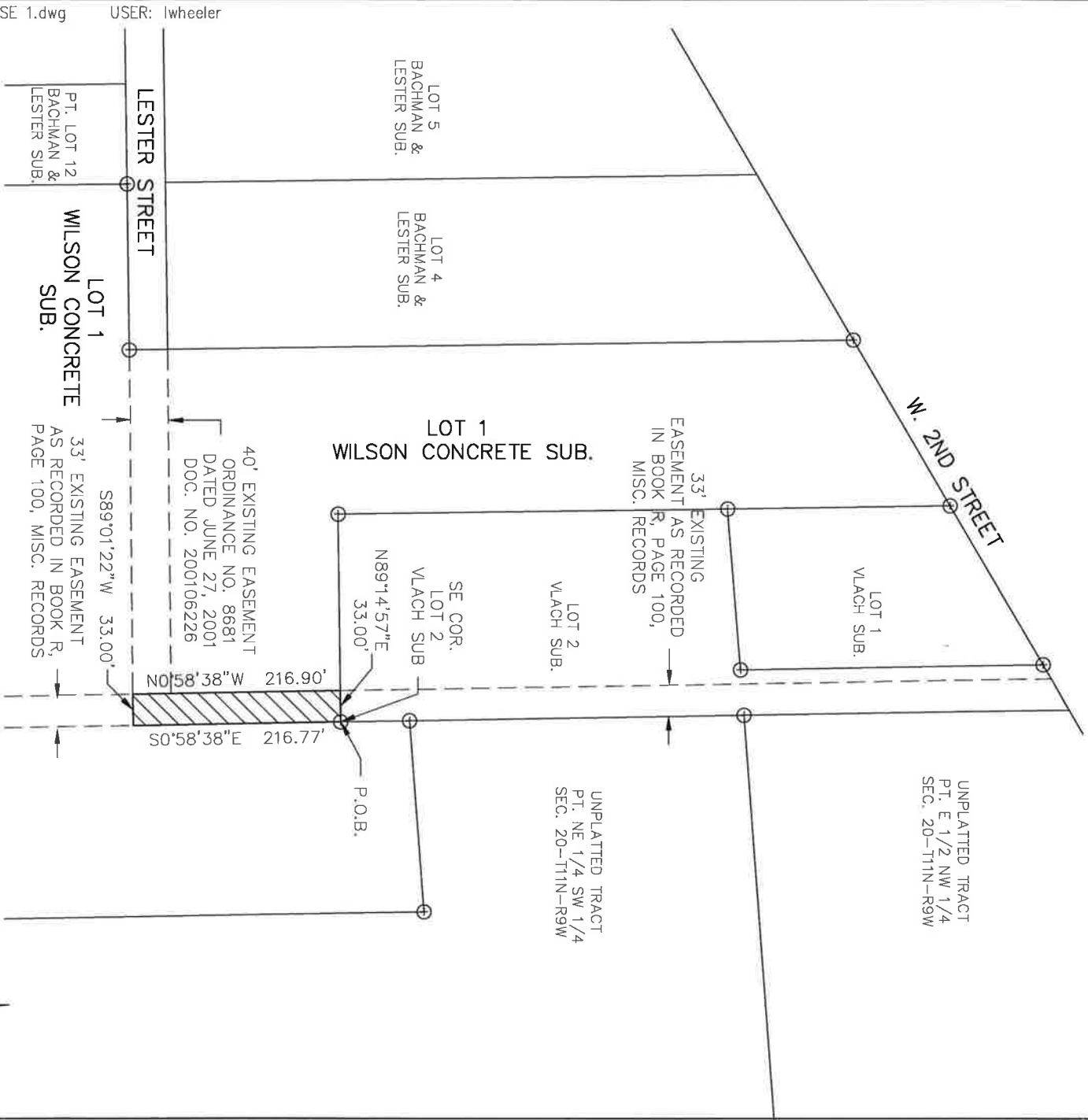
Attest:

RaNae Edwards, City Clerk

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|---------------------|-----------------|
| Approved as to Form | ☒ _____ |
| April 4, 2014 | ☒ City Attorney |

UTILITY EASEMENT

CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA



UTILITY EASEMENT DESCRIPTION

A UTILITY EASEMENT LOCATED IN PART OF LOT 1, WILSON CONCRETE SUBDIVISION, CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF LOT 2 VLACH SUBDIVISION, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE ON AN ASSUMED BEARING S0°58'38"E, ALONG THE EAST LINE OF AN EXISTING EASEMENT RECORDED IN BOOK R, PAGE 100, MISC. RECORDS, HALL COUNTY, NEBRASKA, A DISTANCE OF 216.77 FEET; THENCE S89°01'22"W A DISTANCE OF 33.00 FEET TO THE WEST LINE OF SAID EXISTING EASEMENT; THENCE N0°58'38"W, ALONG THE WEST LINE OF SAID EXISTING EASEMENT, A DISTANCE OF 216.90 FEET TO THE SOUTH LINE OF LOT 2, VLACH SUBDIVISION; THENCE N89°14'57"E, ALONG SAID SOUTH LINE OF LOT 2, A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING. SAID UTILITY EASEMENT CONTAINS A CALCULATED AREA OF 7,155.51 SQUARE FEET OR 0.16 ACRES MORE OR LESS.

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 DATE: Dec 03, 2013 3:51pm XREFS: 0130908_XTOPO

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| PROJECT NO: | 2013-0908 | WEBB ROAD EASEMENTS | WOLSSON ASSOCIATES |
| DRAWN BY: | LJW | | |
| DATE: | 10/03/2013 | 201 East 2nd Street P.O. Box 1072 Grand Island, NE 68802-1072 TEL 308.394.8750 FAX 308.394.8752 | |
| | | EXHIBIT | 1 |