



Community Redevelopment Authority (CRA)

**Wednesday, March 15, 2023
Regular Meeting**

Item I2

**Redevelopment Plan Amendment CRA Area 31 JBA Ventures
Henry and Ada Street**

Staff Contact:

**COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF GRAND ISLAND, NEBRASKA**

RESOLUTION NO. 427

A RESOLUTION RECOMMENDING APPROVAL OF A REDEVELOPMENT PLAN TO THE CITY OF GRAND ISLAND, NEBRASKA; RECOMMENDING APPROVAL OF A REDEVELOPMENT PROJECT TO THE CITY OF GRAND ISLAND, NEBRASKA; APPROVING A COST BENEFIT ANALYSIS FOR SUCH PROJECT; AND APPROVAL OF RELATED ACTIONS

WHEREAS, the Mayor and Council of the City of Grand Island, Nebraska (the “**City**”), upon the recommendation of the Planning Commission of the City of Grand Island, Nebraska (the “**Planning Commission**”), and in compliance with all public notice requirements imposed by the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the “**Act**”), duly declared the redevelopment area legally described on **Exhibit A** attached hereto (the “**Redevelopment Area**”) to be blighted and substandard and in need of redevelopment; and

WHEREAS, pursuant to and in furtherance of the Act, a Redevelopment Plan (the “**Redevelopment Plan**”), has been prepared by Community Redevelopment Authority of Grand Island, Nebraska, (the “**Authority**”) pursuant to an application by JBA Ventures LLC. (the “**Redeveloper**”), in the form attached hereto as **Exhibit B**, for the purpose of redeveloping Redevelopment Area legally described on **Exhibit A**, referred to herein as the Project Area (the “**Project Area**”); and

WHEREAS, pursuant to the Redevelopment Plan, the Authority would agree to incur indebtedness and make a grant for the purposes specified in the Redevelopment Plan (the “**Project**”), in accordance with and as permitted by the Act; and

WHEREAS, the Authority has conducted a cost benefit analysis of the Project (the “**Cost Benefit Analysis**”) pursuant to Section 18-2113 of the Act, a which is included in the Redevelopment Plan attached hereto as **Exhibit B**; and

WHEREAS, the Authority has made certain findings and pursuant thereto has determined that it is in the best interests of the Authority and the City to approve the Redevelopment Plan and approve the Redevelopment Project and to approve the transactions contemplated thereby.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA AS FOLLOWS:

Section 1. The Authority has determined that the proposed land uses and building requirements in the Redevelopment Plan for the Project Area are designed with the general purposes of accomplishing, and in conformance with the general plan of the City, a coordinated, adjusted, and harmonious development of the City and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity and the general welfare, as well as efficiency in economy in the process of development; including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provisions for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and communitive facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of unsanitary or unsafe dwelling accommodations, or conditions of blight.

Area 31 Henry and Ada JBA Ventures LLC

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Section 2. The Authority has conducted a Cost Benefit Analysis for the Project, included in the Redevelopment Plan attached hereto as Exhibit B, in accordance with the Act, and has found and hereby finds that the Project would not be economically feasible without the use of tax increment financing, the Project would not occur in the Project Area without the use of tax increment financing and the costs and benefits of the Project, including costs and benefits to other affected political subdivisions, the economy of the community, and the demand for public and private services, have been analyzed and have been found to be in the long term best interests of the community impacted by the Project.

Section 3. In compliance with section 18-2114 of the Act, the Authority finds and determines as follows: (a) the Redevelopment Area constituting the Redevelopment Project will not be acquired by the Authority and the Authority shall receive no proceeds from disposal to the Redeveloper; (b) the estimated cost of project acquisition and the estimated cost of acquisition of property, preparation for redevelopment including site work, public utilities and streets, trails and sidewalks described in detail in Exhibit B attached hereto; (c) the method of acquisition of the real estate shall be by private contract by the Redeveloper and not by condemnation; and (d) the method of financing the Redevelopment Project shall be by issuance of tax increment revenue bond(s) issued in the approximate amount of \$950,932 which shall be granted to the Redeveloper and from additional funds provided by the Redeveloper. No families will be displaced from the Redevelopment Project Area as a result of the project.

Section 4. The Authority hereby recommends to the City approval of the Redevelopment Plan and the Redevelopment Project described in the Redevelopment Plan.

Section 5. All prior resolutions of the Authority in conflict with the terms and provisions of this resolution are hereby expressly repealed to the extent of such conflicts.

Section 6. This resolution shall be in full force and effect from and after its passage and approval.

PASSED AND APPROVED this 15th day of March, 2023

**COMMUNITY REDEVELOPMENT
AUTHORITY OF THE CITY OF GRAND
ISLAND NEBRASKA**

ATTEST:

By: _____
Chair

By: _____
Secretary

EXHIBIT A

LEGAL DESCRIPTION OF REDEVELOPMENT PROJECT AREA

Legal Descriptions: Lots 1 and 2 of Block 2 of Dawn Subdivision and the West 111 feet of lot 1 and all of lot 2 of Block 1 of Dawn Subdivision in the City of Grand Island, Hall County, Nebraska.

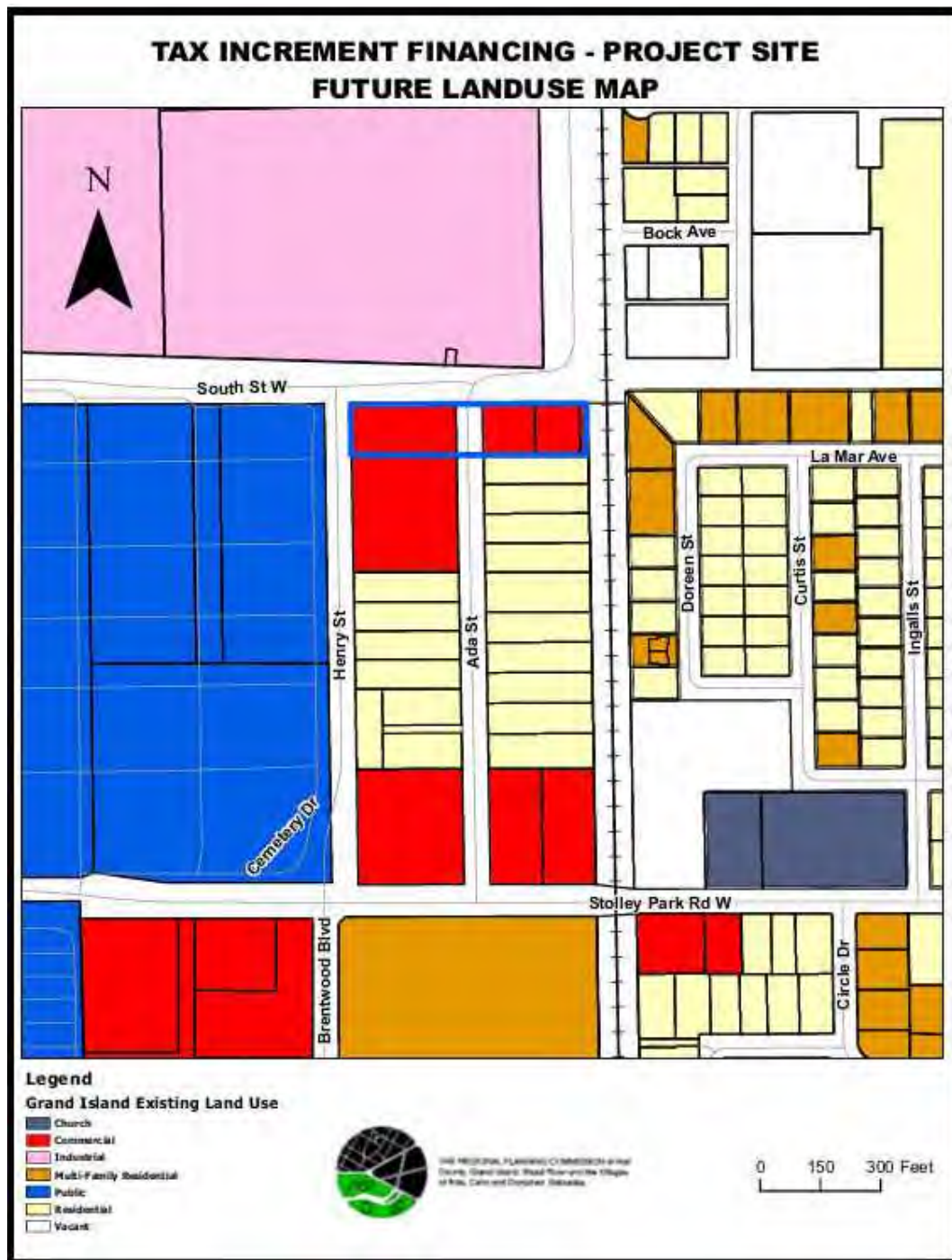


EXHIBIT B

FORM OF REDEVELOPMENT PLAN

**Redevelopment Plan Amendment
Grand Island CRA Area 31
February 2023**

The Community Redevelopment Authority (CRA) of the City of Grand Island intends to amend the Redevelopment Plan for Area 31 within the city, pursuant to the Nebraska Community Development Law (the “Act”) and provide for the financing of a specific redevelopment project in Area 31.

Executive Summary:

Project Description

THE REDEVELOPMENT OF PROPERTIES LOCATED AT 1703 HENRY STREET AND 1703 ADA STREET FOR RESIDENTIAL USES.

The use of Tax Increment Financing to aid in rehabilitation expenses associated with redevelopment of the both the Henry and Ada Street properties. The developer is proposing to develop multifamily residential in four buildings with 18 units (10 one bedroom and 8 two bedroom) at this location. This project would not be feasible without the use of TIF.

The developer is responsible for and has provided evidence that they can secure adequate debt financing to cover the costs associated with the remodeling and rehabilitation of this building.

The Grand Island Community Redevelopment Authority (CRA) intends to pledge the ad valorem taxes generated over the 15 year period beginning January 1, 2025 towards the allowable costs and associated financing for rehabilitation.

TAX INCREMENT FINANCING TO PAY FOR THE REHABILITATION OF THE PROPERTY WILL COME FROM THE FOLLOWING REAL PROPERTY:

Property Description (the “Redevelopment Project Area”)

The properties are located at 1703 Henry Street and 1703 Ada Street in Grand Island Nebraska, the attached map identifies the subject property and the surrounding land uses.

Legal Descriptions: Lots 1 and 2 of Block 2 of Dawn Subdivision and the West 111 feet of lot 1 and all of lot 2 of Block 1 of Dawn Subdivision in the City of Grand Island, Hall County, Nebraska.

Existing Land Use and Subject Property

The tax increment will be captured for the tax years the payments for which become delinquent in years 2024 through 2041 inclusive for no more than a 15 year period on any portion of the project.

The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase will come from the construction of 4 apartment buildings on these lots.

Statutory Pledge of Taxes.

In accordance with Section 18-2147 of the Act and the terms of the Resolution providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

a. That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and

b. That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

1. The Redevelopment Project Area has been declared blighted and substandard by action of the Grand Island City Council on July 28, 2020.[§18-2109] Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.

2. Conformation to the General Plan for the Municipality as a whole. [§18-2103 (13)]

(a) and §18-2110]

Grand Island adopted a Comprehensive Plan on July 13, 2004. This redevelopment plan amendment and project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended. **The Hall County Regional Planning Commission held a public hearing at their meeting on March 1, 2023 and passed Resolution 2023-xx confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island.**

3. The Redevelopment Plan must be sufficiently complete to address the following items: [§18-2103(13) (b)]

a. Land Acquisition:

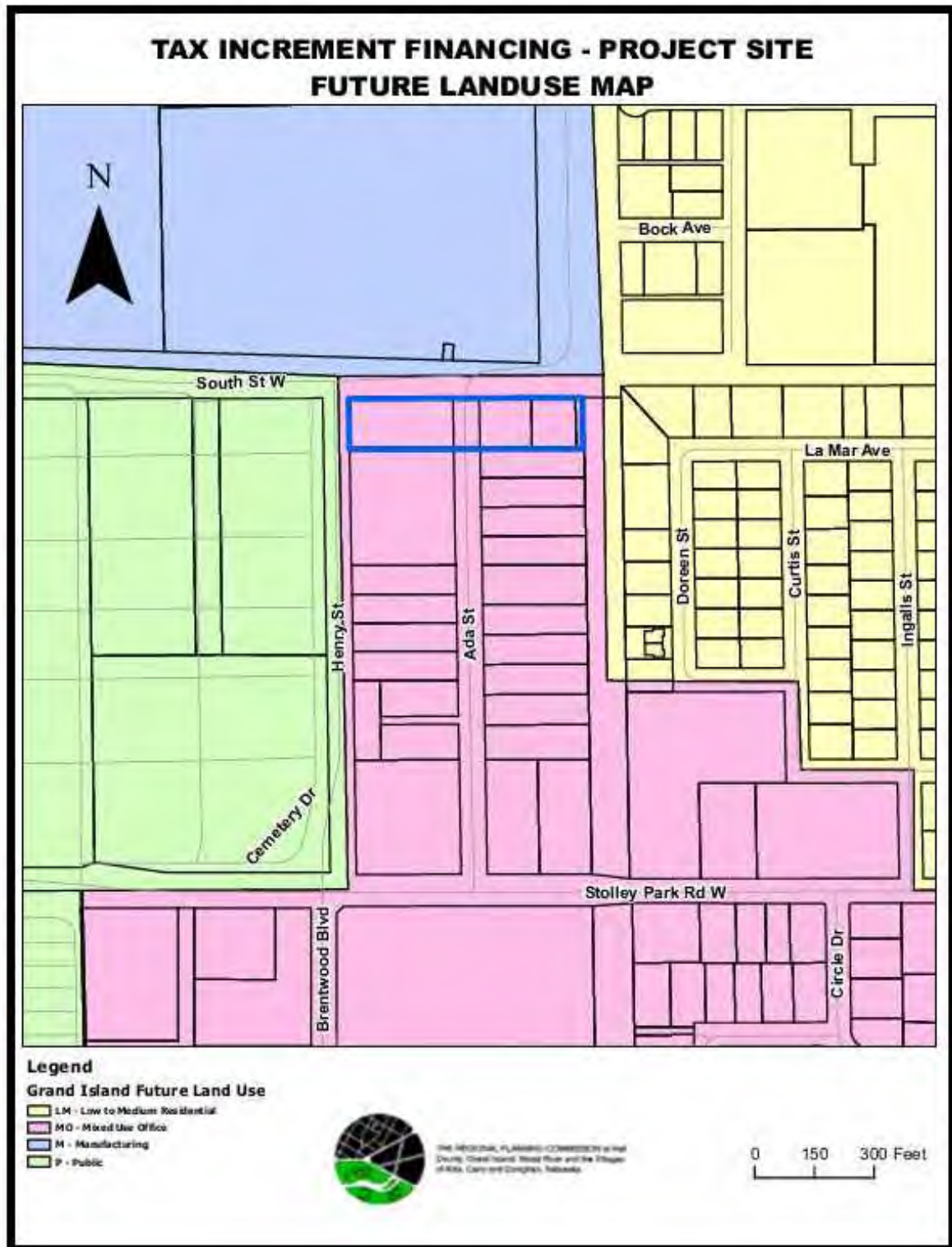
The Redevelopment Plan for Area 1 provides for real property acquisition and this plan amendment does not prohibit such acquisition. The developer has acquired the property and will be including acquisition as an eligible activity. There is no proposed acquisition by the authority.

b. Demolition and Removal of Structures:

The project to be implemented with this plan does provide for the demolition and removal any structures on this property. Some structures have already been demolished and removed to prepare for this project and those expenses will be eligible for reimbursement as permitted by statutes.

c. Future Land Use Plan

See the attached map from the 2004 Grand Island Comprehensive Plan. All of the area around the site in private ownership is planned for mixed use manufacturing development; this includes uses allowed in the general business district like housing and more intense uses like those found north of this site. A majority of the development along Henry and Ada Streets south of South Street is multifamily residential in nature and has been for more than 25 years. This property is in private ownership. [§18-2103(b) and §18-2111] The attached map also is an accurate site plan of the area after redevelopment. [§18-2111(5)]



City of Grand Island Future Land Use Map

d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.

The area is zoned M2 Heavy Manufacturing zone. The developer has submitted a request to change the zoning to B2 General Business. All of the properties south of these are zoned B2 and such changes would be consistent with the future land use map. No changes are anticipated in street layouts or grades. No changes are anticipated in building codes or ordinances. Nor are any other planning changes contemplated. [§18-2103(b) and §18-2111]

e. Site Coverage and Intensity of Use

The B2 zone would allow residential uses at a density of up to 1 unit per 1000 square feet of property with up to 100% of property covered with a 10 foot setback along the street sides. [§18-2103(b) and §18-2111]

f. Additional Public Facilities or Utilities

- Sewer and water are available and can be extended to support this development.
- Electric utilities are sufficient for the proposed use.
- No other utilities would be impacted by the development.
- The developer will be responsible for installing any sidewalks needed with this project.

No other utilities would be impacted by the development. [§18-2103(b) and §18-2111]

4. The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation. This property is vacant and has not been used for any residential purposes. [§18-2103.02]

5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106] No members of the authority or staff of the CRA have any interest in this property.

6. Section 18-2114 of the Act requires that the Authority consider:

a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.

The developer has established a purchase price of the property of \$460,000. The estimated costs for demolition and site work are \$94,000. Total costs for utilities and public streets and sidewalks and private streets is estimated at \$533,787. Architecture and planning fees will be \$25,859. Legal and fees for reimbursement to the City and the CRA for costs to prepare the contract and monitor the project over the course of the development of \$10,000 are included in the eligible expenses. The total of eligible expenses for this project exceeds \$1,124,000. The developer will also invest almost \$6,000,000 in private funds into the construction of the project.

No property will be transferred to redevelopers by the Authority. The developer will provide and secure all necessary financing.

b. Statement of proposed method of financing the redevelopment project.

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of \$950,932 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2025 through December 2040.

c. Statement of feasible method of relocating displaced families.

No families will be displaced as a result of this plan.

7. Section 18-2113 of the Act requires:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the Comprehensive Plan. This will have the intended result of preventing recurring elements of unsafe buildings and blighting conditions some of these have been demolished prior to consideration of this plan in anticipation of this project. These residential units will be similar to the ones located south of this property that were developed in the mid to late 1990's.

8. Time Frame for Development

Development of this project is anticipated to be completed by December of 2025. Excess valuation should be available for this project for 15 years on each structure beginning with the 2025 tax year.

9. Justification of Project

Housing is a critical need in Grand Island and across Nebraska. This project would add 18 units of housing similar to the housing that has been located on Henry and Ada streets since the mid 1990's.

10. Cost Benefit Analysis Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, *Neb. Rev. Stat.* (2012), the City of Grand Island has analyzed the costs and benefits of the proposed Redevelopment Project, including:

Project Sources and Uses. Approximately \$950,932 in public funds from tax increment financing provided by the Grand Island Community Redevelopment Authority will be required to complete the project. This investment by the Authority will leverage \$6,604,164 in private sector financing; a private investment of \$6.92 for every TIF dollar invested.

Use of Funds	Source of funds		
Description	TIF Funds	Private Funds	Total
Acquisition	\$460,000		\$460,000
Building Costs		\$5,919,726	\$5,919,726
Demolition	\$54,000		\$54,000
Utilities	\$302,197	\$8,500	\$310,792
Public Streets/Sidewalk	\$84,735		\$84,735
Private Streets		\$138,800	\$138,800
Grading/Dirtwork	\$40,000		\$40,000
Planning (Arch. & Eng.)		\$25,859	\$25,859
Financing fees/ audit		\$491,063	\$491,063
Legal/ TIF contract	\$10,000		\$10,000
Total	\$950,932	\$6,583,948	\$7,534,975

Tax Revenue. The property to be redeveloped is anticipated to have a January 1, 2024, valuation of approximately \$213,282. Based on the 202e levy this would result in a real property tax of approximately \$4,514. It is anticipated that the assessed value will increase by \$5,247,186 upon full completion, as a result of the site redevelopment. This development will result in an estimated tax increase of over \$111,042 annually. The tax increment gained from this Redevelopment Project Area would not be available for use as city general tax revenues, for a period of 15 years on each phase of the project, or such shorter time as may be required to amortize the TIF bond, but would be used for eligible private redevelopment costs to enable this project to be realized.

Estimated 2022 assessed value:	\$ 213,282
Estimated value after completion	\$5,460,468
Increment value	\$5,247,186
Annual TIF generated (estimated)	\$ 111,042
TIF bond issue	\$ 950,932

(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;

The redevelopment project area currently has an estimated valuation of \$213,282. The proposed redevelopment will create additional valuation of \$5,247,186. No tax shifts are anticipated from the project outside of the use of TIF to support the redevelopment. It is not anticipated that any additional tax burdens will be assumed by public entities as a result of this project. The project creates additional valuation that will support taxing entities long after the project is paid off.

(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;

Existing water and waste water facilities are sufficient to accommodate this development but will need to be extended to serve the properties. The electric utility has sufficient capacity to support the development. It is not anticipated that this will impact schools in any significant way. Fire and police protection are available and should not be negatively impacted by this development.

(c) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project;

This will not have an impact on employers within the area..

(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on other employers in any manner different from any other expanding business within the Grand Island area. This will provide residential options for residents of Grand Island.

(e) Impacts on student populations of school districts within the City or Village:

This development will have a minimal impact on the Grand Island School system as it will likely not result in any increased attendance. The majority of the units to be developed with this project are two bedroom units and unlikely to be a family unit, especially for families with school age children. The developer intends to market these primarily to seniors 59 years and older.

The average number of persons per household in Grand Island for 2015 to 2019 according the American Community Survey is 2.61. According to the 2020 census 19.8% of the population of Grand Island was between the ages of 5 and 18. 2020 census and 2022 ACS. If the averages hold it would be expected that there would be a maximum of 19 school age child generated by this development. This is mitigate by the fact that 10 of the 18 proposed units are one bedroom units and the other 8 units are only two bedroom.

(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.

This project will expand housing opportunities in the city and is infill development that will not create additional costs for the city.

Time Frame for Development

Development of this project is anticipated to be completed by December of 2025. The base tax year will vary between January 1, 2024 or 25 and January 1, 2026. Excess valuation should be available for each phase of this project for 15 years beginning in

2024 with taxes due in 2025. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 18 years with no more than 15 years on any phase of the project or an amount not to exceed \$950,932 the projected amount of increment based upon the anticipated value of the project and current tax rate. Based on the estimates of the expenses of the rehabilitation the developer will spend at least \$1,124,000 on TIF eligible activities in excess of other grants given.



BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST

Project Redeveloper Information

Business Name:

JBA Ventures, LLC

Address:

114 N. Custer Ave. Grand Island, NE 68803

Telephone No.: 308-390-0351

Fax No.: 308-382-3553

Email: JBAventuresGI@gmail.com

Contact:

Riley Baasch

Application Submission Date: _____

Brief Description of Applicant's Business:

JBA Ventures, LLC is organized as a Nebraska LLC. Subsequent to project completed (pending TIF approval), the company will operate and lease housing units for those aged 59+ located at the project site. Upon completion of all phases of the proposed project, a total of 4 buildings housing 18 units will be available.

Legal Description/Address of Proposed Project

1703 & 1704 Ada St. and 1704 Henry St. Grand Island, NE 68803, Dawn sub W.111' Lt 1 Blk 1, Dawn sub lot 2 Blk 1, Dawn sub lots 1&2 Blk 2

Community Redevelopment Area Number _____

Present Ownership Proposed Project Site:
JBA Ventures, LLC

Is purchase of the site contingent on Tax Increment Financing Approval? Yes ☐ No ☒

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

Site preparation at Dawn Subdivision, including concrete work, infrastructure (sewer and electric), landscaping, fencing, etc. and the construction of 4 buildings intended for residential living by those aged 59+. Phase 1 consists of 8 housing units, consisting of both 1-bedroom or 2-bedroom floor plans. Phase 2 consist of 10 housing units, consisting of 1-bedroom floor plans or 2-bedroom floor plans. Once both phases are completed over three years there will be 18 housing units, 10 1-bedroom floor plans and 8 2-bedroom floor plans

If Property is to be Subdivided, Show Division Planned:

VI. Estimated Project Costs:

Acquisition Costs:

A. Land	\$ 460,000
B. Building	\$ 0

Construction Costs:

A. Renovation or Building Costs:	\$ 5,919,726
B. On-Site Improvements:	
Sewer	\$ 26,088
Water	\$ 22,100
Electric	\$ 250,444
Gas	\$ 11,620
Public Streets/Sidewalks	\$ 84,735

Private Streets	\$ 138,800
Trails	\$
Grading/Dirtwork/Fill	\$ 40,000
Demolition	\$ 54,000
Other	\$
Total	\$ 7,007,513

Soft Costs:

A. Architectural & Engineering Fees:	\$ 25,859
B. Financing Fees:	\$ 491,063
C. Legal & Accounting	\$ 10,000
D. Developer Fees:	\$
E. Audit Fees	\$
F. Contingency Reserves:	\$
G. Other (Please Specify)	\$

TOTAL \$ 7,534,435

Total Estimated Market Value at Completion: \$ 5,460,468

Source for Estimated Market Value Market value arrived at using the lesser of cost or estimated assess value provided by Hall County Assessor

Source of Financing:

A. Developer Equity:	\$ 556,495
B. Commercial Bank Loan:	\$ 6,027,548
C. Tax Credits:	
1. N.I.F.A.	\$
2. Historic Tax Credits	\$
3. New Market Tax Credits	\$
4. Opportunity Zone	\$
D. Industrial Revenue Bonds:	\$
E. Tax Increment Assistance:	\$ 950,392
F. Enhanced Employment Area	\$

Form Updated 7-25-2019cn

Note 1: TIF requested at zero lending rate is \$1,615,009. After applying a 7.5% lending rate on a 15-year term note with monthly payments the principal amount is \$950,392 (interest component is \$664,617)

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G. Nebraska Housing Trust Fund \$ _____
H. Other \$ _____

Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:

Architect: Stacy Spotanski, Spotanski Creative Building, Design & Drafting, LLC. 1811 W 2nd St, Ste 296, Grand Island, NE 68803 stacy@spotanskicbdd.com, 308-850-8186.

Engineer: Nate Jensen, Olsson, 201 E. Second St. Grand Island, NE 68801, njensen@olsson.com, 308-384-8750.

General Contractor: Brad Shearer, Fast Track Buildings & Construction, 3090 W. 2nd St. Grand Island, NE 68803. 308-379-6099. freedomshearer@msn.com

Estimated Real Estate Taxes on Project Site Upon Completion of Project:
(Please Show Calculations)

See Exhibit B for details

Project Construction Schedule:

Construction Start Date:

2023

Construction Completion Date:

2025

If Phased Project:

2023	Year	50	% Complete
2025	Year	100	% Complete
	Year		% Complete
	Year		% Complete
	Year		% Complete
	Year		% Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma

(With Appropriate Schedules)

TAX INCREMENT FINANCING REQUEST INFORMATION

Describe Amount and Purpose for Which Tax Increment Financing is Requested:

\$1,615,009 of tax increment financing (based on a 0% lending rate) is being requested to assist in the construction of 4 buildings to be located in the Dawn Subdivision of Hall County which are intended to create a total of 18 homes for those 59+ upon completion. The two-phase project involves the construction of the housing units, as well as concrete work for the foundations and all necessary access roads, in addition to appropriate sewer and electrical hookups to the city water and electric facilities.

The TIF funds will enable the project to be undertaken, resulting in vast improvements to the current location with the development of an area that will help to satisfy an underutilized occupancy demand of Grand Island.

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing
for Proposed Project:

Tax increment financing is an integral and essential component to project completion, which is contingent upon receipt of the expected tax increment assistance. Feasibility is dependent on TIF funds that will enable the creation of adequate economics in operating the new development at a competitive rate in the specified area (See Exhibit E for the capitalization rate analysis).

Municipal and Corporate References (if applicable). Please identify all other Municipalities, and other Corporations the Applicant has been involved with, or has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

Tim Wojcik
Five Points Bank
2015 N Broadwell
Grand Island NE 68801

Tom Champoux
Unico
1128 Lincoln Mall, Suite 200
Lincoln, NE 68508

Post Office Box 1968
Grand Island, Nebraska 68802-1968
Phone: 308 385-5240
Fax: 308 385-5423
Email: cnabity@grand-island.com

JBA Ventures, LLC
Tax Increment Financing Request
Estimated Real Estate Taxes on Project Site Upon Completion of Project

Existing Assessed Value and Real Estate Tax on Project Site

Parcel Number	Assessed Value (2022)			Taxes	Sq Feet	Mil Rate
	Improvements	Land	Total			
400040387	26,909	14,368	41,277	874	14,368	2.1162391%
400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	
Subdivided Sq Ft	65,196	65,196	65,196	65,196		
Divided by total existing	65,196	65,196	65,196	65,196		
Ratio	1.000000	1.000000	1.000000	1.000000		
Estimated subdivision	148,086	65,196	213,282	4,514		

Estimated Real Estate Taxes on Project Site Upon Completion of Project

	2022 Assessment	Note 1 Limitation
2022 taxes assessed on site prior to project commencement	4,514	
Divided by base assessed value	213,282	
Estimated tax rate	2.116220%	
Proposed assessed value	5,460,468	
Estimated annual real estate tax after project completion	115,556	
Less existing annual real estate tax	(4,514)	
Estimated increase in annual real estate tax	111,042	107,667
Requested TIF assistance at zero percent lending rate	15 1,665,630	15 1,615,009
Principal debt service at indicated rate	Rate	Principal
With annual note payments	PVA 7.50%	980,181 950,392
With monthly note payments	PVA 7.50%	998,207 967,870

Notes:

- 1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

Exhibit B

JBA Ventures, LLC
Tax Increment Financing Request
Estimated Real Estate Taxes on Project Site Upon Completion of Project

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400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	

Estimated Real Estate Taxes on Project Site Upon Completion of Project

	2022 Assessment			Note 1 Limitation
	Phase 1	Phase 2	Total	
2022 taxes assessed on site prior to project commencement	2,249	2,264	4,514	
Divided by base assessed value	106,294	106,988	213,282	
Estimated tax rate	2.116220%	2.116220%	2.116220%	
Proposed assessed value	2,706,672	2,753,796	5,460,468	
Estimated annual real estate tax after project completion	57,279	58,276	115,556	
Less existing annual real estate tax	(2,249)	(2,264)	(4,514)	
Estimated increase in annual real estate tax	55,030	56,012	111,042	107,667
Requested TIF assistance at zero percent lending rate	15 825,446	15 840,184	15 1,665,630	15 1,615,009

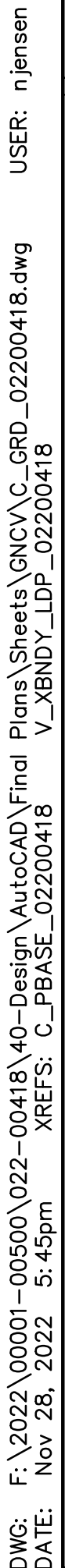
Principal debt service at indicated rate		Rate	Principal	Principal	Principal	Principal
With annual note payments	PVA	7.50%	485,754	494,427	980,181	950,392
With monthly note payments	PVA	7.50%	494,687	503,520	998,207	967,870

Notes:

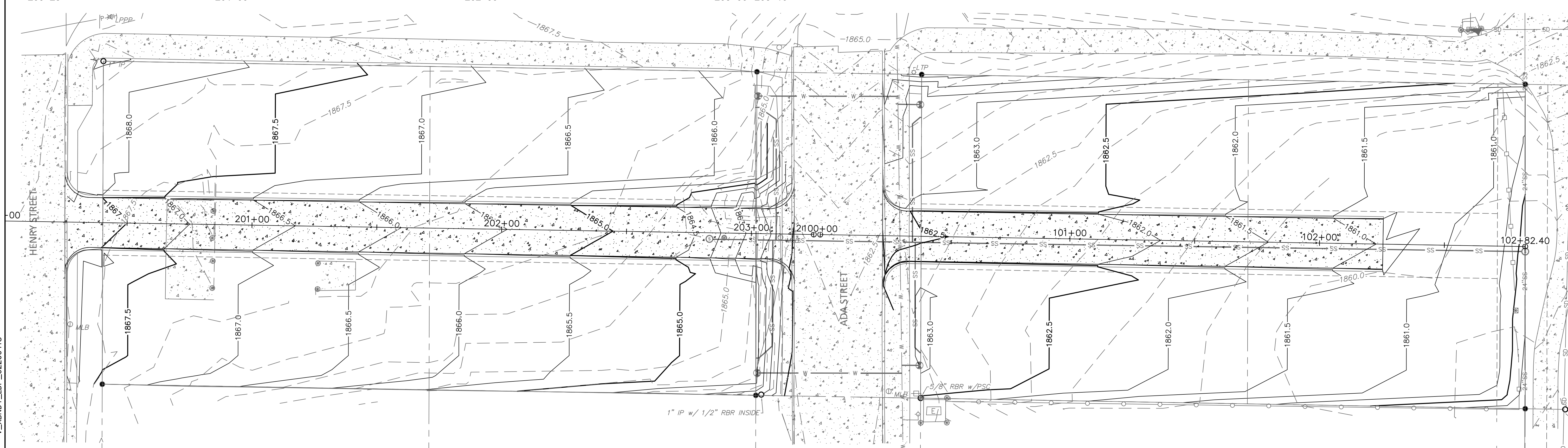
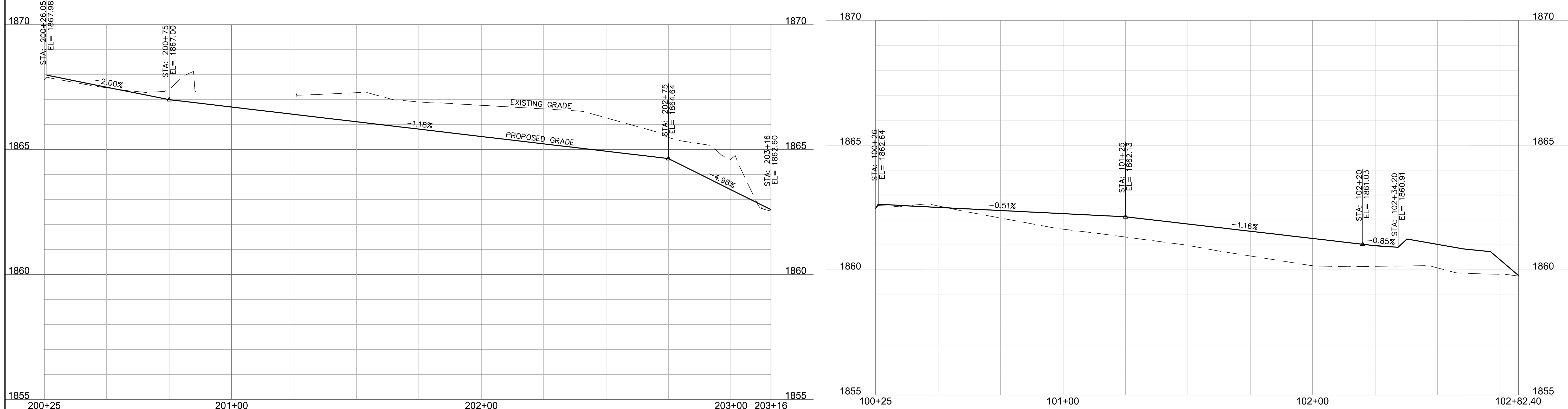
- 1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

**JBA Ventures LLC
Project Cost Summary**

Description	Phase #1 Amount	Phase #2 Amount	Total	TIF Qualified (Q) Non-Qualified (NQ)
TIF qualified sitework	55,000	39,300	94,300	Q
TIF non-qualified sitework building costs	11,730	14,664	26,394	NQ
Subtotal	66,730	53,964	120,694	
TIF qualified concrete	110,143	113,392	223,535	Q
TIF non-qualified concrete	312,296	401,128	713,424	NQ
Subtotal	422,439	514,520	936,959	
TIF qualified plumbing	59,808	-	59,808	Q
TIF non-qualified plumbing	135,392	169,240	304,632	NQ
Subtotal	195,200	169,240	364,440	
TIF qualified electrical	110,195	140,249	250,444	Q
TIF non-qualified electrical	111,218	139,226	250,444	NQ
Subtotal	221,413	279,475	500,888	
Non-qualified building costs	2,024,170	2,600,362	4,624,532	NQ
Total project costs per construction pro-forma	2,929,952	3,617,561	6,547,513	
Other costs:				
Land	460,000	-	460,000	Q
Architect/Engineer	25,859	-	25,859	Q
Financing	219,746	271,317	491,063	Q
Legal & accounting	10,000	-	10,000	Q
Total project costs	3,645,557	3,888,878	7,534,435	
Total TIF qualified costs (Q)	1,050,751	564,258	1,615,009	
Total TIF non-qualified costs (NQ)	2,594,806	3,324,620	5,919,426	
Total project costs	3,645,557	3,888,878	7,534,435	



EAST PRIVATE DRIVE (100+25 - 102+82.40)



1. ALL CONTOURS SHOWN ARE FOR FINISHED GRADE OR TOP OF SLAB. SPOT ELEVATIONS REPRESENT TOP OF SLAB OR TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED. TOPSOIL CAN BE REDISTRIBUTED AROUND THE SITE AFTER PAVING IS COMPLETE. ALL UNSURFACED AREAS DISTURBED SHALL RECEIVE 6 INCHES OF TOPSOIL, MINIMUM.
3. AFTER TOPSOIL IS STRIPPED, ALL DISTURBED AREAS TO BE BUILT UPON SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
4. STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY, AND -2 TO +3 OPTIMUM MOISTURE. SITE FILL SHALL BE OF APPROVED MATERIALS, FREE OF ORGANIC MATTER. FILL SHALL BE PLACED IN THIN LIFTS (8 INCHES RECOMMENDED, AND SHALL EXTEND 5' BEYOND BUILDING LIMITS.)
5. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
6. NON-LOADED LANDSCAPED/GRASS AREAS TO RECEIVE FILL SHALL BE COMPACTED TO 92% STANDARD PROCTOR DENSITY.
7. AREAS THAT ARE TO BE CUT TO SUBGRADE ELEVATION SHALL BE SCARIFIED AND RECOMPACTED, A DEPTH OF 12" TO A MINIMUM OF 98% STANDARD PROCTOR.
8. TOTAL DISTURBED AREA REQUIRED TO COMPLETE THE EARTHWORK SHOWN IS APPROXIMATELY 1.5 AC. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL MEASURES DURING GRADING OPERATIONS.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. CUT - 470 CY
FILL - 1,012 CY
(NO FILL FACTOR APPLIED)

EXHIBIT D

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
November 28, 2022
DATE PRINTED
OLSSON

NEW 4-PLEX FOR GRAND ISLAND, NE.

GENERAL ABBREVIATIONS

A		C	
AB	ANCHOR BOLT	CONTR	CONTRACT(OR)
A/C	AIR CONDITIONER	CORR	CORRIDOR
ACC	ACCESS(IBLE) (ORIES)	CTSK	COUNTER(SINK) (SUNK)
ACCOUS	ACOUSTICAL	CTR	CENTER
ADDL	ADDITIONAL	CUH	CABINET UNIT HEATER
ADJ	ADJUSTABLE	CLO	CLOSET
ADJC	ADJACENT	CLR	CLEAR(ANCE)
A/E	ARCHITECT/ENGINEER	CJ	CONTROL/CONSTRUCTION JOINT
AFF	ABOVE FINISH FLOOR	CLG	CEILING
AL	ALUMINUM	D	
ALT	ALTERNATE	D	DEEP, DEPTH, DATA OUTLET
ANC	ANCHOR(AGE)	D AND E	DRILL, AND EPOXY GROUT
APPROX	APPROXIMATE(LY)	D&E	DECK BEARING ELEVATION
ARCH	ARCHITECT	DBL	DOUBLE
AUTO	AUTOMATIC	DEG	DEGREE(S)
AVG	AVERAGE	DEMO	DEMO(LISH) (LITON)
B		DEPT	DEPARTMENT
BD	BOARD	DET	DETAIL
BITUM	BITUMINOUS	DF	DRINKING FOUNTAIN
BLDG	BUILDING	DIA	DIAMETER
BLE	BRICK LEDGE ELEVATION	DIAG	DIAGONAL
BLK	BLOCK(ING)	DIF	DIFFEREN(CE) (TIAL)
BM	BEAM	DIFF	DIFFUSER
BOT	BOTTOM	DIM	DIMENSION
BRDG	BRIDGING	DN	DOWN
BRG	BEARING	DO	DOOR OPENING
BRKT	BRACKET	DOC	DOCUMENT(S)
BTW	BETWEEN	DR	DOOR
BW	BOTH WAYS	DS	DOWNSPOUT
C		DSP	DRY STANDPIPE
C	CHANNEL	DWG(S)	DRAWING(S)
C/C	CENTER TO CENTER	DWL	DOWEL (REBAR)
CAB	CABINET	DWR	DRAWER
CBD	CHALKBOARD	E	
CEN	CENT(ER) (TRAL)	E	EAST, EASTING
CG	CORNER GUARDS	EA	EACH
CHAM	CHAMFER	EF	EACH FACE
CI	CAST IRON	EJ	EXPANSION JOINT
CNTR	COUNTER	EL	ELEVATION
COL	COLUMN	ELEC	ELECTRICAL
COMP	COMPOSITE	ELEV	ELEVATOR
CONC	CONCRETE	EQ	EQUAL
CONF	CONFERENCE	EQUIP	EQUIPMENT
COND	CONDITION	EW	ELECTRIC WATER COOLER
CONNT	CONNECTION	EX	EXAMPLE
CONTINU(E)	(OUS) (ATION)	F	
E		F/F	FACE TO FACE
EXC	EXCAVATE(ED) (ION)	FAB	FABRICAT(E) (ED) (OR)
EXCL	EXCEPT	FAS	FASTER(ED) (ER)
EXCP	EXHAUST	FO(S)	FACE(S)
EXH	EXISTING	FD	FLOOR DRAIN
EXST	EXPOSED	FND	FOUNDATION
EXP	EXPAN(D) (SION)	FE	FIRE EXTINGUISHER
EXT	EXTERIOR	FEC	FIRE EXTINGUISHER CABINET
H		FIN	FINISH
H	HIGH, HEIGHT	FL	FLOOR
HB	HOSE BIB	FLASH	FLASHING
HC	HOLLOW CORE	FLEX	FLEXIBLE
HCP	HANDICAP	FLG	FLANGE
HD	HEAVY DUTY	FLR	FLOOR(ING)
HDR	HEADER	FLR	FACE OF WALL
HDW	HARDWARE	FW	FRAME
HOWE	HOLLOW METAL	FT	FOOT OR FEET
HM	HOLD OPEN	FTG	FOOTING
HO	HORIZONTAL	FURR	FURR(ED) (ING)
HOUR	HEATER	FUT	FUTURE
HTR	HEATING/ VENTILATING/	G	
HVAC	AIR CONDITIONING	GA	GAUGE
I		GALV	GALVANIZED
ID	INSIDE DIAMETER/DIMENSION/	GB	GRAB BAR OR GYPSUM BOARD
IF	IDENTIFICATION	GC	GENERAL CONTRACTOR
IN	INCH(ES)	GENL	GENERAL
INCL	INCLU(DE) (DED) (DING) (SIVE)	GFI	GROUND FAULT CIRCUIT INTERRUPTER
INFO	INFORMATION	GL	GLASS
INSUL	INSULAT(E) (ED) (ION)	GLB	GLUE LAMINATED BEAM
INT	INTERIOR	GND	GROUND
J		GR	GRATE
JAN	JANITOR	GRLL	GRILLE
JBE	JOIST BEARING ELEVATION	GRV	GRAVITY ROOF VENTILATOR
JC	JANITOR CLOSET	GYP	GYPSUM
JST	JOIST	K	
JT	JOINT	K	KIP (1000 POUNDS)
L		KIT	KITCHEN
LAB	LABORATORY	KO	KNOCK OUT
LAM	LAMINATE	L	
LAV	LAVATORY	LAB	LABORATORY
LKR	LOCKER	LAM	LAMINATE
LT	LIGHT	LAV	LAVATORY
M		LKR	LOCKER
MAS	MASONRY	LT	LIGHT
MAX	MAXIMUM	O	
MECH	MECHANICAL	OB	OBSCURE
MET	METAL	OC	ON CENTER
MFR	MANUFACTURER	OD	OUTSIDE DIAMETER
MH	MANHOLE	OFF	OFFICE
MIN	MINIMUM	OPNG	OPENING
MISC	MISCELLANEOUS	OPT	OPTIONAL
MO	MASONRY OPENING	OPP	OPPOSITE
MTD	MOUNTED	ORD	OVERFLOW ROOF DRAIN
MTL	METAL	OS	OVERFLOW SCUPPER
N		P	
N	NORTH	PL	PLATE
NIC	NOT IN CONTRACT	PLAM	PLASTIC LAMINATE
NO	NUMBER	PLYWD	PLYWOOD
NOM	NOMINAL	PR	PAIR
NTS	NOT TO SCALE	PREFIN	PREFINISHED
O		PTN	PARTITION
OB	OBSCURE	R	
OC	ON CENTER	R	RISER
OD	OUTSIDE DIAMETER	RAD	RADIUS
OFF	OFFICE	REINF	REINFORCE (D) (ING)
OPNG	OPENING	REQ'D	REQUIRED
OPT	OPTIONAL	RM	ROOM
OPP	OPPOSITE	RO	ROUGH OPENING
ORD	OVERFLOW ROOF DRAIN	S	
OS	OVERFLOW SCUPPER	S	SOUTH
P		SCHED	SCHEDULE
PL	PLATE	SECT	SECTION
PLAM	PLASTIC LAMINATE	SHT	SHEET
PLYWD	PLYWOOD	SIM	SIMILAR
PR	PAIR	SPEC	SPECIFICATIONS
PREFIN	PREFINISHED	T	
PTN	PARTITION	TEMP	TEMPORARY
R		TC	TOP OF CURB
R	RISER	T & G	TONGUE AND GROOVE
RAD	RADIUS	THK	THICK
REINF	REINFORCE (D) (ING)	TOM	TOP OF MASONRY
REQ'D	REQUIRED	TOS	TOP OF STEEL
RM	ROOM	TPD	TOILET PAPER DISPENSER
RO	ROUGH OPENING	TR	TREAD
S		TV	TELEVISION
S	SOUTH	U	
SCHED	SCHEDULE	UNO	UNLESS NOTED OTHERWISE
SECT	SECTION	UR	URINAL
SHT	SHEET	UTIL	UTILITY
SIM	SIMILAR	V	
SPEC	SPECIFICATIONS	VB	VAPOR BARRIER
T		VERT	VERTICAL
TEMP	TEMPORARY	VEST	VESTIBULE
TC	TOP OF CURB	W	
T & G	TONGUE AND GROOVE	W	WIDE, WIDTH, WEST
THK	THICK	W/	WITH
TOM	TOP OF MASONRY	WP	WATERPROOF
TOS	TOP OF STEEL	WT	WEIGHT
TPD	TOILET PAPER DISPENSER	— SPECIAL SYMBOLS —	
TR	TREAD	&	AND
TV	TELEVISION	∠	ANGLE
U		@	AT
UNO	UNLESS NOTED OTHERWISE	CL	CENTERLINE
UR	URINAL	PL	PLATE LINE
UTIL	UTILITY	P	POUND / NUMBER
V		Ø	DIAMETER / ROUND
VB	VAPOR BARRIER	— GRAPHIC SYMBOLS —	
VERT	VERTICAL	SITE SPOT ELEVATION	
VEST	VESTIBULE	NEW FINISH	NEW FINISH
W		SPOT GRADE	SPOT GRADE
W	WIDE, WIDTH, WEST	NEW AND EXISTING	NEW AND EXISTING
W/	WITH	FINISH SPOT GRADE	FINISH SPOT GRADE
WP	WATERPROOF	TOP OF CURB	TOP OF CURB
WT	WEIGHT	BOTTOM OF CURB	BOTTOM OF CURB
— SPECIAL SYMBOLS —		+ N: 1107.33	+ N: 1107.33
&	AND	+ E: 1104.88	+ E: 1104.88
∠	ANGLE	+ TC: 1107.33	+ TC: 1107.33
@	AT	+ BC: 1104.88	+ BC: 1104.88
CL	CENTERLINE	NEW/EXISTING WALL CONSTRUCTION	
PL	PLATE LINE	NEW	NEW
P	POUND / NUMBER	EXISTING (SCREENING)	EXISTING (SCREENING)
Ø	DIAMETER / ROUND	COLUMN GRID LINE	
— GRAPHIC SYMBOLS —		E	E
SITE SPOT ELEVATION		ROOM NAME AND NUMBER	
NEW FINISH	NEW FINISH	I.T.	I.T.
SPOT GRADE	SPOT GRADE	A108	A108
NEW AND EXISTING	NEW AND EXISTING	DOOR NUMBER	
FINISH SPOT GRADE	FINISH SPOT GRADE	1	1
TOP OF CURB	TOP OF CURB	WINDOW TYPE	
BOTTOM OF CURB	BOTTOM OF CURB	1/10	1/10
+ N: 1107.33	+ N: 1107.33	KEY NOTES	
+ E: 1104.88	+ E: 1104.88	INDICATES A NOTE FOR A SPECIFIC ITEM	INDICATES A NOTE FOR A SPECIFIC ITEM
+ TC: 1107.33	+ TC: 1107.33	NEW CONTOUR LINE	
+ BC: 1104.88	+ BC: 1104.88	103	103
EXISTING CONTOUR LINE		PROPERTY LINE	
103	103	CENTER LINES/PROJECTED LINE	
NEW CONTOUR LINE		MATCH LINE	
103	103	LEVEL LINE	
PROPERTY LINE		MAIN FLOOR	
CENTER LINES/PROJECTED LINE		ELEV. = 100'-0"	ELEV. = 100'-0"
MATCH LINE		SHEET INDEX	
LEVEL LINE		T0.01	TITLE SHEET
MAIN FLOOR		ADA	ADA INFORMATION
ELEV. = 100'-0"	ELEV. = 100'-0"	A1.01	FOUNDATION PLAN
SHEET INDEX		A1.02	FIRST FLOOR COMPOSITE PLAN
T0.01	TITLE SHEET	A1.03	PARTIAL FIRST FLOOR PLAN - AREA 'A'
ADA	ADA INFORMATION	A1.04	PARTIAL FIRST FLOOR PLAN - AREA 'B'
A1.01	FOUNDATION PLAN	A1.05	ROOF PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN	A2.01	EXTERIOR ELEVATIONS
A1.03	PARTIAL FIRST FLOOR PLAN - AREA 'A'	A3.01	WALL SECTIONS
A1.04	PARTIAL FIRST FLOOR PLAN - AREA 'B'	SQUARE FOOTAGE	
A1.05	ROOF PLAN	TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345	
A2.01	EXTERIOR ELEVATIONS	COORDINATING PROFESSIONAL SEAL	
A3.01	WALL SECTIONS	PRELIMINARY DRAWINGS	
SQUARE FOOTAGE		NOT FOR CONSTRUCTION	
TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345		11-10-2022	
COORDINATING PROFESSIONAL SEAL		IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE	
PRELIMINARY DRAWINGS			
NOT FOR CONSTRUCTION			
11-10-2022			
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MATERIAL INDICATIONS

CONCRETE	PLYWOOD	BATT INSUL.	STONE	BRICK
WOOD STUDS	WOOD BLOCKING	RIGID INSUL.	EARTH	PLASTER
METAL STUDS	CERAMIC TILE	CMU (STD. WT.)	GRAVEL/SAND FILL.	GYPSUM BOARD
FINISH WOOD	ACOUSTICAL PANEL	CMU (LT. WT)	METAL SECTION	METAL (LARGE SCALE)

GRAPHIC SYMBOLS

SITE SPOT ELEVATION NEW FINISH SPOT GRADE NEW AND EXISTING FINISH SPOT GRADE TOP OF CURB BOTTOM OF CURB + N: 1107.33 + E: 1104.88 + TC: 1107.33 + BC: 1104.88	NEW/EXISTING WALL CONSTRUCTION NEW EXISTING (SCREENING) ROOM NAME AND NUMBER DOOR NUMBER WINDOW TYPE KEY NOTES INDICATES A NOTE FOR A SPECIFIC ITEM REVISION 1	COLUMN GRID LINE E E BUILDING SECTION / WALL SECTION INDICATES VIEW DIRECTION INDICATES BUILDING SECTION (LETTER) INDICATES WALL SECTION (NUMBER) A3.01 A3.01 SHEET WHERE DETAIL IS DRAWN BUILDING SECTION / WALL SECTION DETAIL NUMBER 4 5.2 SHEET WHERE DETAIL IS DRAWN INTERIOR ELEVATIONS INDICATES ELEVATION DIRECTION INDICATES ELEVATION NUMBER INDICATES SHEET NUMBER ELEVATION OCCURS ON A6.02
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SHEET INDEX

T0.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	PARTIAL FIRST FLOOR PLAN - AREA 'A'
A1.04	PARTIAL FIRST FLOOR PLAN - AREA 'B'
A1.05	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

COORDINATING PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
114 N. CUSTER AVE., GRAND ISLAND, NE 68803
(408) 850-8188
info@spotanskibldg.com

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JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: TITLE SHEET

PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

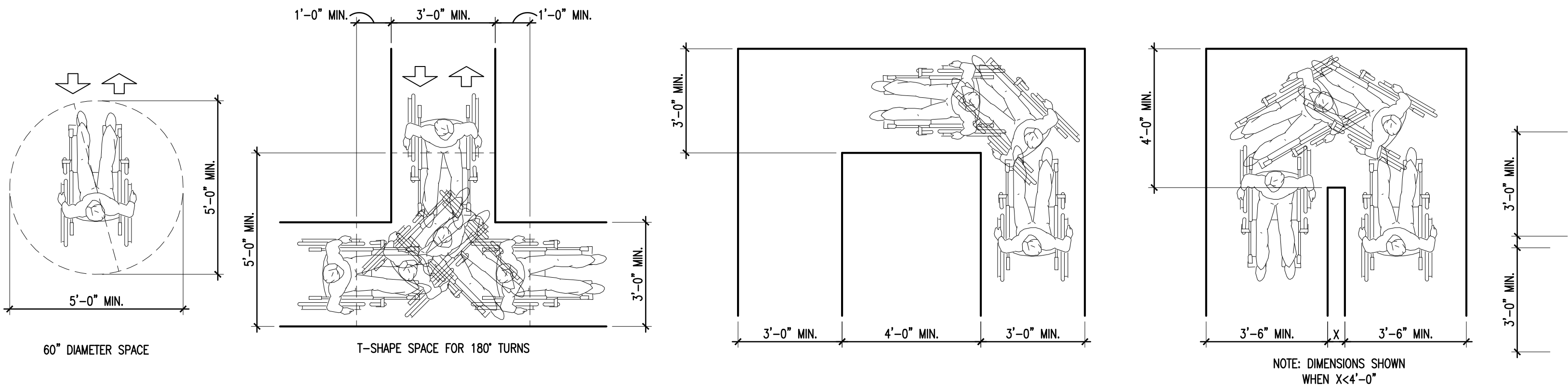
DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

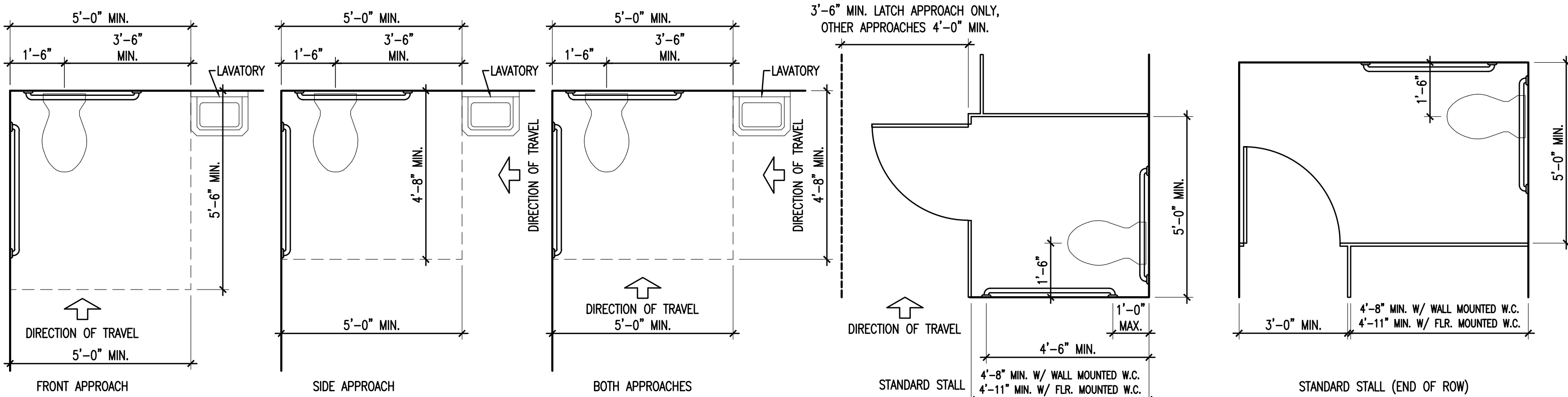
T.01



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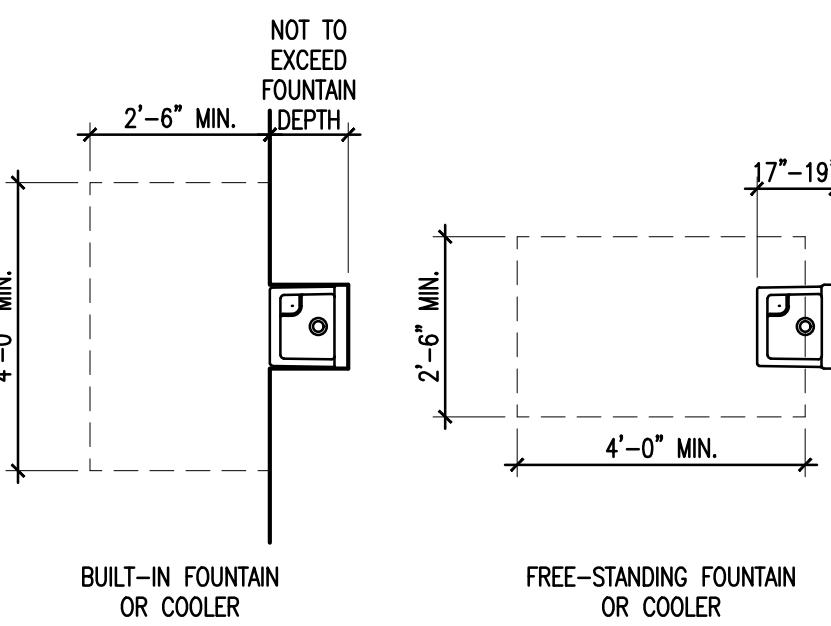
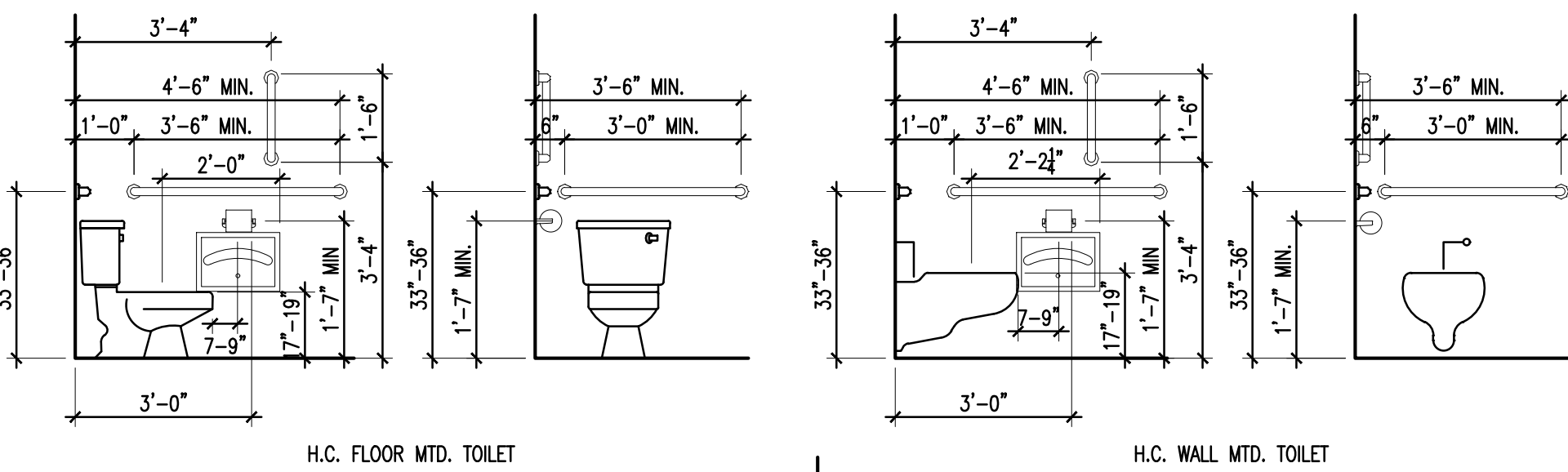
ACCESSIBLE ROUTE



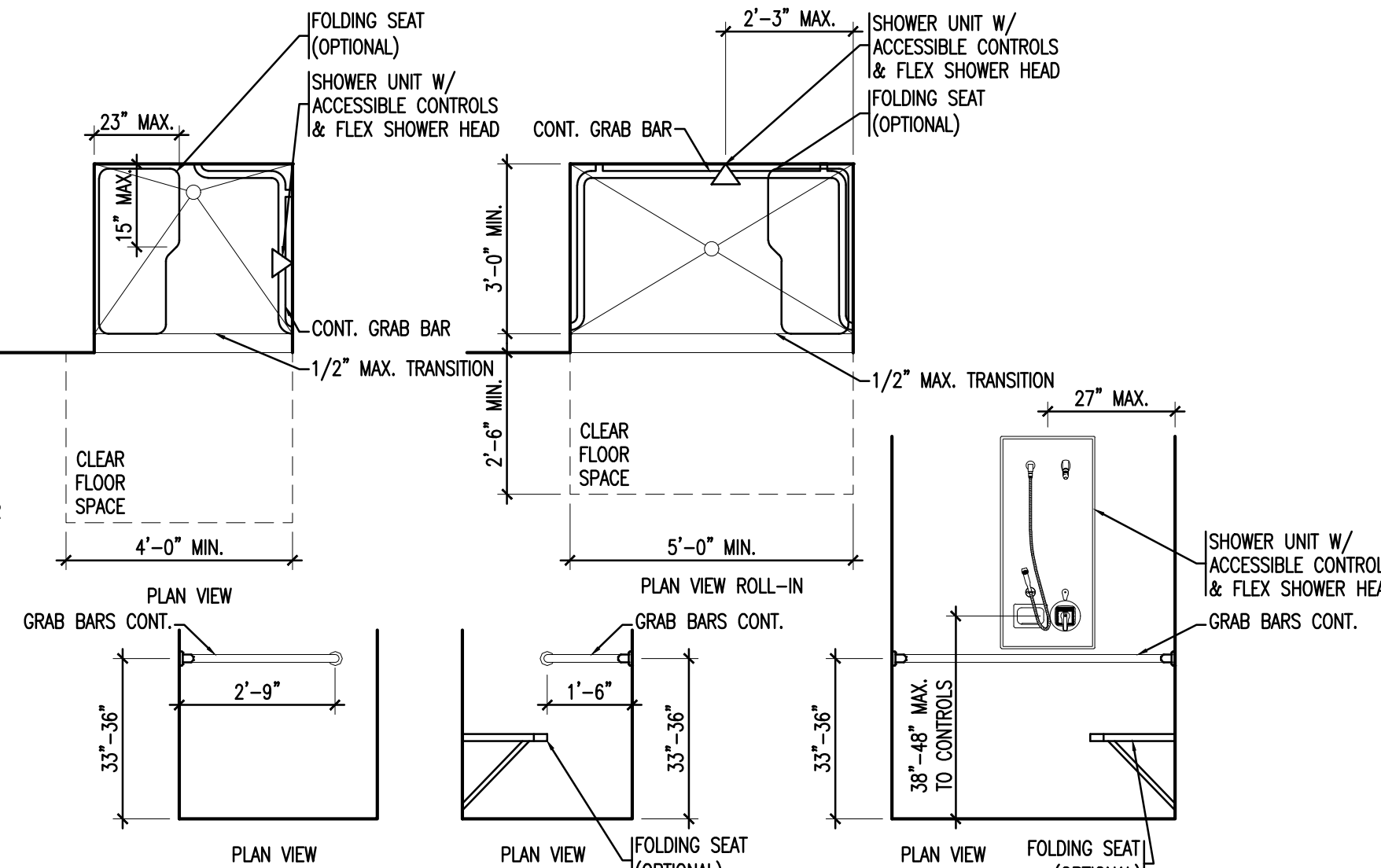
SINGLE TOILET REQUIREMENTS

TOILET STALL REQUIREMENTS

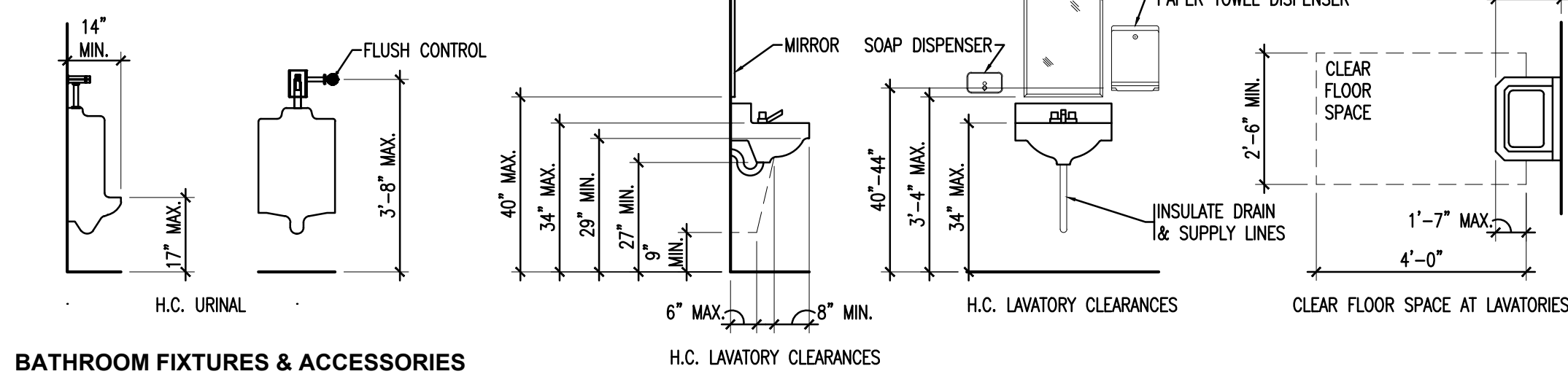
HANDRAIL CLEARANCE



DRINKING FOUNTAINS

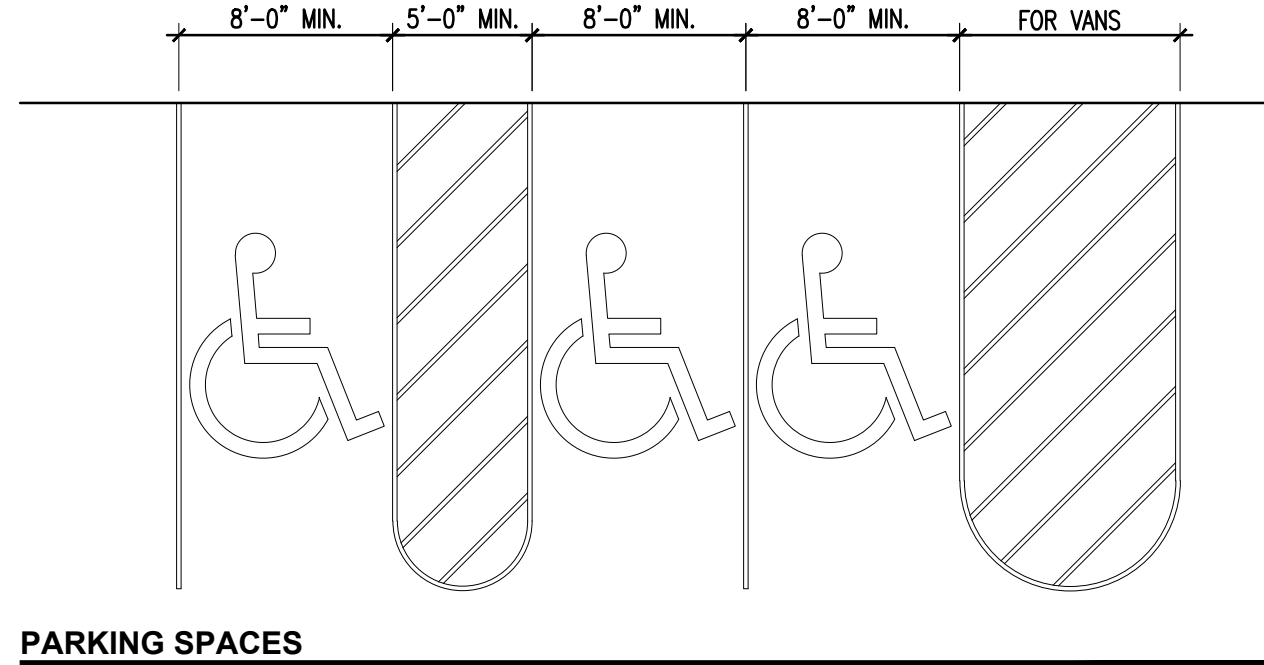


ACCESSIBLE SHOWER

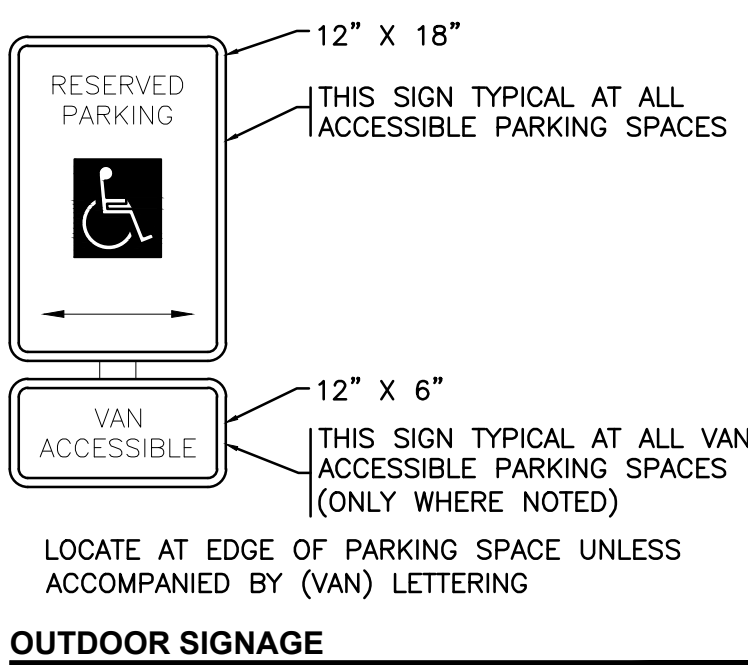


BATHROOM FIXTURES & ACCESSORIES

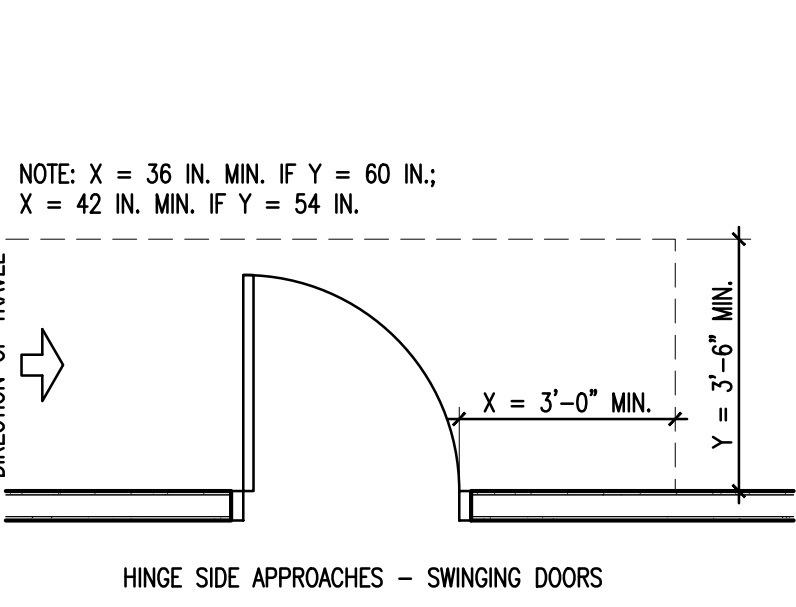
H.C. LAVATORY CLEARANCES



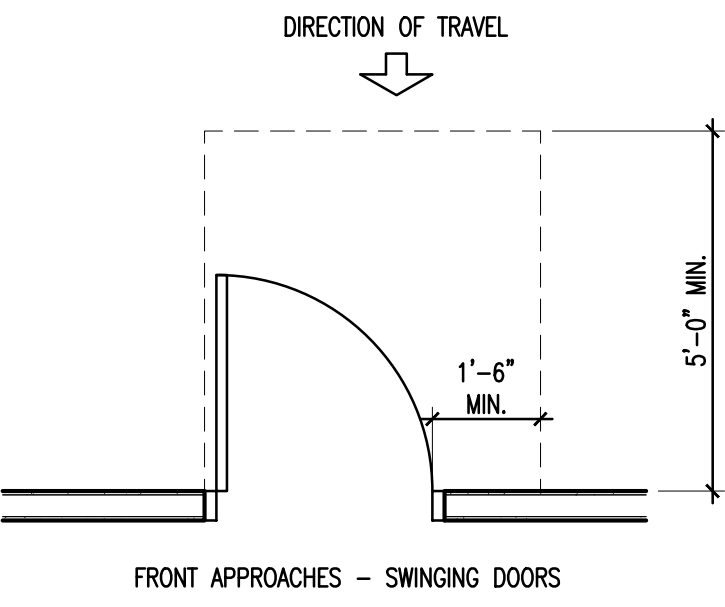
PARKING SPACES



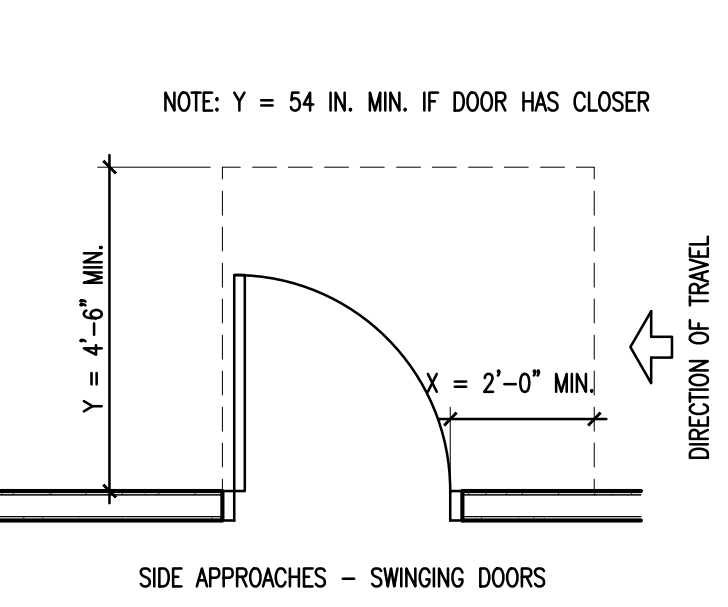
OUTDOOR SIGNAGE



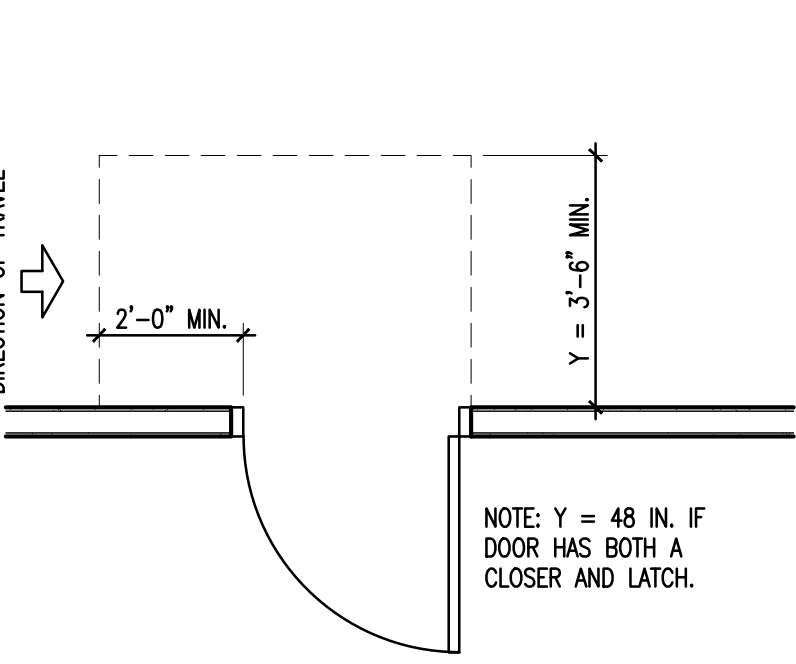
HINGE SIDE APPROACHES - SWINGING DOORS



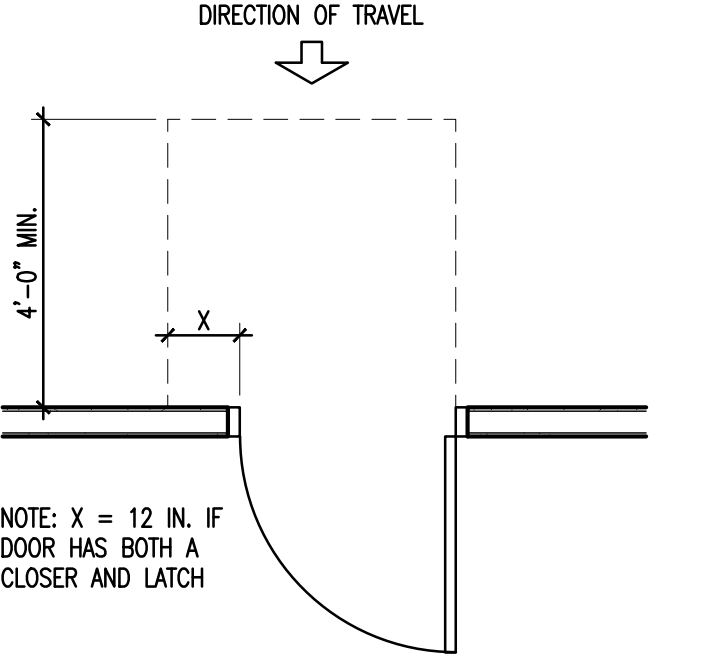
FRONT APPROACHES - SWINGING DOORS



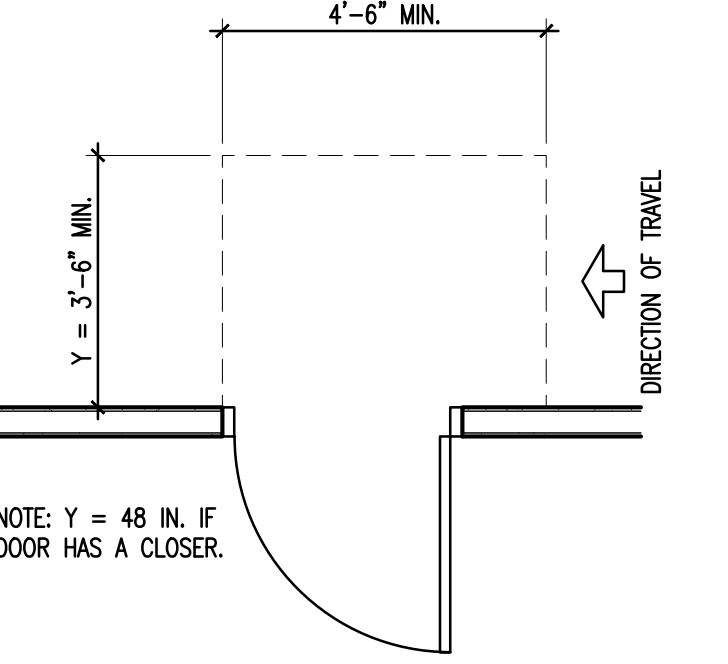
SIDE APPROACHES - SWINGING DOORS



HINGE SIDE APPROACHES - SWINGING DOORS



FRONT APPROACHES - SWINGING DOORS



SIDE APPROACHES - SWINGING DOORS

MANEUVERING CLEARANCES AT DOORS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

DATE:	
REVISION:	

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803
(408) 860-8188
info@spotanskibldg.com

JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: ADA INFORMATION
PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

ADA

GENERAL NOTES

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4. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.

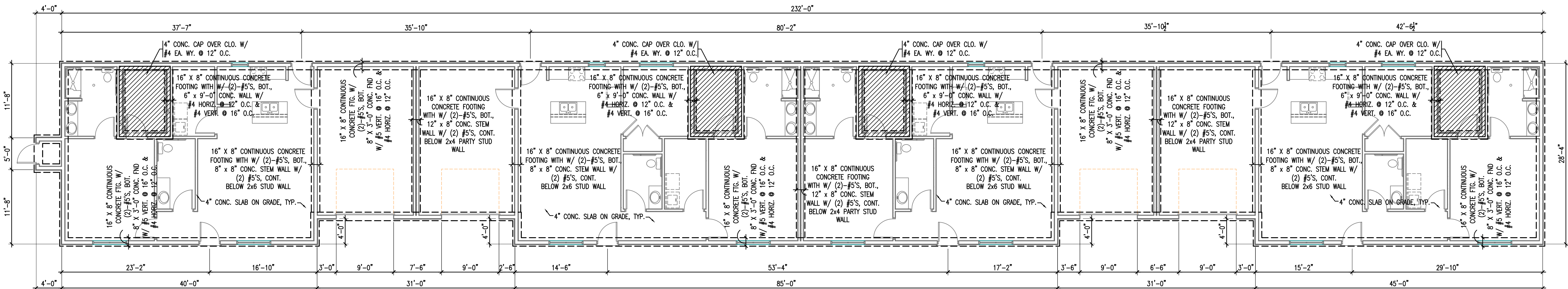
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NOTE: SEE FLOOR PLANS FOR MORE DIM. & FURTHER INFORMATION.



FOUNDATION PLAN

1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0"
1/8" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

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11-10-2022

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Spotanski
& Creative Building Design
& Drafting, LLC
1703 ADA STREET, SUITE 200, GRAND ISLAND, NE 68803
(408) 850-8188 info@spotanskibldg.com

STACY J. SPOTANSKI

JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FOUNDATION PLAN
PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A1.01

LEGEND

- 1 HOUR RATED CONSTRUCTION
2 HOUR RATED CONSTRUCTION
SMOKE PARTITION - NO FIRE RESISTANCE RATING

INDICATES SOUND WALL CONSTRUCTION

FIRE EXTINGUISHER CABINET

FIRE EXTINGUISHER

AREA OF ROOM
OCCUPANT LOAD FACTOR
MAXIMUM OCCUPANCY

NO. OF OCCUPANTS EXITING
NO. OF OCCUPANT/NO. OF EXIT
REQ'D EXIT WIDTH
ACTUAL EXIT WIDTH

LIFE SAFETY SUMMARY

PROJECT CODE INFORMATION:

INTERNATIONAL BUILDING CODE (IBC) 2018
NEW BUILDING USE & OCCUPANCY CLASSIFICATION:
FIRST FLOOR: RESIDENTIAL (R-3)
STORAGE (S-2) (GARAGE)

LIFE SAFETY CODE (NFPA 101) 2000
OCCUPANCIES: NEW RESIDENTIAL
NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)

ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
(ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS
INDICATE IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS

UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS

NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

CONSTRUCTION TYPE:
NEW BUILDING: V-B

BUILDING AREA:
NEW FIRST FLOOR: 6,345 S.F.

ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):
RESIDENTIAL (R-3): UL
STORAGE (S-2) (GARAGE): 13,500

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):

RESIDENTIAL (R-3): 3
STORAGE (S-2): 2

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.

BEARING WALLS: 0-HOUR
EXTERIOR: 0-HOUR
NONBEARING WALLS AND PARTITIONS: 0-HOUR
NONBEARING WALLS AND PARTITIONS: 0-HOUR
EXTERIOR: 0-HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0-HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0-HOUR

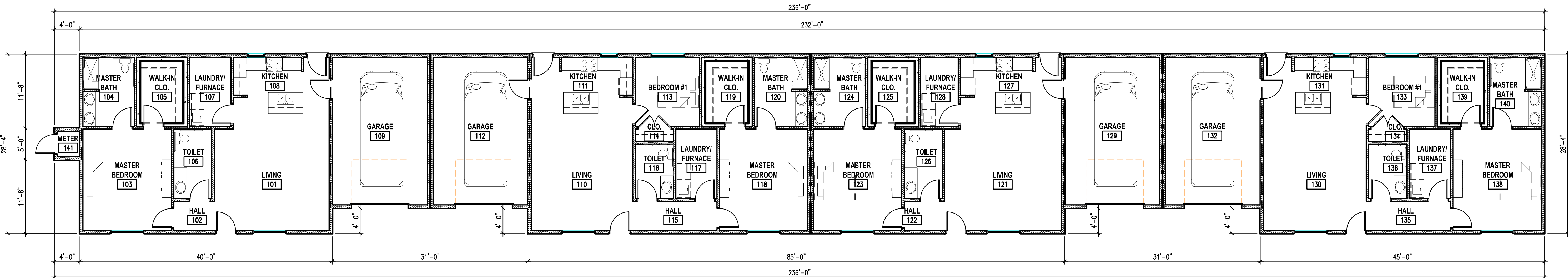
1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):
NON-SPRINKLER

INTERIOR EXIT STAIRWAY
STAIRWAY AND ENCLOSURE FOR ACCESS
CORRIDOR AND ENCLOSURE FOR ACCESS
ENCLOSURE FOR ACCESS
ENCLOSED SPACES

GENERAL NOTES

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FIRST FLOOR COMPOSITE PLAN

1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0"
1/8" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

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NOT FOR CONSTRUCTION
11-10-2022

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REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803
(408) 850-8188
info@spotanskicreative.com

PROVIDING AFFORDABLE, ACCESSIBLE
DESIGN, USING A ONE-STOP-DESIGN
APPROACH TO MEET YOUR NEEDS
FOR ALL PROJECTS
STACY J. SPOTANSKI
ARCHITECT
LICENSED PROFESSIONAL ARCHITECT
STATE OF NEBRASKA
#00000000000000000000000000000000

JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

OWNER:

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN

PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A1.02

MATERIAL KEYING LEGEND

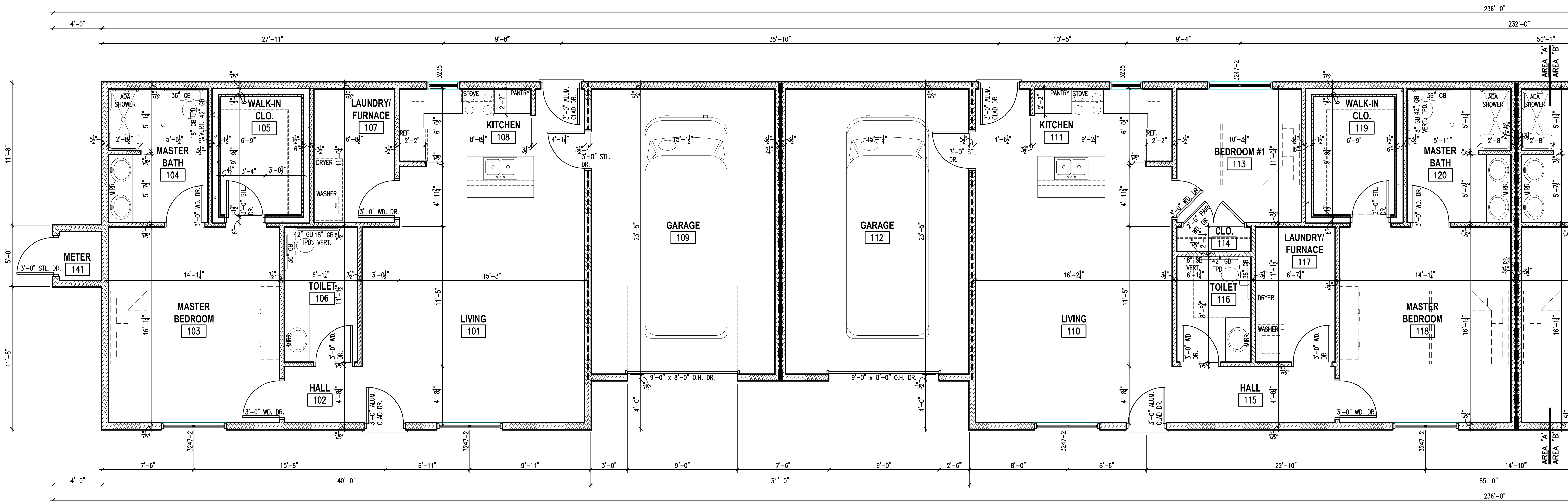
CG	CORNER GUARD
EHD	ELECTRIC HAND DRYER
FEB	FIRE EXTINGUISHER AND BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
FNR	FEMININE NAPKIN RECEPTACLE
GB	GRAB BAR
MB	MARKERBOARD
MIRR	MIRROR
MS	MOP STRIP
PS	PROJECTION SCREEN
PTD	PAPER TOWEL DISPENSER
PTD/WR	PAPER TOWEL DISP. & WASTE RECEPT.
SD	SOAP DISPENSER
TB	TACKBOARD
TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

LEGEND

-----	1 HOUR RATED CONSTRUCTION
=====	2 HOUR RATED CONSTRUCTION

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PARIAL FIRST FLOOR PLAN - 'AREA A'

1/4" = 1'-0" 0 1'-0" 2'-0" 4'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

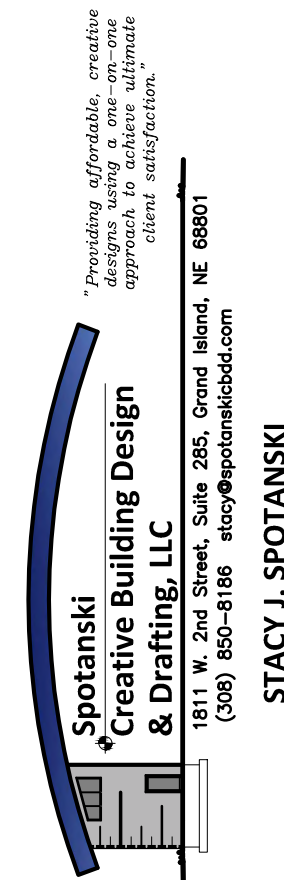
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11-10-2022

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OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - AREA 'A'

PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A1.03

MATERIAL KEYING LEGEND

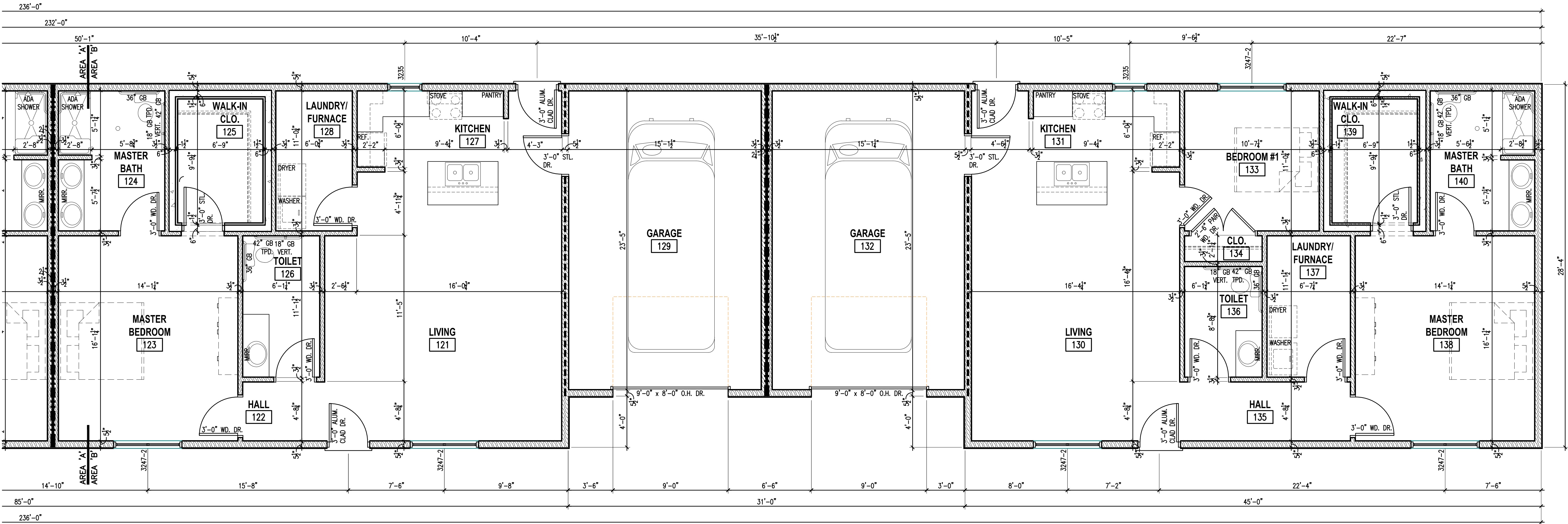
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PTD	PAPER TOWEL DISPENSER
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SD	SOAP DISPENSER
TB	TACKBOARD
TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

LEGEND

-----	1 HOUR RATED CONSTRUCTION
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PARIAL FIRST FLOOR PLAN - 'AREA B'

1/4" = 1'-0" 0 1'-0" 2'-0" 4'-0"

1/4" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
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11-10-2022

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REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
1703 ADA STREET, SUITE 200, GRAND ISLAND, NE 68803
(408) 850-8188 info@spotanskibldg.com

STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - 'AREA B'

PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

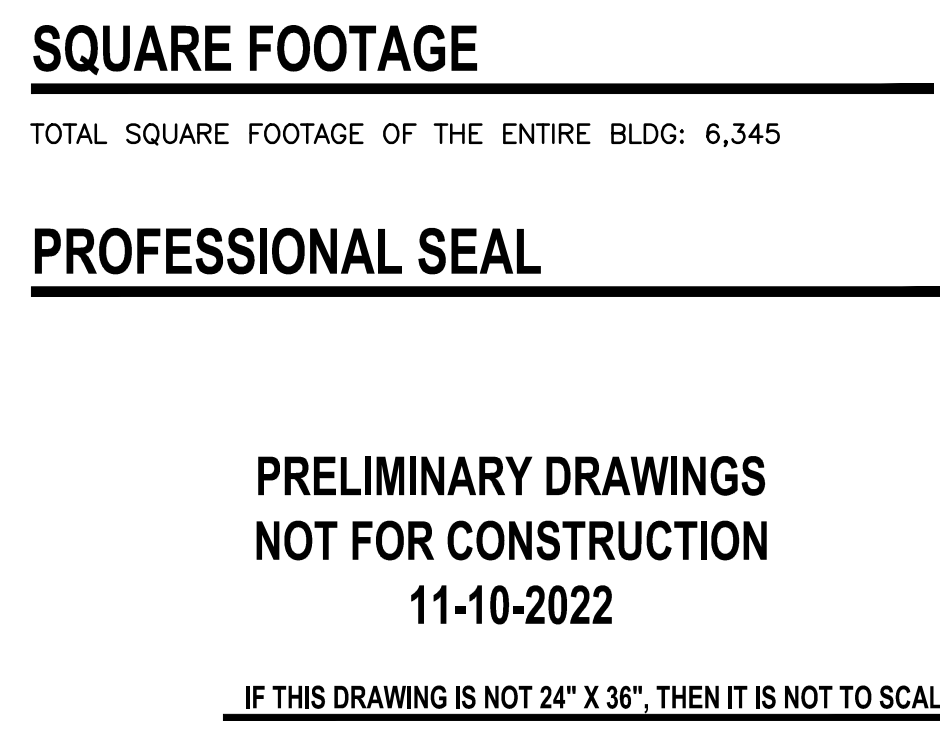
PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A1.04

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Stacy J. Spotski
4:15 PM
Creative Building
Design
& Drafting, LLC
1811 W. 2nd Street, Suite 205, Grand Island, NE 68601
(308) 850-8186
stacy@spotscikbd.com

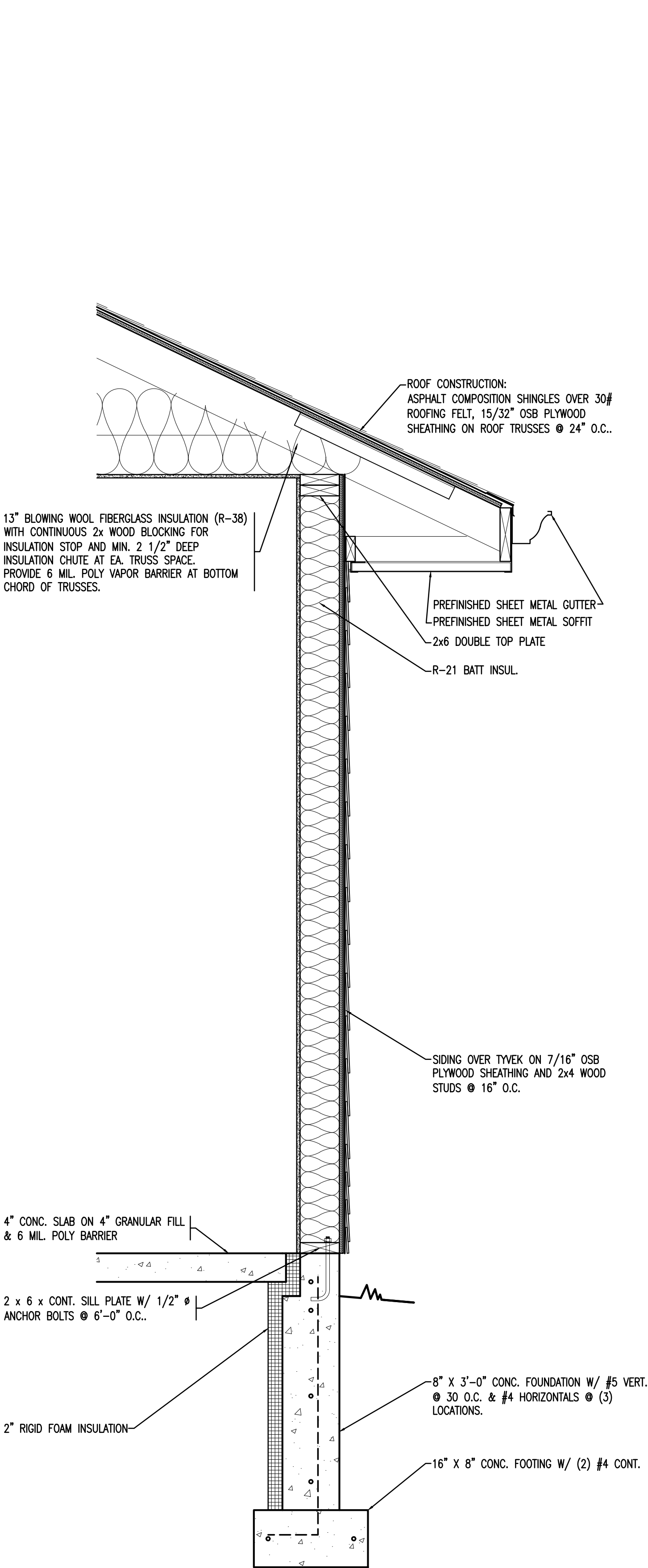
*"Providing affordable, creative
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approach to design and
client satisfaction."*

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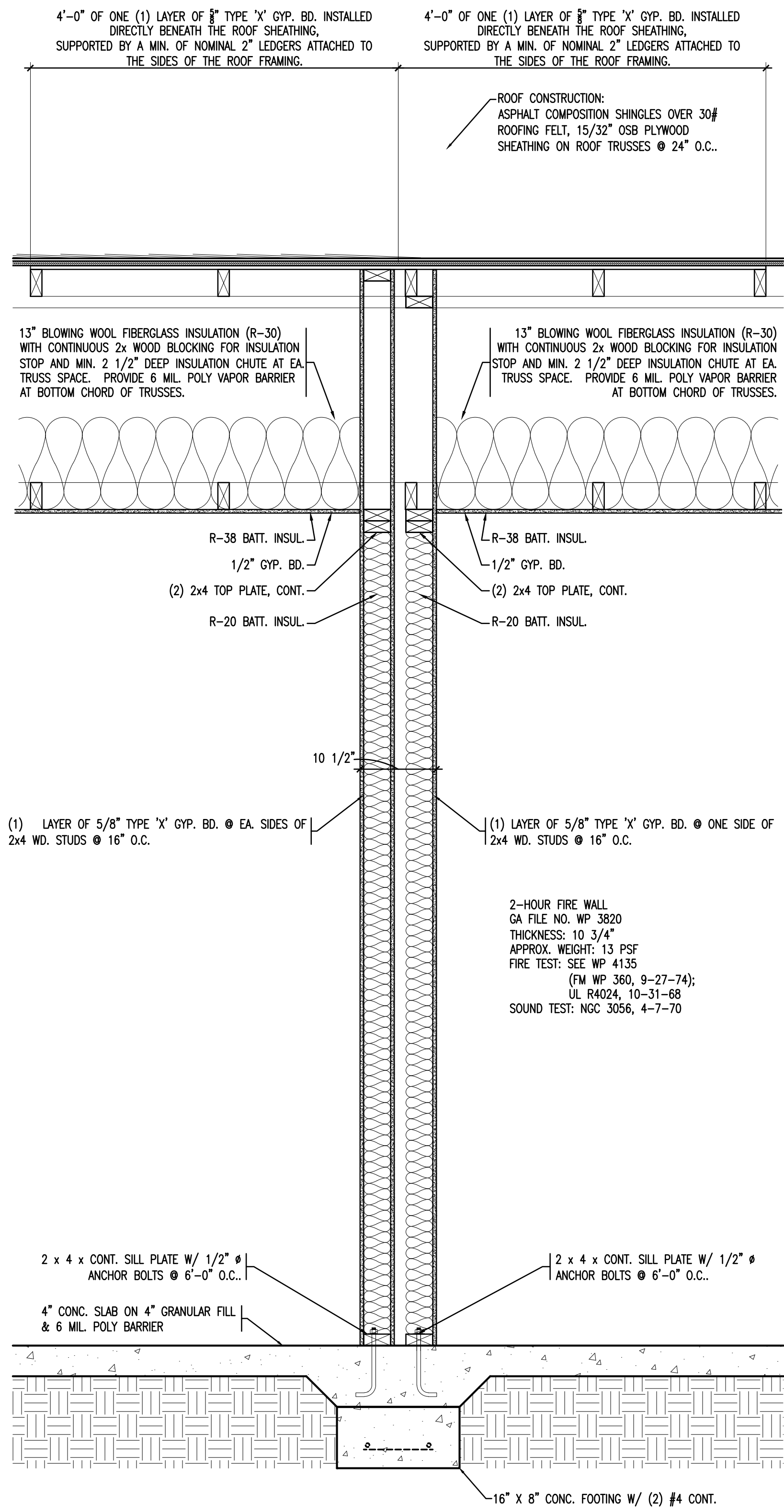
SHEET TITLE: ROOF PLAN

PROJECT DESCRIPTION: NEW 4-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE 69003

A1.05



1 **TYP. EXTERIOR WALL SECTION**
1" = 1'-0"



2 **2-HOUR FIRE WALL**
1" = 1'-0" UL DESIGN: U342

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SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC
114 N. CUSTER AVE. GRAND ISLAND, NE. 68803
(408) 850-8188 info@spotanski.com

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OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: WALL SECTION

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

A3.01

GRAND ISLAND, NE.

GENERAL ABBREVIATIONS

A	AB	ANCHOR BOLT	C	CONTR	CONTRACT(OR)	E	EXCAVAT(E) (ED) (ION)	H	HIGH, HEIGHT		
	A/C	AIR CONDITIONER		CORR	CORRIDOR		EXCLUD(E) (ED) (ING)		HB	HOSE BIB	
	ACC	ACCESS(BLE) (ORIES)		CTSK	COUNTER(SINK) (SUNK)		EXCEPT		HC	HOLLOW CORE	
	ACCU	ACCUSTICAL		CEHR	CENTR		EXHAT		HCPAC	HANDICAP	
	ADDL	ADDITIONAL		CUH	CABINET UNIT HEATER		EXST		HDR	HEAVY DUTY	
	ADJ	ADJUSTABLE		CLO	CLOSET		EXPOSED		HDR	HEADER	
	ADJC	ADJACENT		CLR	CLEAR(ANCE)		EXPAN(D) (SION)		DHWD	HARDWOOD	
	A/E	ARCHITECT/ENGINEER		CJ	CONTROL/CONSTRUCTION JOINT		EXT		DHWE	HARDWARE	
	AF	ABOVE FINISH FLOOR		CLG	CEILING				HM	HOLD OPEN	
	AL	ALUMINUM							HO	HORIZONTAL	
B	ALT	ALTERNATE	D			F		HORIZ	HORIZONTAL		
	ANC	ANCHOR(AGE)		D	DEEP, DEPTH, DATA OUTLET		F/F		FACE TO FACE	HR	HOUR
	APPROX	APPROXIMATE(LY)		D AND E	DRILL, AND EPOXY GROUT		FAB		FABRICAT(E) (ED) (OR)	HTR	HEATER
	ARCH	ARCHITECT		DBE	DECK BEARING ELEVATION		FAS		FASTEN(ED) (ER)	HVAC	HEATING/ VENTILATING/
	ADIT	AUTOMATIC		DDBL	DOUBLE		FC(S)		FACE(S)		AIR CONDITIONING
	AVG	AVERAGE		DGL	DEGREE(S)		FID		FLOOR DRAIN		
				DEMO	DEMO(LISH) (LITION)		FND		FOUNDATION		
				DEPT	DEPARTMENT		FE		FIRE EXTINGUISHER		
				DET	DETAIL		FEC		FIRE EXTINGUISHER CABINET		
				DIA	DRAINING FOUNTAIN		FIN		FINISH		
C	BD	BOARD	D	DIA	DIAMETER	F	FLASH	ID	INSIDE DIAMETER/DIMENSION/IDENTIFICATION		
	BLDG	BUILDING		DIF	DIAGONAL		FL		FLOOR	IF	INSIDE FACE
	BLE	BRICK LEDGE ELEVATION		DIF	DIFFEREN(CE) (TIAL)		FLG		FLASHING	IN	INCH(ES)
	BLK	BLOCK(ING)		DIFF	DIFFUSER		FLX		FLEXIBLE	INCL	INCLU(DE) (DED) (DING) (SIVE)
	BM	BEAM		DM	DIMENSION		FLR		FLANGE	INFL	INFORMATION
	BOT	BOTTOM		DO	DOOR OPENING		FDW		FLOOR(ING)	INSUL	INSULATE(E) (ED) (ION)
	BRDG	BRIDGING		DN	DOWN		FR		FACE OF WALL	INT	INSULATOR
	BRG	BEARING		DO	DOOR		FT		FRAM		
	BRKT	BRACKET		DOC	DOCUMENT(S)		FTG		FOOT OR FEET		
	BTW	BETWEEN		DR	DOOR		FTG		FOOTING		
C	BW	BOTH WAYS	DS	DOWNSPOUT	FURR	FURR(ED) (ING)					
			DSP	DRY STANDPIPE	FUT	FUTURE					
			DWG(S)	DRAWING(S)							
			DWL	DOWEL (REBAR)							
			DWR	DRAWER							
					GA	GAUGE					
					GALV	GALVANIZED					
					GB	GRAB BAR OR GYPSUM BOARD					
					GC	GENERAL CONTRACTOR					
					GENL	GENERAL					
C	CG	CORNER GUARDS	E	GFI	GOUND FAULT CIRCUIT INTERRUPTER	G		K	KIP (1000 POUNDS)		
	CHAM	CHAMFER		GL	GLASS				KIT	KITCHEN	
	CNTR	CAST IRON		GLB	GLUE LAMINATED BEAM				KO	KNOCK OUT	
	COL	COUNTER		GND	GOUND						
	COMP	COMPOSITE		GR	GRADE						
	CONC	CONCRETE		GRL	GRILLE						
	CONF	CONFERENCE		GRP	GRAVITY ROOF VENTILATOR						
	CON	CONDITION			GYPSUM						
	CONN	CONNECTION									
	CONT	CONTINU(E) (OUS) (ATION)									

MAS MAX MECH MET MFR MH MIN MISC MO MOUNT MTD MTL	MASONRY MAXIMUM MECHANICAL META MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL	S SCHED SECTION SHT SIM SPEC	SOUTH SCHEDULE SECTION SHT SIMILAR SPECIFICATIONS
N NIC NI NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	TEMP TOP T & G THK TOM TOS TOIT TR TV	TEMPORARY TOP OF CURB TONGUE AND GROOVE THICK TOP OF MASONRY TOP OF STEEL TOILET PAPER DISPENSER TREAD TELEVISION
OBS OC OD OFF OPNG OPT OPP ORD OS	OBSCURE ON CENTER OUTSIDE DIAMETER OFFICE OPENING OPTIONAL OPPOSITE OVERFLOW ROOF DRAIN OVERFLOW SCUPPER	UNO UR UTIL	UNLESS NOTED OTHERWISE URINAL UTILITY
PL PLAM PLWD PR PREFIN PTN	PLATE PLASTIC LAMINATE PLYWOOD PAIR PREFINISHED PARTITION	VB VERT VEST	VAPOR BARRIER VERTICAL VESTIBULE
R RAD REINF REQ'D RM RO	RISER RADIUS REINFORCE (D) (ING) REQUIRED ROOM ROUGH OPENING	W W/ WP WT	WIDE, WIDTH, WEST WITH WATERPROOF WEIGHT


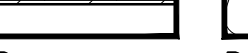

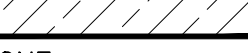
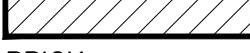

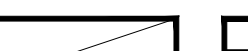
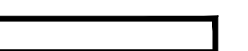

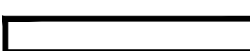
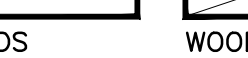
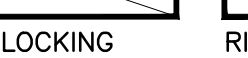
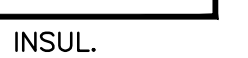

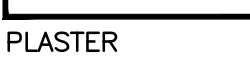




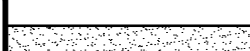
— SPECIAL SYMBOLS —

& ∠ ⊙ ⊙ ⊙ #	AND ANGLE AT CENTERLINE PLATE LINE POUND / NUMBER DIAMETER / ROUND
----------------------------	--

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MATERIAL INDICATIONS

				
CONCRETE	PLYWOOD	BATT INSUL.	STONE	BRICK
				
WOOD STUDS	WOOD BLOCKING	RIGID INSUL.	EARTH	PLASTER
				
METAL STUDS	CERAMIC TILE	CMU (STD. WT.)	GRAVEL/SAND FILL.	GYPSUM BOARD
				
FINISH WOOD	ACOUSTICAL PANEL	CMU (LT. WT.)	METAL SECTION	METAL (LARGE SCALE)

GRAPHIC SYMBOLS

SITE SPOT ELEVATION

NEW FINISH SPOT GRADE	NEW AND EXISTING FINISH SPOT GRADE	TOP OF CURB BOTTOM OF CURB
--------------------------	---------------------------------------	-------------------------------

+ 1107.53
+ N: 1107.53
+ E: 1104.98
+ TC: 1107.33
+ BC: 1104.88

EXISTING CONTOUR LINE

NEW CONTOUR LINE

PROPERTY LINE

CENTER LINES/PROJECTED LINE

MATCH LINE

LEVEL LINE

NEW/EXISTING WALL CONSTRUCTION

ROOM NAME AND NUMBER

IT
A108

DOOR NUMBER

WINDOW TYPE

KEY NOTES

INDICATES A NOTE FOR A SPECIFIC ITEM

ALL KEY NOTES ARE COMPILED UNDER THE TITLE BAR "KEY NOTES".

REVISION

COLUMN GRID LINE

BUILDING SECTION / WALL SECTION

BUILDING SECTION / WALL SECTION

INTERIOR ELEVATIONS

SHEET INDEX

T0.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	FIRST FLOOR ENLARGED PLANS
A1.04	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

**COORDINATING
PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022**

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REVISION:	DATE:

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NE 68801

Spotanski Creative Building Design Drafting, LLC
111 W. 2nd Street, Suite 285, Grand Island, NE 68881
(408) 850-8186 stacy@spotanskicbddd.com

UJBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

R:

SHEET TITLE: TITLE SHEET

PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE 68902

DRAWN BY:
S. SPOTANSK

PLAN DATE:
11-10-2022

PLOT DATE.	11-10-2022
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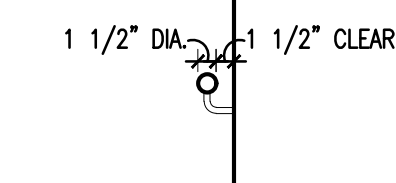
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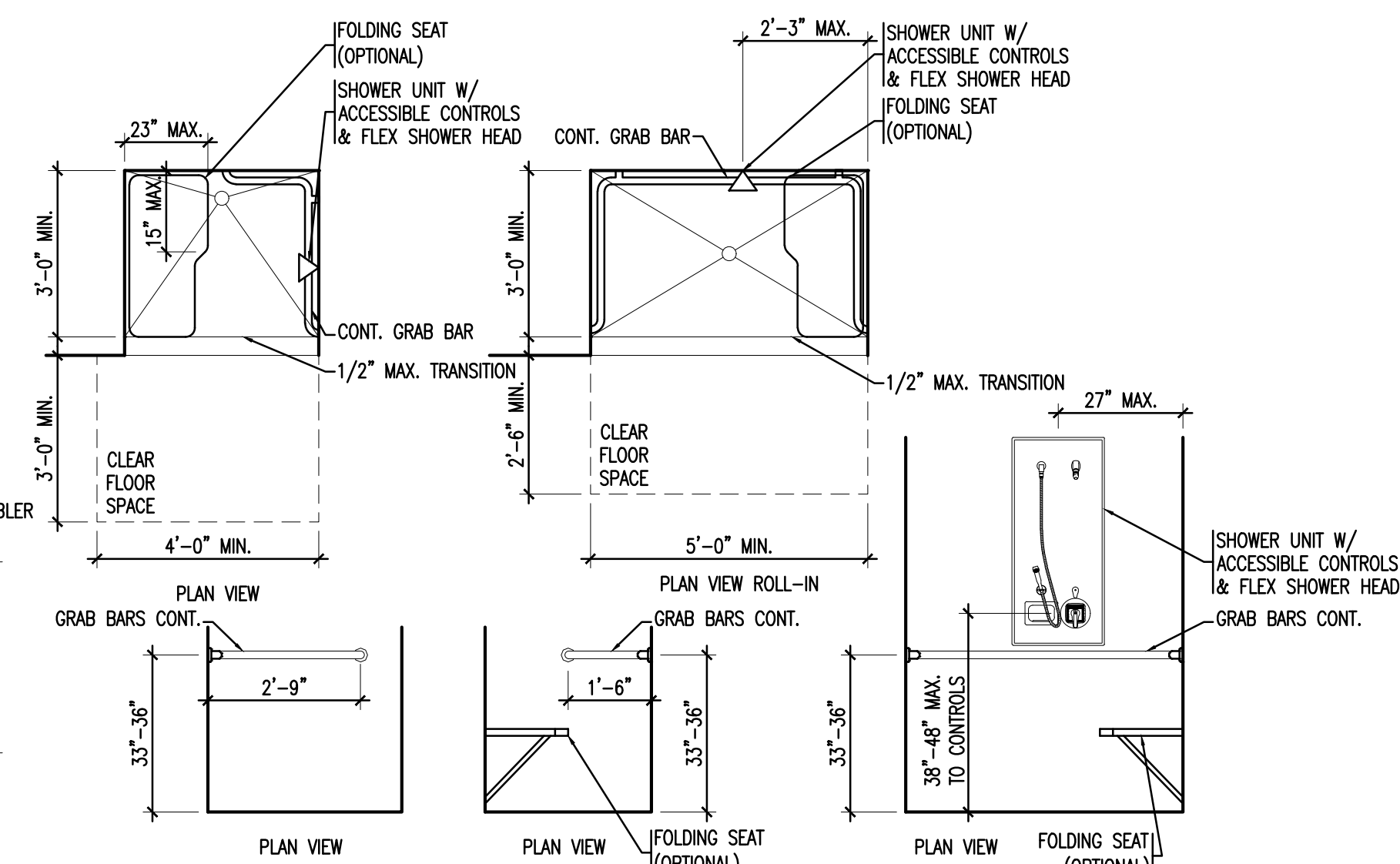


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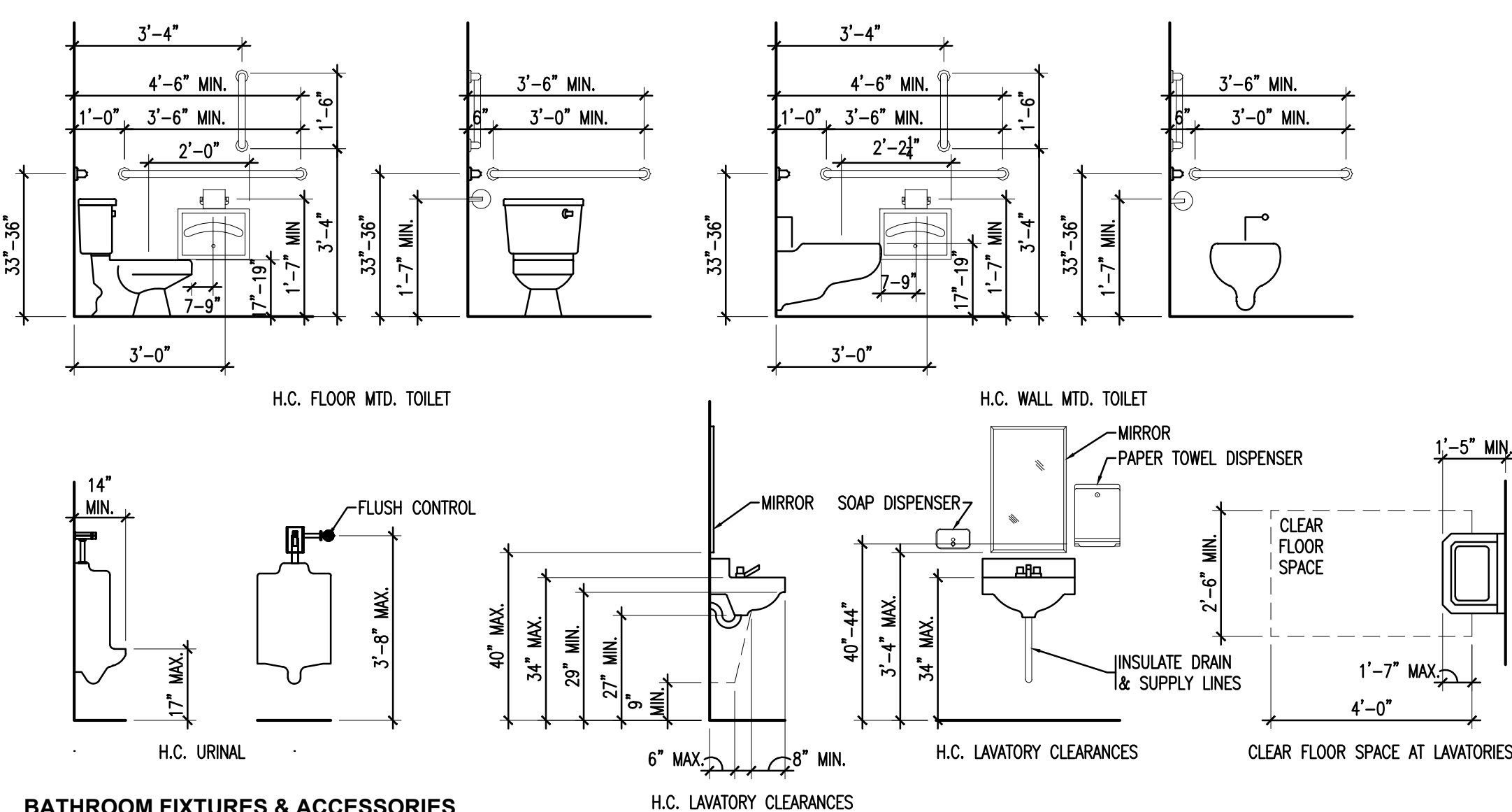
ACCESSIBLE ROUTE



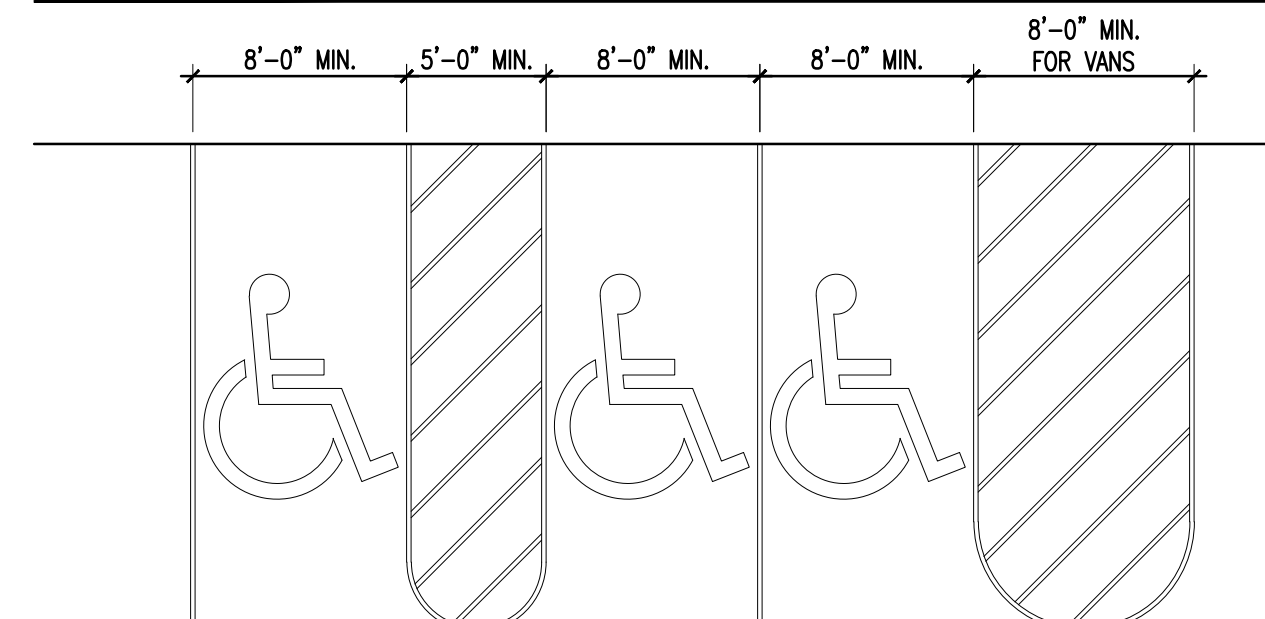
HANDRAIL CLEARANCE



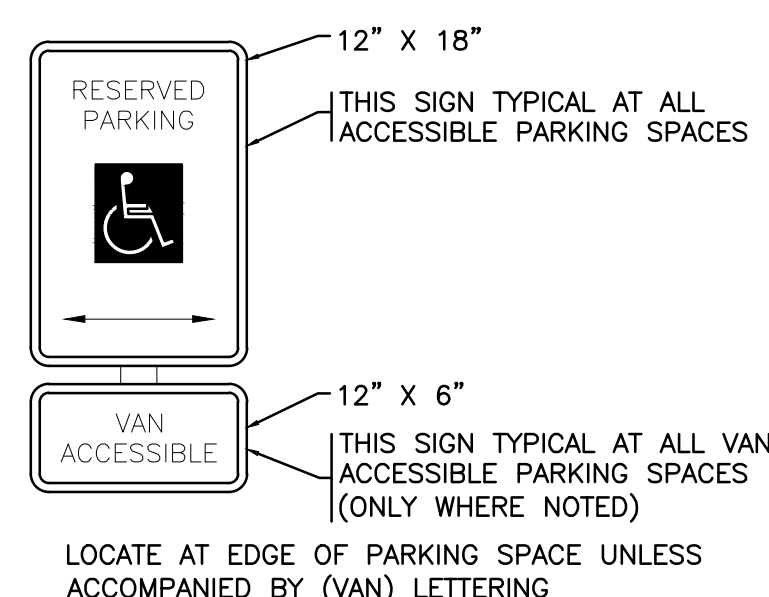
ACCESSIBLE SHOWER



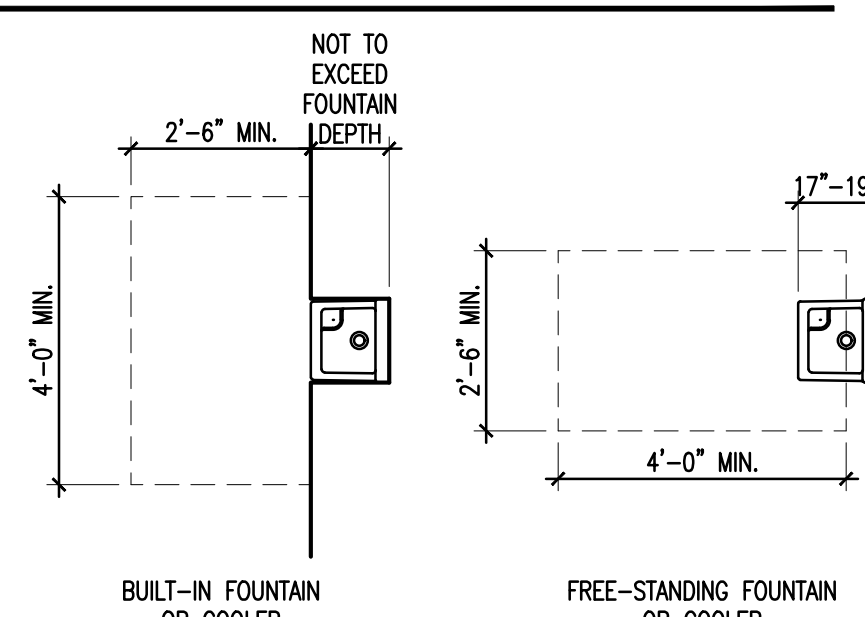
BATHROOM FIXTURES & ACCESSORIES



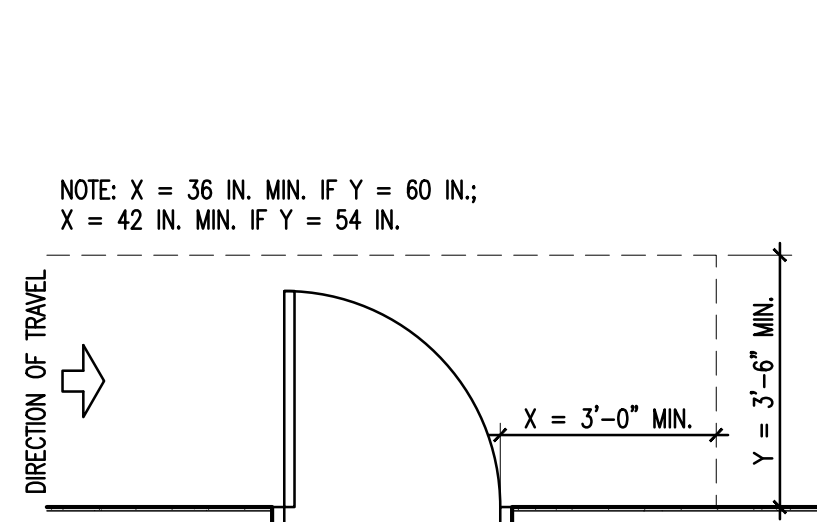
PARKING SPACES



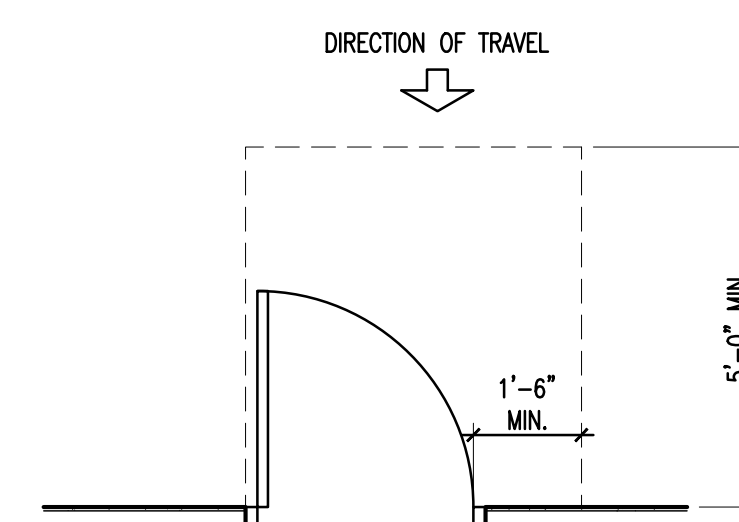
OUTDOOR SIGNAGE



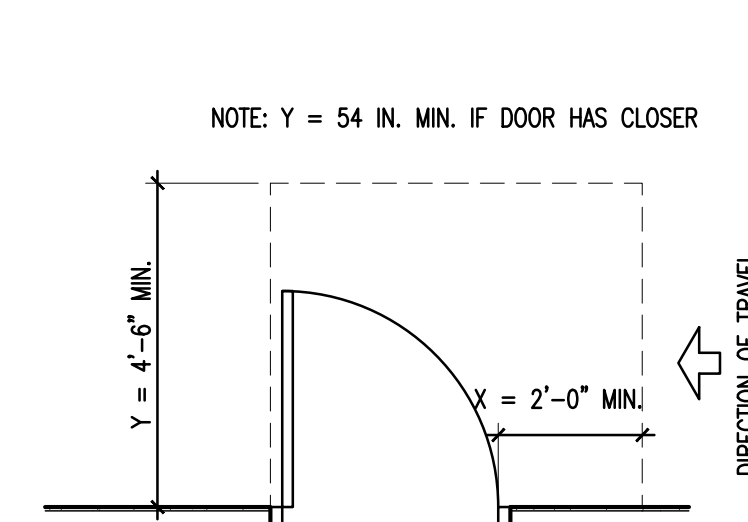
DRINKING FOUNTAINS



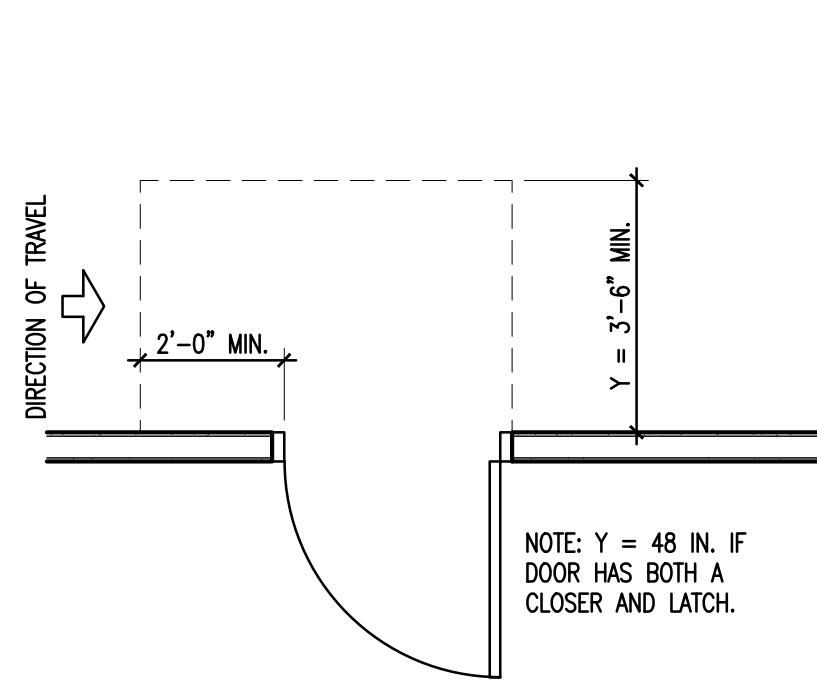
HINGE SIDE APPROACHES – SWINGING DOORS



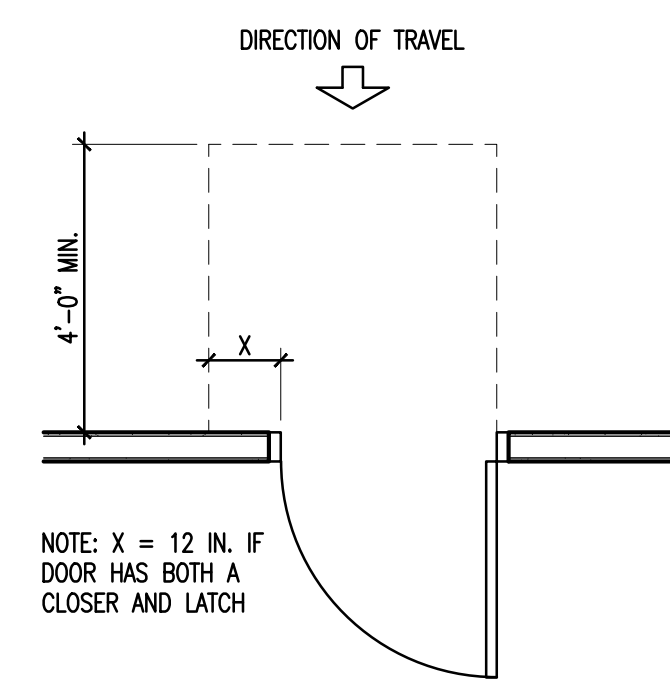
FRONT APPROACHES – SWINGING DOORS



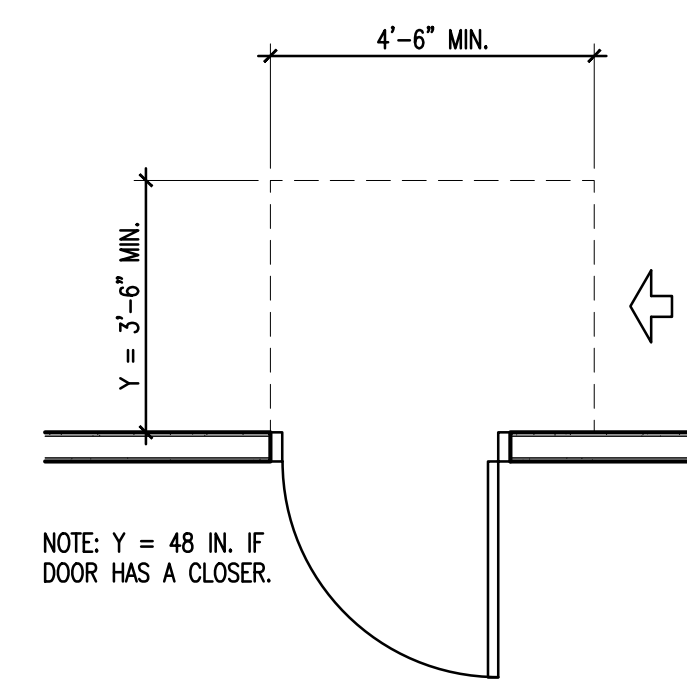
SIDE APPROACHES – SWINGING DOORS



MANEUVERING CLEARANCES AT DOORS



FRONT APPROACHES - SWINGING DOORS



HINGE SIDE APPROACHES - SWINGING DOORS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022**

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REVISION:	DATE:

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STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE 68803

SHEET TITLE: ADA INFORMATION

PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE 68803

DRAWN BY:
S. SPOTANSKI

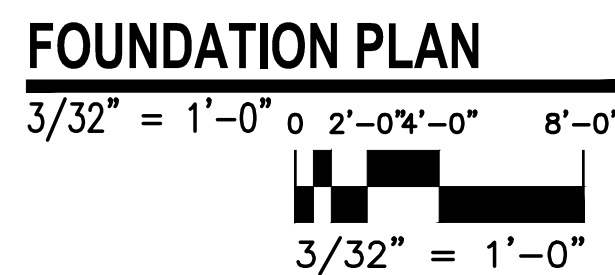
PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

ADA

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Creative Building Design
Drafting, LLC
111 W. 2nd Street, Suite 285, Grand
(308) 850-8186 stacy@spotanskicb.com
STACY I. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FOUNDATION PLAN

DRAWN BY:	S. SPOTANSKI
PLAN DATE:	11-10-2022
PLOT DATE:	11-10-2022
SHEET:	

A1.01

LEGEND

- 1 HOUR RATED CONSTRUCTION
- 2 HOUR RATED CONSTRUCTION
- SMOKE PARTITION - NO FIRE RESISTANCE RATING
- INDICATES SOUND WALL CONSTRUCTION
- FEC FIRE EXTINGUISHER CABINET
- ☒ FIRE EXTINGUISHER
- 10,000 AREA OF ROOM
- 1.50 OCCUPANT LOAD FACTOR
- 12 MAXIMUM OCCUPANCY
- 10,000 NO. OF OCCUPANTS EXITING
- 10/1 NO. OF OCCUPANT/NO. OF EXIT
- 2 REQ'D EXIT WIDTH
- 34' ACTUAL EXIT WIDTH

LIFE SAEFY SUMMARY

PROJECT CODE INFORMATION:

INTERNATIONAL BUILDING CODE (IBC) 2018

NEW BUILDING USE & OCCUPANCY CLASSIFICATION:

FIRST FLOOR: RESIDENTIAL (R-3)

STORAGE (S-2) (GARAGE)

LIFE SAFETY CODE (NFPA 101) 2000

OCCUPANCIES: NEW RESIDENTIAL

NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)

ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

(ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS INDICATE IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS

UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS

NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

CONSTRUCTION TYPE:

NEW BUILDING: V-B

BUILDING AREA:

NEW FIRST FLOOR: 7,126 S.F.

ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):

RESIDENTIAL (R-3): UL

STORAGE (S-2) (GARAGE): 13,500

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):

RESIDENTIAL (R-3): 3

STORAGE (S-2): 2

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.

PRIMARY STRUCTURAL FRAME: 0-HOUR

BEARING WALLS: 0-HOUR

EXTERIOR: 0-HOUR

NONBEARING WALLS AND PARTITIONS: 0-HOUR

EXTERIOR: 0-HOUR

NONBEARING WALLS AND PARTITIONS: 0-HOUR

INTERIOR: 0-HOUR

FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0-HOUR

ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 0-HOUR

1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):

NON-SPRINKLER

GROUP: R-3 C

S-2 B

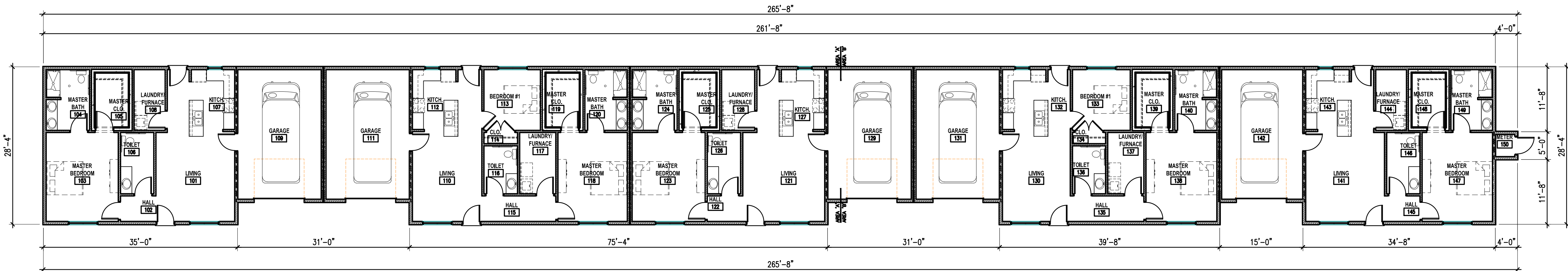
INTERIOR EXIT STAIRWAY AND STAIRWAY AND ENCLOSURE FOR ACCESS STAIRWAY C

CORRIDOR AND ENCLOSURE ROOMS AND ENCLOSURE FOR ACCESS STAIRWAY C

ENCLOSED SPACES C

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FIRST FLOOR COMPOSITE PLAN

3/32" = 1'-0" 0 2'-0" 4'-0" 8'-0"

3/32" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

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REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC

114 N. CUSTER AVE. 68803

GRAND ISLAND, NE.

STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE. 68803
GRAND ISLAND, NE.

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN

PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A1.02

MATERIAL KEYING LEGEND

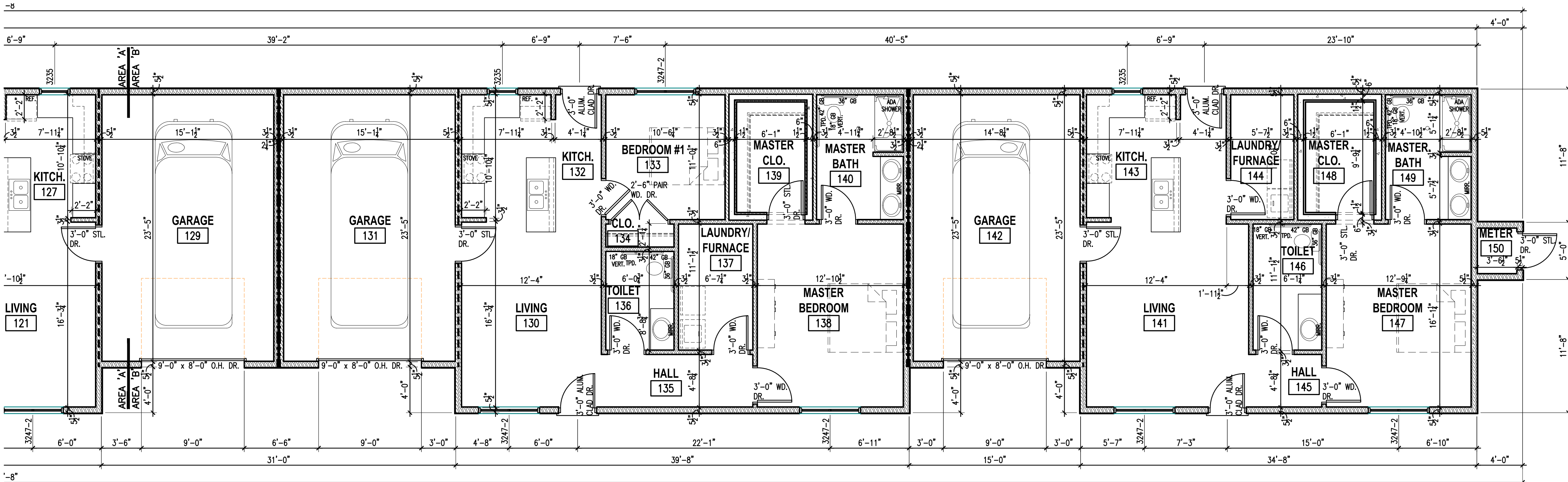
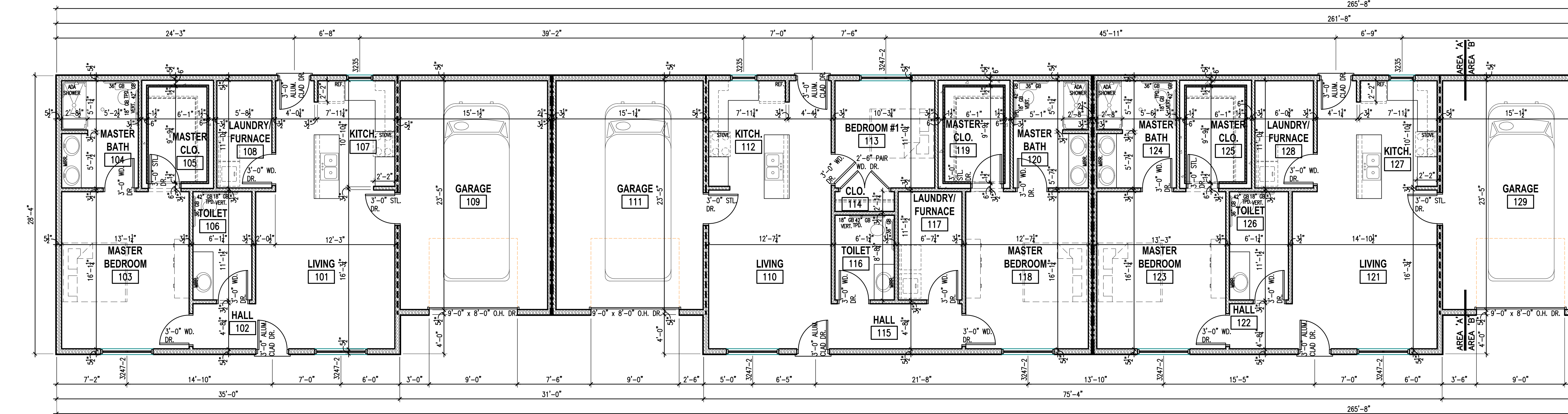
CG	CORNER GUARD
EHD	ELECTRIC HAND DRYER
FEB	FIRE EXTINGUISHER AND BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
FNR	FEMININE NAPKIN RECEPTACLE
GB	GRAB BAR
MB	MARKERBOARD
MIRR	MIRROR
MS	MOP STRIP
PS	PROJECTION SCREEN
PTD	PAPER TOWEL DISPENSER
PTD/WR	PAPER TOWEL DISP. & WASTE RECEPT.
SD	SOAP DISPENSER
TB	TACKBOARD
TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

LEGEND

-----	1 HOUR RATED CONSTRUCTION
=====	2 HOUR RATED CONSTRUCTION

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PARTIAL FIRST FLOOR PLAN ' AREA 'B'

3/16" = 1'-0" 1'-0" 4'-0"

PARTIAL FIRST FLOOR PLAN - AREA 'A'

3/16" = 1'-0" 1'-0" 4'-0"

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
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04-08-2022

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& Drafting, LLC
(208) 850-8188
info@spotanskibuild.com

JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR ENLARGED PLANS
PROJECT DESCRIPTION: NEW 4-PLEX & 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

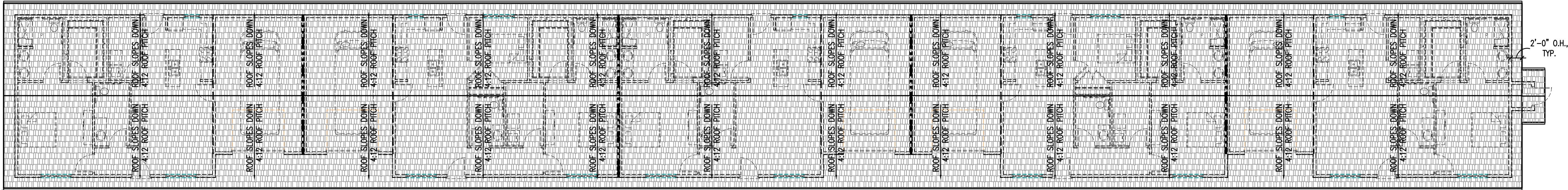
DRAWN BY:
S. SPOTANSKI

PLAN DATE:
04-08-2022

PLOT DATE:
04-08-2022

SHEET:

A1.03



ROOF PLAN
3/32" = 1'-0" 0 2'-0 1/4'-0" 8'-0"
3/32" = 1'-0"

GENERAL NOTES

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11-10-2022

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SHEET TITLE: ROOF PLAN
OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803
PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI
PLAN DATE:
11-10-2022
PLOT DATE:
11-10-2022
SHEET:

A1.04

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& Drafting, LLC
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approach to building your
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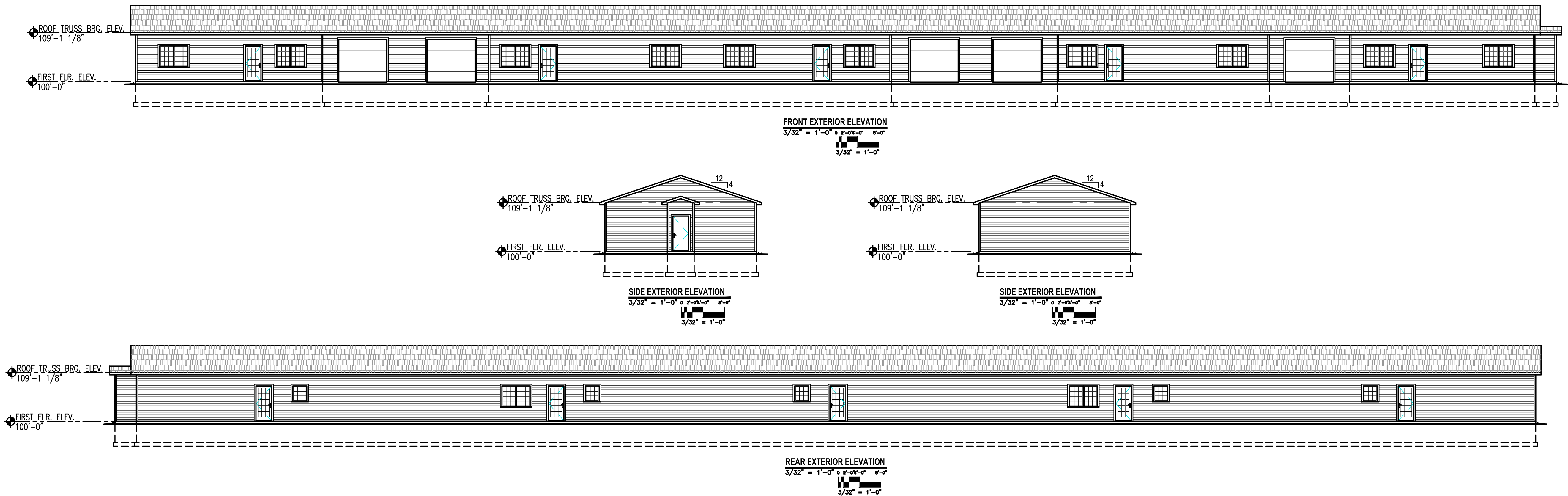
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1703 ADA STREET, SUITE 200, GRAND ISLAND, NE 68803

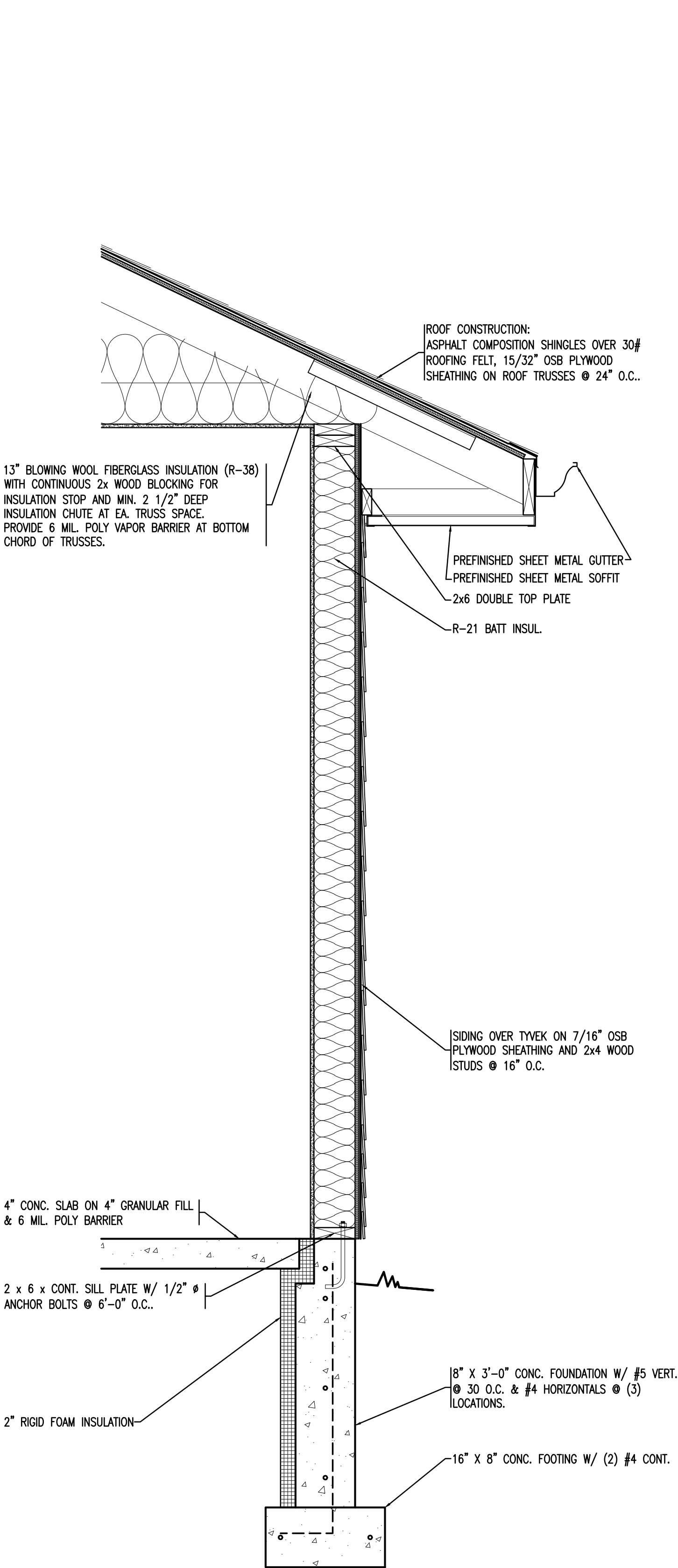
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OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

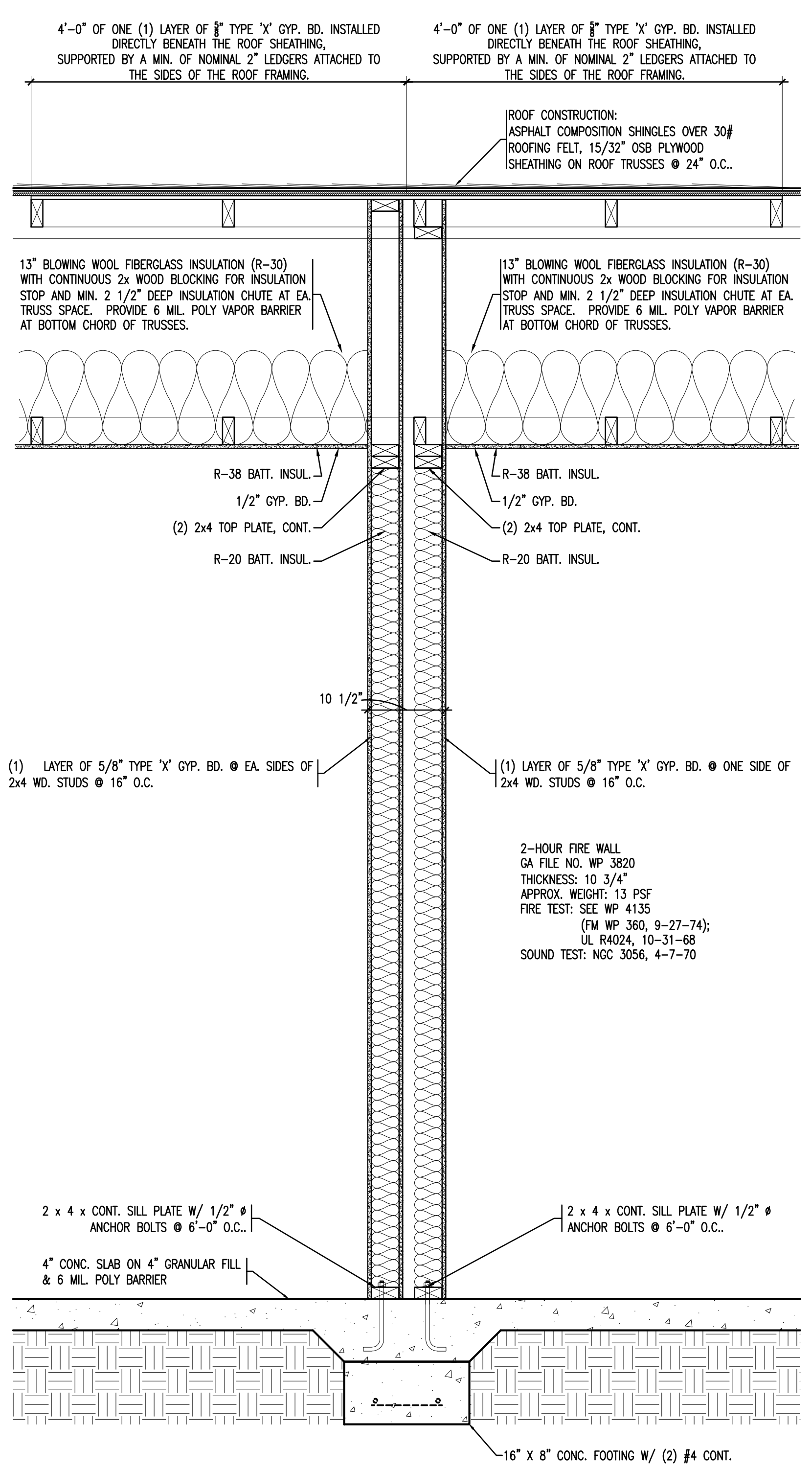
SHEET TITLE: EXTERIOR ELEVATIONS
PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI
PLAN DATE:
11-10-2022
PLOT DATE:
11-10-2022
SHEET:

A2.01



1 **TYP. EXTERIOR WALL SECTION**
1" = 1'-0"



2 **2-HOUR FIRE WALL**
1" = 1'-0" UL DESIGN: U342

GENERAL NOTES

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEADS RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
- THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES VARY WIDELY AND ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE BEING MET.
- DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
- VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM/TO ROUGH STUDS OF A DIMENSION OF EITHER 5 1/2" (2x6 STUDS), 3 1/2" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY.
- DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS. FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
- SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022**

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

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PROFESSIONAL SEAL
STACY J. SPOTANSKI
CREATIVE BUILDING DESIGN & DRAFTING, LLC
1703 ADA STREET, SUITE 200
GRAND ISLAND, NE 68803
(308) 850-8188
info@spotanski.com

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: WALL SECTION

PROJECT DESCRIPTION: NEW 5-PLEX FOR
BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY:
S. SPOTANSKI

PLAN DATE:
11-10-2022

PLOT DATE:
11-10-2022

SHEET:

A3.01

JBA Ventures, LLC

**PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING
SCENARIOS DETAILED IN NOTE A – CASH BASIS**

Twelve Months Ending After Project Phase 1 Completion

Exhibit E

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SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS	6

INTRODUCTION

The projection in this illustration presents the entity's, JBA Ventures, LLC's, projected receipts and disbursements under the hypothetical assumptions in Note A on the cash basis for the twelve months ending after project phase 1 completion.



SCHROEDER & SCHREINER, P.C.
CERTIFIED PUBLIC ACCOUNTANTS

INDEPENDENT ACCOUNTANTS' COMPILATION REPORT

To Management of
JBA Ventures, LLC
Grand Island, NE

Management is responsible for the accompanying projection of JBA Ventures, LLC, which comprise projected statements of receipts and disbursements under various tax increment financing scenarios detailed in Note A – cash basis of JBA Ventures, LLC (see introduction), for the twelve months ending after project phase 1 completion, and the related summaries of significant assumptions and accounting policies in accordance with guidelines for the presentation of a projection established by the American Institute of Certified Public Accountants (AICPA). We have performed a compilation engagement in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the AICPA. We did not examine or review the projection nor were we required to perform any procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an opinion, a conclusion, nor provide any form of assurance on this projection.

Even if the tax increment financing (TIF) scenarios outlined occurred, the projected results may not be achieved, as there will usually be differences between the projection and actual result, because events and circumstances frequently do not occur as expected, and those differences may be material. We have no responsibility to update this report for events and circumstances occurring after the date of this report.

Management has elected to omit substantially all disclosures and the summary of significant accounting policies required by the guidelines for the presentation of a projection established by the AICPA other than those related to significant assumptions. If the omitted disclosures and accounting policies were included in the projection, they might influence the user's conclusions about JBA Ventures, LLC's net cash receipts and disbursements for the projection period. Accordingly, this projection is not designed for those who are not informed about such matters.

This accompanying projection and this report are intended solely for the information and use of JBA Ventures, LLC, the Grand Island Community Redevelopment Authority, the Grand Island City Council, and certain Individuals and organizations involved in the tax increment financing application process and are not intended to be and should not be used by anyone other than these specified parties.

Schroeder & Schreiner, P.C.

Grand Island, NE
January 31, 2023

JBA VENTURES, LLC

PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING SCENARIOS DETAILED IN NOTE A - CASH BASIS

Twelve Months Ending After Project Phase 1 Completion

	With Tax Increment Financing	Without Tax Increment Financing
Gross Taxable Income:		
Rental revenue	\$ 132,000	\$ 132,000
Tax increment financing (TIF) revenue	<u>55,030</u>	<u>-</u>
	187,030	132,000
Tax Deductions:		
Interest expense - TIF debt	35,814	-
Interest expense - Non-TIF debt	149,563	221,439
Real estate tax (existing)	2,404	2,404
Real estate tax (TIF increment)	55,030	55,030
Insurance	13,750	13,750
Depreciation and amortization	<u>102,104</u>	<u>102,104</u>
	358,665	394,727
 Taxable income (loss)	 (171,635)	 (262,727)
 Adjustments to Arrive at Net Cash Receipts (Disbursements)		
Depreciation & amortization	102,104	102,104
Principal debt service - TIF	(18,222)	-
Principal debt service - Non-TIF	<u>(45,192)</u>	<u>(74,310)</u>
	38,690	27,794
 Net cash receipts	 <u>\$ (132,945)</u>	 <u>\$ (234,933)</u>

See the summary of significant projection
assumptions and the independent accountants' compilation report.
Schroeder & Schreiner, P.C.

JBA Ventures, LLC

SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS

Twelve Months Ending After Project Phase 1 Completion

NOTE A – NATURE AND LIMITATION OF PROJECTIONS

The accompanying projection presents, to the best of JBA Ventures, LLC's knowledge and belief, cash receipts and disbursements for the twelve months ending after project phase 1 completion to be generated by housing units (e.g. "the project") located in Grand Island, Nebraska. Stated cash receipts and disbursements are intended to convey results of operations after the anticipated 2024 completion of phase 1 of the project, assuming funding of the estimated construction and acquisition costs of \$7,534,435 both with, and in the absence of, tax increment financing assistance. The projection reflects their judgment as of January 31, 2023, the date of this projection, of the expected conditions and their expected course of action. Actual results are likely to differ from the projected results because events and circumstances frequently do not occur as expected. Those differences may be material. The assumptions disclosed herein are those that management believes are significant to the projections. The projected information was prepared for use in a tax increment financing request to the Grand Island Community Redevelopment Authority.

NOTE B – BASIS OF ACCOUNTING

The presentations of cash receipts and disbursements for the projection period and the twelve months ending after project phase 1 completion portray results using the cash basis of accounting. The results of this basis differ from those using generally accepted accounting principles primarily because the cash basis does not recognize assets other than cash and the debt principal outstanding under the tax increment financing or construction or building loan(s).

NOTE C – CASH RECEIPTS

JBA Ventures, LLC is the owner and operating entity for four-buildings intended to house 18 housing units. This projection considers only expected operating results from the first phase of the project consisting of two buildings housing 8 housing units. Revenue has been determined based on the knowledge and experience of the owners of JBA Ventures, LLC (and related parties) in the operation of similar facilities in the same locale. The projection assumes 100% occupancy of the 8 housing units at 4 – 2-bedroom units at \$1,500 and 4 – 1-bedroom units at \$1,250 per month for 12 months per year.

The projection includes two scenarios dependent on whether or not the tax increment financing (TIF) request is approved. In the event of TIF approval, JBA Ventures, LLC will receive additional TIF revenue from the County based on the anticipated increase in the assessed value generated by the proposed project and the additional real estate tax that increase will generate. Both the TIF financing and real estate taxes are subject to the final determination of assessed value.

NOTE D – CASH DISBURSEMENTS

Interest expense and principal debt service are based on the assumption that with the exception of any TIF financing assistance, the entire construction project Phase 1 will be financed through \$556,495 of capital contributions from the owners of JBA Ventures, LLC with additional debt incurred to cover the remaining anticipated construction and improvement costs.

See independent accountants' compilation report
Schroeder & Schreiner, P.C.

JBA Ventures, LLC

SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS, Continued

Twelve Months Ending After Project Phase 1 Completion

NOTE D – CASH DISBURSEMENTS, Continued

Phase 1 TIF debt is based on an initial \$950,392 principal balance that can be serviced with the anticipated incremental real estate tax generated by the project. The loan is expected to have a 15-year term with scheduled monthly payments of \$4,503 (annual \$54,036) and an interest rate of approximately 7.5%. This debt reflects only that incurred to cover the first phase of the project.

The remaining construction and land acquisition costs, not funded through tax increment financing, will be satisfied with \$556,495 of capital contributions and \$6,027,548 of bank debt for the residual obligation. All remaining non-TIF construction debt will have a 20-year term. All loans will have an annual interest rate of approximately 7.5%. Scenarios contemplating the denial of tax increment financing will assume bank debt replacing TIF financing at the same 15-year term and 7.5% annual interest rate as the equivalent TIF financing.

Projected real estate tax is expected to equal the current tax (for the 2022 year) plus additional tax generated by applying the current levy rate to the anticipated increase in assessed value to be generated by the construction project.

Projected costs for common area water, sewer and utilities; insurance; repairs and maintenance; professional fees; and other costs are all based on the experience of JBA Ventures, LLC's members and the expected occupancy of the facility.

This projection estimates a taxable loss under all reporting scenarios. Accordingly, in anticipation of passive activity loss limitations restricting the use of said losses, no member distributions to cover estimated individual income tax (or contributions to reflect estimated income tax benefits) based on tax law provisions expected to be in effect during the projection period have been considered. Although not a cash expenditure, estimated depreciation has been calculated and included in the projection to arrive at net taxable income. Estimated capitalized costs are depreciated under either the straight-line method for 27.5-year life building components or the 150 percent declining balance method for 15-year life paving and improvement components.

See independent accountants' compilation report
Schroeder & Schreiner, P.C.

JBA Ventures, LLC
Tax Increment Financing Application
Capitalization Rate Analysis

	<u>With Tax Increment Financing</u>	<u>Without Tax Increment Financing</u>
Net cash receipts (disbursements)	(132,945)	(234,933)
Add back: debt service	<u>248,791</u>	<u>295,749</u>
Net operating income	115,846	60,816
Divided by fair market value	2,942,035	2,942,035
Equals capitalization rate	3.94%	2.07%

Exhibit E

Resolution Number 2023-07

HALL COUNTY REGIONAL PLANNING COMMISSION

A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO A REDEVELOPMENT PLAN IN THE CITY OF GRAND ISLAND, NEBRASKA; AND APPROVAL OF RELATED ACTIONS

WHEREAS, the Chairman and Board of the Community Redevelopment Authority of the City of Grand Island, Nebraska (the “**Authority**”), referred the **Redevelopment Plan for CRA Area 31 requested by JBA Ventures LLC** to the Hall County Regional Planning Commission, (the “**Commission**”) for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska, pursuant to Section 18-2112 of the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the “**Act**”); and

WHEREAS, the Commission held a public hearing on the proposed plan on March 1, 2023, and

WHEREAS, the chair or president of Hall County Board, Grand Island School Board, Central Platte Natural Resources District, Educational Service Unit #10 and Central Community College were notified by certified mail of said hearing, and

WHEREAS, the Commission advertised the time, date and location public hearing in the Grand Island Independent on Friday February 10th and Friday February 17th, and

WHEREAS, there are no Neighborhood Associations registered with the City of Grand Island, and

WHEREAS, the Commission has reviewed said Redevelopment Plan as to its conformity with the general plan for the development of the City of Grand Island, Hall County;

NOW, THEREFORE, BE IT RESOLVED BY THE HALL COUNTY REGIONAL PLANNING COMMISSION AS FOLLOWS:

Section 1. The Commission hereby recommends approval of the Redevelopment Plan finding that it is in conformance with the comprehensive development plan (general plan for development) for the City of Grand Island.

Section 2. All prior resolutions of the Commission in conflict with the terms and provisions of this resolution are hereby expressly repealed to the extent of such conflicts.

Section 3. This resolution shall be in full force and effect from and after its passage as provided by law.

DATED: March 1, 2023

**HALL COUNTY REGIONAL PLANNING
COMMISSION**

ATTEST:

By: _____
Chair

By: _____
Secretary