Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting Packet

Commission Members:

Judd Allan	**Hall County**	
Tony Randone	**Grand Island**	
Darrell Nelson	**Grand Island**	
Hector Rubio	**Grand Island**	
Leonard Rainforth	**Hall County**	
Nick Olson	**Doniphan**	
Tyler Doane	**Wood River**	
Robin Hendricksen	**Grand Island**	
Jaye Monter	**Cairo**	**Vice Chairperson**
Pat O'Neill	**Hall County**	**Chairperson**
Greg Robb	**Hall County**	
Leslie Ruge	**Alda**	**Secretary**

Regional Planning Director: Chad Nabity

Planning Technician:
Rashad Moxey

Administrative Assistant:
Norma Hernandez

6:00 PM

Call to Order

Roll Call

A - SUBMITTAL OF REQUESTS FOR FUTURE ITEMS

Individuals who have appropriate items for City Council consideration should complete the Request for Future Agenda Items form located at the Information Booth. If the issue can be handled administratively without Council action, notification will be provided. If the item is scheduled for a meeting or study session, notification of the date will be given.

B - RESERVE TIME TO SPEAK ON AGENDA ITEMS

This is an opportunity for individuals wishing to provide input on any of tonight's agenda items to reserve time to speak. Please come forward, state your name and address, and the Agenda topic on which you will be speaking.

DIRECTOR COMMUNICATION

This is an opportunity for the Director to comment on current events, activities, and issues of interest to the commission.

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item A1

Agenda - March 1, 2023

Staff Contact:

THE REGIONAL PLANNING COMMISSION of Hall County, Grand Island, Wood River and the Villages of Alda, Cairo and Doniphan, Nebraska

AGENDA AND NOTICE OF MEETING
Wednesday, March 1, 2023
6:00 p.m.
City Hall Council Chambers — Grand Island

1. **Call to Order - This is a public meeting subject to the open meetings laws of the State of Nebraska. The requirements for an open meeting are posted on the wall in this room and anyone who would like to find out what those are is welcome to read through them**.

   The Planning Commission may vote to go into Closed Session on any Agenda Item as allowed by State Law.

   The Commission will discuss and may take action on any item listed on this agenda.

   The order of items on the agenda may be reorganized by the Chair to facilitate the flow of the meeting to better accommodate the public.

2. **Minutes of the January 11, 2022.**

3. **Request Time to Speak.**

4. **Public Hearing – Redevelopment Plan Amendment-Grand Island** Public hearing on an amendment to the redevelopment plan for CRA Area 31 south of South Street along Henry and Ada Streets (1703 Ada and 1703 Henry) Resolution 2023-07 (C-18-23GI)

5. **Public Hearing – Proposed Rezoning –Grand Island** Public Hearing regarding the rezoning of property located at south of South Street along Henry and Ada Streets (1703 Ada and 1703 Henry) from M2 Heavy Manufacturing to B2 General Business (C-14-23GI)

6. **Public Hearing – Proposed Rezoning – Rezoning-Grand Island** Public Hearing regarding the rezoning of Legacy 34 Second Subdivision Hall County, Nebraska. This property is located north of Husker Highway and west of Prairie View Street in the City of Grand Island. The request would rezone property from CD Commercial Development Zone and RD Residential Development Zone to an amended CD Commercial Development Zone and RD Residential Development Zone and B2 General Business. (C-15-23GI)

   a. **Final Plat – Legacy 34 Third Subdivision**- Grand Island - Located north of Husker Highway and west of Prairie View Street in the City of Grand Island. (28 lots, 13 Outlots 20.1 acres). This property is under consideration for rezoning to amend the current CD Commercial Development Zone and current RD Residential Development Zone along with adding a B2 General Business Zone.

PLEASE NOTE: This meeting is open to the public, and a current agenda is on file at the office of the Regional Planning Commission, located on the second floor of City Hall in Grand Island, Nebraska.

7. **Public Hearing – Redevelopment Plan – Grand Island.** Public Hearing Concerning a redevelopment plan for CRA Area No. 34 to allow for redevelopment of property located north of 13th Street and west of the Moore's Creek Drainway (Millennial Estates Subdivision as proposed) in Grand Island, Hall County, Nebraska. The request calls for redevelopment of this property for residential uses. Resolution 2023-08 (C-17-23GI)

8. **Public Hearing Proposed Changes to Zoning Ordinance – Grand Island** Concerning proposed amendments to 36-72 M-1 Light Manufacturing Zone 36-76 Commercial Development Zone and 36-99 Home Occupations. A copy of the proposed changes will be available at the Hall County Regional Planning Department office located at the Grand Island City Hall. (C-16-23GI)

9. **Public Hearing – Proposed Amendment to the Future Land Use Map –Alda** Public Hearing regarding a change to the future land use map for the Village of Alda for property located at the northeast corner of the intersection of 60th Road and Wildwood Drive (in the SW ¼ of the SW ¼ of 4-10-10) from Agriculture to Light Industrial. (C-19-23A)

10. **Public Hearing – Proposed Rezoning –Alda** Public Hearing regarding the rezoning for property located at the northeast corner of the intersection of 60th Road and Wildwood Drive (in the SW ¼ of the SW ¼ of 4-10-10) from TA Transitional Agriculture to I-1 Light Industrial Zone. (C-20-23A)

Consent Agenda

11. **Final Plat – Cunningham Farms Subdivision– Alda:** Located east of 60th Road and north of Wildwood Drive in Hall County, Alda ETJ. (1 Lot, 4.17 Acres)

12. **Final Plat – Rockford Subdivision – Alda**: Located north of Apollo Ave east of Alda Road in Alda. (3 Lots, 6.89 Acres)

13. **Final Plat – JMR Subdivision– Grand Island:** Located north of 4th Street and east of Wheeler Avenue in Grand Island NE. (2 Lots, 0.2.Acres)

14. **Final Plat – Gloe Acres Second Subdivision– Hall County**: Located south of Wildwood Drive and east of 110th Road in Hall County, NE. (1 Lot, 3.63 Acres)

15. **Comprehensive Plans**
    1. **Payment of Claims**
    2. **Update on Comp Plan Process**

16. **Directors Report**

17. **Next Meeting April 5 or 12**

18. **Adjourn.**

PLEASE NOTE: This meeting is open to the public, and a current agenda is on file at the office of the Regional Planning Commission, located on the second floor of City Hall in Grand Island, Nebraska.

Staff Recommendation Summary
For Regional Planning Commission Meeting
March 1, 2023

4. **Public Hearing – Redevelopment Plan Amendment-Grand Island** Public hearing on an amendment to the redevelopment plan for CRA Area 31 south of South Street along Henry and Ada Streets (1703 Ada and 1703 Henry) Resolution 2023-07 (C-18-23GI) **See Full Recommendation** (Hearing, Discussion, Action)

5. **Public Hearing – Proposed Rezoning –Grand Island** Public Hearing regarding the rezoning of property located at south of South Street along Henry and Ada Streets (1703 Ada and 1703 Henry) from M2 Heavy Manufacturing to B2 General Business (C-14-23GI) **See Full Recommendation** (Hearing, Discussion, Action)

6. **Public Hearing – Proposed Rezoning – Rezoning-Grand Island** Public Hearing regarding the rezoning of Legacy 34 Second Subdivision Hall County, Nebraska. This property is located north of Husker Highway and west of Prairie View Street in the City of Grand Island. The request would rezone property from CD Commercial Development Zone and RD Residential Development Zone to an amended CD Commercial Development Zone and RD Residential Development Zone and B2 General Business. This includes a preliminary and final plat for Legacy 34 Third Subdivision. (C-15-23GI) **See Full Recommendation** (Hearing, Discussion, Action)

7. **Public Hearing – Redevelopment Plan – Grand Island.** Public Hearing Concerning a redevelopment plan for CRA Area No. 34 to allow for redevelopment of property located north of 13th Street and west of the Moore's Creek Drainway (Millennial Estates Subdivision as proposed) in Grand Island, Hall County, Nebraska. The request calls for redevelopment of this property for residential uses. Resolution 2023-08 (C-17-23GI) **See Full Recommendation** (Hearing, Discussion, Action)

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intersection of 60th Road and Wildwood Drive (in the SW ¼ of the SW ¼ of 4-10-10) from Agriculture to Light Industrial. (C-19-23A) **See Full Recommendation** (Hearing, Discussion, Action)

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Consent Agenda

11. **Final Plat – Cunningham Farms Subdivision– Alda:** Located east of 60th Road and north of Wildwood Drive in Hall County, Alda ETJ. (1 Lot, 4.17 Acres) This is a onetime split from an existing 80 acre tract and if the zoning is changed to I-1 would still exceed the minimum size for the new zoning district. There are existing Quonset type buildings at this location.

12. **Final Plat – Rockford Subdivision – Alda**: Located north of Apollo Ave east of Alda Road in Alda. (3 Lots, 6.89 Acres). This property is zoned I-2 Heavy Industrial. This splits 2 lots into 3 with one building on each lot. All lots conform to the minimums sizes for this district.

13. **Final Plat – JMR Subdivision– Grand Island:** Located north of 4th Street and east of Wheeler Avenue in Grand Island NE. (2 Lots, 0.2.Acres) This splits 2 existing buildings onto separate platted lots. There is evidence that they were in separate ownership in the past with the west 22' feet of the lot separated from the east 44'. This will reestablish those property line with platted lots. Utilities are separated. The property is zoned B2 General Business.

14. **Final Plat – Gloe Acres Second Subdivision– Hall County**: Located south of Wildwood Drive and east of 110th Road in Hall County, NE. (1 Lot, 3.63 Acres) This adds additional property to an existing farmstead split in an A-1 Primary Ag district.

15. **Comprehensive Plans**
    1. **Payment of Claims**
    2. **Update on Comp Plan Process**

16. **Directors Report**

Next Meeting April 5 or 12

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item 1

Comprehensive Plan -

Staff Contact:

Project

HCRPC Comprehensive Plan

Phase	Contracted Amount	% Complete	Amount Complete	Amount left	Cummulative Amount Due
Project Kick-off and Organization	$ 37,300.00	100%	$ 37,300.00	$ -	$ 37,300.00
Envision HCRPC	$ 45,700.00	83%	$ 38,050.00	$ 7,650.00	$ 75,350.00
HCRPC Profile	$ 33,500.00	36%	$ 11,955.00	$ 21,545.00	$ 87,305.00
HCRPC Tomorrow	$ 49,500.00	3%	$ 1,300.00	$ 48,200.00	$ 88,605.00
Implementation Plan	$ 9,000.00	0%	$ -	$ 9,000.00	$ 88,605.00
HCRPC Zoning	$ 30,000.00	0%	$ -	$ 30,000.00	$ 88,605.00
Housing	$ 15,000.00	100%	$ 15,000.00	$ -	
	$ 220,000.00		$ 103,605.00	$ 116,395.00	$ 103,605.00

Total Contract	**$ 220,000.00**	**Total Amount Complete**	**$ 103,605.00**
		% Complete to date	**47.1%**
		Previously billed	$ 100,330.00
Amount Remaining on Contract	**$ 116,395.00**	**Amount due**	**$ 3,275.00**
		% due	**1.5%**

Actually Complete

Marvin Planning Consultants, Inc
382 N. 4th Street
PO Box 410
David City, NE 68632

Invoice

Date	Invoice #
2/1/2023	1380

Bill To

Hall Couny Regioanl Planning Commission
Chad Nabity
PO Box 1968
Grand Island, NE 68802-1968

P.O. No.	Terms	Due Date	Account #	Project
	Net 30	3/3/2023		

Description	Qty	Rate	Amount
See attached pdf		3,275.00	3,275.00
Out-of-state sale, exempt from sales tax		0.00%	0.00

Total	$3,275.00
Payments/Credits	$0.00
Balance Due	$3,275.00

Phone #	E-mail
402.367.5031	kmarvin@marvinplanning.com

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item E1

Minutes - January 11, 2023

Staff Contact:

THE REGIONAL PLANNING COMMISSION OF HALL COUNTY, GRAND ISLAND, WOOD RIVER AND THE VILLAGES OF ALDA, CAIRO, AND DONIPHAN, NEBRASKA

Minutes
for
January 11, 2023

The meeting of the Regional Planning Commission was held Wednesday, January 11, 2023 at City Hall – Grand Island, Nebraska. Notice of this meeting appeared in the "Grand Island Independent" on January 4, 2023.

Present:	Leslie Ruge	Judd Allan
	Greg Robb	Leonard Rainforth
	Hector Rubio	Darrel Nelson
	Jaye Monter	Tyler Doane

Absent: Pat O'Neill, Tony Randone, Brent Stevenson and Robin Hendricksen

Other:

Staff: Chad Nabity and Norma Hernandez

Press:

1. Call to order.

Vice Chairman Monter called the meeting to order at 6:00 p.m.

Monter stated that this was a public meeting subject to the open meetings laws of the State of Nebraska. He noted that the requirements for an open meeting are posted on the wall in the room and easily accessible to anyone who may be interested in reading them.

Monter also noted the Planning Commission may vote to go into Closed Session on any agenda item as allowed by State Law.

The Commission will discuss and may take action on any item listed on this agenda.

The order of items on the agenda may be reorganized by the Chair to facilitate the flow of the meeting to better accommodate the public.

2. **Minutes of the December 7, 2022 meeting.**

A motion was made by Robb and second by Nelson to approve the minutes of the December 7, 2022 meeting.

The motion carried with four members voting in favor (Nelson, Ruge, Robb, Monter, and Doane) and three member abstaining (Allan, Rainforth and Rubio), no members voting no or (O'Neill, Stevenson, Hendricksen and Randone were absent).

3. **Request Time to Speak.**

4. **Vacate Plate – V & B Subdivision – Hall County –** A tract of land comprising a part of the Northeast Quarter (NE ¼) of Section Thirty (30), Township Twelve (12) North, Range Ten (10) West of the 6th PM, Hall County, Nebraska.

A motion was made by Rainforth and second by Rubio to approve request to vacate V & B Subdivision.

The motion was carried with eight members voting in favor (Nelson, Allan, Ruge, Robb, Monter, Rainforth, Rubio and Doane), no members voting no or abstaining, (O'Neill, Stevenson, Hendrickson, and Randone were absent).

Consent Agenda:

5. **Final Plat – Seis Semanas Subdivision – Hall County:** Located south of White Cloud Rd and west of 70th Road in Hall County. (1 Lot, 5.372 Acres)

6. **Final Plat – Ben R. Davis Subdivision – Grand Island:** Located south of Anderson Ave and east of Pine Street in Grand Island, NE. (2 Lots, .31 Acres)

7. **Final Plat – The Orchard Third Subdivision – Grand Island –** Located south of 19th Street and east of Peach Street in Grand Island, NE (63 Lots, 7.630 Acres)

A motion was made by Ruge and second by Rainforth to approve all items on the consent agenda.

The motion was carried with eight members voting in favor (Nelson, Allan, Ruge, Robb, Monter, Rainforth, Rubio and Doane), no members voting no or abstaining, (O'Neill, Stevenson, Hendrickson, and Randone were absent).

8. Comprehensive Plan Payment of Claims

A motion was made by Nelson and second by Allan to approve the payment of claims – Marvin Planning Consultants in the amount of $5,800.00.

The motion was carried with eight members voting in favor (Nelson, Allan, Ruge, Robb, Monter, Rainforth, Rubio and Doane), no members voting no or abstaining, (O'Neill, Stevenson, Hendrickson and Randone were absent).

9. Director's Report.

Comprehensive Plan Community Meeting – Tuesday, January 31st 6pm-8pm at Tommy Gunz.

10. Next Meeting February 1, 2023 in the CMR.

11. Adjourn.

O'Neill adjourned the meeting at 6:18 p.m.

_____

Leslie Ruge, Secretary
By Norma Hernandez

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F1

Public Hearing - Redevelopment Plan Amendment - Grand Island - JBA Ventures - CRA Area 31 - South Street and Henry and Ada Streets

Staff Contact:

Agenda Item # 4

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 15, 2023

SUBJECT:

Redevelopment plan amendment for property located in Blight and Substandard Area 31 located south of South Street along Henry and Ada Streets, in Grand Island, Hall County, Nebraska to support this development. (C-18-23GI)

PROPOSAL:

JBA Ventures LLC is proposing to develop the properties described above for residential purposes. The property is zoned a combination of M-2 Heavy Manufacturing but the applicants have requested a zoning changes to B2 General Business zone, the same zoning district as adjoining properties to the south. Residential uses are permitted in the B2 zoning district and properties to the south are already used and have been used for residential purposes for at least 30 years.

OVERVIEW:

The purpose of the CRA and the designated blight and substandard area is to provide incentives for development in underdeveloped areas of the community. This area has already been declared blighted and substandard the Grand Island City Council.

This project is **consistent** with the **proposed zoning** and the **future land use plan** for this area within the City of Grand Island. This development will promote housing construction in Grand Island.

The Regional Planning Commission recommendation is limited to the appropriateness of the proposed use at this location. The Grand Island Comprehensive Plan calls for the development of a medium density residential to office uses at this location.

The Planning Commission is required to comment on these applications to confirm that expenditure of public funds through TIF is not supporting uses that would be inconsistent with the comprehensive plan. The proposed use for a residential development at this location appears to be supported by the plan.

RECOMMENDATION:

That the Regional Planning Commission recommends find that the redevelopment plan is consistent with the Comprehensive Plan (general plan for development) of the city of Grand Island. A resolution is attached for your consideration.

_____ Chad Nabity AICP, Planning Director

Redevelopment Plan Amendment
Grand Island CRA Area 31
February 2023

The Community Redevelopment Authority (CRA) of the City of Grand Island intends to amend the Redevelopment Plan for Area 31 with in the city, pursuant to the Nebraska Community Development Law (the "Act") and provide for the financing of a specific redevelopment project in Area 31.

Executive Summary:

Project Description
THE REDEVELOPMENT OF PROPERTIES LOCATED AT 1703 HENRY STREET AND 1703 ADA STREET FOR RESIDENTIAL USES.

The use of Tax Increment Financing to aid in rehabilitation expenses associated with redevelopment of the both the Henry and Ada Street properties. The developer is proposing to develop multifamily residential in four buildings with 18 units (10 one bedroom and 8 two bedroom) at this location. This project would not be feasible without the use of TIF.

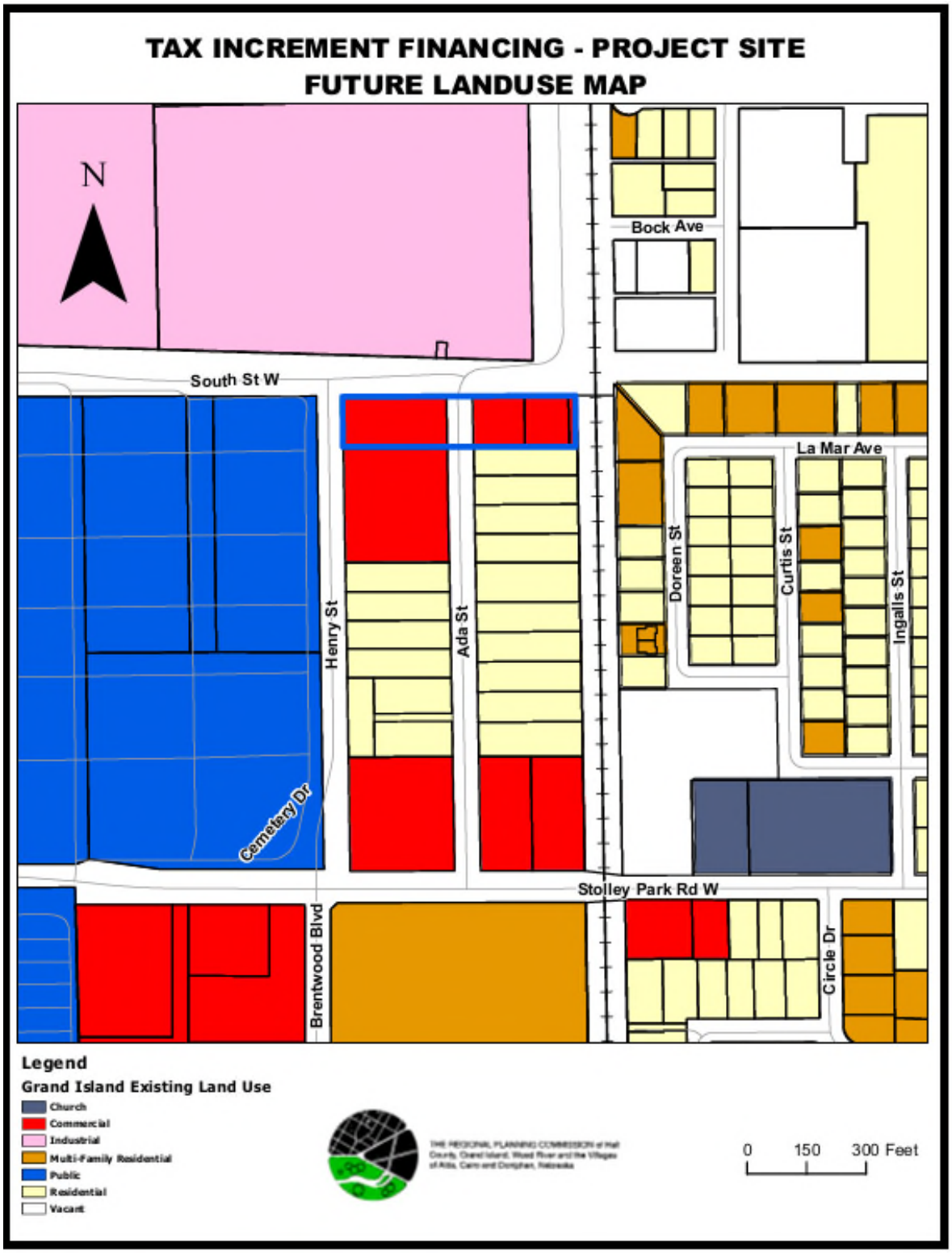
The developer is responsible for and has provided evidence that they can secure adequate debt financing to cover the costs associated with the remodeling and rehabilitation of this building.

The Grand Island Community Redevelopment Authority (CRA) intends to pledge the ad valorem taxes generated over the 15 year period beginning January 1, 2025 towards the allowable costs and associated financing for rehabilitation.

TAX INCREMENT FINANCING TO PAY FOR THE REHABILITATION OF THE PROPERTY WILL COME FROM THE FOLLOWING REAL PROPERTY:
Property Description (the "Redevelopment Project Area")

The properties are located at 1703 Henry Street and 1703 Ada Street in Grand Island Nebraska, the attached map identifies the subject property and the surrounding land uses.

Legal Descriptions: Lots 1 and 2 of Block 2 of Dawn Subdivision and the West 111 feet of lot 1 and all of lot 2 of Block 1 of Dawn Subdivision in the City of Grand Island, Hall County, Nebraska.



Existing Land Use and Subject Property

The tax increment will be captured for the tax years the payments for which become delinquent in years 2024 through 2041 inclusive for no more than a 15 year period on any portion of the project.

The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase will come from the construction of 4 apartment buildings on these lots.

Statutory Pledge of Taxes.
In accordance with Section 18-2147 of the Act and the terms of the Resolution providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

a. That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and

b. That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

1. The Redevelopment Project Area has been declared blighted and substandard by action of the Grand Island City Council on July 28, 2020.[§18-2109] Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.

2. Conformation to the General Plan for the Municipality as a whole. [§18-2103 (13)

(a) and §18-2110]

Grand Island adopted a Comprehensive Plan on July 13, 2004. This redevelopment plan amendment and project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended. The Hall County Regional Planning Commission held a public hearing at their meeting on March 1, 2023 and passed Resolution 2023-xx confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island.

3. The Redevelopment Plan must be sufficiently complete to address the following items: [§18-2103(13) (b)]

a. Land Acquisition:

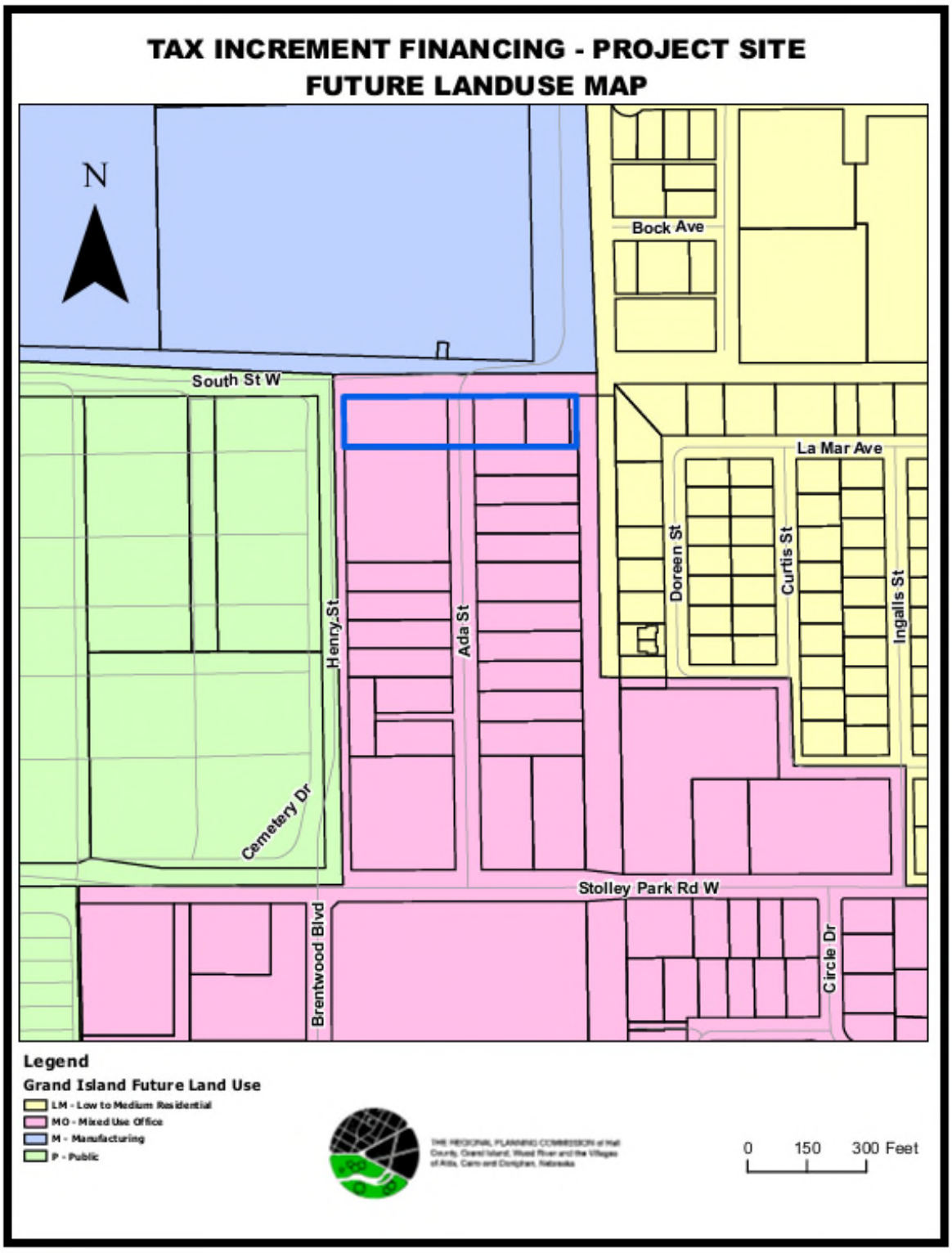
The Redevelopment Plan for Area 1 provides for real property acquisition and this plan amendment does not prohibit such acquisition. The developer has acquired the property and will be including acquisition as an eligible activity. There is no proposed acquisition by the authority.

b. Demolition and Removal of Structures:

The project to be implemented with this plan does provide for the demolition and removal any structures on this property. Some structures have already been demolished and removed to prepare for this project and those expenses will be eligible for reimbursement as permitted by statutes.

c. Future Land Use Plan

See the attached map from the 2004 Grand Island Comprehensive Plan. All of the area around the site in private ownership is planned for mixed use manufacturing development; this includes uses allowed in the general business district like housing and more intense uses like those found north of this site. A majority of the development along Henry and Ada Streets south of South Street is multifamily residential in nature and has been for more than 25 years. This property is in private ownership. [§18-2103(b) and §18-2111] The attached map also is an accurate site plan of the area after redevelopment. [§18-2111(5)]



City of Grand Island Future Land Use Map

d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.

The area is zoned M2 Heavy Manufacturing zone. The developer has submitted a request to change the zoning to B2 General Business. All of the properties south of these are zoned B2 and such changes would be consistent with the future land use map. No changes are anticipated in street layouts or grades. No changes are anticipated in building codes or ordinances. Nor are any other planning changes contemplated. [§18-2103(b) and §18-2111]

e. Site Coverage and Intensity of Use

The B2 zone would allow residential uses at a density of up to 1 unit per 1000 square feet of property with up to 100% of property covered with a 10 foot setback along the street sides. [§18-2103(b) and §18-2111]

f. Additional Public Facilities or Utilities

- Sewer and water are available and can be extended to support this development.
- Electric utilities are sufficient for the proposed use.
- No other utilities would be impacted by the development.
- The developer will be responsible for installing any sidewalks needed with this project.

No other utilities would be impacted by the development. [§18-2103(b) and §18-2111]

4. The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation. This property is vacant and has not been used for any residential purposes. [§18-2103.02]

5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106] No members of the authority or staff of the CRA have any interest in this property.

6. Section 18-2114 of the Act requires that the Authority consider:

a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.

The developer has established a purchase price of the property of $460,000. The estimated costs for demolition and site work are $94,000. Total costs for utilities and public streets and sidewalks and private streets is estimated at $533,787. Architecture and planning fees will be $25,859. Legal and fees for reimbursement to the City and the CRA for costs to prepare the contract and monitor the project over the course of the development of $10,000 are included in the eligible expenses. The total of eligible expenses for this project exceeds $1,124,000. The developer will also invest almost $6,000,000 in private funds into the construction of the project.

No property will be transferred to redevelopers by the Authority. The developer will provide and secure all necessary financing.

b. Statement of proposed method of financing the redevelopment project.

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of $950,932 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2025 through December 2040.

c. Statement of feasible method of relocating displaced families.

No families will be displaced as a result of this plan.

7. Section 18-2113 of the Act requires:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the Comprehensive Plan. This will have the intended result of preventing recurring elements of unsafe buildings and blighting conditions some of these have been demolished prior to consideration of this plan in anticipation of this project. These residential units will be similar to the ones located south of this property that were developed in the mid to late 1990's.

8. Time Frame for Development

Development of this project is anticipated to be completed by December of 2025. Excess valuation should be available for this project for 15 years on each structure beginning with the 2025 tax year.

9. Justification of Project

Housing is a critical need in Grand Island and across Nebraska. This project would add 18 units of housing similar to the housing that has been located on Henry and Ada streets since the mid 1990's.

10. Cost Benefit Analysis Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, *Neb. Rev. Stat.* (2012), the City of Grand Island has analyzed the costs and benefits of the proposed Redevelopment Project, including:

Project Sources and Uses. Approximately $950,932 in public funds from tax increment financing provided by the Grand Island Community Redevelopment Authority will be required to complete the project. This investment by the Authority will leverage $6,604,164 in private sector financing; a private investment of $6.92 for every TIF dollar invested.

Use of Funds	Source of funds		
Description	**TIF Funds**	**Private Funds**	**Total**
Acquisition	$460,000		$460,000
Building Costs		$5,919,726	$5,919,726
Demolition	$54,000		$54,000
Utilities	$302,197	$8,500	$310,792
Public Streets/Sidewalk	$84,735		$84,735
Private Streets		$138,800	$138,800
Grading/Dirtwork	$40,000		$40,000
Planning (Arch. & Eng.)		$25,859	$25,859
Financing fees/ audit		$491,063	$491,063
Legal/ TIF contract	$10,000		$10,000
Total	$950,932	$6,583,948	$7,534,975

Tax Revenue. The property to be redeveloped is anticipated to have a January 1, 2024, valuation of approximately $213,282. Based on the 202e levy this would result in a real property tax of approximately $4,514. It is anticipated that the assessed value will increase by $5,247,186 upon full completion, as a result of the site redevelopment. This development will result in an estimated tax increase of over $111,042 annually. The tax increment gained from this Redevelopment Project Area would not be available for use as city general tax revenues, for a period of 15 years on each phase of the project, or such shorter time as may be required to amortize the TIF bond, but would be used for eligible private redevelopment costs to enable this project to be realized.

Estimated 2022 assessed value:	$ 213,282
Estimated value after completion	$5,460,468
Increment value	$5,247,186
Annual TIF generated (estimated)	$ 111,042
TIF bond issue	$ 950,932

(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;

The redevelopment project area currently has an estimated valuation of $213,282 The proposed redevelopment will create additional valuation of $5,247,186. No tax shifts are anticipated from the project outside of the use of TIF to support the redevelopment. It is not anticipate that any additional tax burdens will be assumed by public entities as a result of this project. The project creates additional valuation that will support taxing entities long after the project is paid off.

(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;

Existing water and waste water facilities are sufficient to accommodate this development but will need to be extended to serve the properties. The electric utility has sufficient capacity to support the development. It is not anticipated that this will impact schools in any significant way. Fire and police protection are available and should not be negatively impacted by this development.

(c) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project;

This will not have an impact on employers within the area..

(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on other employers in any manner different from any other expanding business within the Grand Island area. This will provide residential options for residents of Grand Island.

(e) Impacts on student populations of school districts within the City or Village:

This development will have a minimal impact on the Grand Island School system as it will likely not result in any increased attendance. The majority of the units to be developed with this project are two bedroom units and unlikely to be a family unit, especially for families with school age children. The developer intends to market these primarily to seniors 59 years and older.

The average number of persons per household in Grand Island for 2015 to 2019 according the American Community Survey is 2.61. According to the 2020 census 19.8% of the population of Grand Island was between the ages of 5 and 18. 2020 census and 2022 ACS. If the averages hold it would be expected that there would be a maximum of 19 school age child generated by this development. This is mitigate by the fact that 10 of the 18 proposed units are one bedroom units and the other 8 units are only two bedroom.

(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.

This project will expand housing opportunities in the city and is infill development that will not create additional costs for the city.

Time Frame for Development

Development of this project is anticipated to be completed by December of 2025. The base tax year will vary between January 1, 2024 or 25 and January 1, 2026. Excess valuation should be available for each phase of this project for 15 years beginning in

2024 with taxes due in 2025. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 18 years with no more than 15 years on any phase of the project or an amount not to exceed $950,932 the projected amount of increment based upon the anticipated value of the project and current tax rate. Based on the estimates of the expenses of the rehabilitation the developer will spend at least $1,124,000 on TIF eligible activities in excess of other grants given.

COMMUNITY REDEVELOPMENT AUTHORITY

BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST

Project Redeveloper Information

Business Name:
JBA Ventures, LLC

Address:
114 N. Custer Ave. Grand Island, NE 68803

Telephone No.: 308-390-0351 Fax No.: 308-382-3553

Email: JBAventuresGI@gmail.com

Contact:
Riley Baasch

Application Submission Date: _____

Brief Description of Applicant's Business:

JBA Ventures, LLC is organized as a Nebraska LLC. Subsequent to project completed (pending TIF approval), the company will operate and lease housing units for those aged 59+ located at the project site. Upon completion of all phases of the proposed project, a total of 4 buildings housing 18 units will be available.

Legal Description/Address of Proposed Project

1703 & 1704 Ada St. and 1704 Henry St. Grand Island, NE 68803, Dawn sub W.111' Lt 1 Blk 1, Dawn sub lot 2 Blk 1, Dawn sub lots 1&2 Blk 2

Community Redevelopment Area Number _____

Present Ownership Proposed Project Site:
JBA Ventures, LLC

Is purchase of the site contingent on Tax Increment Financing Approval? Yes ☐ No ☑

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

Site preparation at Dawn Subdivision, including concrete work, infrastructure (sewer and electric), landscaping, fencing, etc. and the construction of 4 buildings intended for residential living by those aged 59+. Phase 1 consists of 8 housing units, consisting of both 1-bedroom or 2-bedroom floor plans. Phase 2 consist of 10 housing units, consisting of 1-bedroom floor plans or 2-bedroom floor plans. Once both phases are completed over three years there will be 18 housing units, 10 1-bedroom floor plans and 8 2-bedroom floor plans

If Property is to be Subdivided, Show Division Planned:

VI. Estimated Project Costs:

Acquisition Costs:	
A. Land	$ 460,000
B. Building	$ 0
Construction Costs:	
A. Renovation or Building Costs:	$ 5,919,726
B. On-Site Improvements:	
Sewer	$ 26,088
Water	$ 22,100
Electric	$ 250,444
Gas	$ 11,620
Public Streets/Sidewalks	$ 84,735

Private Streets		$ 138,800
Trails		$
Grading/Dirtwork/Fill		$ 40,000
Demolition		$ 54,000
Other		$
Total		$ 7,007,513

Soft Costs:

A.	Architectural & Engineering Fees:		$ 25,859
B.	Financing Fees:		$ 491,063
C.	Legal & Accounting		$ 10,000
D.	Developer Fees:		$
E.	Audit Fees		$
F.	Contingency Reserves:		$
G.	Other (Please Specify)		$
		TOTAL	$ 7,534,435

Total Estimated Market Value at Completion: $ 5,460,468

Source for Estimated Market Value: Market value arrived at using the lessor of cost or estimated assess value provided by Hall County Assessor

Source of Financing:

A.	Developer Equity:	$ 556,495
B.	Commercial Bank Loan:	$ 6,027,548
C.	Tax Credits:	
1.	N.I.F.A.	$
2.	Historic Tax Credits	$
3.	New Market Tax Credits	$
4.	Opportunity Zone	$
D.	Industrial Revenue Bonds:	$
E.	Tax Increment Assistance:	$ 950,392
F.	Enhanced Employment Area	$

Form Updated 7-25-2019cn

Note 1: TIF requested at zero lending rate is $1,615,009. After applying a 7.5% lending rate on a 15-year term note with monthly payments the principal amount is $950,392 (interest component is $664,617)

G. Nebraska Housing Trust Fund $ _____

H. Other $ _____

Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:

Architect: Stacy Spotanski, Spotanski Creative Building, Design & Drafting, LLC. 1811 W 2nd St, Ste 296, Grand Island, NE 68803 stacy@spotanskicbdd.com, 308-850-8186.

Engineer: Nate Jensen, Olsson, 201 E. Second St. Grand Island, NE 68801, njensen@olsson.com, 308-384-8750.

General Contractor: Brad Shearer, Fast Track Buildings & Construction, 3090 W. 2nd St. Grand Island, NE 68803. 308-379-6099. freedomshearerne@msn.com

Estimated Real Estate Taxes on Project Site Upon Completion of Project:
(Please Show Calculations)

See Exhibit B for details

Project Construction Schedule:

Construction Start Date:
2023

Construction Completion Date:
2025

If Phased Project:

2023	Year	50	% Complete
2025	Year	100	% Complete
	Year		% Complete
	Year		% Complete
	Year		% Complete
	Year		% Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma

(With Appropriate Schedules)

TAX INCREMENT FINANCING REQUEST INFORMATION

Describe Amount and Purpose for Which Tax Increment Financing is Requested:

$1,615,009 of tax increment financing (based on a 0% lending rate) is being requested to assist in the construction of 4 buildings to be located in the Dawn Subdivision of Hall County which are intended to create a total of 18 homes for those 59+ upon completion. The two-phase project involves the construction of the housing units, as well as concrete work for the foundations and all necessary access roads, in addition to appropriate sewer and electrical hookups to the city water and electric facilities.

The TIF funds will enable the project to be undertaken, resulting in vast improvements to the current location with the development of an area that will help to satisfy an underutilized occupancy demand of Grand Island.

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing for Proposed Project:

Tax increment financing is an integral and essential component to project completion, which is contingent upon receipt of the expected tax increment assistance. Feasibility is dependent on TIF funds that will enable the creation of adequate economics in operating the new development at a competitive rate in the specified area (See Exhibit E for the capitalization rate analysis).

Municipal and Corporate References (if applicable). Please identify all other Municipalities, and other Corporations the Applicant has been involved with, or has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

Tim Wojcik
Five Points Bank
2015 N Broadwell
Grand Island NE 68801

Tom Champoux
Unico
1128 Lincoln Mall, Suite 200
Lincoln, NE 68508

Post Office Box 1968
Grand Island, Nebraska 68802-1968
Phone: 308 385-5240
Fax: 308 385-5423
Email: cnabity@grand-island.com

JBA Ventures, LLC
Tax Increment Financing Request
Estimated Real Estate Taxes on Project Site Upon Completion of Project

Existing Assessed Value and Real Estate Tax on Project Site

Parcel Number	Assessed Value (2022) Improvements	Land	Total	Taxes	Sq Feet	Mil Rate
400040387	26,909	14,368	41,277	874	14,368	2.1162391%
400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	
Subdivided Sq Ft	65,196	65,196	65,196	65,196		
Divided by total existing	65,196	65,196	65,196	65,196		
Ratio	1.000000	1.000000	1.000000	1.000000		
Estimated subdivision	148,086	65,196	213,282	4,514		

Estimated Real Estate Taxes on Project Site Upon Completion of Project

	2022 Assessment	Note 1 Limitation
2022 taxes assessed on site prior to project commencement	4,514	
Divided by base assessed value	213,282	
Estimated tax rate	2.116220%	
Proposed assessed value	5,460,468	
Estimated annual real estate tax after project completion	115,556	
Less existing annual real estate tax	(4,514)	
Estimated increase in annual real estate tax	111,042	107,667
	15	15
Requested TIF assistance at zero percent lending rate	1,665,630	1,615,009

Principal debt service at indicated rate		Rate	Principal	Principal
With annual note payments	PVA	7.50%	980,181	950,392
With monthly note payments	PVA	7.50%	998,207	967,870

Notes:

1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

Exhibit B

JBA Ventures, LLC
Tax Increment Financing Request
Estimated Real Estate Taxes on Project Site Upon Completion of Project

Existing Assessed Value and Real Estate Tax on Project Site

Parcel Number	Assessed Value (2022) Improvements	Land	Total	Taxes	Sq Feet	Mil Rate
400040387	26,909	14,368	41,277	874	14,368	2.1162391%
400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	

Estimated Real Estate Taxes on Project Site Upon Completion of Project

	2022 Assessment Phase 1	Phase 2	Total	Note 1 Limitation
2022 taxes assessed on site prior to project commencement	2,249	2,264	4,514	
Divided by base assessed value	106,294	106,988	213,282	
Estimated tax rate	2.116220%	2.116220%	2.116220%	
Proposed assessed value	2,706,672	2,753,796	5,460,468	
Estimated annual real estate tax after project completion	57,279	58,276	115,556	
Less existing annual real estate tax	(2,249)	(2,264)	(4,514)	
Estimated increase in annual real estate tax	55,030	56,012	111,042	107,667
	15	15	15	15
Requested TIF assistance at zero percent lending rate	825,446	840,184	1,665,630	1,615,009

Principal debt service at indicated rate		Rate	Principal	Principal	Principal	Principal
With annual note payments	PVA	7.50%	485,754	494,427	980,181	950,392
With monthly note payments	PVA	7.50%	494,687	503,520	998,207	967,870

Notes:

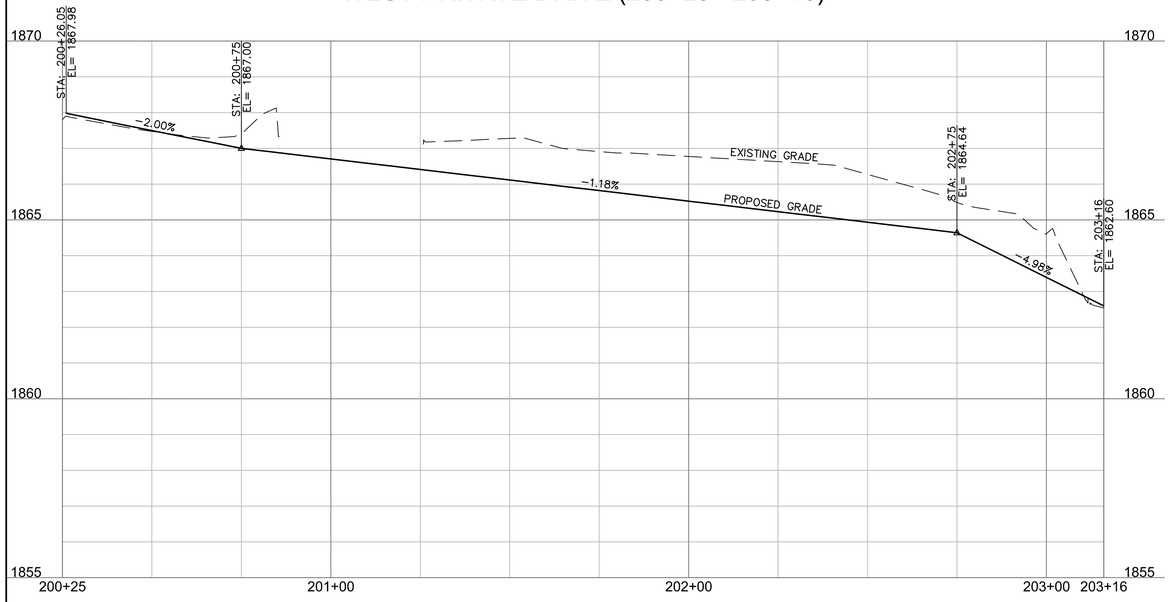
1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

JBA Ventures LLC
Project Cost Summary

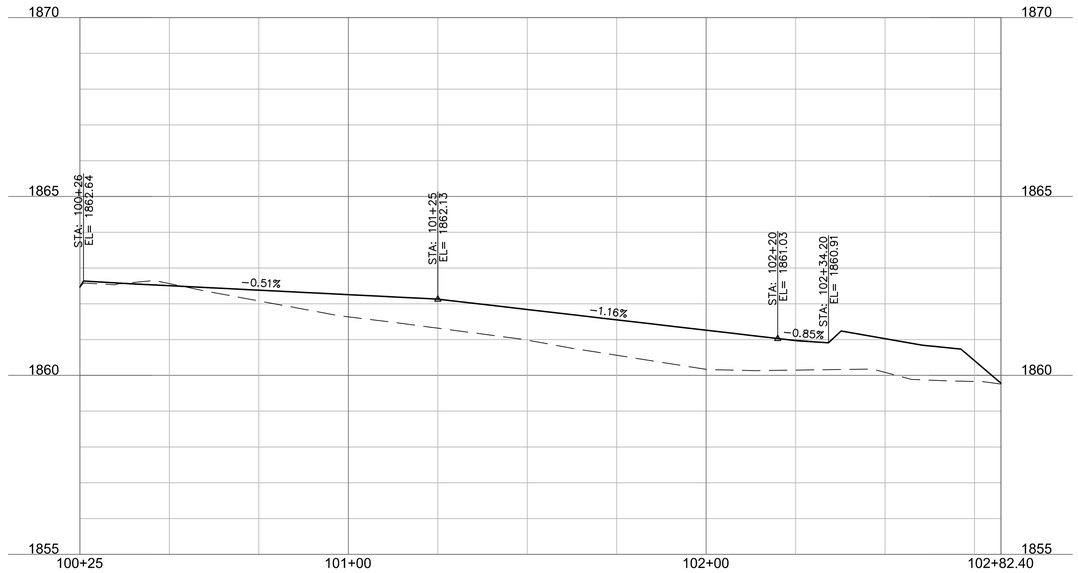
Description	Phase #1 Amount	Phase #2 Amount	Total	TIF Qualified (Q) Non-Qualified (NQ)
TIF qualified sitework	55,000	39,300	94,300	Q
TIF non-qualified sitework building costs	11,730	14,664	26,394	NQ
Subtotal	66,730	53,964	120,694	
TIF qualified concrete	110,143	113,392	223,535	Q
TIF non-qualified concrete	312,296	401,128	713,424	NQ
Subtotal	422,439	514,520	936,959	
TIF qualified plumbing	59,808	-	59,808	Q
TIF non-qualified plumbing	135,392	169,240	304,632	NQ
Subtotal	195,200	169,240	364,440	
TIF qualified electrical	110,195	140,249	250,444	Q
TIF non-qualified electrical	111,218	139,226	250,444	NQ
Subtotal	221,413	279,475	500,888	
Non-qualified building costs	2,024,170	2,600,362	4,624,532	NQ
Total project costs per construction pro-forma	2,929,952	3,617,561	6,547,513	
Other costs:				
Land	460,000	-	460,000	Q
Architect/Engineer	25,859	-	25,859	Q
Financing	219,746	271,317	491,063	Q
Legal & accounting	10,000	-	10,000	Q
Total project costs	3,645,557	3,888,878	7,534,435	
Total TIF qualified costs (Q)	1,050,751	564,258	1,615,009	
Total TIF non-qualified costs (NQ)	2,594,806	3,324,620	5,919,426	
Total project costs	3,645,557	3,888,878	7,534,435	

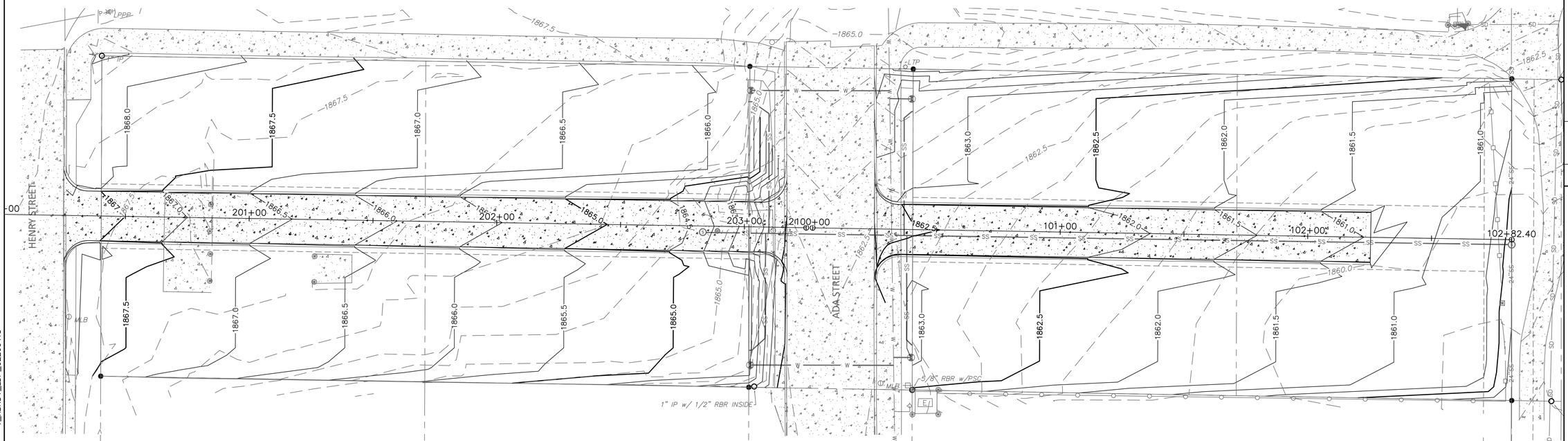
Exhibit C

WEST PRIVATE DRIVE (200+25 - 203+16)



EAST PRIVATE DRIVE (100+25 - 102+82.40)





GRADING NOTES:

1. ALL CONTOURS SHOWN ARE FOR FINISHED GRADE OR TOP OF SLAB. SPOT ELEVATIONS REPRESENT TOP OF SLAB OR TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED. TOPSOIL CAN BE REDISTRIBUTED AROUND THE SITE AFTER PAVING IS COMPLETE. ALL UNSURFACED AREAS DISTURBED SHALL RECEIVE 6 INCHES OF TOPSOIL, MINIMUM.
3. AFTER TOPSOIL IS STRIPPED, ALL DISTURBED AREAS TO BE BUILT UPON SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
4. STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY, AND −2 TO +3 OPTIMUM MOISTURE. SITE FILL SHALL BE OF APPROVED MATERIALS, FREE OF ORGANIC MATTER. FILL SHALL BE PLACED IN THIN LIFTS (8 INCHES RECOMMENDED, AND SHALL EXTENT 5' BEYOND BUILDING LIMITS.)
5. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
6. NON−LOADED LANDSCAPED/GRASS AREAS TO RECEIVE FILL SHALL BE COMPACTED TO 92% STANDARD PROCTOR DENSITY.
7. AREAS THAT ARE TO BE CUT TO SUBGRADE ELEVATION SHALL BE SCARIFIED AND RECOMPACTED, A DEPTH OF 12" TO A MINIMUM OF 98% STANDARD PROCTOR.
8. TOTAL DISTURBED AREA REQUIRED TO COMPLETE THE EARTHWORK SHOWN IS APPROXIMATELY 1.5 AC. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL MEASURES DURING GRADING OPERATIONS.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. CUT − 470 CY
    FILL − 1,012 CY
    (NO FILL FACTOR APPLIED)

EXHIBIT D

olsson
201 East 2nd Street
Grand Island, NE 68801
TEL 308.384.8750
www.olsson.com

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
November 28, 2022
DATE PRINTED
OLSSON

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

GRADING PLAN

BAASCH SUBDIVISION

2022

GRAND ISLAND, NE

drawn by:	HM
checked by:	NJ
approved by:	NJ
QA/QC by:	
project no.:	022-00418
drawing no.:	C_GRD_02200418
date:	11/28/2022

SHEET
1 of 1

DWG: F:\2022\00001-00500\022-00418\40-Design\AutoCAD\Final Plans\Sheets\GNC\VC_GRD_02200418.dwg USER: njensen
DATE: Nov 28, 2022 5:45pm XREFS: C_PBASE_02200418 V_XBNDY_LDP_02200418

olsson
201 East 2nd Street
Grand Island, NE 68801
TEL 308.384.8750
www.olsson.com

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
November 29, 2022
DATE PRINTED
OLSSON

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

CONCEPT PLAN

BAASCH SUBDIVISION

GRAND ISLAND, NE

2022

drawn by: NJ
checked by: NJ
approved by:
QA/QC by:
project no.: 022-00418
drawing no.:
date: 2022/11/23

SHEET
1 of 1

DWG: F:\2022\00001-00500\022-00418\40-Design\Exhibits\Subdivision Layout.dwg USER: njensen
DATE: Nov 29, 2022 10:58am XREFS: V_XBNDY_LDP_02200418

NEW 4-PLEX FOR

GRAND ISLAND, NE.

GENERAL NOTES

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEADS RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
2. THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES VARY WIDELY AND ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE BEING MET.
3. DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
4. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
5. ALL DIMENSIONS ARE TAKEN FROM/TO ROUGH STUDS OF A DIMENSION OF EITHER 5½" (2x6 STUDS), 3½" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY.
6. DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS. FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
7. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
8. CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
9. SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

MATERIAL INDICATIONS

CONCRETE | PLYWOOD | BATT INSUL. | STONE | BRICK

WOOD STUDS | WOOD BLOCKING | RIGID INSUL. | EARTH | PLASTER

METAL STUDS | CERAMIC TILE | CMU (STD. WT.) | GRAVEL/SAND FILL. | GYPSUM BOARD

FINISH WOOD | ACOUSTICAL PANEL | CMU (LT. WT) | METAL SECTION | METAL (LARGE SCALE)

GRAPHIC SYMBOLS

SITE SPOT ELEVATION
NEW FINISH SPOT GRADE + 1107.33
NEW AND EXISTING FINISH SPOT GRADE + N: 1107.33 E: 1104.88
TOP OF CURB BOTTOM OF CURB + TC: 1107.33 BC: 1104.88

EXISTING CONTOUR LINE

NEW CONTOUR LINE

PROPERTY LINE

CENTER LINES/PROJECTED LINE

MATCH LINE

LEVEL LINE

MAIN FLOOR ELEV. = 100'-0"

NEW/EXISTING WALL CONSTRUCTION
NEW | EXISTING (SCREENING)

ROOM NAME AND NUMBER
I.T. A108

DOOR NUMBER
100A

WINDOW TYPE
B

KEY NOTES
INDICATES A NOTE FOR A SPECIFIC ITEM — 1
ALL KEY NOTES ARE COMPILED UNDER THE TITLE BAR "KEY NOTES".

REVISION
1

COLUMN GRID LINE
E

BUILDING SECTION / WALL SECTION
B A3.01 — INDICATES VIEW DIRECTION; INDICATES BUILDING SECTION (LETTER); INDICATES WALL SECTION (NUMBER); SHEET WHERE DETAIL IS DRAWN

BUILDING SECTION / WALL SECTION
4 5.2 A6.02 — DETAIL NUMBER; SHEET WHERE DETAIL IS DRAWN

INTERIOR ELEVATIONS
1 A6.02 — INDICATES ELEVATION DIRECTION; INDICATES ELEVATION NUMBER; INDICATES SHEET NUMBER ELEVATION OCCURS ON

GENERAL ABBREVIATIONS

A

AB	ANCHOR BOLT
A/C	AIR CONDITIONER
ACC	ACCESS(IBLE) (ORIES)
ACCOUS	ACOUSTICAL
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADJC	ADJACENT
A/E	ARCHITECT/ENGINEER
AFF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
ANC	ANCHOR(AGE)
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT
AUTO	AUTOMATIC
AVG	AVERAGE

B

BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLE	BRICK LEDGE ELEVATION
BLK	BLOCK(ING)
BM	BEAM
BOT	BOTTOM
BRDG	BRIDGING
BRG	BEARING
BRKT	BRACKET
BTW	BETWEEN
BW	BOTH WAYS

C

C	CHANNEL
C/C	CENTER TO CENTER
CAB	CABINET
CBD	CHALKBOARD
CEN	CENT(ER) (TRAL)
CG	CORNER GUARDS
CHAM	CHAMFER
CI	CAST IRON
CNTR	COUNTER
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CONF	CONFERENCE
COND	CONDITION
CONN	CONNECTION
CONT	CONTINU(E) (OUS) (ATION)
CONTR	CONTRACT(OR)
CORR	CORRIDOR
CTSK	COUNTER(SINK) (SUNK)
CTR	CENTER
CUH	CABINET UNIT HEATER
CLO	CLOSET
CLR	CLEAR(ANCE)
CJ	CONTROL/CONSTRUCTION JOINT
CLG	CEILING

D

D	DEEP, DEPTH, DATA OUTLET
D AND E	DRILL, AND EPOXY GROUT
DBE	DECK BEARING ELEVATION
DBL	DOUBLE
DEG	DEGREE(S)
DEMO	DEMO(LISH) (LITION)
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIF	DIFFEREN(CE) (TIAL)
DIFF	DIFFUSER
DIM	DIMENSION
DN	DOWN
DO	DOOR OPENING
DOC	DOCUMENT(S)
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG(S)	DRAWING(S)
DWL	DOWEL (REBAR)
DWR	DRAWER

E

E	EAST, EASTING
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EX	EXAMPLE
EXC	EXCAVAT(E) (ED) (ION)
EXCL	EXCLUD(E) (ED) (ING)
EXCP	EXCEPT
EXH	EXHAUST
EXST	EXISTING
EXPO	EXPOSED
EXP	EXPAN(D) (SION)
EXT	EXTERIOR

F

F/F	FACE TO FACE
FAB	FABRICAT(E) (ED) (OR)
FAS	FASTEN(ED) (ER)
FC(S)	FACE(S)
FD	FLOOR DRAIN
FND	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FL	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLR	FLOOR(ING)
FOW	FACE OF WALL
FR	FRAME
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURR(ED) (ING)
FUT	FUTURE

G

GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR OR GYPSUM BOARD
GC	GENERAL CONTRACTOR
GENL	GENERAL
GFI	GOUND FAULT CIRCUIT INTERRUPTER
GL	GLASS
GLB	GLUE LAMINATED BEAM
GND	GOUND
GR	GRADE
GRL	GRILLE
GRV	GRAVITY ROOF VENTILATOR
GYP	GYPSUM

H

H	HIGH, HEIGHT
HB	HOSE BIB
HC	HOLLOW CORE
HCP	HANDICAP
HD	HEAVY DUTY
HDR	HEADER
HDWD	HARDWOOD
HDWE	HARDWARE
HM	HOLLOW METAL
HO	HOLD OPEN
HORIZ	HORIZONTAL
HR	HOUR
HTR	HEATER
HVAC	HEATING/ VENTILATING/ AIR CONDITIONING

I

ID	INSIDE DIAMETER/DIMENSION/ IDENTIFICATION
IF	INSIDE FACE
IN	INCH(ES)
INCL	INCLU(DE) (DED) (DING) (SIVE)
INFO	INFORMATION
INSUL	INSULAT(E) (ED) (ION)
INT	INTERIOR

J

JAN	JANITOR
JBE	JOIST BEARING ELEVATION
JC	JANITOR CLOSET
JST	JOIST
JT	JOINT

K

K	KIP (1000 POUNDS)
KIT	KITCHEN
KO	KNOCK OUT

L

LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
LT	LIGHT

M

MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL

N

N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

O

OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OPNG	OPENING
OPT	OPTIONAL
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
OS	OVERFLOW SCUPPER

P

PL	PLATE
PLAM	PLASTIC LAMINATE
PLWD	PLYWOOD
PR	PAIR
PREFIN	PREFINISHED
PTN	PARTITION

R

R	RISER
RAD	RADIUS
REINF	REINFORCE (D) (ING)
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING

S

S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATIONS

T

TEMP	TEMPORARY
TC	TOP OF CURB
T & G	TONGUE AND GROOVE
THK	THICK
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
TR	TREAD
TV	TELEVISION

U

UNO	UNLESS NOTED OTHERWISE
UR	URINAL
UTIL	UTILITY

V

VB	VAPOR BARRIER
VERT	VERTICAL
VEST	VESTIBULE

W

W	WIDE, WIDTH, WEST
W/	WITH
WP	WATERPROOF
WT	WEIGHT

SPECIAL SYMBOLS

&	AND
∠	ANGLE
@	AT
℄	CENTERLINE
℄	PLATE LINE
#	POUND / NUMBER
ø	DIAMETER / ROUND

SHEET INDEX

T0.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	PARTIAL FIRST FLOOR PLAN – AREA 'A'
A1.04	PARTIAL FIRST FLOOR PLAN – AREA 'B'
A1.05	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

COORDINATING PROFESSIONAL SEAL

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION 11-10-2022

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*Providing affordable, creative approach to achieve ultimate approach to achieve ultimate approach to achieve ultimate

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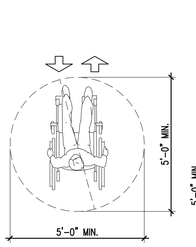
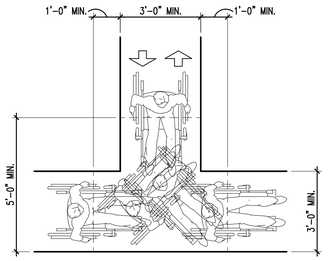
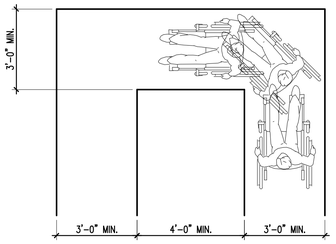
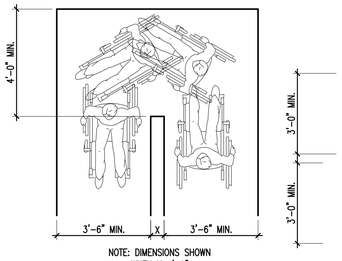


60" DIAMETER SPACE



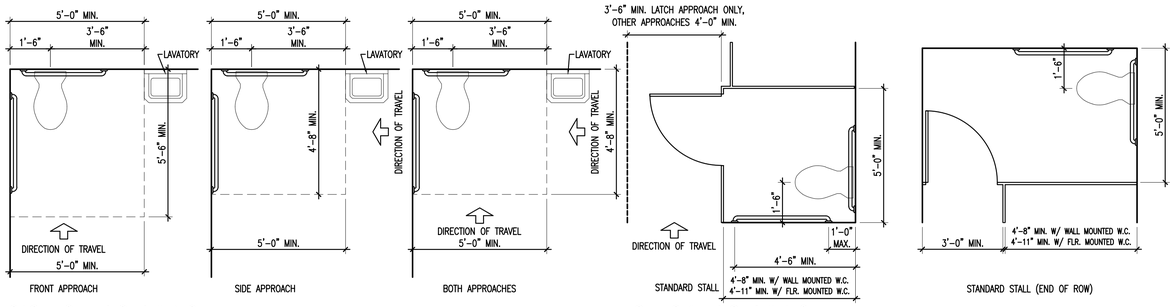
T-SHAPE SPACE FOR 180° TURNS



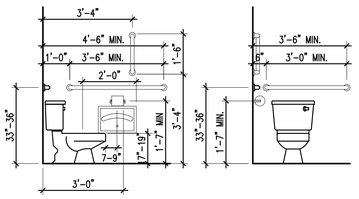


NOTE: DIMENSIONS SHOWN WHEN X<4'-0"

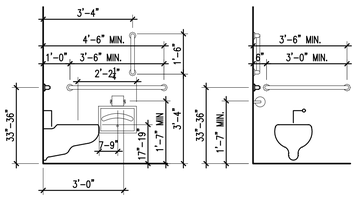
ACCESSIBLE ROUTE



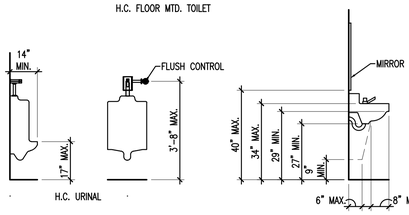
SINGLE TOILET REQUIREMENTS



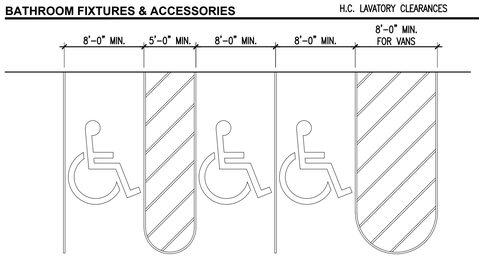
H.C. FLOOR MTD. TOILET



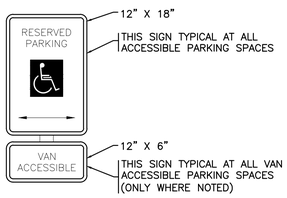
H.C. WALL MTD. TOILET



BATHROOM FIXTURES & ACCESSORIES



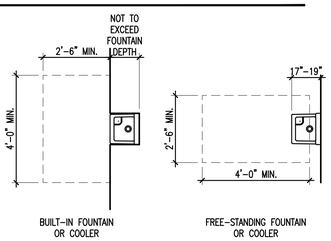
PARKING SPACES



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY (VAN) LETTERING

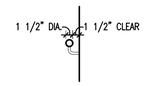
OUTDOOR SIGNAGE

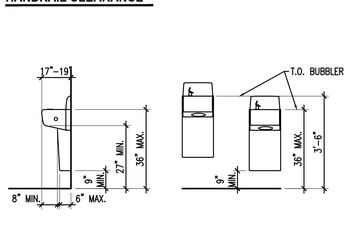
TOILET STALL REQUIREMENTS

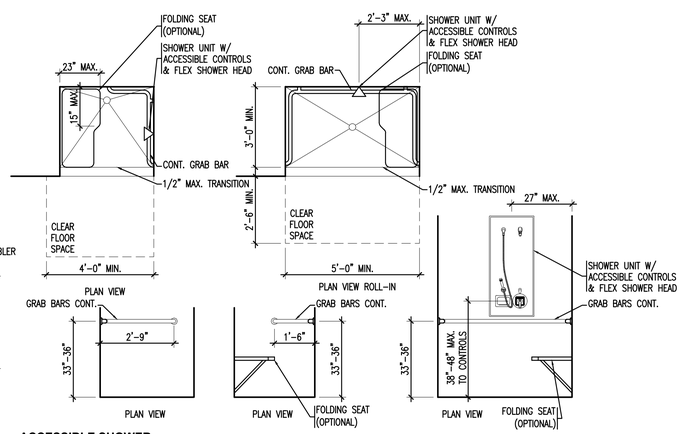


DRINKING FOUNTAINS

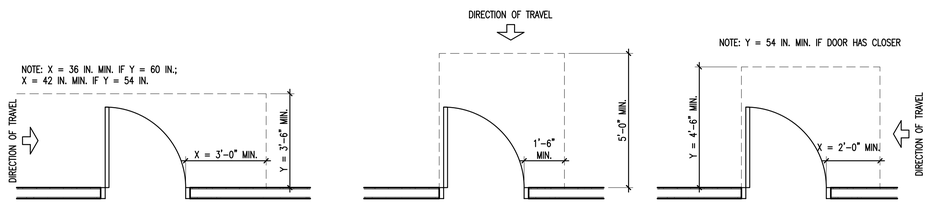
HANDRAIL CLEARANCE

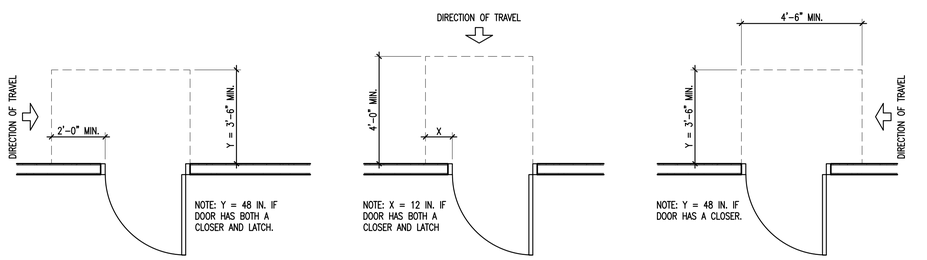






ACCESSIBLE SHOWER





MANEUVERING CLEARANCES AT DOORS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION 11-10-2022

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Spotanski Creative Building Design & Drafting, LLC
1511 W. 2nd Street, Suite 285, Grand Island, NE 68801
(308) 390-5966 spotanskidesign@outlook.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: ADA INFORMATION

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

ADA

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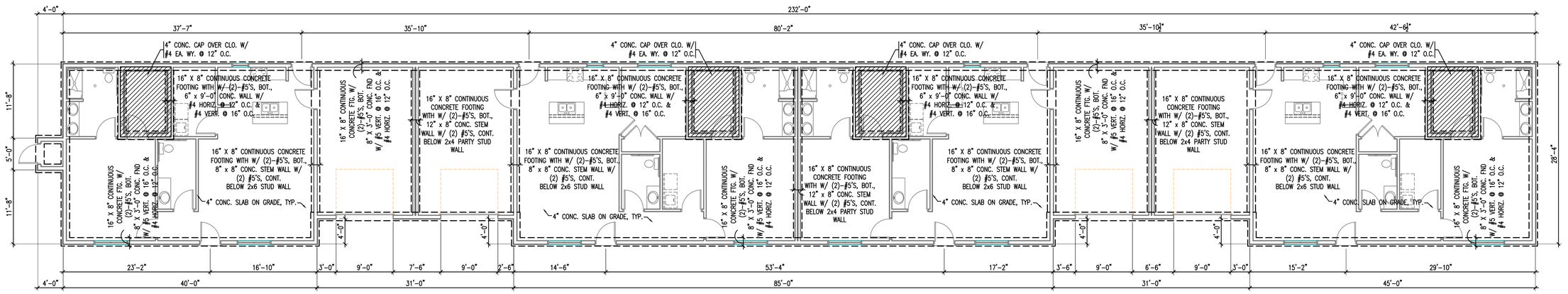
NOTE: SEE FLOOR PLANS FOR MORE DIM. & FURTHER INFORMATION.



FOUNDATION PLAN

1/8" = 1'-0" 0 2'-0" 4'-0" 8'-0"

1/8" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

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DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

A1.01

LEGEND

- 1 HOUR RATED CONSTRUCTION
- 2 HOUR RATED CONSTRUCTION
- SMOKE PARTITION – NO FIRE RESISTANCE RATING
- INDICATES SOUND WALL CONSTRUCTION
- FEC — FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER
- 10,000 — AREA OF ROOM
- 1:50 — OCCUPANT LOAD FACTOR
- 12 — MAXIMUM OCCUPANCY
- 10,000 — NO. OF OCCUPANTS EXITING
- 10/1 — NO. OF OCCUPANT/NO. OF EXIT
- 2 — REQ'D EXIT WIDTH
- 34" — ACTUAL EXIT WIDTH

LIFE SAFEY SUMMARY

PROJECT CODE INFORMATION:

INTERNATIONAL BUILDING CODE (IBC) 2018
NEW BUILDING USE & OCCUPANCY CLASSIFICATION:
FIRST FLOOR: RESIDENTIAL (R-3)
STORAGE (S-2) (GARAGE)

LIFE SAFETY CODE (NFPA 101) 2000
OCCUPANCIES: NEW RESIDENTIAL
NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)

ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS INDICATE IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS

UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS

NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

CONSTRUCTION TYPE:
NEW BUILDING: V-B

BUILDING AREA:
NEW FIRST FLOOR: 6,345 S.F.

ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):
RESIDENTIAL (R-3): UL
STORAGE (S-2) (GARAGE): 13,500

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):
RESIDENTIAL (R-3): 3
STORAGE (S-2): 2

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.

PRIMARY STRUCTURAL FRAME:	0-HOUR
BEARING WALLS	
EXTERIOR:	0-HOUR
INTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS	
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS	
INTERIOR:	0-HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR

1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):
NON-SPRINKLER

GROUP:	INTERIOR EXIT STAIRWAY AND EXIT PASSAGEWAY	CORRIDOR AND ENCLOSURE FOR ACCESS STAIRWAY	ROOMS AND ENCLOSED SPACES
R-3	C	C	C
S-2	B	B	C

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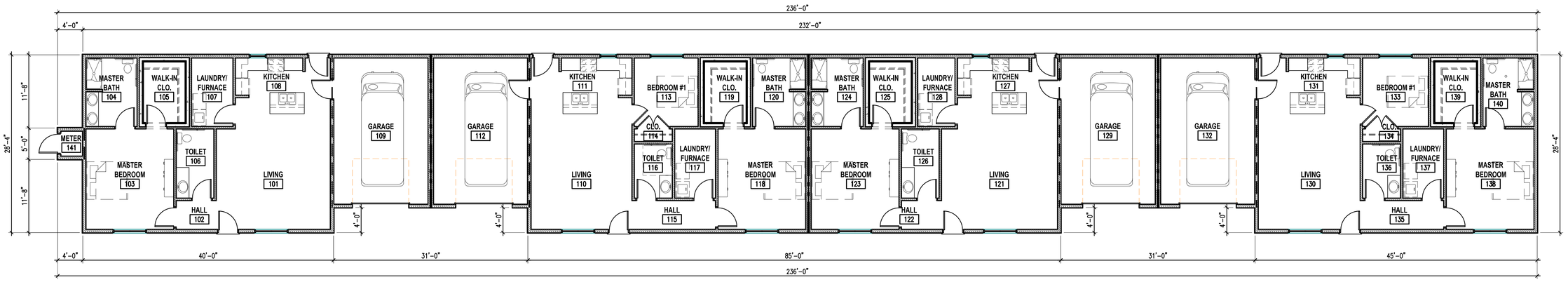

FIRST FLOOR COMPOSITE PLAN

1/8" = 1'-0" 0 2'-0"4'-0" 8'-0"
1/8" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

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REVISION:	DATE:

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(308) 675-3580 www.spotanskidesign.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.02**

MATERIAL KEYING LEGEND

CG	——	CORNER GUARD
EHD	——	ELECTRIC HAND DRYER
FEB	——	FIRE EXTINGUISHER AND BRACKET
FEC	——	FIRE EXTINGUISHER AND CABINET
FNR	——	FEMININE NAPKIN RECEPTACLE
GB	——	GRAB BAR
MB	——	MARKERBOARD
MIRR	——	MIRROR
MS	——	MOP STRIP
PS	——	PROJECTION SCREEN
PTD	——	PAPER TOWEL DISPENSER
PTD/WR	——	PAPER TOWEL DISP. & WASTE RECEPT.
SD	——	SOAP DISPENSER
TB	——	TACKBOARD
TPD	——	TOILET PAPER DISPENSER
WB	——	HORIZONTAL WINDOW BLIND

LEGEND

1 HOUR RATED CONSTRUCTION

2 HOUR RATED CONSTRUCTION

GENERAL NOTES

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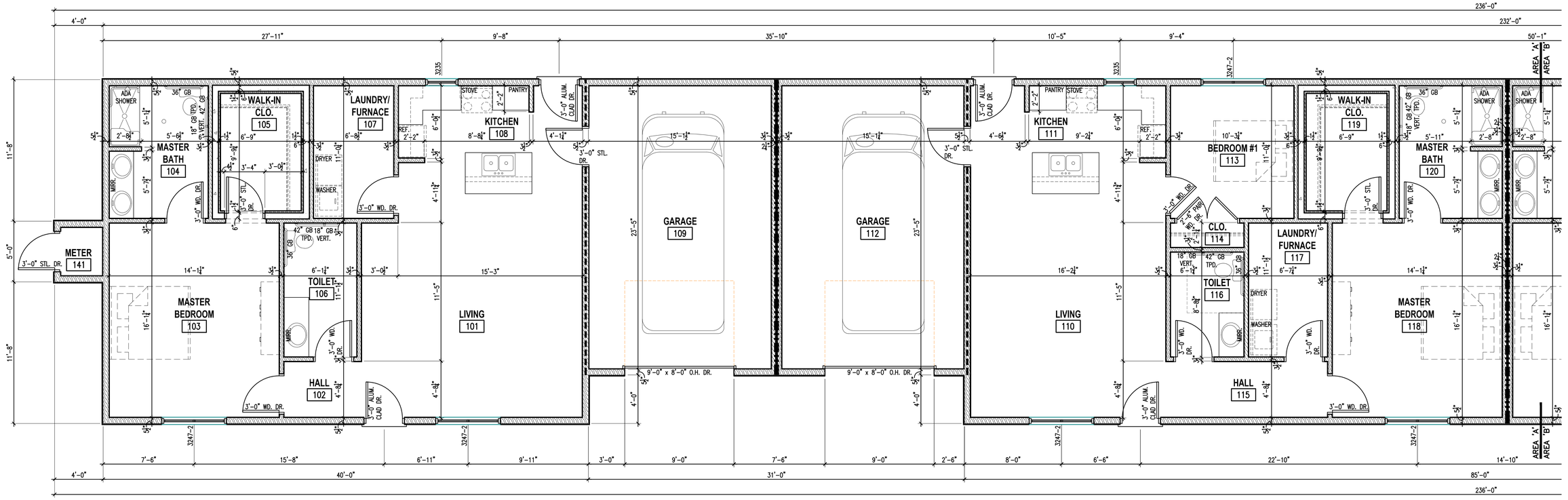

PARIAL FIRST FLOOR PLAN - 'AREA 'A'

1/4" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

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REVISION:	DATE:

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(308) 293-1000 www.spotanskidesign.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - AREA 'A'

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.03**

MATERIAL KEYING LEGEND

CG	——	CORNER GUARD
EHD	——	ELECTRIC HAND DRYER
FEB	——	FIRE EXTINGUISHER AND BRACKET
FEC	——	FIRE EXTINGUISHER AND CABINET
FNR	——	FEMININE NAPKIN RECEPTACLE
GB	——	GRAB BAR
MB	——	MARKERBOARD
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LEGEND

1 HOUR RATED CONSTRUCTION

2 HOUR RATED CONSTRUCTION

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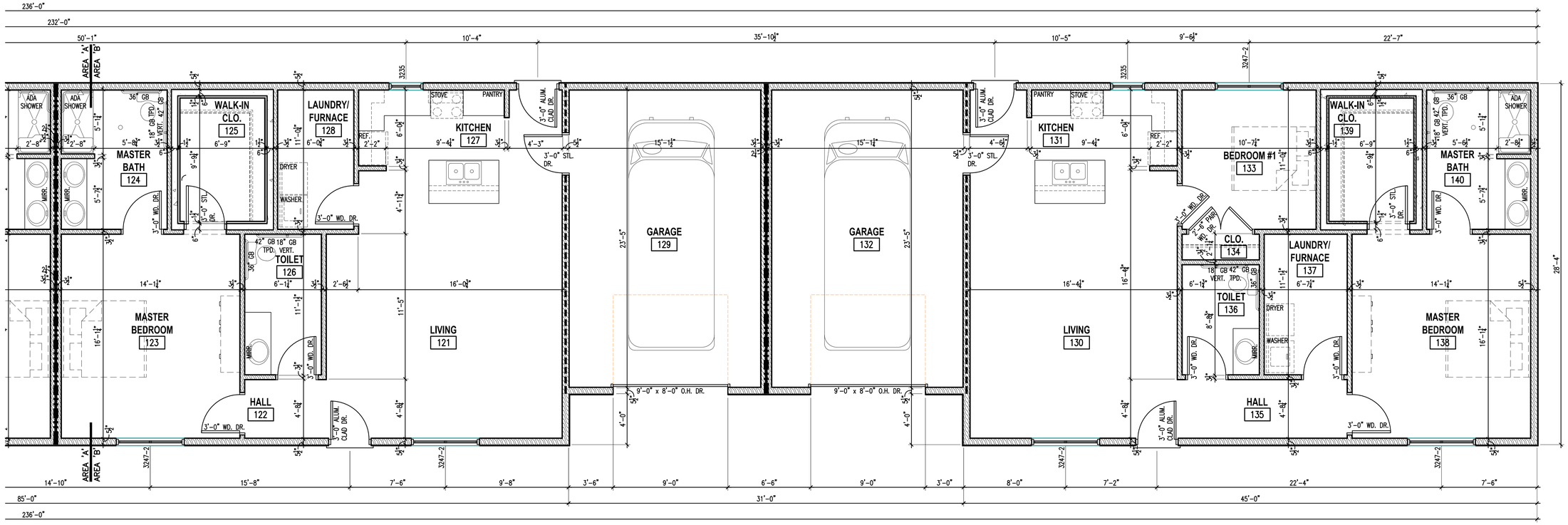

PARIAL FIRST FLOOR PLAN - 'AREA 'B'

1/4" = 1'-0"

0 1'-0" 2'-0" 4'-0"

1/4" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

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(308) 675-3580 spotanskidesign@outlook.com

STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - AREA 'B'

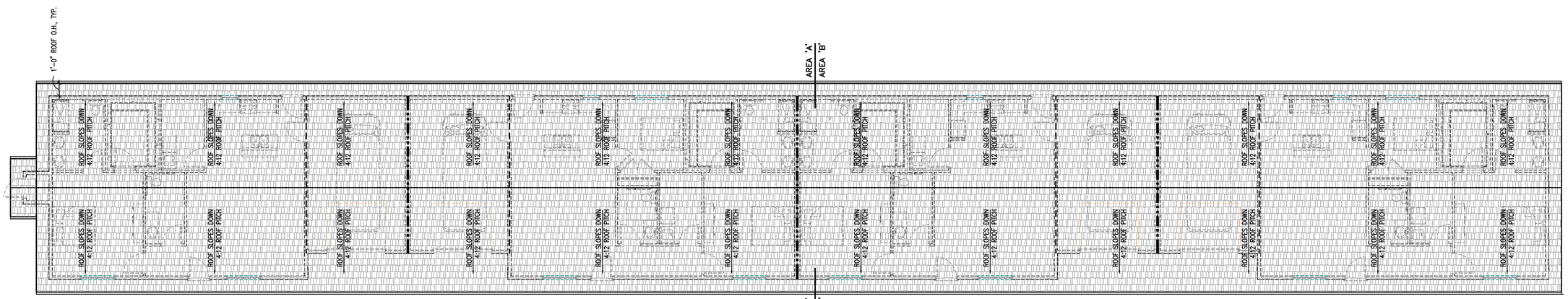
PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.04**



ROOF PLAN

1/8" = 1'-0"

0 2'-0" 4'-0" 8'-0"

1/8" = 1'-0"

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SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

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11-10-2022

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STACY J. SPOTANSKI

"Providing affordable, creative design solutions with a personal approach to achieve ultimate customer satisfaction."

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE
GRAND ISLAND, NE. 68803

SHEET TITLE: ROOF PLAN

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.05**

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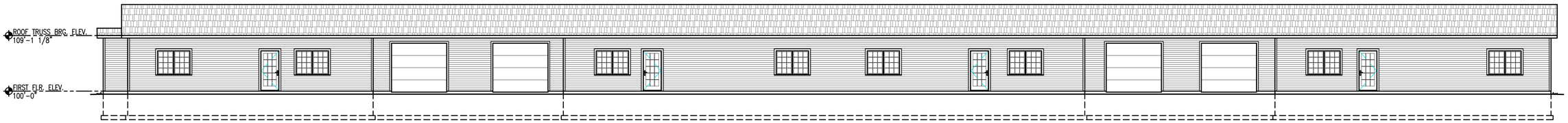
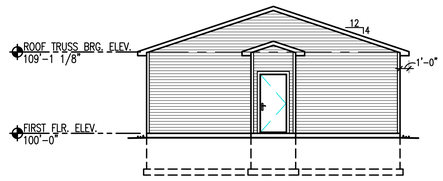
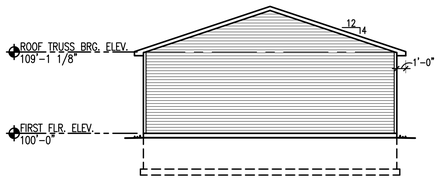


FRONT EXTERIOR ELEVATION
1/8" = 1'-0" 0 2'-0"4'-0" 8'-0"
1/4" = 1'-0"



SIDE EXTERIOR ELEVATION
1/8" = 1'-0" 0 2'-0"4'-0" 8'-0"
1/4" = 1'-0"



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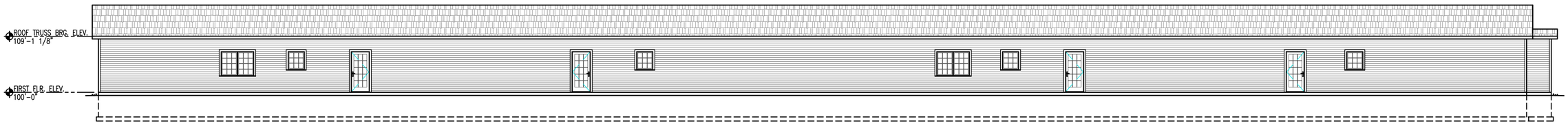
1/4" = 1'-0"



REAR EXTERIOR ELEVATION
1/8" = 1'-0" 0 2'-0"4'-0" 8'-0"
1/4" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

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NOT FOR CONSTRUCTION
11-10-2022

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REVISION: | DATE:

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(308) 293-1686 spotanskidesign@outlook.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: EXTERIOR ELEVATIONS

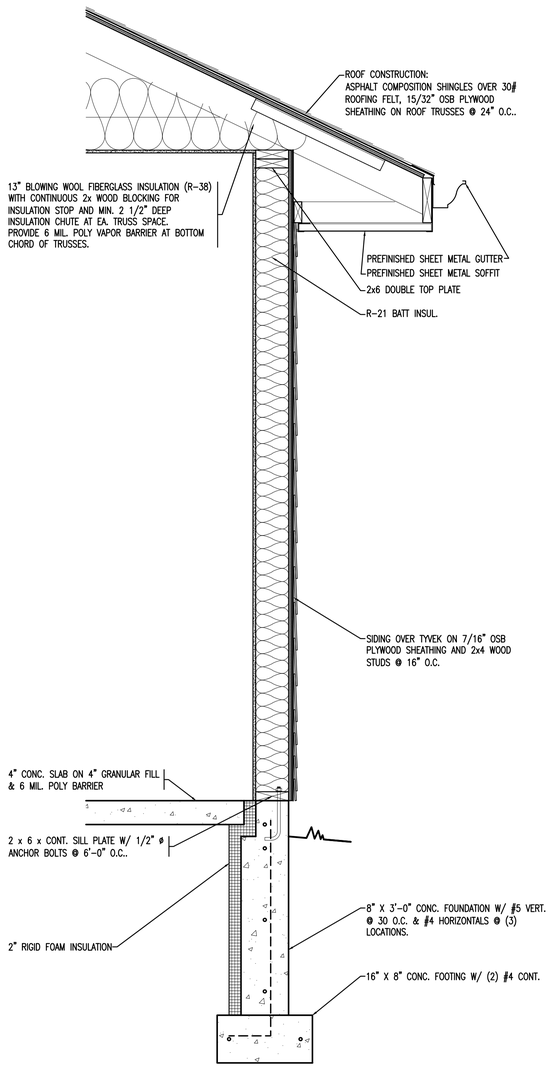
PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

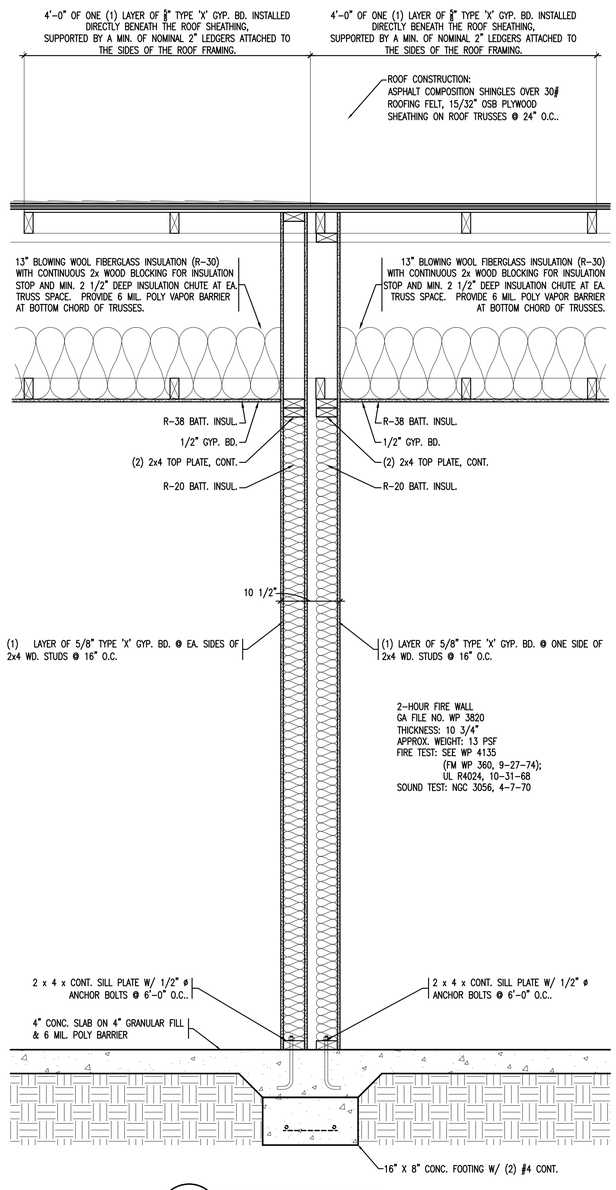
PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A2.01**



1 TYP. EXTERIOR WALL SECTION
1" = 1'-0"



2 2-HOUR FIRE WALL
1" = 1'-0" UL DESIGN: U342

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5. ALL DIMENSIONS ARE TAKEN FROM/TO ROUGH STUDS OF A DIMENSION OF EITHER 5½" (2x6 STUDS), 3½" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY.
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9. SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

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(308) 390-1568 spotanskidesign@outlook.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: WALL SECTION

PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

A3.01

NEW 5-PLEX FOR

GRAND ISLAND, NE.

GENERAL NOTES

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MATERIAL INDICATIONS

CONCRETE | PLYWOOD | BATT INSUL. | STONE | BRICK

WOOD STUDS | WOOD BLOCKING | RIGID INSUL. | EARTH | PLASTER

METAL STUDS | CERAMIC TILE | CMU (STD. WT.) | GRAVEL/SAND FILL. | GYPSUM BOARD

FINISH WOOD | ACOUSTICAL PANEL | CMU (LT. WT) | METAL SECTION | METAL (LARGE SCALE)

GRAPHIC SYMBOLS

SITE SPOT ELEVATION
NEW FINISH SPOT GRADE + 1107.33
NEW AND EXISTING FINISH SPOT GRADE + N: 1107.33 E: 1104.88
TOP OF CURB BOTTOM OF CURB + TC: 1107.33 BC: 1104.88

EXISTING CONTOUR LINE

NEW CONTOUR LINE 103

PROPERTY LINE

CENTER LINES/PROJECTED LINE

MATCH LINE

LEVEL LINE

MAIN FLOOR ELEV. = 100'-0"

NEW/EXISTING WALL CONSTRUCTION
NEW | EXISTING (SCREENING)

ROOM NAME AND NUMBER
I.T. A108

DOOR NUMBER 100A

WINDOW TYPE B

KEY NOTES
INDICATES A NOTE FOR A SPECIFIC ITEM 1
ALL KEY NOTES ARE COMPILED UNDER THE TITLE BAR "KEY NOTES".

REVISION 1

COLUMN GRID LINE E

BUILDING SECTION / WALL SECTION
INDICATES VIEW DIRECTION
INDICATES BUILDING SECTION (LETTER)
INDICATES WALL SECTION (NUMBER)
B A3.01 | 1 A3.01
SHEET WHERE DETAIL IS DRAWN

BUILDING SECTION / WALL SECTION
DETAIL NUMBER 4 / 5.2
SHEET WHERE DETAIL IS DRAWN

INTERIOR ELEVATIONS
INDICATES ELEVATION DIRECTION
INDICATES ELEVATION NUMBER
1 A6.02
INDICATES SHEET NUMBER ELEVATION OCCURS ON

GENERAL ABBREVIATIONS

A

AB	ANCHOR BOLT
A/C	AIR CONDITIONER
ACC	ACCESS(IBLE) (ORIES)
ACCOUS	ACOUSTICAL
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADJC	ADJACENT
A/E	ARCHITECT/ENGINEER
AFF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
ANC	ANCHOR(AGE)
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT
AUTO	AUTOMATIC
AVG	AVERAGE

B

BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLE	BRICK LEDGE ELEVATION
BLK	BLOCK(ING)
BM	BEAM
BOT	BOTTOM
BRDG	BRIDGING
BRG	BEARING
BRKT	BRACKET
BTW	BETWEEN
BW	BOTH WAYS

C

C	CHANNEL
C/C	CENTER TO CENTER
CAB	CABINET
CBD	CHALKBOARD
CEN	CENT(ER) (TRAL)
CG	CORNER GUARDS
CHAM	CHAMFER
CI	CAST IRON
CNTR	COUNTER
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CONF	CONFERENCE
COND	CONDITION
CONN	CONNECTION
CONT	CONTINU(E) (OUS) (ATION)

C

CONTR	CONTRACT(OR)
CORR	CORRIDOR
CTSK	COUNTER(SINK) (SUNK)
CTR	CENTER
CUH	CABINET UNIT HEATER
CLO	CLOSET
CLR	CLEAR(ANCE)
CJ	CONTROL/CONSTRUCTION JOINT
CLG	CEILING

D

D	DEEP, DEPTH, DATA OUTLET
D AND E	DRILL, AND EPOXY GROUT
DBE	DECK BEARING ELEVATION
DBL	DOUBLE
DEG	DEGREE(S)
DEMO	DEMO(LISH) (LITION)
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIF	DIFFEREN(CE) (TIAL)
DIFF	DIFFUSER
DIM	DIMENSION
DN	DOWN
DO	DOOR OPENING
DOC	DOCUMENT(S)
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG(S)	DRAWING(S)
DWL	DOWEL (REBAR)
DWR	DRAWER

E

E	EAST, EASTING
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EX	EXAMPLE

E

EXC	EXCAVAT(E) (ED) (ION)
EXCL	EXCLUD(E) (ED) (ING)
EXCP	EXCEPT
EXH	EXHAUST
EXST	EXISTING
EXPO	EXPOSED
EXP	EXPAN(D) (SION)
EXT	EXTERIOR

F

F/F	FACE TO FACE
FAB	FABRICAT(E) (ED) (OR)
FAS	FASTEN(ED) (ER)
FC(S)	FACE(S)
FD	FLOOR DRAIN
FND	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FL	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLR	FLOOR(ING)
FOW	FACE OF WALL
FR	FRAME
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURR(ED) (ING)
FUT	FUTURE

G

GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR OR GYPSUM BOARD
GC	GENERAL CONTRACTOR
GENL	GENERAL
GFI	GOUND FAULT CIRCUIT INTERRUPTER
GL	GLASS
GLB	GLUE LAMINATED BEAM
GND	GOUND
GR	GRADE
GRL	GRILLE
GRV	GRAVITY ROOF VENTILATOR
GYP	GYPSUM

H

H	HIGH, HEIGHT
HB	HOSE BIB
HC	HOLLOW CORE
HCP	HANDICAP
HD	HEAVY DUTY
HDR	HEADER
HDWD	HARDWOOD
HDWE	HARDWARE
HM	HOLLOW METAL
HO	HOLD OPEN
HORIZ	HORIZONTAL
HR	HOUR
HTR	HEATER
HVAC	HEATING/ VENTILATING/ AIR CONDITIONING

I

ID	INSIDE DIAMETER/DIMENSION/ IDENTIFICATION
IF	INSIDE FACE
IN	INCH(ES)
INCL	INCLU(DE) (DED) (DING) (SIVE)
INFO	INFORMATION
INSUL	INSULAT(E) (ED) (ION)
INT	INTERIOR

J

JAN	JANITOR
JBE	JOIST BEARING ELEVATION
JC	JANITOR CLOSET
JST	JOIST
JT	JOINT

K

K	KIP (1000 POUNDS)
KIT	KITCHEN
KO	KNOCK OUT

L

LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
LT	LIGHT

M

MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL

N

N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

O

OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OPNG	OPENING
OPT	OPTIONAL
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
OS	OVERFLOW SCUPPER

P

PL	PLATE
PLAM	PLASTIC LAMINATE
PLWD	PLYWOOD
PR	PAIR
PREFIN	PREFINISHED
PTN	PARTITION

R

R	RISER
RAD	RADIUS
REINF	REINFORCE (D) (ING)
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING

S

S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATIONS

T

TEMP	TEMPORARY
TC	TOP OF CURB
T & G	TONGUE AND GROOVE
THK	THICK
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
TR	TREAD
TV	TELEVISION

U

UNO	UNLESS NOTED OTHERWISE
UR	URINAL
UTIL	UTILITY

V

VB	VAPOR BARRIER
VERT	VERTICAL
VEST	VESTIBULE

W

W	WIDE, WIDTH, WEST
W/	WITH
WP	WATERPROOF
WT	WEIGHT

SPECIAL SYMBOLS

&	AND
∠	ANGLE
@	AT
℄	CENTERLINE
℄	PLATE LINE
#	POUND / NUMBER
ø	DIAMETER / ROUND

SHEET INDEX

T0.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	FIRST FLOOR ENLARGED PLANS
A1.04	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

COORDINATING PROFESSIONAL SEAL

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION 11-10-2022

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REVISION: | DATE:

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STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: TITLE SHEET

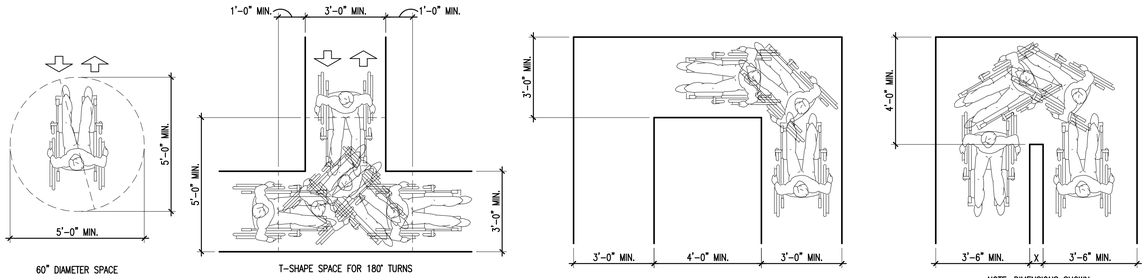
PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **T.01**

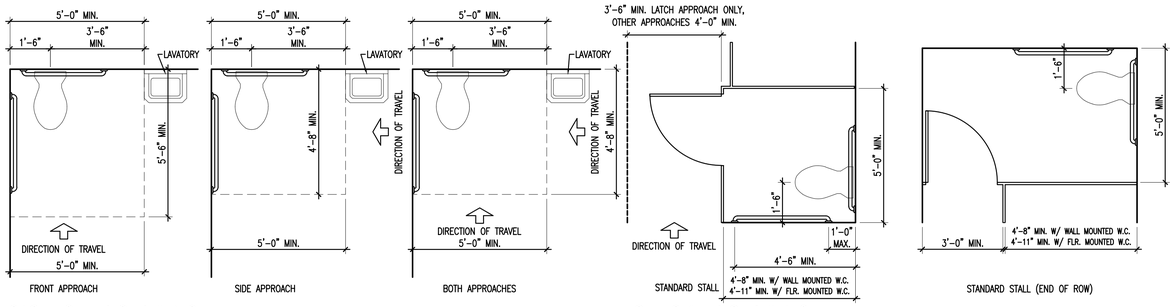


60" DIAMETER SPACE

T-SHAPE SPACE FOR 180° TURNS

NOTE: DIMENSIONS SHOWN WHEN X<4'-0"

ACCESSIBLE ROUTE



FRONT APPROACH

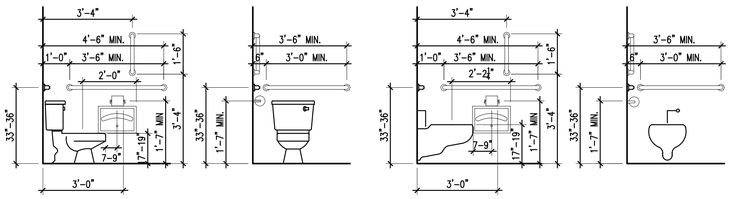
SIDE APPROACH

BOTH APPROACHES

STANDARD STALL

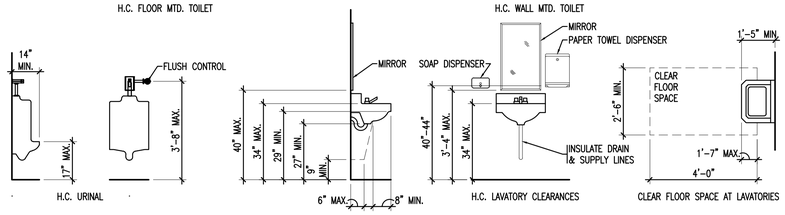
STANDARD STALL (END OF ROW)

SINGLE TOILET REQUIREMENTS



H.C. FLOOR MTD. TOILET

H.C. WALL MTD. TOILET



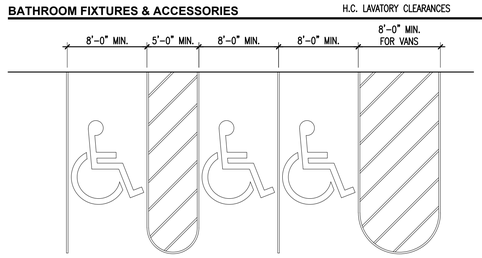
H.C. URINAL

H.C. LAVATORY CLEARANCES

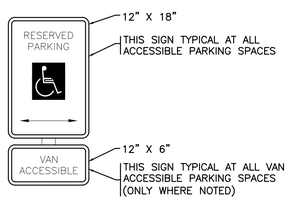
H.C. LAVATORY CLEARANCES

CLEAR FLOOR SPACE AT LAVATORIES

BATHROOM FIXTURES & ACCESSORIES



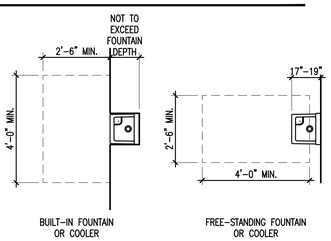
PARKING SPACES



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY (VAN) LETTERING

OUTDOOR SIGNAGE

TOILET STALL REQUIREMENTS

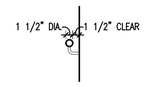


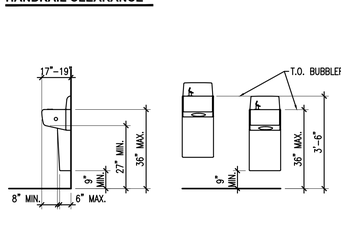
BUILT-IN FOUNTAIN OR COOLER

FREE-STANDING FOUNTAIN OR COOLER

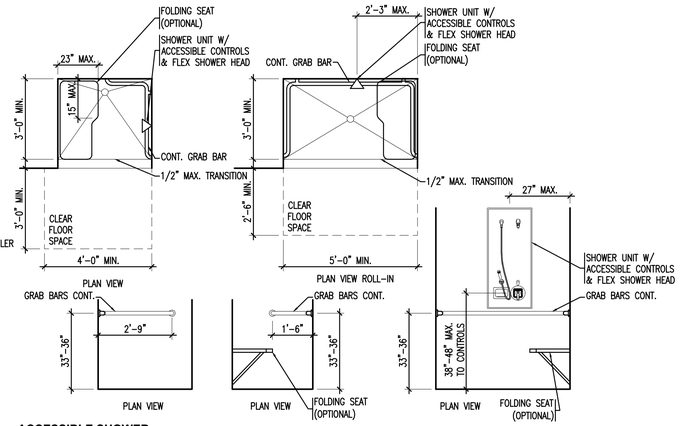
DRINKING FOUNTAINS

HANDRAIL CLEARANCE





ACCESSIBLE SHOWER



PLAN VIEW

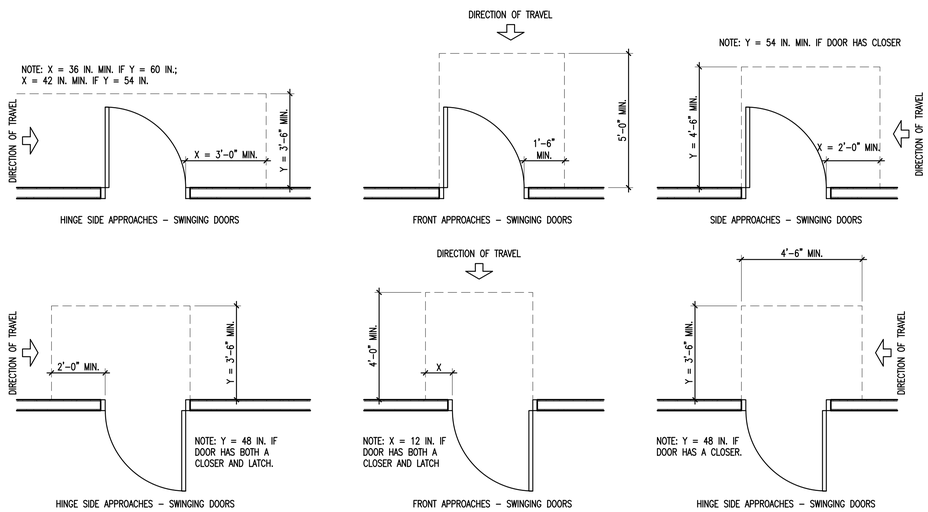
PLAN VIEW

(FOLDING SEAT (OPTIONAL)

PLAN VIEW

(FOLDING SEAT (OPTIONAL)

MANEUVERING CLEARANCES AT DOORS



HINGE SIDE APPROACHES – SWINGING DOORS

FRONT APPROACHES – SWINGING DOORS

SIDE APPROACHES – SWINGING DOORS

HINGE SIDE APPROACHES – SWINGING DOORS

FRONT APPROACHES – SWINGING DOORS

HINGE SIDE APPROACHES – SWINGING DOORS

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TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

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STACY J. SPOTANSKI

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114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: ADA INFORMATION

PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

ADA

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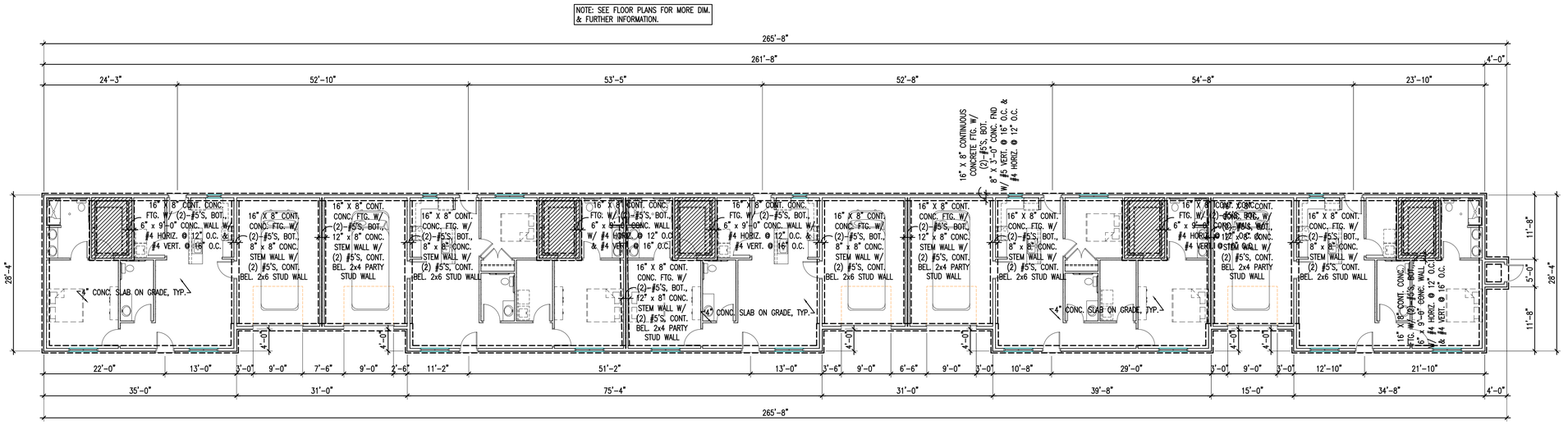

FOUNDATION PLAN

3/32" = 1'-0"

0 2'-0" 4'-0" 8'-0"

3/32" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION: DATE:

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(308) 675-3580 www.spotanskidesign.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FOUNDATION PLAN

PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.01**

LEGEND

- 1 HOUR RATED CONSTRUCTION
- 2 HOUR RATED CONSTRUCTION
- SMOKE PARTITION – NO FIRE RESISTANCE RATING
- INDICATES SOUND WALL CONSTRUCTION
- FEC — FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER
- 10,000 / 1:50 / 12 — AREA OF ROOM / OCCUPANT LOAD FACTOR / MAXIMUM OCCUPANCY
- 10,000 / 10/1 / 2 / 34" — NO. OF OCCUPANTS EXITING / NO. OF OCCUPANT/NO. OF EXIT / REQ'D EXIT WIDTH / ACTUAL EXIT WIDTH

LIFE SAFEY SUMMARY

PROJECT CODE INFORMATION:

INTERNATIONAL BUILDING CODE (IBC) 2018
NEW BUILDING USE & OCCUPANCY CLASSIFICATION:
FIRST FLOOR: RESIDENTIAL (R-3)
STORAGE (S-2) (GARAGE)

LIFE SAFETY CODE (NFPA 101) 2000
OCCUPANCIES: NEW RESIDENTIAL
NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)

ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
(ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS INDICATE IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS

UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS

NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

CONSTRUCTION TYPE:
NEW BUILDING: V-B

BUILDING AREA:
NEW FIRST FLOOR: 7,126 S.F.

ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):
RESIDENTIAL (R-3): UL
STORAGE (S-2) (GARAGE): 13,500

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):
RESIDENTIAL (R-3): 3
STORAGE (S-2): 2

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.

PRIMARY STRUCTURAL FRAME:	0-HOUR
BEARING WALLS	
EXTERIOR:	0-HOUR
INTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS	
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS	
INTERIOR:	0-HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR

1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):
NON-SPRINKLER

GROUP:	INTERIOR EXIT STAIRWAY AND EXIT PASSAGEWAY	CORRIDOR AND ENCLOSURE FOR ACCESS STAIRWAY	ROOMS AND ENCLOSED SPACES
R-3	C	C	C
S-2	B	B	C

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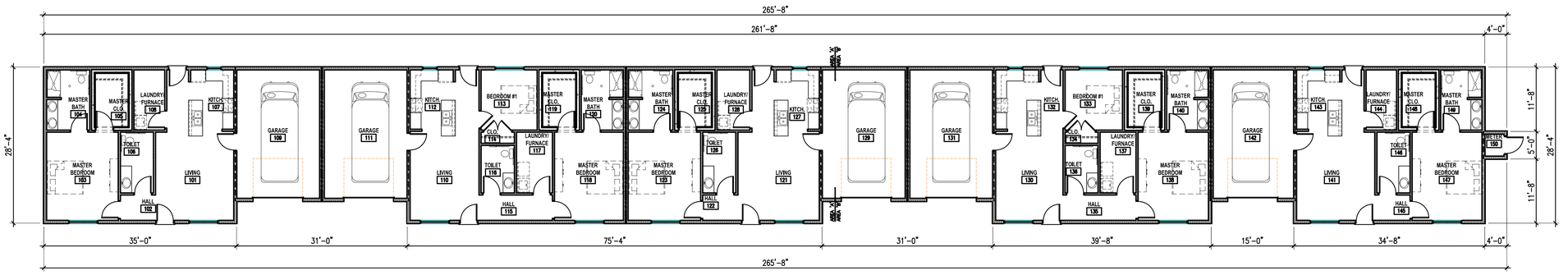

FIRST FLOOR COMPOSITE PLAN

3/32" = 1'-0" 0 2'-0" 4'-0" 8'-0"

3/32" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

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STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN

PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.02**

MATERIAL KEYING LEGEND

CG	——	CORNER GUARD
EHD	——	ELECTRIC HAND DRYER
FEB	——	FIRE EXTINGUISHER AND BRACKET
FEC	——	FIRE EXTINGUISHER AND CABINET
FNR	——	FEMININE NAPKIN RECEPTACLE
GB	——	GRAB BAR
MB	——	MARKERBOARD
MIRR	——	MIRROR
MS	——	MOP STRIP
PS	——	PROJECTION SCREEN
PTD	——	PAPER TOWEL DISPENSER
PTD/WR	——	PAPER TOWEL DISP. & WASTE RECEPT.
SD	——	SOAP DISPENSER
TB	——	TACKBOARD
TPD	——	TOILET PAPER DISPENSER
WB	——	HORIZONTAL WINDOW BLIND

LEGEND

1 HOUR RATED CONSTRUCTION

2 HOUR RATED CONSTRUCTION

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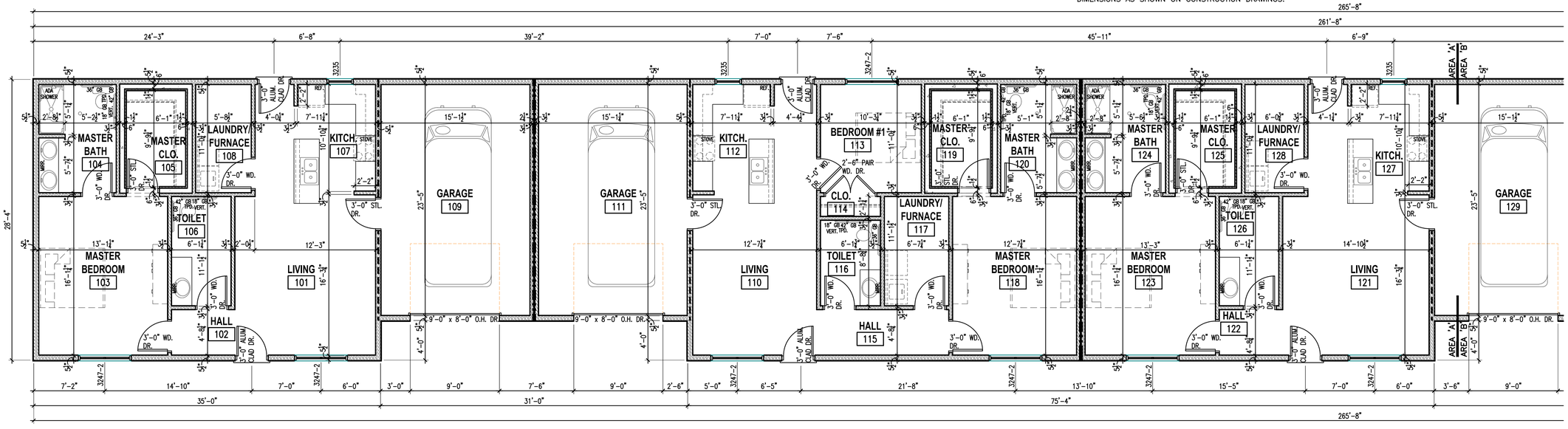
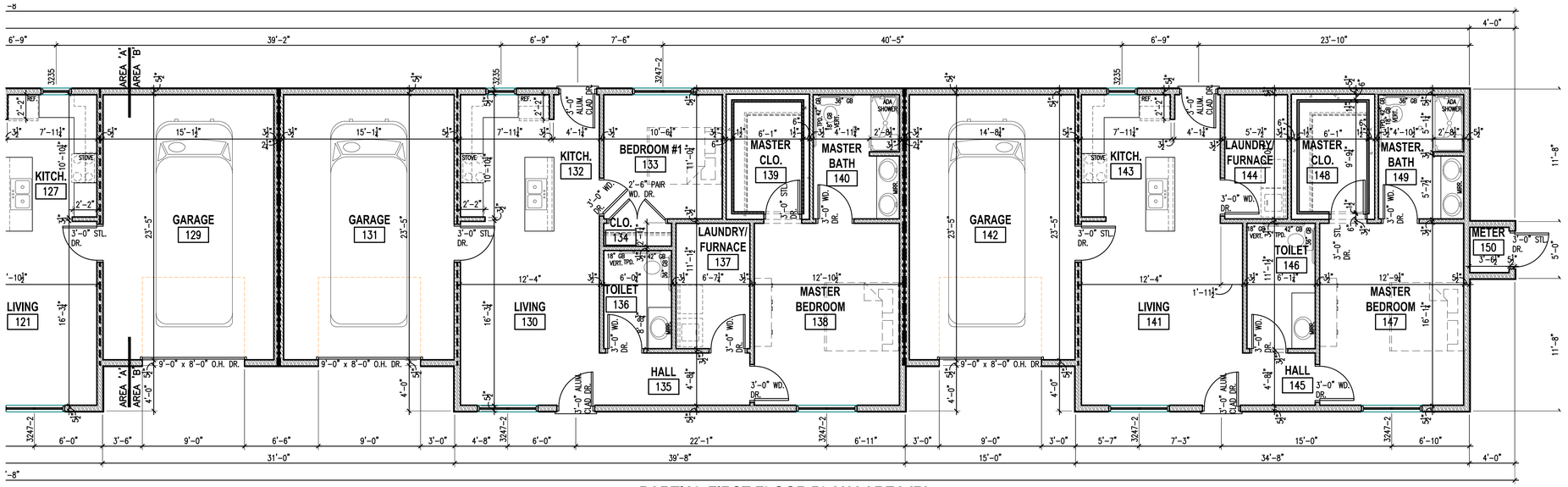


PARTIAL FIRST FLOOR PLAN - AREA 'A'

3/16" = 1'-0"



PARTIAL FIRST FLOOR PLAN ' AREA 'B'

3/16" = 1'-0"

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
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04-08-2022

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STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR ENGLARGED PLANS

PROJECT DESCRIPTION: NEW 4-PLEX & 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 04-08-2022

PLOT DATE: 04-08-2022

SHEET: **A1.03**

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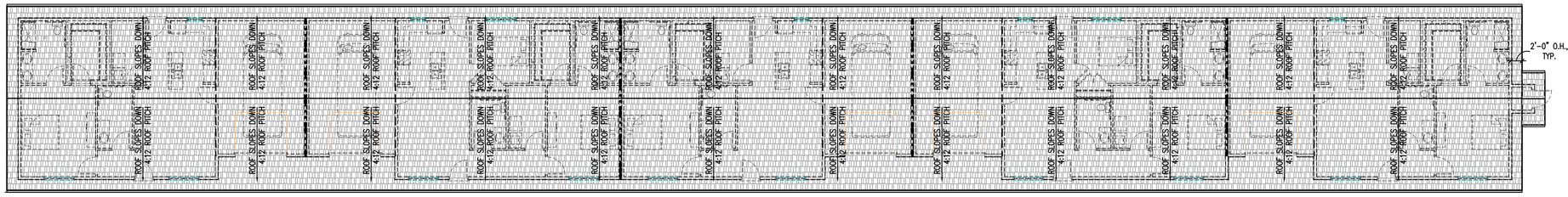

ROOF PLAN
3/32" = 1'-0"

0 2'-0" 4'-0" 8'-0"
3/32" = 1'-0"

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

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11-10-2022

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STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: ROOF PLAN

PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A1.04**

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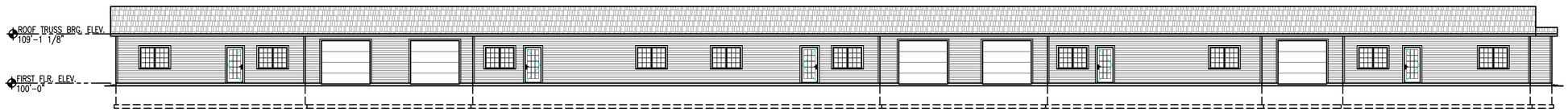

FRONT EXTERIOR ELEVATION
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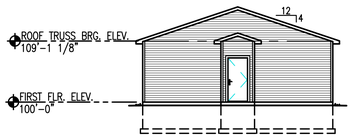

SIDE EXTERIOR ELEVATION
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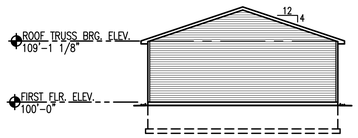

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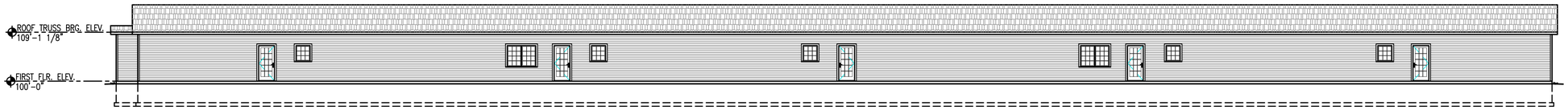

REAR EXTERIOR ELEVATION
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SQUARE FOOTAGE

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REVISION:	DATE:

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Spotanski Creative Building Design & Drafting, LLC
1511 W. 2nd Street, Suite 285, Grand Island, NE 68801
(308) 390-5168 www.spotanskidesign.com
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC
114 N. CUSTER AVE.
GRAND ISLAND, NE. 68803

SHEET TITLE: EXTERIOR ELEVATIONS

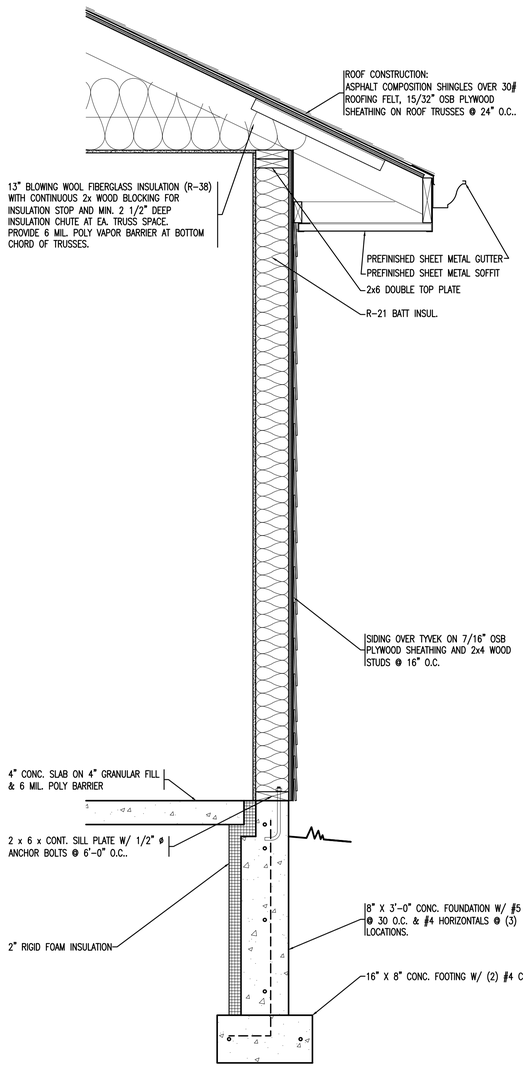
PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT
1703 ADA STREET/1703 HENRY STREET
GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI

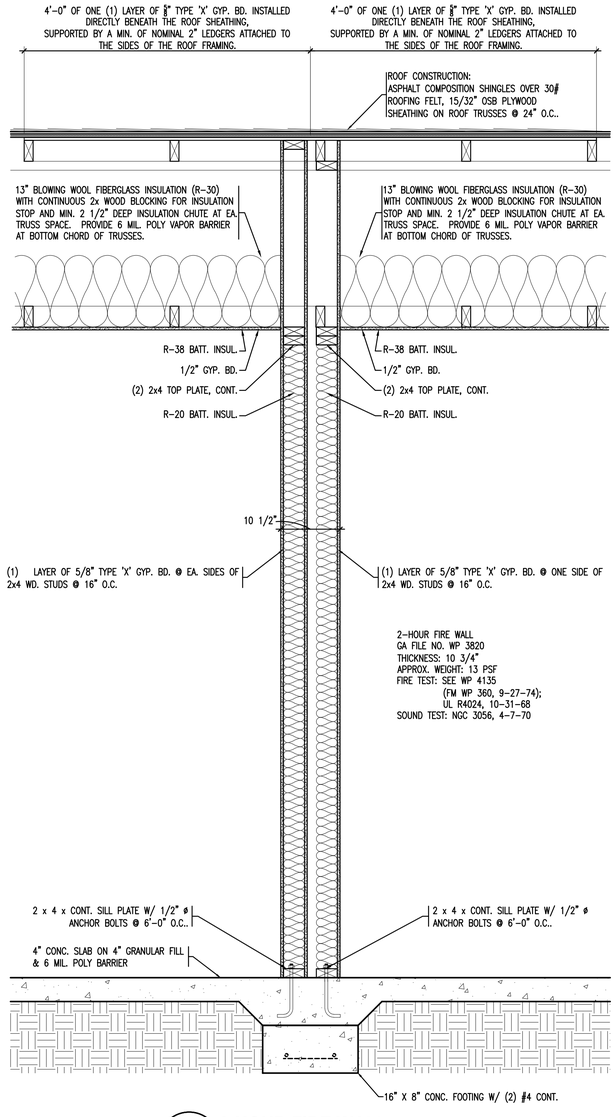
PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET: **A2.01**



1 TYP. EXTERIOR WALL SECTION
1" = 1'-0"



2 2-HOUR FIRE WALL
1" = 1'-0" UL DESIGN: U342

GENERAL NOTES

1. ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEADS RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
2. THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES VARY WIDELY AND ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE BEING MET.
3. DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
4. VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
5. ALL DIMENSIONS ARE TAKEN FROM/TO ROUGH STUDS OF A DIMENSION OF EITHER 5½" (2x6 STUDS), 3½" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY.
6. DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS. FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
7. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
8. CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
9. SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

PROFESSIONAL SEAL

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

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DRAWN BY: S. SPOTANSKI

PLAN DATE: 11-10-2022

PLOT DATE: 11-10-2022

SHEET:

A3.01

JBA Ventures, LLC

PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING SCENARIOS DETAILED IN NOTE A – CASH BASIS

Twelve Months Ending After Project Phase 1 Completion

Exhibit E

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SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS	6

INTRODUCTION

The projection in this illustration presents the entity's, JBA Ventures, LLC's, projected receipts and disbursements under the hypothetical assumptions in Note A on the cash basis for the twelve months ending after project phase 1 completion.

SCHROEDER & SCHREINER, P.C.

CERTIFIED PUBLIC ACCOUNTANTS

INDEPENDENT ACCOUNTANTS' COMPILATION REPORT

To Management of
JBA Ventures, LLC
Grand Island, NE

Management is responsible for the accompanying projection of JBA Ventures, LLC, which comprise projected statements of receipts and disbursements under various tax increment financing scenarios detailed in Note A – cash basis of JBA Ventures, LLC (see introduction), for the twelve months ending after project phase 1 completion, and the related summaries of significant assumptions and accounting policies in accordance with guidelines for the presentation of a projection established by the American Institute of Certified Public Accountants (AICPA). We have performed a compilation engagement in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the AICPA. We did not examine or review the projection nor were we required to perform any procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an opinion, a conclusion, nor provide any form of assurance on this projection.

Even if the tax increment financing (TIF) scenarios outlined occurred, the projected results may not be achieved, as there will usually be differences between the projection and actual result, because events and circumstances frequently do not occur as expected, and those differences may be material. We have no responsibility to update this report for events and circumstances occurring after the date of this report.

Management has elected to omit substantially all disclosures and the summary of significant accounting policies required by the guidelines for the presentation of a projection established by the AICPA other than those related to significant assumptions. If the omitted disclosures and accounting policies were included in the projection, they might influence the user's conclusions about JBA Ventures, LLC's net cash receipts and disbursements for the projection period. Accordingly, this projection is not designed for those who are not informed about such matters.

This accompanying projection and this report are intended solely for the information and use of JBA Ventures, LLC, the Grand Island Community Redevelopment Authority, the Grand Island City Council, and certain individuals and organizations involved in the tax increment financing application process and are not intended to be and should not be used by anyone other than these specified parties.

Schroeder & Schreiner, P.C.

Grand Island, NE
January 31, 2023

2535 N. Carleton Ave., Suite B, Grand Island, NE 68803 • P.O. Box 520, Grand Island, NE 68802-0520
PH: 308-381-1355 • FAX: 308-381-6557 • www.ss-cpas.com

JBA VENTURES, LLC

PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING SCENARIOS DETAILED IN NOTE A - CASH BASIS

Twelve Months Ending After Project Phase 1 Completion

	With Tax Increment Financing	Without Tax Increment Financing
Gross Taxable Income:		
Rental revenue	$ 132,000	$ 132,000
Tax increment financing (TIF) revenue	55,030	-
	187,030	132,000
Tax Deductions:		
Interest expense - TIF debt	35,814	-
Interest expense - Non-TIF debt	149,563	221,439
Real estate tax (existing)	2,404	2,404
Real estate tax (TIF increment)	55,030	55,030
Insurance	13,750	13,750
Depreciation and amortization	102,104	102,104
	358,665	394,727
Taxable income (loss)	(171,635)	(262,727)
Adjustments to Arrive at Net Cash Receipts (Disbursements)		
Depreciation & amortization	102,104	102,104
Principal debt service - TIF	(18,222)	-
Principal debt service - Non-TIF	(45,192)	(74,310)
	38,690	27,794
Net cash receipts	$ (132,945)	$ (234,933)

See the summary of significant projection
assumptions and the independent accountants' compilation report.
Schroeder & Schreiner, P.C.
5

JBA Ventures, LLC

SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS

Twelve Months Ending After Project Phase 1 Completion

NOTE A – NATURE AND LIMITATION OF PROJECTIONS

The accompanying projection presents, to the best of JBA Ventures, LLC's knowledge and belief, cash receipts and disbursements for the twelve months ending after project phase 1 completion to be generated by housing units (e.g. "the project") located in Grand Island, Nebraska. Stated cash receipts and disbursements are intended to convey results of operations after the anticipated 2024 completion of phase 1 of the project, assuming funding of the estimated construction and acquisition costs of $7,534,435 both with, and in the absence of, tax increment financing assistance. The projection reflects their judgment as of January 31, 2023, the date of this projection, of the expected conditions and their expected course of action. Actual results are likely to differ from the projected results because events and circumstances frequently do not occur as expected. Those differences may be material. The assumptions disclosed herein are those that management believes are significant to the projections. The projected information was prepared for use in a tax increment financing request to the Grand Island Community Redevelopment Authority.

NOTE B – BASIS OF ACCOUNTING

The presentations of cash receipts and disbursements for the projection period and the twelve months ending after project phase 1 completion portray results using the cash basis of accounting. The results of this basis differ from those using generally accepted accounting principles primarily because the cash basis does not recognize assets other than cash and the debt principal outstanding under the tax increment financing or construction or building loan(s).

NOTE C – CASH RECEIPTS

JBA Ventures, LLC is the owner and operating entity for four-buildings intended to house 18 housing units. This projection considers only expected operating results from the first phase of the project consisting of two buildings housing 8 housing units. Revenue has been determined based on the knowledge and experience of the owners of JBA Ventures, LLC (and related parties) in the operation of similar facilities in the same locale. The projection assumes 100% occupancy of the 8 housing units at 4 – 2-bedroom units at $1,500 and 4 – 1-bedroom units at $1,250 per month for 12 months per year.

The projection includes two scenarios dependent on whether or not the tax increment financing (TIF) request is approved. In the event of TIF approval, JBA Ventures, LLC will receive additional TIF revenue from the County based on the anticipated increase in the assessed value generated by the proposed project and the additional real estate tax that increase will generate. Both the TIF financing and real estate taxes are subject to the final determination of assessed value.

NOTE D – CASH DISBURSEMENTS

Interest expense and principal debt service are based on the assumption that with the exception of any TIF financing assistance, the entire construction project Phase 1 will be financed through $556,495 of capital contributions from the owners of JBA Ventures, LLC with additional debt incurred to cover the remaining anticipated construction and improvement costs.

NOTE D – CASH DISBURSEMENTS, Continued

Phase 1 TIF debt is based on an initial $950,392 principal balance that can be serviced with the anticipated incremental real estate tax generated by the project. The loan is expected to have a 15-year term with scheduled monthly payments of $4,503 (annual $54,036) and an interest rate of approximately 7.5%. This debt reflects only that incurred to cover the first phase of the project.

The remaining construction and land acquisition costs, not funded through tax increment financing, will be satisfied with $556,495 of capital contributions and $6,027,548 of bank debt for the residual obligation. All remaining non-TIF construction debt will have a 20-year term. All loans will have an annual interest rate of approximately 7.5%. Scenarios contemplating the denial of tax increment financing will assume bank debt replacing TIF financing at the same 15-year term and 7.5% annual interest rate as the equivalent TIF financing.

Projected real estate tax is expected to equal the current tax (for the 2022 year) plus additional tax generated by applying the current levy rate to the anticipated increase in assessed value to be generated by the construction project.

Projected costs for common area water, sewer and utilities; insurance; repairs and maintenance; professional fees; and other costs are all based on the experience of JBA Ventures, LLC's members and the expected occupancy of the facility.

This projection estimates a taxable loss under all reporting scenarios. Accordingly, in anticipation of passive activity loss limitations restricting the use of said losses, no member distributions to cover estimated individual income tax (or contributions to reflect estimated income tax benefits) based on tax law provisions expected to be in effect during the projection period have been considered. Although not a cash expenditure, estimated depreciation has been calculated and included in the projection to arrive at net taxable income. Estimated capitalized costs are depreciated under either the straight-line method for 27.5-year life building components or the 150 percent declining balance method for 15-year life paving and improvement components.

JBA Ventures, LLC
Tax Increment Financing Application
Capitalization Rate Analysis

	With Tax Increment Financing	Without Tax Increment Financing
Net cash receipts (disbursements)	(132,945)	(234,933)
Add back: debt service	248,791	295,749
Net operating income	115,846	60,816
Divided by fair market value	2,942,035	2,942,035
Equals capitalization rate	3.94%	2.07%

Exhibit E

COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF GRAND ISLAND, NEBRASKA

RESOLUTION NO. 424

RESOLUTION OF THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA, SUBMITTING A PROPOSED REDEVELOPMENT PLAN TO THE HALL COUNTY REGIONAL PLANNING COMMISSION FOR ITS RECOMMENDATION

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), pursuant to the Nebraska Community Development Law (the "Act"), prepared a proposed redevelopment plan (the "Plan") a copy of which is attached hereto as Exhibit 1, for redevelopment of an area within the city limits of the City of Grand Island, Hall County, Nebraska; and

WHEREAS, the Authority is required by Section 18-2112 of the Act to submit said to the planning board having jurisdiction of the area proposed for redevelopment for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

The Authority submits to the Hall County Regional Planning Commission the proposed Plan attached to this Resolution, for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska.

Passed and approved this 8th day of February, 2023

COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA.

By _____
Chairperson

ATTEST:

_____
Secretary

JBA Ventures LLC Henry and Ada-Area 31

Resolution Number 2023-07

HALL COUNTY REGIONAL PLANNING COMMISSION

A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO A REDEVELOPMENT PLAN IN THE CITY OF GRAND ISLAND, NEBRASKA; AND APPROVAL OF RELATED ACTIONS

WHEREAS, the Chairman and Board of the Community Redevelopment Authority of the City of Grand Island, Nebraska (the **"Authority"**), referred **the Redevelopment Plan for CRA Area 31 requested by JBA Ventures LLC** to the Hall County Regional Planning Commission, (the "**Commission"**) for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska, pursuant to Section 18-2112 of the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the **"Act"**); and

WHEREAS, the Commission held a public hearing on the proposed plan on March 1, 2023, and

WHEREAS, the chair or president of Hall County Board, Grand Island School Board, Central Platte Natural Resources District, Educational Service Unit #10 and Central Community College were notified by certified mail of said hearing, and

WHEREAS, the Commission advertised the time, date and location public hearing in the Grand Island Independent on Friday February 10th and Friday February 17th, and

WHEREAS, there are no Neighborhood Associations registered with the City of Grand Island, and

WHEREAS, the Commission has reviewed said Redevelopment Plan as to its conformity with the general plan for the development of the City of Grand Island, Hall County;

NOW, THEREFORE, BE IT RESOLVED BY THE HALL COUNTY REGIONAL PLANNING COMMISSION AS FOLLOWS:

Section 1. The Commission hereby recommends approval of the Redevelopment Plan finding that it is in conformance with the comprehensive development plan (general plan for development) for the City of Grand Island.

Section 2. All prior resolutions of the Commission in conflict with the terms and provisions of this resolution are hereby expressly repealed to the extent of such conflicts.

Section 3. This resolution shall be in full force and effect from and after its passage as provided by law.

DATED: March 1, 2023

HALL COUNTY REGIONAL PLANNING COMMISSION

ATTEST:

By: _____
Chair

By: _____
Secretary

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F2

Public Hearing - Proposed Rezoning - Property located south of South Street along Henry and Ada Streets M2 to B2

Staff Contact:

Agenda Item #5

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 20, 2023

SUBJECT: *Zoning Change (*C-14-23GI)

PROPOSAL: To rezone approximately 2 acres of land south of South Street and east of Henry Street, from M2 Heavy Manufacturing to B-2 General Business Zone, in the City of Grand Island. The purpose of this rezoning request allow for the construction of apartments on these lots as permitted in the B2 Zoning District.

OVERVIEW:

Site Analysis

Current zoning designation:	**M2:** Heavy Manufacturing
Intent of zoning district	**M2:** The intent of this zoning district is to provide for the greatest amount of manufacturing, warehousing, wholesaling and business uses. Conditional use permits are required for those uses with more significant health and safety concerns. This zoning district does not permit residential dwellings
Permitted and conditional uses:	**M2**: No residential uses are permitted. A wide variety of manufacturing, retail, office and warehousing uses are permitted.
Proposed zoning district	**B-2**: Residential uses at a density of up to 43 units per acre, a variety of commercial, retail, office and service uses.
Comprehensive Plan Designation:	Designated for mixed use office.
Existing land uses.	Vacant property was used for warehousing and storage previously.

Adjacent Properties Analysis

Current zoning designations:	**East**: **R-4**-High Density Residential **South: B-2** – General Business **West and North: M2**- Heavy Manufacturing
Intent of zoning district:	**B-2:** The intent of this zoning district is to provide for the service, retail and wholesale needs of the general community. This zoning district will contain uses that have users and traffic from all areas of the community and trade areas, and therefore will have close proximity to the major traffic corridors of the City. Residential uses are permitted at the density of the (R-4) High Density Residential Zoning District.
Permitted and conditional uses:	**R-4** - Agricultural uses, recreational uses, non-profit uses, day cares and residential uses at a density of 43 dwelling units per acre **B-2**-Residential uses at a

	density of up to 43 units per acre, a variety of commercial, retail, office and service uses. **M2**: No residential uses are permitted. A wide variety of manufacturing, retail, office and warehousing uses are permitted.
Comprehensive Plan Designation:	**North:** Designated for Manufacturing **South:** Designated Mixed use office **East:** Designated for Low to Medium Density Residential **West:** Designated for public use
Existing land uses:	**North:** Hike Bike Trail and Sunrise Express Trucking **East**: Mixed Residential Uses **South:** Elderly Residential and Self Storage **West**: Grand Island Cemetery **EVALUATION:**

Positive Implications:

- *Largely consistent with the City's Comprehensive Land Use Plan*: The subject property is designated for mixed use office but the existing zoning to the south is B-2.

- *Accessible to Existing Municipal Infrastructure*: City water and sewer services are available to service the rezoning area.

- *Constent with the existing commercial development:* This property adjacent to existing residential units that are similar in nature to those proposed.

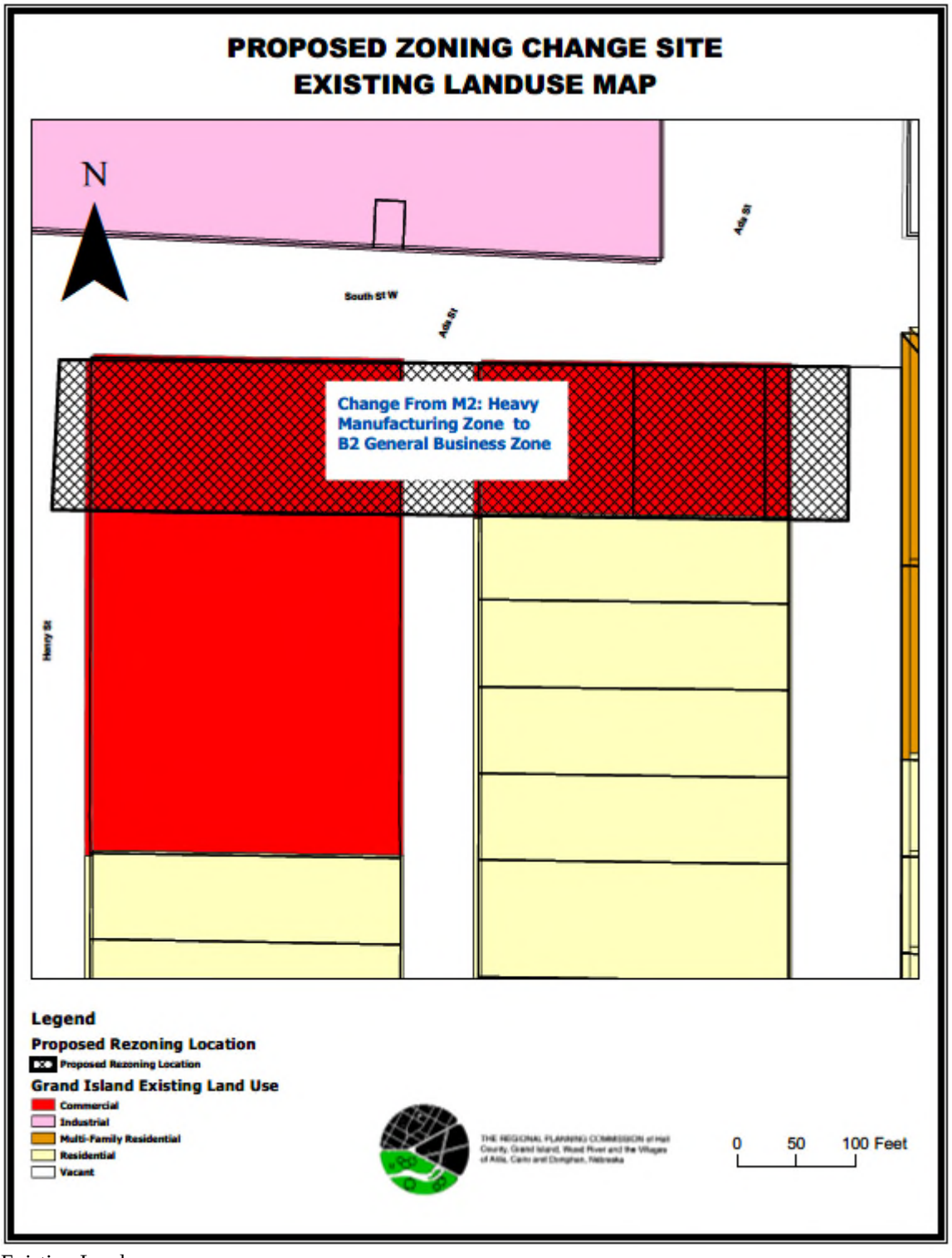
Negative Implications:

No Negative Consequences Foreseen

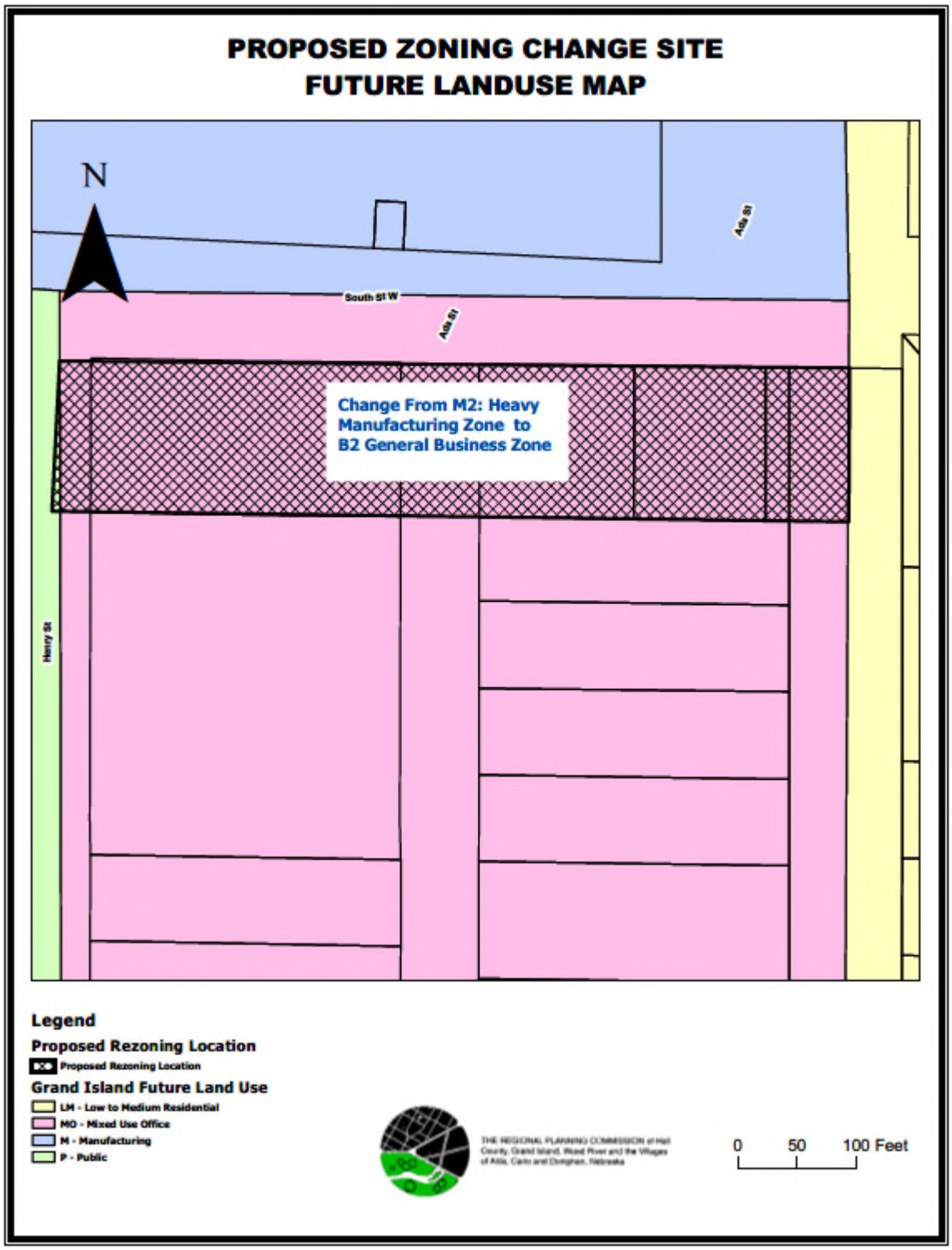
RECOMMENDATION:

That the Regional Planning Commission recommend that the Grand Island City Council change the zoning on the this site from M-2 Heavy Manufacturing to B-2-General Business as requested and shown on the attached map.

_____ Chad Nabity AICP, Planning Director



Existing Landuse



Future Land Use Map

APPLICATION FOR REZONING OR ZONING ORDINANCE CHANGE

Regional Planning Commission

Check Appropriate Location:
- [x] City of Grand Island and 2 mile zoning jurisdiction
- [ ] Alda, Cairo, Doniphan, Wood River and 1 mile zoning jurisdiction
- [ ] Hall County

RPC Filing Fee _____
(see reverse side)
*plus Municipal Fee** $50.00
*applicable only in Alda, Doniphan, Wood River

A. Applicant/Registered Owner Information (please print):

Applicant Name JBA Ventures, LLC Phone (h)_____ (w) 308-390-0351

Applicant Address 114 N. Custer, Grand Island, NE

Registered Property Owner (if different from applicant) See supplemental form

Address See supplemental form Phone (h)_____ (w)_____

B. Description of Land Subject of a Requested Zoning Change:

Property Address 1703 Henry Street; 1704 Ada Street; 1703 Ada Street, Dawn Sub Lt 1 Blk 1 - No Address

Legal Description: (provide copy of deed description of property)

Lot ____ Block ____ Subdivision Name See Supplemental Form, and/or

All/Part ____ ¼ of Section ____ TWP ___ RGE ___ W6PM

C. Requested Zoning Change:

1. Property Rezoning (yes☑) (no☐)
   (provide a properly scaled map of property to be rezoned)

   From M-2 Heavy Manufacturing Zone to B-2 General Business Zone

2. Amendment to Specific Section/Text of Zoning Ordinance (yes☐) (no☑)
   (describe nature of requested change to text of Zoning Ordinance)

D. Reasons in Support of Requested Rezoning or Zoning Ordinance Change:

See supplemental Form

NOTE: This application shall not be deemed complete unless the following is provided:

1. Evidence that proper filing fee has been submitted.
2. A properly scaled map of the property to be rezoned (if applicable), and copy of deed description.
3. The names, addresses and locations of all property owners immediately adjacent to, or within, 300 feet of the perimeter of the property to be rezoned (if the property is bounded by a street, the 300 feet shall begin across the street from the property to be rezoned).
4. Acknowledgement that the undersigned is/are the owner(s), or person authorized by the owner(s) of record title of any property which is requested to be rezoned:

A public hearing will be held for this request

Signature of Owner or Authorized Person Riley Baasch Digitally signed by Riley Baasch Date: 2022.02.16 09:12:50 -06'00' Date 2/16/2022

Note: Please submit a copy of this application, all attachments plus any applicable municipal filing fee to the appropriate Municipal Clerk's Office. RPC filing fee must be submitted separately to the Hall County Treasurer's Office (unless application is in Grand Island or its 2 mile zoning jurisdiction, then the RPC filing fee must be submitted to the G.I. City Clerk's Office).

Application Deemed Complete by RPC: mo.____day.____yr.____Initial____

RPC form revised 10/23/19

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F3

Public Hearing - Proposed Rezoning - Legacy 34 Second Subdivision - Property north of Husker Hwy and west of Prairie View Street

Staff Contact:

Agenda Item #6

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 20, 2023

SUBJECT: *Zoning Change* (C-15-23GI)

PROPOSAL: An application has been made to rezone 20.109 acres of property proposed for platting as part of the Legacy 34 development located west of Prairie View Street and north of Husker Highway from RD Residential Development Zone and CD Commercial Development Zone to amended RD Residential Development Zone and amended CD Commercial Development Zone and B2 General Business. The developers are proposing to build fifteen apartment buildings **(150 units)** on the property with buildings as shown on the attached plans, four carriage houses and seven commercial buildings including a civic center to support the neighborhood. This is the second change of several that are proposed for the full 200 acre site as shown with the preliminary plat for the whole property.

OVERVIEW:
Site Analysis

Current zoning designation:	RD- Residential Development Zone CD- Commercial Development Zone
Permitted and conditional uses:	Approve development plan for **RD** and **CD** Zones: The current plan called for fifteen 10 unit apartment buildings and 4 carriage houses and 4 commercial buildings. The proposed plan maintains the same number of residential units in the same general locations but amends the building envelopes to encompass all of the architectural projections from the buildings within those envelopes. The majority of the parking is included in the RD zone even that intended to serve the CD zone. The number of commercial buildings is changing from 4 to 7. The general location of the buildings is not changing but they have more detail
Comprehensive Plan Designation:	Mixed Use Commercial
Existing land uses.	Vacant Undeveloped Property

Adjacent Properties Analysis

Current zoning designations:

North: R2- Low Density Residential Zone

East: B2 General Business Zone and RD Residential Development Zone

West: RD Residential Development Zone

South: TA Transitional Agricultural Zone and RO Residential Office Zone

Permitted and conditional uses:

R2- Residential uses with a density of 1 unit per 6,000 square feet of property. Minimum lot size of 6,000 square feet. Churches, schools, parks are permitted in this zoning district

RD- Residential uses as approved by the submitted plan with density up to 42 units per acre. Churches, schools, parks and retirement facilities are also permitted in this district. Can allow more than one principle use per lot and development of private streets and utilities.

TA - Permits both farm and non-farm dwellings at a maximum density of two dwelling units per acre, as well as other open space and recreational activities. The intent of the zoning district also would allow the raising of livestock to a limit and within certain density requirements.

B2 - The intent of this zoning district is to provide for the service, retail and wholesale needs of the general community. This zoning district will contain uses that have users and traffic from all areas of the community and trade areas, and therefore will have close proximity to the major traffic corridors of the City. Residential uses are permitted at the density of the (R-4) High Density Residential Zoning District.

RO: The intent of this zoning district is to provide the highest density of residential uses as well as for various office, personal services and professional uses. This zoning district is also used as a transitional zone between lower density residential zones and business or manufacturing zones.

Comprehensive Plan Designation:

West, East, South and North: Mixed Use Commercial

Existing land uses:

North: Agricultural/ Vacant

South: Agricultural/Lake/Tabitha

East: Multifamily Residential and Commercial Lots some are developed some are vacant.

West: Multi-Family Residential and vacant property

EVALUATION:

Positive Implications:

- *In conformance with the City's Comprehensive Land Use Plan*: This particular site is designated for mixed use commercial uses within the plan. This would typically be a combination of commercial and multi-family residential.

- *New Housing Choices in Southwestern Grand Island:* Most of the new construction in Grand Island occurs in the northwest part of the city. This proposed development would build 154 new units in the southwestern part of the city.

- *Infill Development:* Most of the existing infrastructure is in place to support this development. Sewer and water are available. The developer is proposing a combination of private and public streets to support this development.

- *Provides Housing for Grand Island Residents and potential workers near the newly developed Hospital*.

- *Develops a neighborhood commercial node to support this development and the hospital development to the south.*

Negative Implications:

- *None foreseen*. This request does not materially change what has already been approved for the site. The proposed changes are generally minor modifications to the development plan with more specific details about the size and placement of the proposed commercial buildings with the CD Zone. The B2 zone in the southeast corner does gives the developer additional flexibility for the location of buildings but the uses would be consistent with the CD and RD zones.

RECOMMENDATION:

That the Regional Planning Commission recommend that the Grand Island City Council change the zoning on this site approve the amended RD-Residential Development Zone and amended CD Commercial Development Zone along with the B2 General Business Zone.

_____ Chad Nabity AICP, Planning Director

Proposed Rezoning Area
Future Landuse Map

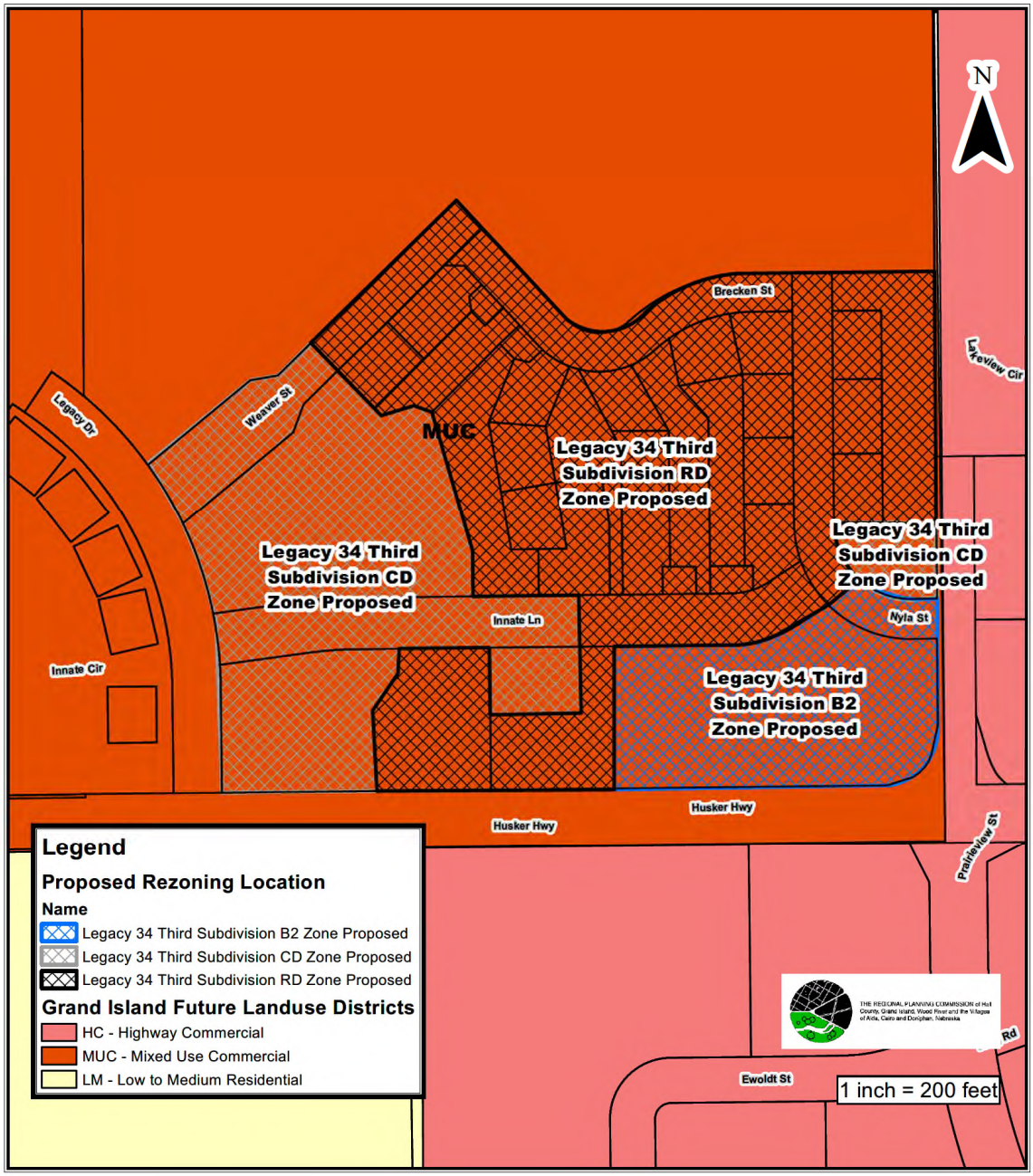


Figure 1 Future Land Use Map from the Grand Island Comprehensive Plan

Proposed
Rezoning Area

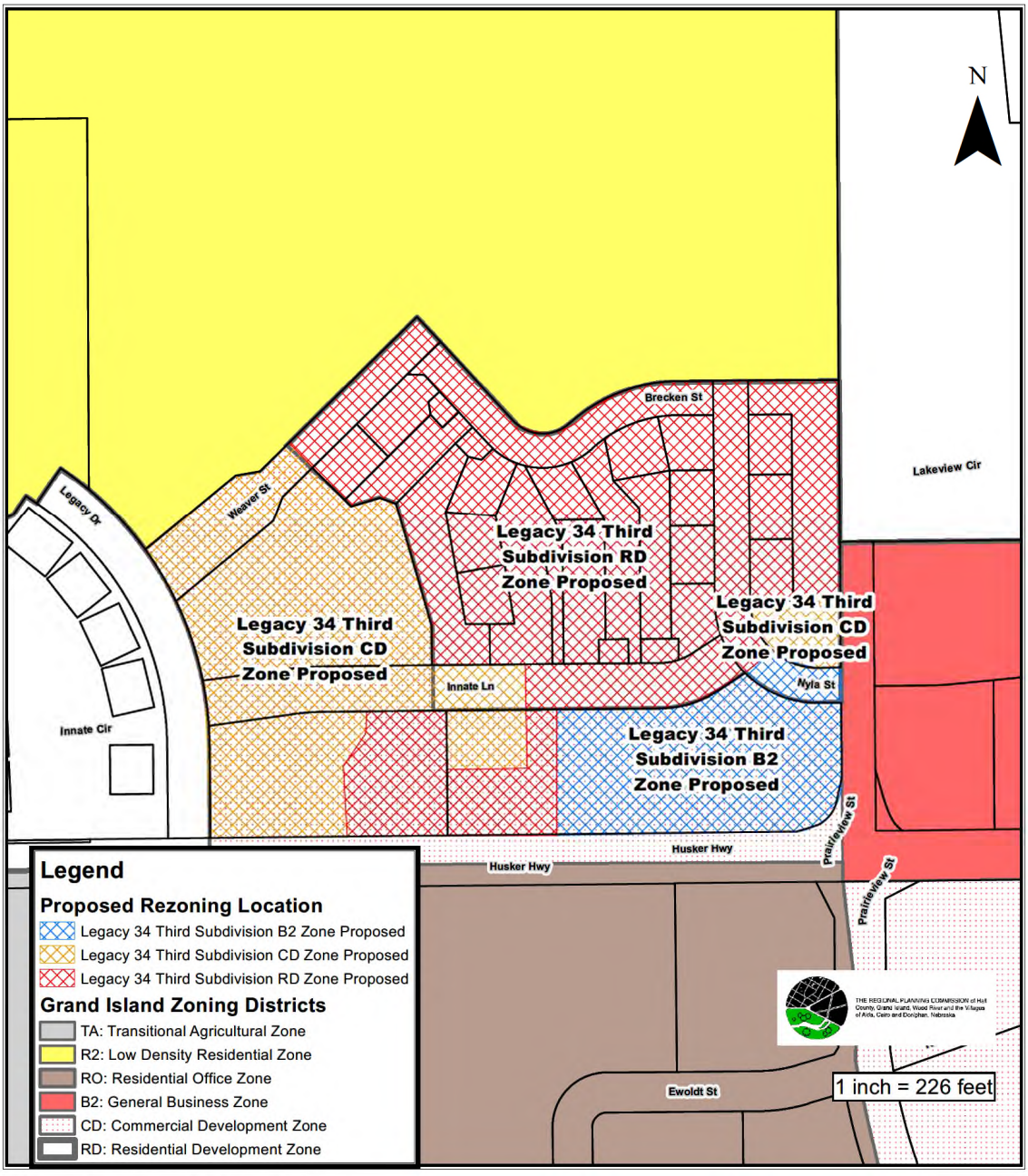


Figure 2- Proposed Zoning

APPLICATION FOR REZONING OR ZONING ORDINANCE CHANGE

Regional Planning Commission

Check Appropriate Location:
☑ City of Grand Island and 2 mile zoning jurisdiction
☐ Alda, Cairo, Doniphan, Wood River and 1 mile zoning jurisdiction
☐ Hall County

RPC Filing Fee _____
(see reverse side)
*plus Municipal Fee** $50.00
*applicable only in Alda, Doniphan, Wood River

A. Applicant/Registered Owner Information (please print):

Applicant Name Innate Development 2, LLC Phone (h) 308-258-5151 (w) _____

Applicant Address 1201 Allen Dr #240 Grand Island, NE 68803

Registered Property Owner (if different from applicant) Scott Rief

Address 1201 Allen Dr #240 Grand Island, NE 68803 Phone (h) 308-258-5151 (w) _____

B. Description of Land Subject of a Requested Zoning Change:

Property Address 3600 Husker Hwy
Legal Description: (provide copy of deed description of property)
Lot ____ Block ____ Subdivision Name _____, and/or
All/Part 25 ¼ of Section ____ TWP 11 RGE 10 W6PM

C. Requested Zoning Change:

1. Property Rezoning (yes☐) (no☑)
(provide a properly scaled map of property to be rezoned)

From RD/CD to RD/CD/B2

2. Amendment to Specific Section/Text of Zoning Ordinance (yes☐) (no☐)
(describe nature of requested change to text of Zoning Ordinance)

D. Reasons in Support of Requested Rezoning or Zoning Ordinance Change:

Development

NOTE: This application shall not be deemed complete unless the following is provided:

1. Evidence that proper filing fee has been submitted.
2. A properly scaled map of the property to be rezoned (if applicable), and copy of deed description.
3. The names, addresses and locations of all property owners immediately adjacent to, or within, 300 feet of the perimeter of the property to be rezoned (if the property is bounded by a street, the 300 feet shall begin across the street from the property to be rezoned).
4. Acknowledgement that the undersigned is/are the owner(s), or person authorized by the owner(s) of record title of any property which is requested to be rezoned:

A public hearing will be held for this request

Signature of Owner or Authorized Person _____ Date 2/10/2023

Note: Please submit a copy of this application, all attachments plus any applicable municipal filing fee to the appropriate Municipal Clerk's Office. RPC filing fee must be submitted separately to the Hall County Treasurer's Office (unless application is in Grand Island or its 2 mile zoning jurisdiction, then the RPC filing fee must be submitted to the G.I. City Clerk's Office).

Application Deemed Complete by RPC: mo.____day.____yr.____Initial____

RPC form revised 10/23/19

REGIONAL PLANNING COMMISSION FEES AND CHARGES

Effective October 1, 2020

Service or Product	**Fee**
Zoning Map Amendment (General)	$900.00
Zoning Ordinance Text Amendment	$900.00
CD or RD Comprehensive Rezoning (Grand Island 2 mile)	$900.00
P.U.D. Rezoning	$850.00 + $10.00/lot

Payment of Fees and Charges:

Zoning, Subdivision and Comprehensive plan amendment fees associated with land located within Grand Island or its 2 mile jurisdiction, are **payable to the City Clerk of Grand Island**.

Zoning, Subdivision and Comprehensive plan amendment fees associated with lands located within all other areas of Hall County are **payable to the Hall County Treasurer's Office**.

*Additional fees are charged for zoning within the City of Wood River, and the Villages of Alda and Doniphan of $50.00 each, **payable to the appropriate Clerk's office**.

LEGACY 34 THIRD SUBDIVISION

DEVELOPMENT PLAN

PROPOSED SIGN LOCATION

PLAN DEVELOPMENT BOUNDARY

ON-STREET PARKING

FUTURE DRIVE

BRECKEN STREET

WEAVER STREET

INNATE LANE

10 UNIT APARTMENT

FUTURE PHASE

POOL

CLUBHOUSE

MAIL KIOSK

OUTLOT A

NO PARKING ZONE

30 MIN. PARKING

CARRIAGE HOMES

10' LANDSCAPE BUFFER

BUILDING 3 TYPE A-2

BUILDING 2 TYPE A-1

BUILDING 1 TYPE A-2

0' 25' 50' 100'

SCALE IN FEET

N

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201 East 2nd Street
Grand Island, NE 68801 TEL 308.384.8750 www.olsson.com

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

DEVELOPMENT PLAN

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

drawn by: AST
checked by:
approved by: MMR
QA/QC by:
project no.: 022-01265
drawing no.:
date: 2.17.2023

SHEET 1 of 6

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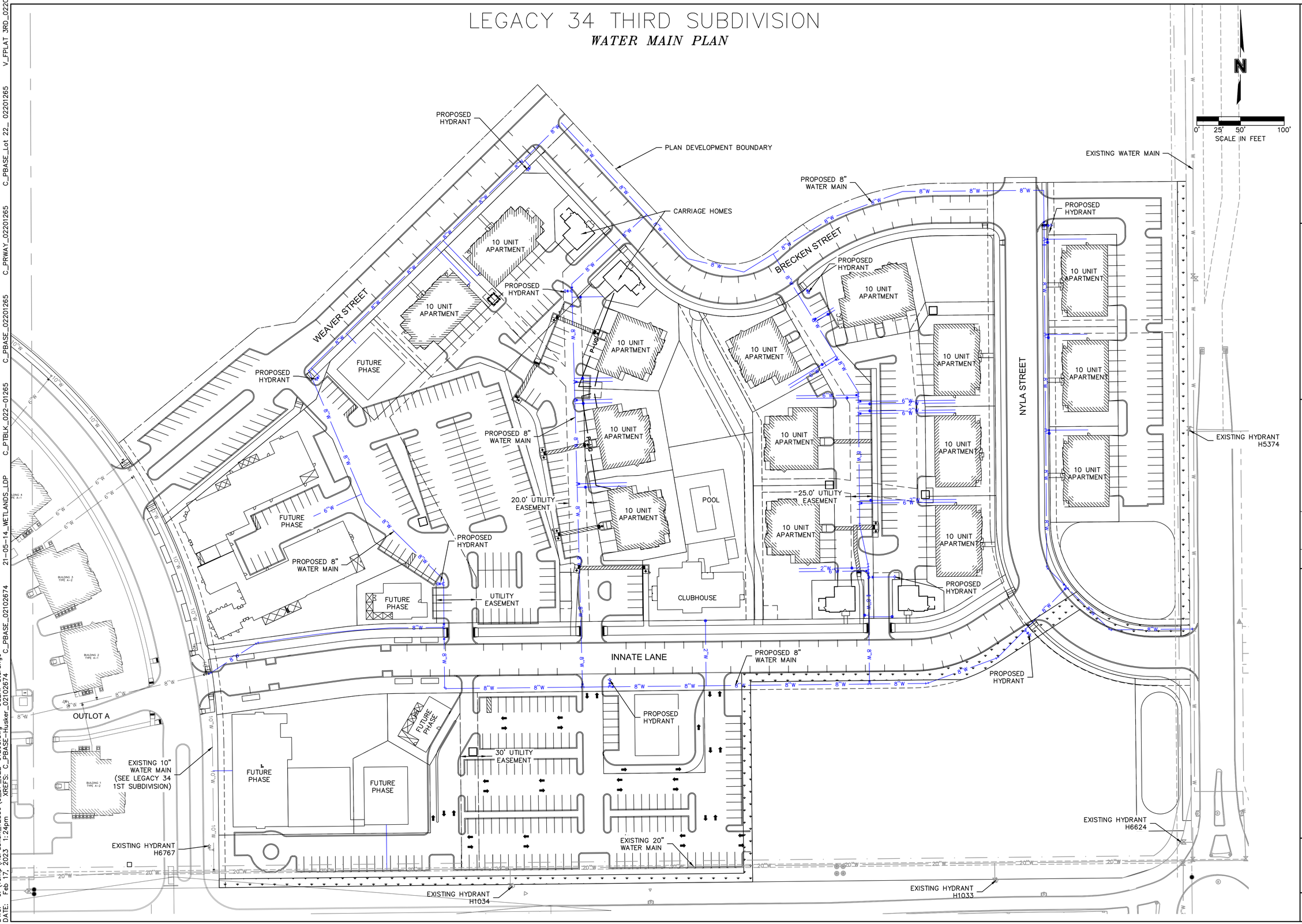
USER: atarango

LEGACY 34 THIRD SUBDIVISION

WATER MAIN PLAN



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REV. NO.	DATE	REVISIONS DESCRIPTION
		REVISIONS

WATER MAIN PLAN

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

drawn by: AST
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project no.: 022-01265
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SHEET
2 of 6

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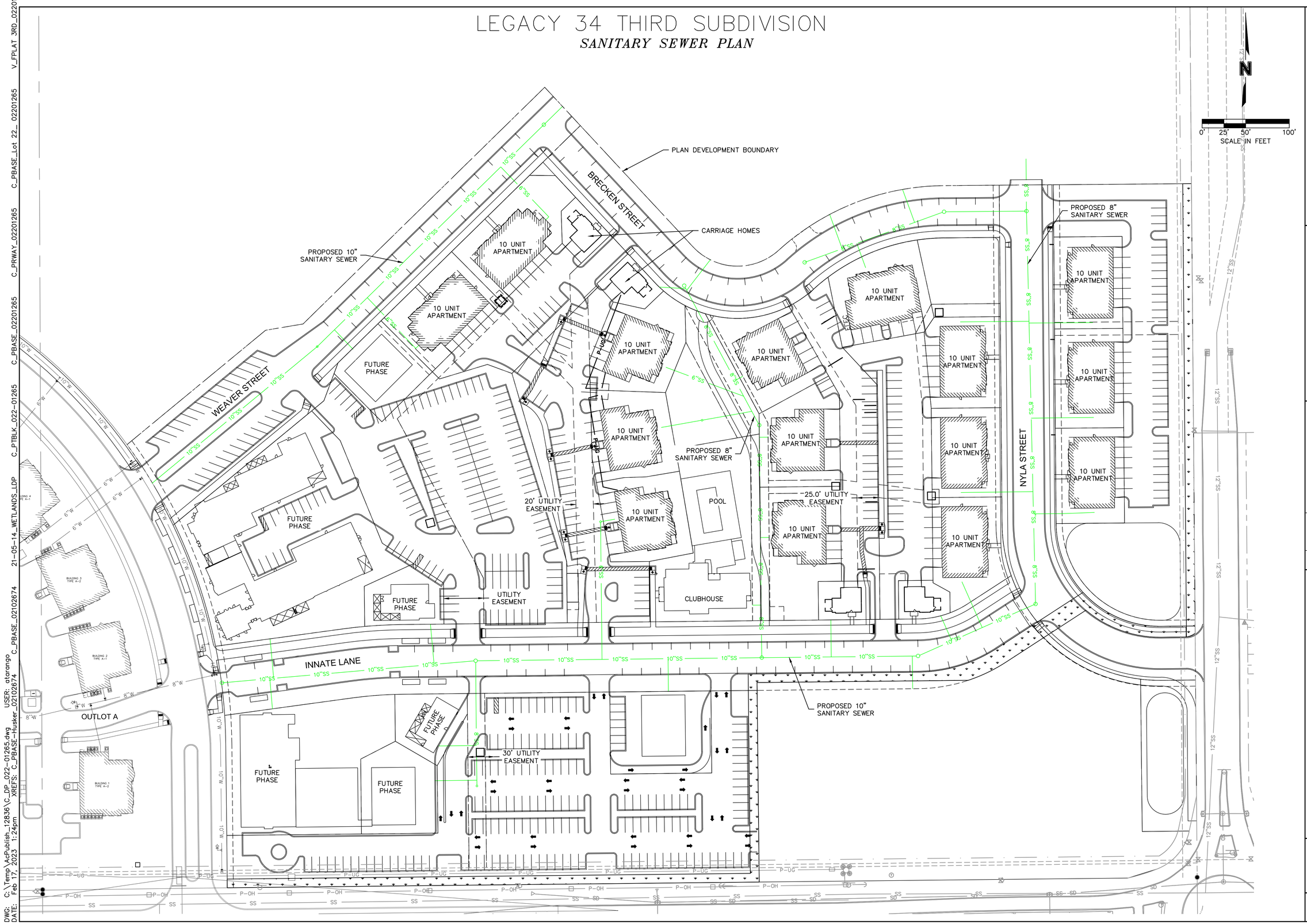
LEGACY 34 THIRD SUBDIVISION

SANITARY SEWER PLAN



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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

SANITARY SEWER PLAN

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

drawn by: AST
checked by:
approved by: MMR
QA/QC by:
project no.: 022-01265
drawing no.:
date: 2.17.2023

SHEET
3 of 6

DWG: C:\Temp\AcPublish_12836\C_DP_022-01265.dwg
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C_PBASE_02201265
C_PRWAY_02201265
C_PBASE_Lot 22_ 02201265
V_FPLAT 3RD_02201265

LEGACY 34 THIRD SUBDIVISION

ELECTRICAL PLAN

PLAN DEVELOPMENT BOUNDARY

BRECKEN STREET

CARRIAGE HOMES

WEAVER STREET

NYLA STREET

INNATE LANE

OUTLOT A

10 UNIT APARTMENT

FUTURE PHASE

15' UTILITY EASEMENT

25' UTILITY EASEMENT

10' UTILITY EASEMENT

20' UTILITY EASEMENT

30' UTILITY EASEMENT

UTILITY EASEMENT

POOL

CLUBHOUSE

EXISTING UNDERGROUND ELECTRIC

P-UG

P-OH

SS

SD

FO

12"SS

0' 25' 50' 100'

SCALE IN FEET

N

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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

ELECTRICAL PLAN

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

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QA/QC by:
project no.: 022-01265
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SHEET 4 of 6

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LEGACY 34 THIRD SUBDIVISION

FIRE SERVICE PLAN

PROPOSED HYDRANT
PLAN DEVELOPMENT BOUNDARY
EXISTING WATER MAIN
PROPOSED 8" WATER MAIN
CARRIAGE HOMES
BRECKEN STREET
WEAVER STREET
NYLA STREET
INNATE LANE
10 UNIT APARTMENT
FUTURE PHASE
20' UTILITY EASEMENT
20.0' UTILITY EASEMENT
25.0' UTILITY EASEMENT
POOL
CLUBHOUSE
OUTLOT A
PLUG
EXISTING 10" WATER MAIN (SEE LEGACY 34 1ST SUBDIVISION)
EXISTING HYDRANT H6767
EXISTING HYDRANT H1034
EXISTING 20" WATER MAIN
EXISTING HYDRANT H1033
EXISTING HYDRANT H6624
EXISTING HYDRANT H5374

N
0' 25' 50' 100'
SCALE IN FEET

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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

FIRE SERVICE/TRUCK ACCESS

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

drawn by: AST
checked by:
approved by: MMR
QA/QC by:
project no.: 022-01265
drawing no.:
date: 2.17.2023

SHEET 5 of 6

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C_PRWAY_02201265
C_PBASE_Lot 22_ 02201265
V_FPLAT 3RD_02201265

LEGACY 34 THIRD SUBDIVISION

UTILITIES

LEGEND:

- W — PROPOSED WATER MAIN
- SS — PROPOSED SANITARY SEWER
- P-UG — PROPOSED ELECTRICAL

PROPOSED HYDRANT
PLAN DEVELOPMENT BOUNDARY
EXISTING WATER MAIN
PROPOSED 8" WATER MAIN
CARRIAGE HOMES
BRECKEN STREET
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EXISTING HYDRANT H5374
EXISTING HYDRANT H6624
EXISTING HYDRANT H6767
EXISTING HYDRANT H1034
EXISTING HYDRANT H1033
SCALE IN FEET 0' 25' 50' 100'

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REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

COMBINED UTILITIES

LEGACY 34 THIRD SUBDIVISION
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

2023

drawn by: AST
checked by:
approved by: MMR
QA/QC by:
project no.: 022-01265
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SHEET 6 of 6

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C_PRWAY_02201265
C_PBASE_Lot 22_ 02201265
V_FPLAT 3RD_02201265

HALL COUNTY REGIONAL PLANNING COMMISSION
PLANNED UNIT DEVELOPMENT SUBDIVISION APPLICATION

(Residential Development Zone & Commercial Development Zone)

This application must be submitted a minimum of 40 calendar days prior to a Regional Planning Commission meeting to be considered at that meeting. Planning Commission meetings are typically held on the first Wednesday of the month.

Located at E 100 1st Street Grand Island, NE
Mailing Address: P O Box 1968 Grand Island NE 68802

Owners Information

Name: Innate Development 2, LLC

Address: 1201 Allen Dr #240

City: Grand Island State: NE Zip code: 68803

Phone: 308-258-5151

Attach additional information as necessary for all parties listed as an owner on the plat and any other party such as partners, Deed of Trust holders, etc…

All owners, lien holders, etc. will be required to sign the dedication certificate on the final plat. As the applicant for this subdivision I do hereby certify that I have provided complete information regarding the ownership of the property included in this application:

By: Jai Jason Andrist Date: 1/25/2023
(Applicant)

Surveyor/Engineers Information

Surveyor/Engineering Firm: Olsson

Address: 201 E 2nd Street

City: Grand Island State: NE Zip code: 68801

Phone: 308-384-8750

Surveyor/Engineer Name: Jai Andrist License Number: 630

Subdivision Information

Subdivision Name: Legacy 34 Third Subdivision

Number of Acres: 20.1

Number of Out-Lots: 13 Number of Public Out-Lots: _____

Number of Out-Lots or Detention Cells Owned by Subdivision/ HOA: _____

Number of Detention Cells: 2

Number of Lots: 28

Number of Dedicated Public Streets: 1 Right of Way Widths: 62'

Number of Dedicated Private Streets (if applicable): 3

Street Widths: 32', 37'

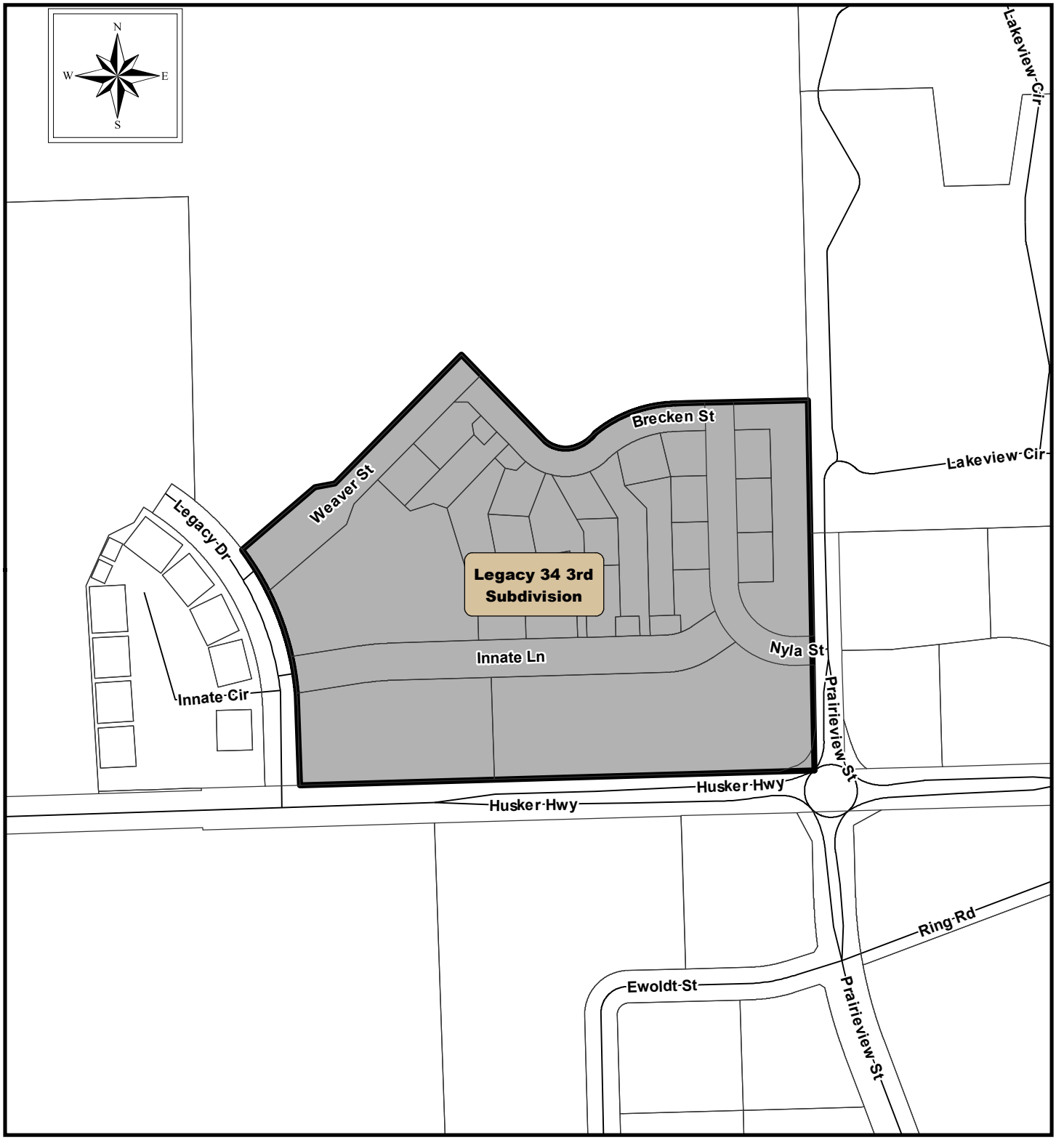
Type of Sidewalks: ☑ Conventional Sidewalks ☐ Curb Sidewalks

Type of Dwellings (If applicable): Select from the list below:

- ☐ Single-family
- ☐ Single-family Attached
- ☐ Duplex
- ☑ Multi-family / Apartment House

Providing false information on this application will result in nullification of the application and forfeiture of all related fees. If you have any questions regarding this form or subdivision regulations administered by the Hall County Regional Planning Department call (308) 385-5240.

PROPOSED SUBDIVISION
LOCATION MAP



THE REGIONAL PLANNING COMMISSION of Hall County, Grand Island, Wood River and the Villages of Alda, Cairo and Doniphan, Nebraska

1 inch = 300 feet

LEGACY 34 THIRD SUBDIVISION

CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA

FINAL PLAT

CURVE TABLE					
CURVE ID	RADIUS (FT)	DELTA	LENGTH (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	595.00(M,P)	35°19'00"	366.75(M,P)	N18°16'35"W	360.97(M,P)
C2	70.00 (M,P)	89°25'48"	109.26 (M,P)	S87°35'26"E	98.50 (M,P)
C3	285.00(M,P)	41°49'49"	208.07(M,P)	N68°36'35"E	203.48(M,P)
C4	119.00 (M,P)	90°08'34"	187.22 (M,P)	S45°32'47"E	168.50 (M,P)
C5	181.00 (M,P)	90°08'34"	284.77(M,P)	N45°32'47"W	256.29(M,P)
C6	225.00(M,P)	41°49'49"	164.27 (M,P)	S68°36'35"W	160.64 (M,P)
C7	130.00(M,P)	89°25'48"	202.91 (M,P)	N87°35'26"W	182.93 (M,P)
C8	187.50 (M,P)	14°32'25"	47.58	N64°17'16"E	47.46
C9	107.50 (M,P)	32°21'52"	60.72 (M,P)	N73°11'59"E	59.92 (M,P)
C10	462.50(M,P)	7°10'20"	57.90 (M,P)	N85°47'45"E	57.86 (M,P)
C11	542.50(M,P)	7°10'20"	67.91 (M,P)	N85°47'45"E	67.86 (M,P)
C12	60.00 (M,P)	56°18'24"	58.96 (M,P)	S39°56'52"W	56.62 (M,P)
C13	595.00(M,P)	3°04'34"	31.95 (M,P)	N02°09'22"W	31.94 (M,P)
C14	462.50(M,P)	7°10'20"	57.90 (M,P)	S85°47'45"W	57.86 (M,P)
C15	595.00(M,P)	14°17'16"	148.38 (M,P)	N18°32'51"W	147.99 (M,P)
C16	595.00(M,P)	10°14'35"	106.37 (M,P)	N30°48'47"W	106.23 (M,P)
C17	193.86 (M,P)	7°06'59"	24.08 (M,P)	S86°55'32"E	24.06 (M,P)
C18	181.62 (M,P)	37°43'14"	119.57 (M,P)	S64°02'57"E	117.42 (M,P)
C19	107.50(M,P)	32°21'52"	60.72 (M,P)	N73°11'59"E	59.92 (M,P)
C20	181.00 (M,P)	19°08'11"	60.45 (M,P)	S10°02'36"E	60.17 (M,P)
C21	225.00	7°54'51"	31.08	N85°34'04"E	31.05
C22	225.00	28°30'59"	111.98	N67°21'09"E	110.83
C23	225.00	5°23'59"	21.20	N50°23'40"E	21.20
C24	130.00	15°22'21"	34.88	N55°22'51"E	34.77
C25	130.00	43°28'34"	98.64	N84°48'19"E	96.29
C26	130.00	11°05'32"	25.17	S67°54'39"E	25.13
C27	130.00	13°09'01"	29.84	S55°47'22"E	29.77
C28	130.00	6°20'20"	14.38	S46°02'42"E	14.37
C29	107.50	12°02'16"	22.59	S63°02'11"W	22.54
C30	107.50	20°19'36"	38.14	S79°13'07"W	37.94
C31	462.50	1°06'09"	8.90	N88°49'51"E	8.90
C32	462.50	6°04'11"	48.99	N85°14'41"E	48.97
C33	637.10	2°15'59"	25.20	S83°27'06"W	25.20
C34	578.62	4°13'45"	42.71	S87°10'45"W	42.70
C35	181.00 (M,P)	25°32'11"	80.67 (M,P)	S32°22'47"E	80.00 (M,P)
C36	595.00(M,P)	7°42'34"	80.06 (M,P)	N07°32'56"W	80.00 (M,P)

LINE TABLE		
LINE ID	DIRECTION	LENGTH (FT)
L1	N20°27'30"E	13.07
L2	N89°33'23"W	29.84
L3	S42°52'32"E	33.99
L4	S46°07'28"W	22.96
L5	S01°54'02"E	36.96
L6	S42°52'32"E	59.03
L7	N46°07'28"E	46.65
L8	S43°52'32"E	31.55
L9	S46°07'28"W	49.72
L10	S42°52'32"E	44.66
L11	S46°07'28"W	29.90
L12	N77°28'05"W	37.18
L13	N41°50'47"W	28.07(M,P)
L14	S42°52'32"E	29.33
L15	S69°49'40"E	29.93
L16	N73°12'23"E	57.44
L17	S45°06'49"E	11.58
L18	S41°50'47"E	24.39
L19	N01°31'56"W	34.17
L20	N79°54'04"E	32.06
L21	N88°06'08"E	25.23
L22	N80°22'55"E	39.07
L23	S79°10'35"W	51.37
L24	N89°22'55"E	44.54
L25	N10°04'51"W	26.02
L26	S01°25'44"E	42.10
L27	N00°37'14"W	23.15
L28	S29°52'04"E	25.29
L29	S89°22'55"W	26.80
L30	S00°37'05"E	44.25
L31	S89°22'55"W	65.66
L32	N89°22'55"E	59.50
L33	S89°22'55"W	59.50
L34	S89°22'55"W	32.70
L35	N00°37'05"W	44.25
L36	S89°22'55"W	10.99
L37	S89°22'55"W	21.51
L38	S00°37'05"E	44.25

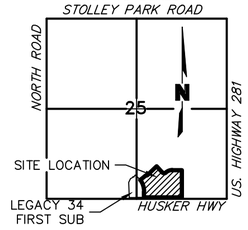
LINE TABLE		
LINE ID	DIRECTION	LENGTH (FT)
L39	S89°22'55"W	39.80
L40	S00°37'05"E	2.90
L41	N60°58'40"W	22.09
L42	N00°33'06"W	23.73
L43	S89°22'55"W	21.63
L44	S56°59'25"E	40.90
L45	S56°59'25"E	42.87
L46	N50°27'30"E	18.21
L47	N20°27'30"E	33.44

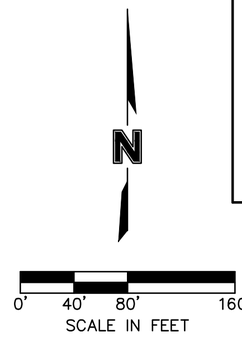
LEGEND

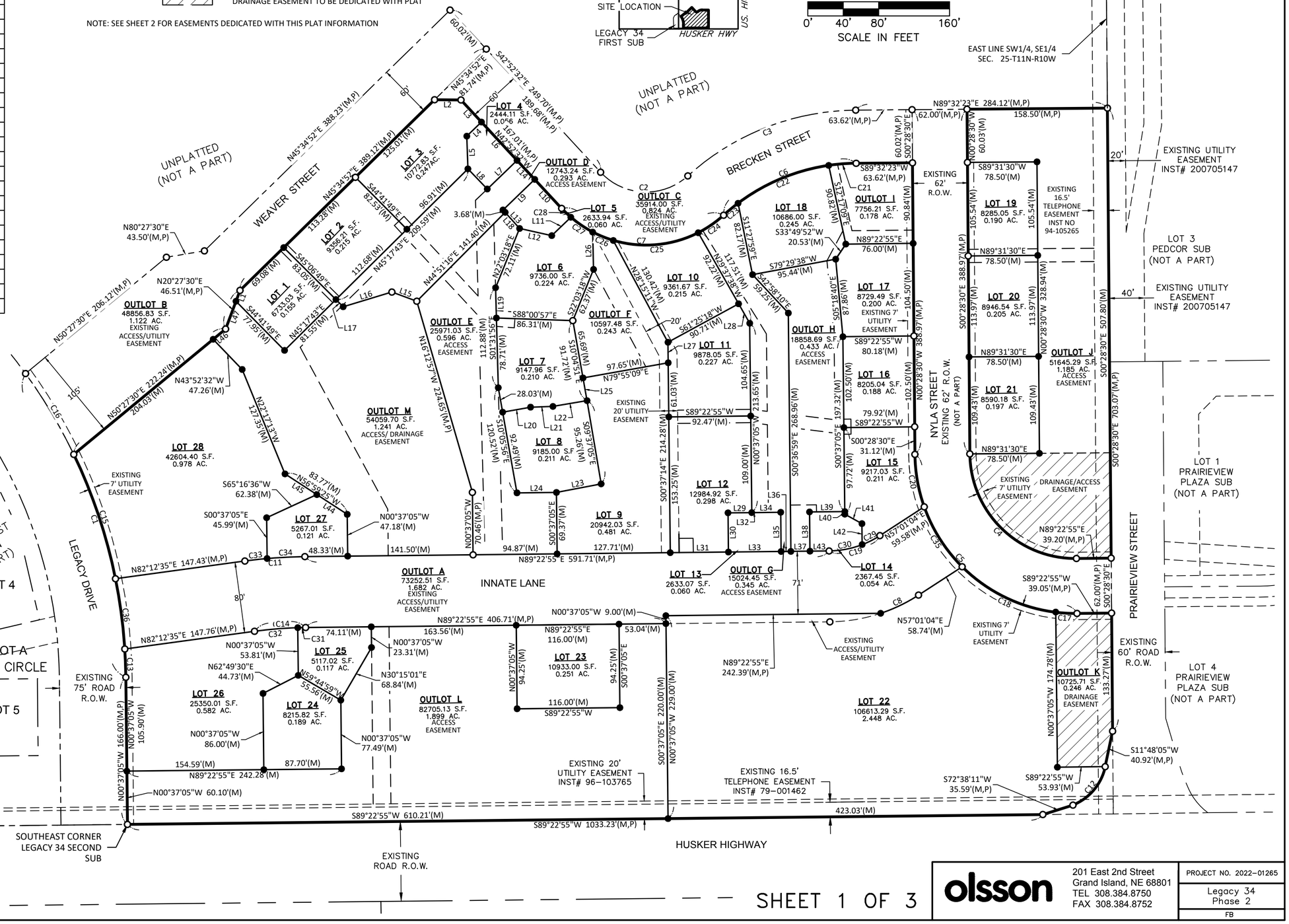
- SET CORNER (5/8"x24" REBAR w/CAP)
- FOUND CORNER (5/8" REBAR w/CAP)
- EXISTING ROW LINE
- EXISTING EASEMENT LINE
- EASEMENT LINE
- NEW LOT LINE
- NEW SUBDIVISION LINE
- M MEASURED DISTANCE
- P PLATTED DISTANCE - LEGACY 34 2ND SUB
- DRAINAGE EASEMENT TO BE DEDICATED WITH PLAT

NOTE: SEE SHEET 2 FOR EASEMENTS DEDICATED WITH THIS PLAT INFORMATION

LOCATION MAP
SEC. 25, T11N, R10W
NOT TO SCALE






UNPLATTED (NOT A PART)
WEAVER STREET
BRECKEN STREET
LEGACY DRIVE
INNATE LANE
PRAIRIEVIEW STREET
NYLA STREET
EXISTING 62' R.O.W. (NOT A PART)
EXISTING 62' R.O.W.
EAST LINE SW1/4, SE1/4 SEC. 25-T11N-R10W
LOT 1 PRAIRIEVIEW PLAZA SUB (NOT A PART)
LOT 3 PEDCOR SUB (NOT A PART)
LOT 4 PRAIRIEVIEW PLAZA SUB (NOT A PART)
LEGACY 34 FIRST SUBDIVISION (NOT A PART)
LOT 3
LOT 4
LOT 5
OUTLOT A INNATE CIRCLE
EXISTING 75' ROAD R.O.W.
EXISTING 60' ROAD R.O.W.
SOUTHEAST CORNER LEGACY 34 SECOND SUB
EXISTING ROAD R.O.W.
HUSKER HIGHWAY
EXISTING UTILITY EASEMENT INST# 200705147
EXISTING 16.5' TELEPHONE EASEMENT INST NO 94-105265
EXISTING 20' UTILITY EASEMENT INST# 96-103765
EXISTING 16.5' TELEPHONE EASEMENT INST# 79-001462
EXISTING ACCESS/UTILITY EASEMENT
EXISTING 7' UTILITY EASEMENT
DRAINAGE/ACCESS EASEMENT
OUTLOT A 73252.51 S.F. 1.682 AC. EXISTING ACCESS/UTILITY EASEMENT
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LOT 25 5117.02 S.F. 0.117 AC.
LOT 26 25350.01 S.F. 0.582 AC.
LOT 27 5267.01 S.F. 0.121 AC.
LOT 28 42604.40 S.F. 0.978 AC.
N45°34'52"E 388.23'(M,P)
N45°34'52"E 389.12'(M,P)
S42°52'32"E 249.70'(M,P)
199.98'(M,P)
N80°27'30"E 43.50'(M,P)
N20°27'30"E 46.51'(M,P)
N50°27'30"E 206.12'(M,P)
N50°27'30"E 222.24'(M,P)
N43°52'32"W 47.26'(M)
N82°12'35"E 147.43'(M,P)
N82°12'35"E 147.76'(M,P)
N89°22'55"E 591.71'(M,P)
N89°22'55"E 406.71'(M,P)
N89°32'23"W 284.12'(M,P)
S89°22'55"W 610.21'(M)
S89°22'55"W 1033.23'(M,P)
S89°22'55"W 423.03'(M)
S11°48'05"W 40.92'(M,P)
S72°38'11"W 35.59'(M,P)
S89°22'55"W 53.93'(M)
N89°22'55"E 242.39'(M,P)
N89°22'55"E 39.20'(M,P)
S89°22'55"W 39.05'(M,P)
N57°01'04"E 58.74'(M)
S57°01'04"E 59.58'(M,P)
N00°37'05"W 9.00'(M)
N00°37'05"W 60.10'(M)
N00°37'05"W 166.00'(M,P)
N00°37'05"W 165.90'(M)
N00°37'05"W 174.78'(M)
S00°37'05"E 220.00'(M)
N00°37'05"W 229.00'(M)
S00°28'30"E 703.07'(M,P)
S00°28'30"E 507.80'(M)
S00°28'30"E 388.97'(M,P)
S00°28'30"W 388.97'(M,P)
S00°36'59"E 268.96'(M)
S00°37'14"E 214.28'(M)
S00°37'14"E 153.25'(M)
N00°37'05"W 109.00'(M)
N00°37'05"W 70.46'(M,P)
S00°37'05"E 69.37'(M)
S00°37'05"E 97.72'(M)
S00°37'05"E 197.32'(M)
S00°37'05"E 91.72'(M)
S00°37'05"E 120.21'(M)
S00°37'05"E 96.49'(M)
S00°37'05"E 96.26'(M)
S00°37'05"E 63.97'(M)
S00°37'05"E 91.72'(M)
S00°37'05"E 87.86'(M)
S00°37'05"E 87.96'(M)
S00°37'05"E 87.96'(M)
S00°37'05"E 87.96

LEGACY 34 THIRD SUBDIVISION

CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA

FINAL PLAT – EASEMENTS

N

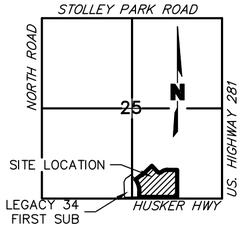
0' 40' 80' 160'

SCALE IN FEET

LEGEND

- SET CORNER (5/8"x24" REBAR w/CAP)
- FOUND CORNER (5/8" REBAR w/CAP)
- EXISTING ROW LINE
- EXISTING EASEMENT LINE
- EASEMENT LINE
- NEW LOT LINE
- NEW SUBDIVISION LINE
- M MEASURED DISTANCE
- P PLATTED DISTANCE - LEGACY 34 2ND SUB
- E EASEMENT DISTANCE
- DRAINAGE EASEMENT TO BE DEDICATED WITH PLAT

LOCATION MAP
SEC. 25, T11N, R10W
NOT TO SCALE



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20' UTILITY EASEMENT DEDICATED WITH THIS PLAT
25' UTILITY EASEMENT DEDICATED WITH THIS PLAT
UTILITY EASEMENT DEDICATED WITH THIS PLAT
16'x16' UTILITY EASEMENT DEDICATED WITH THIS PLAT
EXISTING 7' UTILITY EASEMENT
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EXISTING UTILITY EASEMENT INST# 200705147
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EXISTING ACCESS/UTILITY EASEMENT
EXISTING 75' ROAD R.O.W.
EXISTING ROAD R.O.W.
EXISTING 60' ROAD R.O.W.

SOUTHEAST CORNER LEGACY 34 SECOND SUB

olsson
201 East 2nd Street
Grand Island, NE 68801
TEL 308.384.8750
FAX 308.384.8752

PROJECT NO. 2022-01265
Legacy 34 Phase 2
FB

SHEET 2 OF 3

DWG: F:\2022\01001-01500\022-01265\40-Design\Survey\SRVY\Sheets\V_FPLAT 3RD_02201265.dwg USER: jjimenez
DATE: Feb 20, 2023 5:08pm XREFS: C_PBASE_02201265 V_XRWAY_LDP_02201265 UNIT U3 UNIT D4-H

LEGACY 34 THIRD SUBDIVISION

CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA

FINAL PLAT

LEGAL DESCRIPTION

A REPLAT OF ALL OF LOTS 1-23 AND ALL OF OUTLOTS A, D-J, ALL IN LEGACY 34 SECOND SUBDIVISION, IN THE CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA. SAID TRACT CONTAINS A CALCULATED AREA OF 875932.17 SQUARE FEET OR 20.109 ACRES MORE OR LESS OF WHICH 0.984 ACRES ARE NEW DEDICATED ROAD RIGHT-OF-WAY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT ON _____, 2023, I COMPLETED AN ACCURATE SURVEY, UNDER MY PERSONAL SUPERVISION, OF A TRACT OF LAND CONSISTING OF A REPLAT OF ALL OF LOTS 1-23 AND ALL OF OUTLOTS A, D-J, ALL IN LEGACY 34 SECOND SUBDIVISION, IN THE CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA, AS SHOWN ON THE ACCOMPANYING PLAT THEREOF; THAT IRON MARKERS, EXCEPT WHERE INDICATED, WERE FOUND AT ALL CORNERS; THAT THE DIMENSIONS ARE AS SHOWN ON THE PLAT; AND THAT SAID SURVEY WAS MADE WITH REFERENCE TO KNOWN AND RECORDED MONUMENTS.

_____

JAI JASON ANDRIST, REGISTERED LAND SURVEYOR NUMBER, LS-630

APPROVAL

SUBMITTED TO AND APPROVED BY THE REGIONAL PLANNING COMMISSION OF HALL COUNTY, CITIES OF GRAND ISLAND, WOOD RIVER, AND THE VILLAGES OF ALDA, CAIRO, AND DONIPHAN, NEBRASKA.

_____ _____

CHAIRPERSON DATE

APPROVED AND ACCEPTED BY THE CITY OF GRAND ISLAND, NEBRASKA

THIS ____ DAY OF _____ , 2023

_____

MAYOR

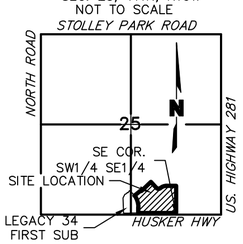
_____

CITY CLERK

LOCATION MAP

SEC. 25, T11N, R10W

NOT TO SCALE



OWNERS: INNATE DEVELOPMENT 2, LLC
INNATE 3, LLC, INNATE 4, LLC, INNATE 5, LLC,
AND INNATE 6, LLC
SUBDIVIDER: INNATE DEVELOPMENT 2, LLC
INNATE 3, LLC, INNATE 4, LLC, INNATE 5, LLC,
AND INNATE 6, LLC
SURVEYOR: OLSSON
ENGINEER: OLSSON
NUMBER OF LOTS: 28 LOTS/ 13 OUTLOTS

DEDICATION OF PLAT

KNOW ALL MEN BY THESE PRESENTS, THAT INNATE DEVELOPMENT 2, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, INNATE 3, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, INNATE 4, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, INNATE 5, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, AND INNATE 6, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE LAND DESCRIBED HEREON, HAVE CAUSED SAME TO BE SURVEYED, SUBDIVIDED, PLATTED AND DESIGNATED AS "*LEGACY 34 THIRD SUBDIVISION*" IN ALL OF LOTS 1-23 AND ALL OF OUTLOTS A, D-J, ALL IN LEGACY 34 SECOND SUBDIVISION, IN THE CITY OF GRAND ISLAND, HALL COUNTY, NEBRASKA, AS SHOWN ON THE ACCOMPANYING PLAT THEREOF AND DO HEREBY DEDICATE THE ROAD RIGHT OF WAY, AS SHOWN THEREON TO THE PUBLIC FOR THEIR USE FOREVER: AND HEREBY DEDICATE THE EASEMENTS, AS SHOWN THEREON TO THE PUBLIC FOR THEIR USE FOREVER FOR THE LOCATION, CONSTRUCTION AND MAINTENANCE FOR PUBLIC SERVICE UTILITIES, TOGETHER WITH THE RIGHTS OF INGRESS AND EGRESS HERETO, AND THAT THE FOREGOING SUBDIVISION AS MORE PARTICULARLY DESCRIBED IN THE DESCRIPTION HEREON AS APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.

IN WITNESS WHEREOF, I HAVE AFFIXED MY SIGNATURE HERETO, AT _____, NEBRASKA, THIS ____ DAY OF _____, 2023

_____

BY SCOTT P. RIEF
MANAGING MEMBER OF INNATE DEVELOPMENT 2, LLC
MEMBER OF INNATE 3, LLC
MEMBER OF INNATE 4, LLC
SOLE MEMBER OF INNATE 5, LLC
MEMBER OF INNATE 6, LLC

ACKNOWLEDGMENT

STATE OF NEBRASKA ss
COUNTY OF HALL

ON THIS ____ DAY OF _____, 2023, BEFORE ME, A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED SCOTT P. RIEF
MANAGING MEMBER OF INNATE DEVELOPMENT 2, LLC
MEMBER OF INNATE 3, LLC
MEMBER OF INNATE 4, LLC
SOLE MEMBER OF INNATE 5, LLC
MEMBER OF INNATE 6, LLC
TO BE PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED HERETO AND ACKNOWLEDGED THE EXECUTION THEREOF TO BE HIS VOLUNTARY ACT AND DEED. IN WITNESS WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL AT _____ , NEBRASKA, ON THE DATE LAST ABOVE WRITTEN.

MY COMMISSION EXPIRES _____

_____

NOTARY PUBLIC

SHEET 3 OF 3

olsson
201 East 2nd Street
Grand Island, NE 68801
TEL 308.384.8750
FAX 308.384.8752

PROJECT NO. 2022-01265
Legacy 34
Phase 2
FB

DWG: F:\2022\01001-01500\022-01265\40-Design\Survey\SRVY\Sheets\V_FPLAT 3RD_02201265.dwg USER: jjimenez
DATE: Feb 20, 2023 5:08pm XREFS: C_PBASE_02201265 V_XRWAY_LDP_02201265 UNIT U3 UNIT D4-H

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F4

Public Hearing - Redevelopment Plan - Grand Island - CRA Area No. 34 - north of 13th Street and west of of the Moore's Creek Drainway

Staff Contact:

Agenda Item # 7

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 15, 2023

SUBJECT:

Redevelopment plan amendment for property located in Blight and Substandard Area 34 located north of 13th Street and west of the Moore's Creek Drainway being platted as Millennial Estates Subdivision, in Hall County, Nebraska to support this development. (C—17-23GI)

PROPOSAL:

Starostka Group Unlimited is proposing to develop the properties described above for residential and recreational purposes. The property is zoned a combination of R-2 Low Density Residential the proposed uses are permitted in this zoning district.

OVERVIEW:

The purpose of the CRA and the designated blight and substandard area is to provide incentives for development in underdeveloped areas of the community. This area has already been declared blighted and substandard the Grand Island City Council.

This project is **consistent** with the **existing zoning** and the **future land use plan** for this area within the City of Grand Island. This is evident by the existing zoning districts and fact that the property was rezoned for these uses in 2021. This development will promote housing construction in Grand Island.

The Regional Planning Commission recommendation is limited to the appropriateness of the proposed use at this location. The Grand Island Comprehensive Plan calls for the development of a residential uses at this location. This proposed development will install, extend and connect to city utilities including sewer and water at this location.

The Planning Commission is required to comment on these applications to confirm that expenditure of public funds through TIF is not supporting uses that would be inconsistent with the comprehensive plan. The proposed use for a mixed use development at this location appears to be supported by the plan.

This plan was approved by Council in September of 2022 with the understanding that the developers would be paying for and constructing Claude Road on the east side of the property and that they would receive 100% of the TIF benefit. This current plan proposes that the City build Claude Road and receive 25% of the TIF benefit to pay for the road. The plan also proposes that the developer dedicate the right of way for Claude Road with the approval of this plan.

RECOMMENDATION:

That the Regional Planning Commission recommends find that the redevelopment plan is consistent with the Comprehensive Plan (general plan for development) of the city of Grand Island. A resolution is attached for your consideration.

_____ Chad Nabity AICP, Planning Director

Redevelopment Plan Amendment
Grand Island CRA Area 34
July 2022 Amended February 2023

The Community Redevelopment Authority (CRA) of the City of Grand Island intends to amend the Redevelopment Plan for Area 34 with in the city, pursuant to the Nebraska Community Development Law (the "Act") and provide for the financing of a specific infrastructure related project in Area 34.

Executive Summary:

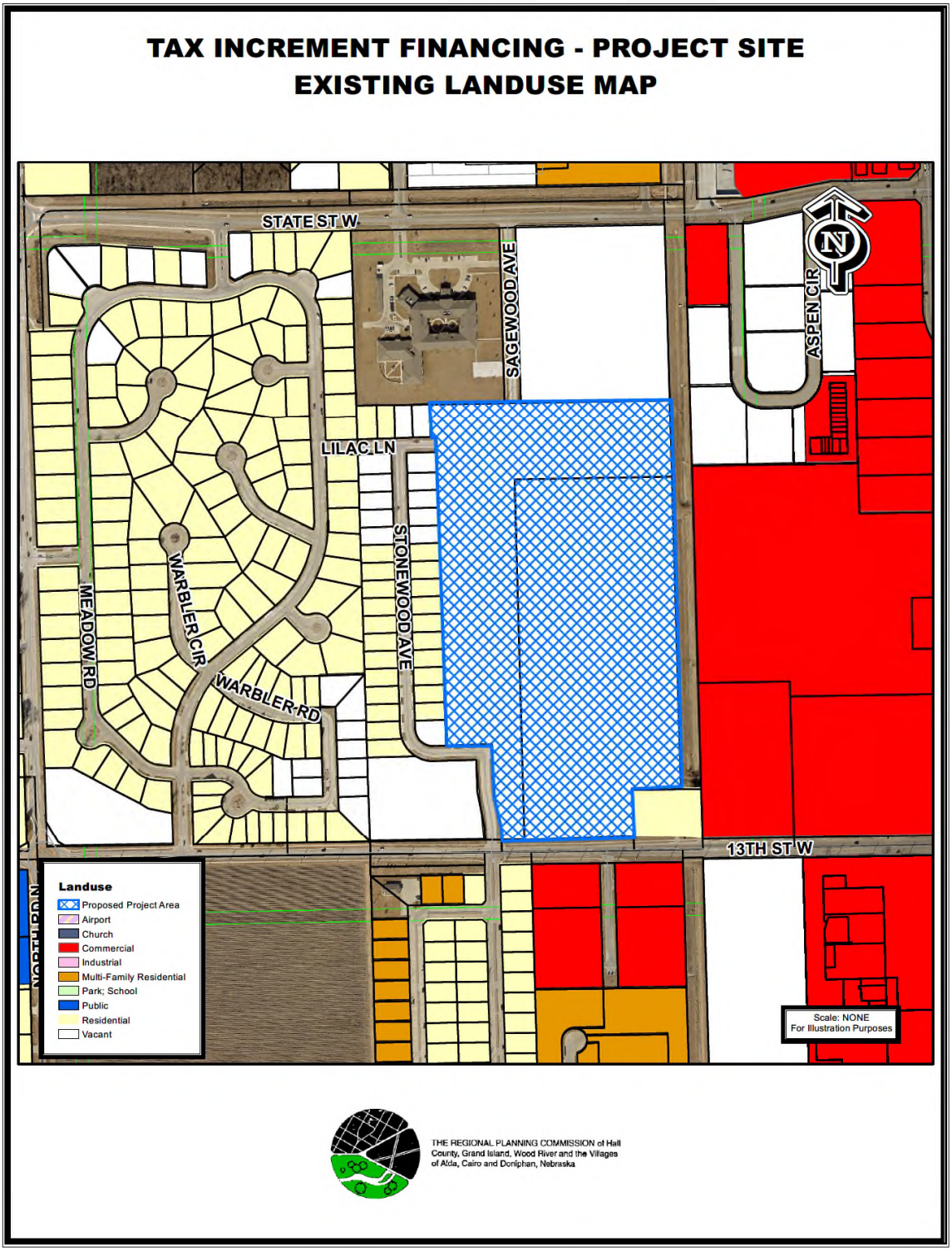
Project Description
THE REDEVELOPMENT APPROXIMATELY 49 ACRES OF PROPERTY LOCATED NORTH OF 13TH STREET SOUTH OF STATE STREET AND WEST OF THE MOORE'S CREEK DRAINWAY IN NORTHWEST GRAND ISLAND FOR A RESIDENTIAL HOUSING INCLUDING UP TO 120 UNITS OF HOUSING.

The use of Tax Increment Financing to aid in redevelopment expenses associated with platting and installing the necessary infrastructure (streets, sanitary sewer, water, and storm sewer) for the development of 120 units of housing. The use of Tax Increment Financing is an integral part of the development plan and necessary to make this project affordable. The 2020 Housing Study for the City of Grand Island identified a need of 1361 new rental and owner occupied housing units by 2024.

Starostka Group Unlimited, Inc has purchased a portion of this property and has an option to purchase rest for residential development. This project is in CRA Area 34. This redevelopment project includes two components. The first component supports the private project. The second component will support the construction of Claude Road between Faidley Avenue and State Street (the "Public Project"). The CRA will issue two TIF Notes. Seventy five percent of the TIF Revenue will be allocated to the TIF Note purchased by the Redeveloper. Twenty Five percent of the TIF Revenue will be allocated to the TIF Note to support the Public Project, which shall be assigned by the Redeveloper to the CRA. The CRA will enter into a contract with the City to install the Public Project. The City will be reimbursed for the Public Project by assignment of the TIF Note for the Public Project. Changes in the cost of construction, availability of materials and the approval of several other housing projects using Tax Increment Financing have led to this application for assistance with the project. The developer is responsible for and has provided evidence that they can secure adequate debt financing to cover the costs associated with the construction of units. The Grand Island Community Redevelopment Authority (CRA) intends to pledge the ad valorem taxes generated over multiple 15 year periods beginning either January 1, 2024 or January 1, 2025 towards the allowable costs and associated financing for the development of this property.

TAX INCREMENT FINANCING TO PAY FOR THE DEVELOPMENT OF THE PROPERTY WILL COME FROM THE FOLLOWING REAL PROPERTY:
Property Description (the "Redevelopment Project Area")

Legal Descriptions: Part of the E ½ of the SW ¼ of 12-11-10 (PID 400149971) and Part of the E ½ of the SW ¼ 12-11-10 (PID 400149966)



Existing Land Use and Subject Property

The tax increment will be captured for the tax years the payments for which become delinquent in years 2024 through 2049 inclusive. The TIF contract will be structured so it can be amended each year for up to ten years to add the housing units to be completed during that year. No single property will be eligible for TIF for a period of more than 15 years.

The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase will come from development of the property for residential and commercial uses as previously described.

Statutory Pledge of Taxes.

In accordance with Section 18-2147 of the Act and the terms of the Resolution providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract or any amendment to the redevelopment contract, consistent with this Redevelopment Plan. The plan anticipates that each phase of the development will constitute new effective date for the purposes of determining the period of fifteen years. Said taxes shall be divided as follows:

a. That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and

b. That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

1. The Redevelopment Project Area has been declared blighted and substandard by action of the Grand Island City Council on September 28, 2021.[§18-2109] Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.

2. Conformation to the General Plan for the Municipality as a whole. [§18-2103 (13) (a) and §18-2110]

Grand Island adopted a Comprehensive Plan on July 13, 2004. This redevelopment plan amendment and project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended. This plan merely provides funding for the developer to rehabilitate the property for permitted uses on this property as defined by the current and effective zoning regulations. The Hall County Regional Planning Commission held a public hearing at their meeting on August 3, 2022 and passed Resolution 2022-12 confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island. This amendment was also submitted to the Hall County Regional Planning Commission. The Hall County Regional Planning Commission held a public hearing at their meeting on March 1, 2023 and passed Resolution 2023-XX confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island. The Grand Island Public School District has submitted a formal request to the Grand Island CRA to notify the District any time a TIF project involving a housing subdivision and/or apartment complex is proposed within the District. The school district was notified of this plan amendment prior to it being submitted to the CRA for initial consideration.

3. The Redevelopment Plan must be sufficiently complete to address the following items: [§18-2103(13) (b)]

a. Land Acquisition:

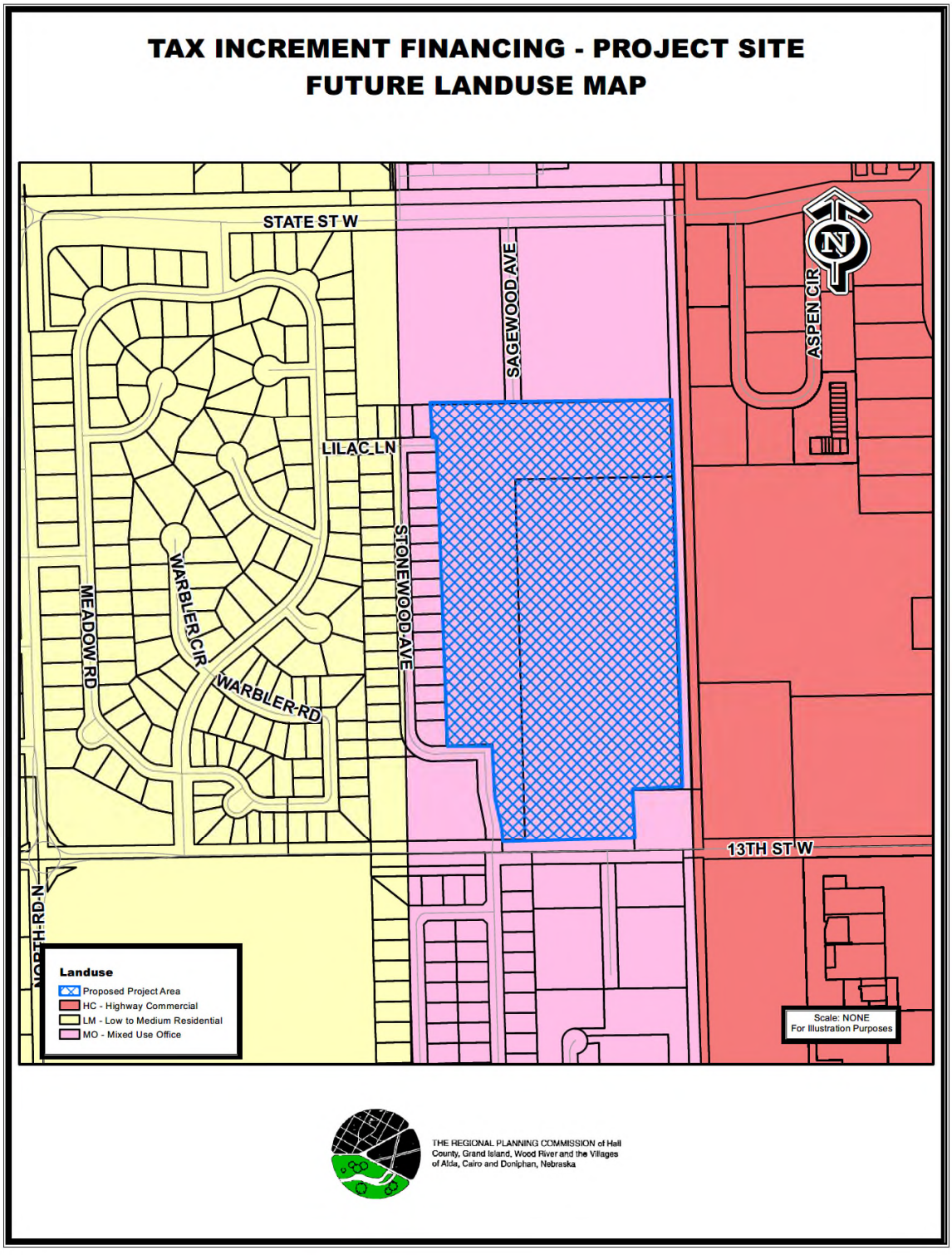
This Redevelopment Plan for Area 34 provides for real property acquisition and this plan amendment does not prohibit such acquisition. There is no proposed acquisition by the authority.

b. Demolition and Removal of Structures:

The project to be implemented with this plan does not provide for the demolition and removal any structures on this property.

c. Future Land Use Plan

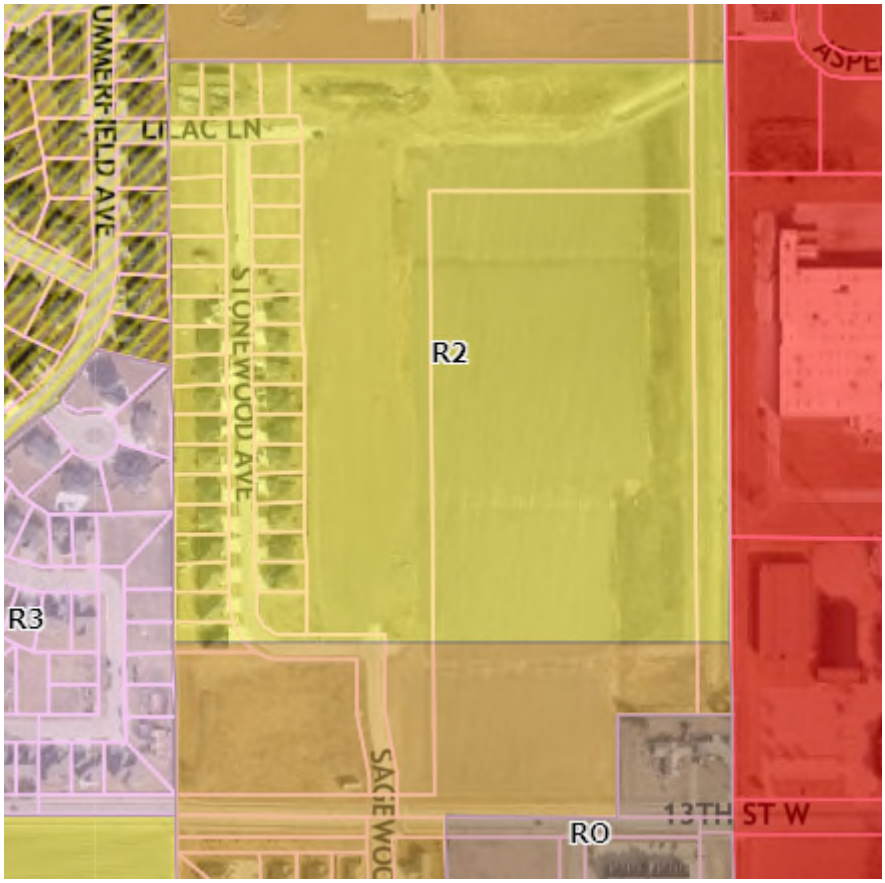
See the attached map from the 2004 Grand Island Comprehensive Plan. All of the area around the site in private ownership is planned for low to medium density residential development. This property is in private ownership. [§18-2103(b) and §18-2111] The attached map also is an accurate site plan of the area after redevelopment. [§18-2111(5)]



City of Grand Island Future Land Use Map

d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.

The area is zoned R4 High Density Residential along 13th street and R2 Low Density Residential on the northern portion of the site. The future land use map calls for medium density to office use development across this entire site. New public streets and utilities are anticipated and needed to support this project and it is anticipated that TIF revenues will offset the costs of those improvements. No changes are anticipated in building codes or other ordinances. No other planning changes contemplated. [§18-2103(b) and §18-2111]



Current Zoning on the Site

e. Site Coverage and Intensity of Use

The R2 zoning district allows for one dwelling unit per 6000 square feet of lot space with a 6000 square foot minimum lot size. The RO zoning district does not limit the density of housing units but does require minimum 6000 square foot lot. The development as proposed will have a residential density of 2.4 units per acre. *Appendix A of this plan includes the developer's vision for the development.* [§18-2103(b) and §18-2111]

f. Additional Public Facilities or Utilities

Sanitary sewer and water are available to support this development. Both sanitary sewer and water will need to be extended throughout the site. TIF revenues will be used to offset the cost of these public utility improvements.

Electric utilities are sufficient for the proposed use of this property. Electric lines, transformers, and conduit will need to be extended throughout the property.

No other publicly owned utilities would be impacted by the development. §18-2103(b) and §18-2111]

4. The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation. This property is vacant and has been vacant for more than 1 year; no relocation is contemplated or necessary. [§18-2103.02]

5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106] No members of the authority or staff of the CRA have any interest in this property.

6. Section 18-2114 of the Act requires that the Authority consider:

a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.

The purchase price of the property is $810,000as an eligible expense. The estimated costs of utilities including sewer and water is $1,446,189. Streets and drainage are estimated at $2,520,655. Planning activities including engineering, architecture, legal fees and government fees are estimated at $872,706. The total of the eligible expenses for this project is estimated by the developer at $5,650,000.

No property will be transferred to redevelopers by the Authority. The developer will provide and secure all necessary financing.

b. Statement of proposed method of financing the redevelopment project.

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of $5,650,000 from the proceeds of the TIF. The project will include the project as describe in this plan and costs associated with building Claude Road between this property and State Street. The revenues shall be split with 75% dedicated to the residential subdivision project paid to the developer and 25% dedicated to Claude Road and paid to the city for those expenses. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2024 through December 2049.

c. Statement of feasible method of relocating displaced families.

No families will be displaced as a result of this plan.

7. Section 18-2113 of the Act requires:

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan. This amendment, in and of itself will promote consistency with the Comprehensive Plan. This will have the intended result of preventing recurring elements of unsafe buildings and blighting conditions. This will accomplish the goal of increasing the number of residential units within the City of Grand Island and encouraging infill development. This project will also provide for the development of Claude Road and reducing congestion along Diers Avenue within the City of Grand Island.

8. Time Frame for Development

Development of this project is anticipated to begin in the 2023 year. The build out of the subdivision is planned in five phases between 2024 and 2033. It is anticipated that the units in this development will be fully built out by 2033 with the tax increment on those homes extending to 2048. Excess valuation should be available for the first homes built with this project for 15 years beginning with either the 2024 or 2025 tax year, depending on the timing of the first phase.

9. Justification of Project

The 2020 housing study for the City of Grand Island projected that by 2024 we would need an additional 1361 new housing units. There should be 902 non-age restricted units with 518 owner occupied and with 384 rental units. There should be 459 age restricted unit 459 with 222 as 55+ owner occupied and with 237 as 55+ rental units. Between January 1 of 2020 and December of 2021 the city issued permits for 430 new housing units including both restricted and unrestricted units leaving a need for 931 additional units by 2024. The current housing market, a combination of the cost of producing

housing and the prevailing wages, has not created a situation that gives the markets sufficient incentive to build the number housing units required to meet community needs. This lack of housing options impacts a variety of other areas within the community including work force development, overcrowding, and maintenance of residential units. This project will create new housing options for all citizens and potential citizens of Grand Island and will likely result in the sale of existing homes around the city.

10. Cost Benefit Analysis Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, *Neb. Rev. Stat.* (2019), the City of Grand Island has analyzed the costs and benefits of the proposed Redevelopment Project, including:

Project Sources and Uses. Approximately $5,650,000 in public funds from tax increment financing provided by the Grand Island Community Redevelopment Authority will be required to complete the project. This investment by the Authority will leverage $32,424,550 in private sector financing and investment; a private investment of $5.74 for every TIF dollar invested.

Use of Funds	**Source of funds**		
Description	**TIF Funds**	**Private Funds**	**Total**
Site Acquisition	$810,000		$810,000
Building Costs		$32,400,000	$32,400,000
Sewer and Water	$1,446,189		$1,446,189
Public Streets/ sidewalks	$1,108,155		$1,108,155
Planning (Arch. & Eng.)	$872,706		$872,706
Legal/ TIF contract	$450	$24,550	$25,000
25% for Claude Road	$1,412,500		$1,412,500
Total	$5,650,000	$32,424,550	$38,074,550

Tax Revenue. The property to be redeveloped is anticipated to have a January 1, 2023 valuation of approximately $149,793. Based on the 2021 levy this would result in a real property tax of approximately $3,247. It is anticipated that the assessed value will increase by $32,400,000 upon full completion, as a result of the site redevelopment. This development will result in an estimated tax increase of over $699,000 annually. The tax increment gained from this Redevelopment Project Area would not be available for use as city general tax revenues, for the period of the bonds, but would be used for eligible private redevelopment costs to enable this project to be realized.

Estimated 2023 assessed value:	$	149,793
Estimated value after completion	$	32,400,000
Increment value	$	32,250,261
Annual TIF generated (estimated)	$	699,308
TIF bond issue	$	5,650,000

(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;

The redevelopment project area currently has an estimated valuation of $89,739. The proposed redevelopment will create additional valuation of $32,400,000 over the course of the next ten years. The project creates additional valuation that will support taxing entities long after the project is paid off along with providing 120 additional housing units and provide for the development and construction of Claude Road on the east side of this property. The tax shift from this project will be equal to the total of the bond principal of $5,650,000 if fully funded and any associated interest on the bond to be assigned with contract approval.

(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;

Existing water and waste water facilities will not be negatively impacted by this development. The electric utility has sufficient capacity to support the development. This is infill development with services connecting to existing line with capacity. This development will result in a larger number of students for Grand Island Public Schools. Fire and police protection are available and should not be negatively impacted by this development though there will be some increased need for officers and fire fighters as the City continues to grow whether from this project or others.

(c) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project;

This will provide additional housing options for the residents of Grand Island. The National Homebuilders Association estimated in a 2014 study[1] that each unit of single family housing resulted in 2.97 full time equivalent jobs so this development at 13 units per year would represent an additional 39 FTE's within the city for the next nine years.

(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and

This project will not have a negative impact on other employers different from any other expanding business within the Grand Island area. Grand Island does have tight labor market and part of that is due to the availability and cost of housing. This development may help alleviate some of those pressures.

(e) Impacts on student populations of school districts within the City or Village:

This development will have an impact on the Grand Island School system and will likely result in additional students at the elementary and secondary school levels.

[1] https://www.nahb.org/news-and-economics/housing-economics/housings-economic-impact/impact-of-home-building-and-remodeling-on-the-us-economy

The average number of persons per household in Grand Island for 2015 to 2019 according the American Community Survey is 2.61. 120 additional households would house 313 people. According to the 2010 census 19.2% of the population of Grand Island was over 4 years old and under 18 years old. 2020 census number for this population cohort are not yet available but 27.6% of the 2021 population is less than 18 years of age this is the same percentage as the under 18 age cohort in 2010. If the averages hold it would be expected that there would be an additional 60 school age children generated by this development. If this develops at a rate of 13 units per year for 9 years approximately 7 children could be added to the school age population every year with this development. These 7 children will likely be spread over the full school age population from elementary to secondary school. According to the National Center for Educational Statistics[2] the 2019-20 enrollment for GIPS was 10,070 students and the cost per student in 2017-18 was $12,351 of that $4,653 is generated locally.

The Grand Island Public School System was notified on January 31, 2022 that the CRA would be considering this application at their July 13, 2022 meeting.

(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.

This project is consistent the goals of the 2020 Housing Study for the City of Grand Island to create more than 1361 new housing units. Between January of 2020 and December of 2021 the City of Grand Island has issue permits for 430 housing units. The local housing market is not capable of producing the number of units needed at market rate given the costs of building and development. Twenty Five percent of the increment generated approximately $1,412,500 will be made available to the City of Grand Island for the development of Claude Road along the east side of property.

Time Frame for Development

Development of this project is anticipated to be completed between Spring of 2023 and the end of 2033. The base tax year should be calculated on the value of the property as of January 1, 2023 for the first phase with each phase based on the preceding year's valuation of the property included in the amendment for that year. Excess valuation should be available for this project beginning in 2024 with taxes due in 2025. Provided, however, if the first phase is not completed in 2023 to create an increase in the ad valorem taxes for the 2024 tax year, then the base year shall be January 1, 2024 and the first year for division of taxes will be 2025. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 15 years on each property or an amount not to exceed a base amount of $5,650,000 the projected amount of increment based upon the anticipated value of the project and current tax rate. Based on the estimates of the expenses of the rehabilitation the developer will spend at least $5,650,000 on TIF eligible activities.

[2] https://nces.ed.gov/ccd/districtsearch/district_detail.asp?ID2=3100016

Proposed Phasing of the Development

COMMUNITY REDEVELOPMENT AUTHORITY

BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST

Project Redeveloper Information

Business Name:
Starostka Group Unlimited, Inc.

Address:
429 Industrial Lane

Telephone No.: (308) 385-0636 Fax No.:

Email: jordanstar@stargroupunl.com

Contact:
Jordan Starostka

Application Submission Date: 6/7/2022

Brief Description of Applicant's Business:

Applicant is a developer and contractor that provides comprehensive contracting for residential, commercial, and civil/industrial projects.

Legal Description/Address of Proposed Project

MISC TRACTS 12-11-10 PT E1/2 SW1/4 and MISCELLANEOUS TRACTS 12-11-10 PT E 1/2 SW 1/4 34.41 AC (3812 W. 13th)

Community Redevelopment Area Number

Present Ownership Proposed Project Site:

Starostka Group, Unlimited (PID 400149971)
Blender, LLC (PID 400149966)

Is purchase of the site contingent on Tax Increment Financing Approval? Yes ☑ No ☐

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

Redeveloper intends to construct an approximately 120 unit residential subdivision in multiple phases. The project site is currently vacant and in the need of significant infrastructure improvements to be developable and usable for any purposes.

See attached preliminary proposed site plan. The project will consist of three phases of residential development, with subphases as appropriate, and a phase for the construction of Claude Road. The phases are referred to on the site plan as (i) Phase 1, (ii) Phase 2, (iii) Phase 3, and (iv) Claude Road.

If Property is to be Subdivided, Show Division Planned: See attached preliminary site plan

VI. Estimated Project Costs: **See attached explanation of estimated costs**

Acquisition Costs:

A. Land $ _____

B. Building $ _____

Construction Costs:

A. Renovation or Building Costs: $ _____

B. On-Site Improvements:

Sewer $ _____

Water $ _____

Electric $ _____

Gas $ _____

Public Streets/Sidewalks $ _____

Private Streets $ _____

Trails $ _____

Grading/Dirtwork/Fill $ _____

Demolition $ _____

Other $ _____

Total $ _____

Soft Costs:

A. Architectural & Engineering Fees: $ _____

B. Financing Fees: $ _____

C. Legal $ _____

D. Developer Fees: $ _____

E. Audit Fees $ _____

F. Contingency Reserves: $ _____

G. Other (Please Specify) $ _____

TOTAL $ _____

Total Estimated Market Value at Completion: $ 32,400,000

Source for Estimated Market Value $270,000 per unit x 120 residential units

Source of Financing:

A. Developer Equity: $ _____

B. Commercial Bank Loan: $ _____

C. Tax Credits:

1. N.I.F.A. $ _____
2. Historic Tax Credits $ _____
3. New Market Tax Credits $ _____
4. Opportunity Zone $ _____

D. Industrial Revenue Bonds: $ _____

E. Tax Increment Assistance: $ _____

F. Enhanced Employment Area $ _____

G. Nebraska Housing Trust Fund $ _____

H. Other $ _____

Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:

Estimated Real Estate Taxes on Project Site Upon Completion of Project:
(Please Show Calculations)

There will be approximately 120 residential units. Based on applicant's plan to develop and construct workforce housing, we are assuming an average valuation of approximately $270,000 per unit. There will likely be some difference between units, but the average value of $270,000 and a presumed tax levy of 2.161133 would yield a annual real estate tax of $5,835 per lot.

While the construction of the units will be phased, when completed the taxes on the entire project would be approximately $646,200 ($5,385x120)

Project Construction Schedule: **Please see attached explanation**

Construction Start Date:
2022

Construction Completion Date:
anticipated 2028 (would like flexibility until

If Phased Project:

_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma

(With Appropriate Schedules)

TAX INCREMENT FINANCING REQUEST INFORMATION

Describe Amount and Purpose for Which Tax Increment Financing is Requested:

Redeveloper is requesting $5,650,000 in TIF over all of the phases of the project. Redeveloper is requesting the TIF bond be issued at 8% interest.

TIF would assist with the cost of the infrastructure improvements necessary to develop the project site. This would include approximately: $810,000 in site acquisition, $4,000,000 in infrastructure improvements, $873,000 in architectural, engineering, and legal fees, and 8% interest on the TIF bond. The 8% interest is necessary to justify the long term commitment and risk over the multi-year, multiple phase redevelopment project.

See attached addendum for additional information.

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing for Proposed Project:

Applicant desires to develop a residential subdivision with approximately 120 workforce housing units. The goal for the workforce housing units is to keep the average final value at approximately $270,000 per unit. Construction costs are so high right that this will be a challenge. Without the requested TIF assistance, which equates to approximately $83,000 per lot, this would be impossible. A large scale subdivision like the proposed project is simply not possible with the required cost of infrastructure without the assistance of TIF. It would be particularly impossible to build any workforce housing without TIF, because the applicant could never recover its costs, let alone make any profit necessary for the risk involved with this project.

Municipal and Corporate References (if applicable). Please identify all other Municipalities, and other Corporations the Applicant has been involved with, or has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

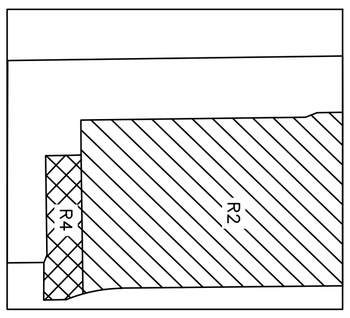
Post Office Box 1968
Grand Island, Nebraska 68802-1968
Phone: 308 385-5240
Fax: 308 385-5423
Email: cnabity@grand-island.com

DWG: F:\2022\00001-00500\022-00432\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\C_PLT_02200432.dwg USER: sgnagy
DATE: May 05, 2022 8:49am XREFS: V_XTOPO_LDP_02200432 V_XRWAY_LDP_02200432 C_PBASE_02200432 C_PPLATT_02200432 C_PBASE-Claude_02200432 21-10-25_c_pbase-Alt North_73110a

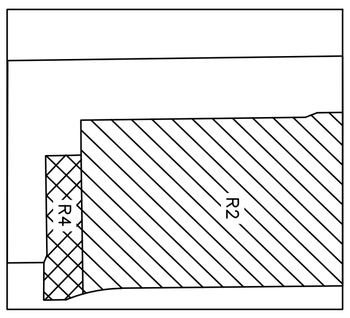
SUBDIVISION AREA = 49.6 ACRES

LOT USAGE
120 LOTS
1 OUTLOTS

EXISTING ZONING



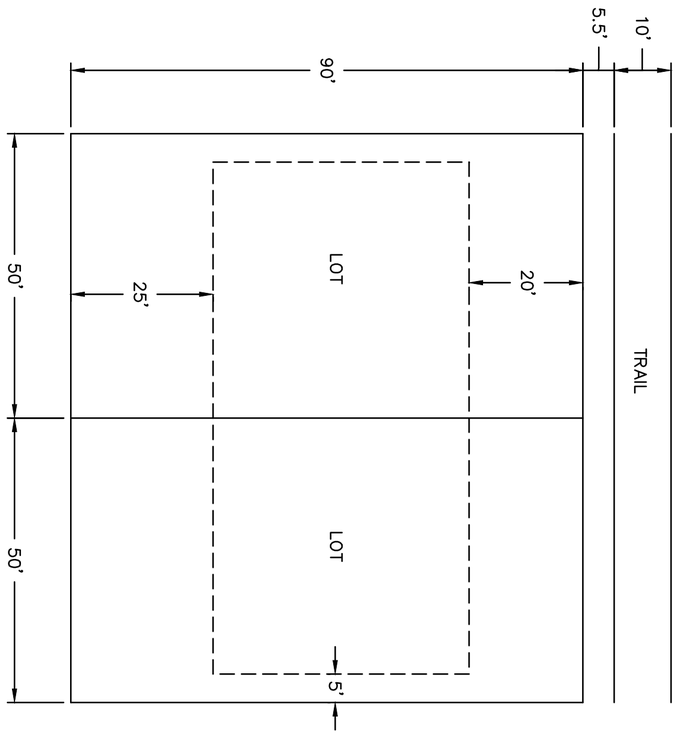
PROPOSED ZONING



PHASING BOUNDARY
PROPOSED PROPERTY LINE
PROPOSED EASEMENT LINE
FLOOD PLAIN ZONE BOUNDARY
EXISTING PROPERTY LINE
EXISTING EASEMENT LINE
WATER MAIN
SANITARY SEWER
STORM SEWER
(M) MEASURED DISTANCE
(R) RECORDED DISTANCE
FOUND PROPERTY CORNER

OWNER / DEVELOPER
STAROSTKA GROUP UNLIMITED, INC
429 INDUSTRIAL LANE
GRAND ISLAND, NE 68803

ENGINEER/LAND SURVEYOR
OLSSON
201 E. 2ND ST.
GRAND ISLAND, NE 68802



SHEET 1 of 3	LOT LAYOUT	REV. NO. / DATE / REVISIONS DESCRIPTION
drawn by: SMG checked by: BJD approved by: BJD QA/QC by: project no.: 022-00432 drawing no.: date: 5.5.2022	MILLENNIAL ESTATES SUBDIVISION PRELIMINARY PLAT GRAND ISLAND, NEBRASKA	2022 REVISIONS

olsson
201 East 2nd Street
Grand Island, NE 68801 TEL 308.384.8750 www.olsson.com

Explanation of Estimated Costs

LAND ACQUISITION:

- PID 400149971 was recently acquired for approximately $410,000
- PID 400149966 is under contract and will be acquired for approximately $400,000

TIF USES:

Total proposed TIF uses for the Project are approximately $5,650,000:

Subdivision Phase 1	$1,613,788
Subdivision Phase 2	$1,521,263
Subdivision Phase 3	$1,321,582
Claude Road	$1,192,916
Total	$5,649,549

Redeveloper requests a TIF Bond with an interest rate of 8%. The 8% interest rate is necessary for the financing and investment, based on the risk of the large infrastructure investment for the multi-phase project.

The TIF uses consist of site acquisition costs, site preparation, utility and infrastructure improvements, and engineering, architectural, and legal fees.

The proposed TIF uses by phase are set forth in the chart below:

MILLENIAL ESTATES REDEVELOPMENT PROJECT

Phase	Phase 2	Phase 3	Phase 4	Claude Rd	total
Lots	39	39	42	0	120
Anticipated Construction Year	2022	2025	2027	2027	n/a
TIF Uses (see below)	$1,613,788	$1,521,263	$1,321,582	$1,192,916	$5,649,549
TIF USES					
PAVING / Grading	$526,873	$568,590	$561,792	$738,400	$2,395,655
Utilities (Water & Wastewater)	$402,339	$320,478	$461,472	$114,400	$1,298,689
Dewatering	$57,500	$30,000	$60,000	$0	$147,500
Lighting / Striping	$0	$0	$0	$125,000	$125,000
TOTAL INFRASTRUCTURE	$986,712	$919,068	$1,083,264	$977,800	$3,966,844
Site Acquisition	$410,000	$400,000	$0	$0	$810,000
Survey, Engineering, Legal	$217,077	$202,195	$238,318	$215,116	$872,706
Total	$1,613,788	$1,521,263	$1,321,582	$1,192,916	$5,649,549

All costs set forth herein are preliminary estimates and will be certified upon completion. Given the current state of labor and materials pricing in the construction industry, it is likely that the prices will continue to increase and will not go down any time soon.

OVERALL PROJECT COSTS:

In addition to the initial $5,650,000 for public improvements, Applicant will construct 120 residential dwelling units. Because of the unstable cost of labor and materials in the construction industry and the long term construction schedule, it is impossible to determine the construction costs for the private improvements. However, applicant's goal is to construct workforce housing – targeting an average house valuation of approximately $270,000. Accordingly, the final valuation is anticipated to be approximately $32,400,000 when construction of the entire project is completed, so total construction costs of more than $30,000,000 is a reasonable estimate at this point.

Construction Schedule

The Project will be built in four (4) phases: three phases of residential units and the Claude Road phase. Each residential phase shall be completed in up to three (3) subphases. The residential phases are referred to herein as Phase 1, Phase 2, and Phase 3.

Redeveloper desires to complete the project by the end of 2027. However, Redeveloper desires to built in a little flexibility to account for the unknown market conditions that will affect the project.

First, applicant's desired schedule is set forth below:

		Completion date	Effective Date
Phase 1	Subphase 1	12/31/2023	1/1/2024
	Subphase 2	12/31/2024	1/1/2025
Phase 2	Subphase 1	12/31/2025	1/1/2026
	Subphase 2	12/31/2026	1/1/2027
Phase 3	Subphase 1	12/31/2027	1/1/2028
	Subphase 2	12/31/2028	1/1/2029
Claude Road		12/31/2027	n/a

Because the construction schedule will depend on market conditions and absorption rate of new home purchases, Redeveloper desires to build a little flexibility into the schedule required by the Redevelopment Agreement. Therefore, while Redeveloper intends to try to complete the project by the desires schedule set forth above, the proposed schedule for the Redevelopment Agreement is set forth below:

		Completion date	Effective Date
Phase 1	Subphase 1	12/31/2023	1/1/2024
	Subphase 2	12/31/2024	1/1/2025
	Subphase 3	12/31/2025	1/1/2026
Phase 2	Subphase 1	12/31/2026	1/1/2027
	Subphase 2	12/31/2027	1/1/2028
	Subphase 3	12/31/2028	1/1/2029
Phase 3	Subphase 1	12/31/2029	1/1/2030
	Subphase 2	12/31/2030	1/1/2031
	Subphase 3	12/31/2031	1/1/2032
Claude Road		12/31/2029	n/a

Here is a more detailed explanation of the more conservative schedule set forth above:

Phase 1
It is anticipated that the infrastructure for Phase 1 will commence in 2022. It will take up to three (3) subphases to complete the 39 residential units consisting of Phase 1. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (13 units) will be built each year, such that the Phase 1 schedule will be:

- Infrastructure construction: 2022
- 13 homes built: 2023
- 13 homes built: 2024
- 13 homes built: 2025

Phase 2
It is anticipated that the infrastructure for Phase 2 will commence in 2025. It will take up to three (3) subphases to complete the 39 residential units consisting of Phase 2. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (13 units) will be built each year, such that the Phase 2 schedule will be:

- Infrastructure construction: 2025
- 13 homes built: 2026
- 13 homes built: 2027
- 13 homes built: 2028

Phase 3
It is anticipated that the infrastructure for Phase 3 will commence in 2027 or 2028. It will take up to three (3) subphases to complete the 42 residential units consisting of Phase 3. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (14 units) will be built each year, such that the Phase 3 schedule will be:

- Infrastructure construction: 2028
- 14 homes built: 2029
- 14 homes built: 2030
- 14 homes built: 2031

Claude Road
Claude Road will be constructed by the time the first homes are built for Phase 3. It is intended that this will occur by December 31, 2027, but in no case will this be later than December 31, 2029.

4864-3080-6824, v. 1

COMMUNITY REDEVELOPMENT AUTHORITY

BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST

Project Redeveloper Information

Business Name:
Starostka Group Unlimited, Inc.

Address:
429 Industrial Lane

Telephone No.: (308) 385-0636 Fax No.:

Email: jordanstar@stargroupunl.com

Contact:
Jordan Starostka

Application Submission Date: 6/7/2022

Brief Description of Applicant's Business:

Applicant is a developer and contractor that provides comprehensive contracting for residential, commercial, and civil/industrial projects.

Legal Description/Address of Proposed Project

MISC TRACTS 12-11-10 PT E1/2 SW1/4 and MISCELLANEOUS TRACTS 12-11-10 PT E 1/2 SW 1/4 34.41 AC (3812 W. 13th)

Community Redevelopment Area Number

Present Ownership Proposed Project Site:

Starostka Group, Unlimited (PID 400149971)
Blender, LLC (PID 400149966)

Is purchase of the site contingent on Tax Increment Financing Approval? Yes ☑ No ☐

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

Redeveloper intends to construct an approximately 120 unit residential subdivision in multiple phases. The project site is currently vacant and in the need of significant infrastructure improvements to be developable and usable for any purposes.

See attached preliminary proposed site plan. The project will consist of three phases of residential development, with subphases as appropriate, and a phase for the construction of Claude Road. The phases are referred to on the site plan as (i) Phase 1, (ii) Phase 2, (iii) Phase 3, and (iv) Claude Road.

If Property is to be Subdivided, Show Division Planned: See attached preliminary site plan

VI. Estimated Project Costs: **See attached explanation of estimated costs**

Acquisition Costs:

A. Land $ _____

B. Building $ _____

Construction Costs:

A. Renovation or Building Costs: $ _____

B. On-Site Improvements:

Sewer $ _____

Water $ _____

Electric $ _____

Gas $ _____

Public Streets/Sidewalks $ _____

Private Streets $ _____

Trails $ _____

Grading/Dirtwork/Fill $ _____

Demolition $ _____

Other $ _____

Total $ _____

Soft Costs:

A. Architectural & Engineering Fees: $ _____

B. Financing Fees: $ _____

C. Legal $ _____

D. Developer Fees: $ _____

E. Audit Fees $ _____

F. Contingency Reserves: $ _____

G. Other (Please Specify) $ _____

TOTAL $ _____

Total Estimated Market Value at Completion: $ 32,400,000

Source for Estimated Market Value $270,000 per unit x 120 residential units

Source of Financing:

A. Developer Equity: $ _____

B. Commercial Bank Loan: $ _____

C. Tax Credits:

1. N.I.F.A. $ _____
2. Historic Tax Credits $ _____
3. New Market Tax Credits $ _____
4. Opportunity Zone $ _____

D. Industrial Revenue Bonds: $ _____

E. Tax Increment Assistance: $ _____

F. Enhanced Employment Area $ _____

G. Nebraska Housing Trust Fund $ _____

H. Other $ _____

Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:

Estimated Real Estate Taxes on Project Site Upon Completion of Project:
(Please Show Calculations)

There will be approximately 120 residential units. Based on applicant's plan to develop and construct workforce housing, we are assuming an average valuation of approximately $270,000 per unit. There will likely be some difference between units, but the average value of $270,000 and a presumed tax levy of 2.161133 would yield a annual real estate tax of $5,835 per lot.

While the construction of the units will be phased, when completed the taxes on the entire project would be approximately $646,200 ($5,385x120)

Project Construction Schedule: **Please see attached explanation**

Construction Start Date:
2022

Construction Completion Date:
anticipated 2028 (would like flexibility until

If Phased Project:

_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete
_____ Year _____ % Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma

(With Appropriate Schedules)

TAX INCREMENT FINANCING REQUEST INFORMATION

Describe Amount and Purpose for Which Tax Increment Financing is Requested:

Redeveloper is requesting $5,650,000 in TIF over all of the phases of the project. Redeveloper is requesting the TIF bond be issued at 8% interest.

TIF would assist with the cost of the infrastructure improvements necessary to develop the project site. This would include approximately: $810,000 in site acquisition, $4,000,000 in infrastructure improvements, $873,000 in architectural, engineering, and legal fees, and 8% interest on the TIF bond. The 8% interest is necessary to justify the long term commitment and risk over the multi-year, multiple phase redevelopment project.

See attached addendum for additional information.

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing for Proposed Project:

Applicant desires to develop a residential subdivision with approximately 120 workforce housing units. The goal for the workforce housing units is to keep the average final value at approximately $270,000 per unit. Construction costs are so high right that this will be a challenge. Without the requested TIF assistance, which equates to approximately $83,000 per lot, this would be impossible. A large scale subdivision like the proposed project is simply not possible with the required cost of infrastructure without the assistance of TIF. It would be particularly impossible to build any workforce housing without TIF, because the applicant could never recover its costs, let alone make any profit necessary for the risk involved with this project.

Municipal and Corporate References (if applicable). Please identify all other Municipalities, and other Corporations the Applicant has been involved with, or has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

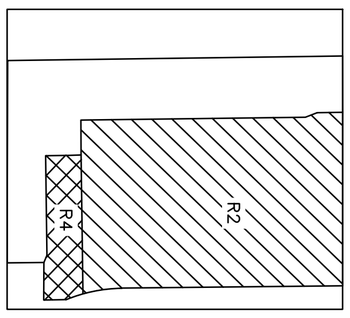
Post Office Box 1968
Grand Island, Nebraska 68802-1968
Phone: 308 385-5240
Fax: 308 385-5423
Email: cnabity@grand-island.com

DWG: F:\2022\00001-00500\022-00432\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\C_PLT_02200432.dwg USER: sgnagy
DATE: May 05, 2022 8:49am XREFS: V_XTOPO_LDP_02200432 V_XRWAY_LDP_02200432 C_PBASE_02200432 C_PPLATT_02200432 C_PBASE-Claude_02200432 21-10-25_c_pbase-Alt North_73110a

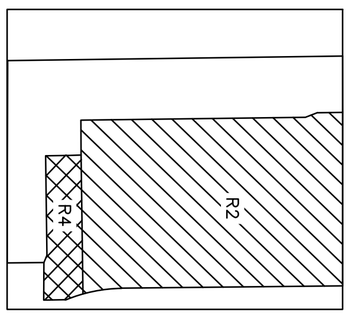
SUBDIVISION AREA = 49.6 ACRES

LOT USAGE
120 LOTS
1 OUTLOTS

EXISTING ZONING



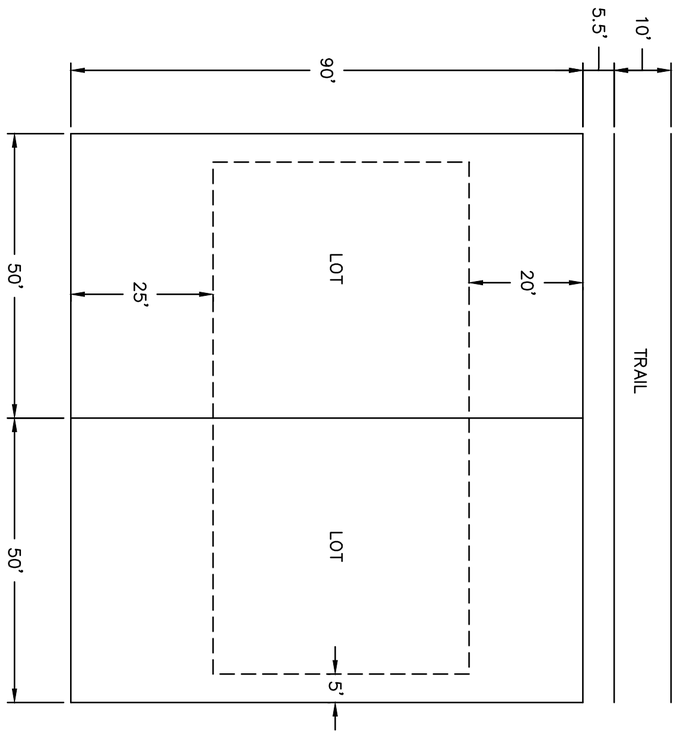
PROPOSED ZONING

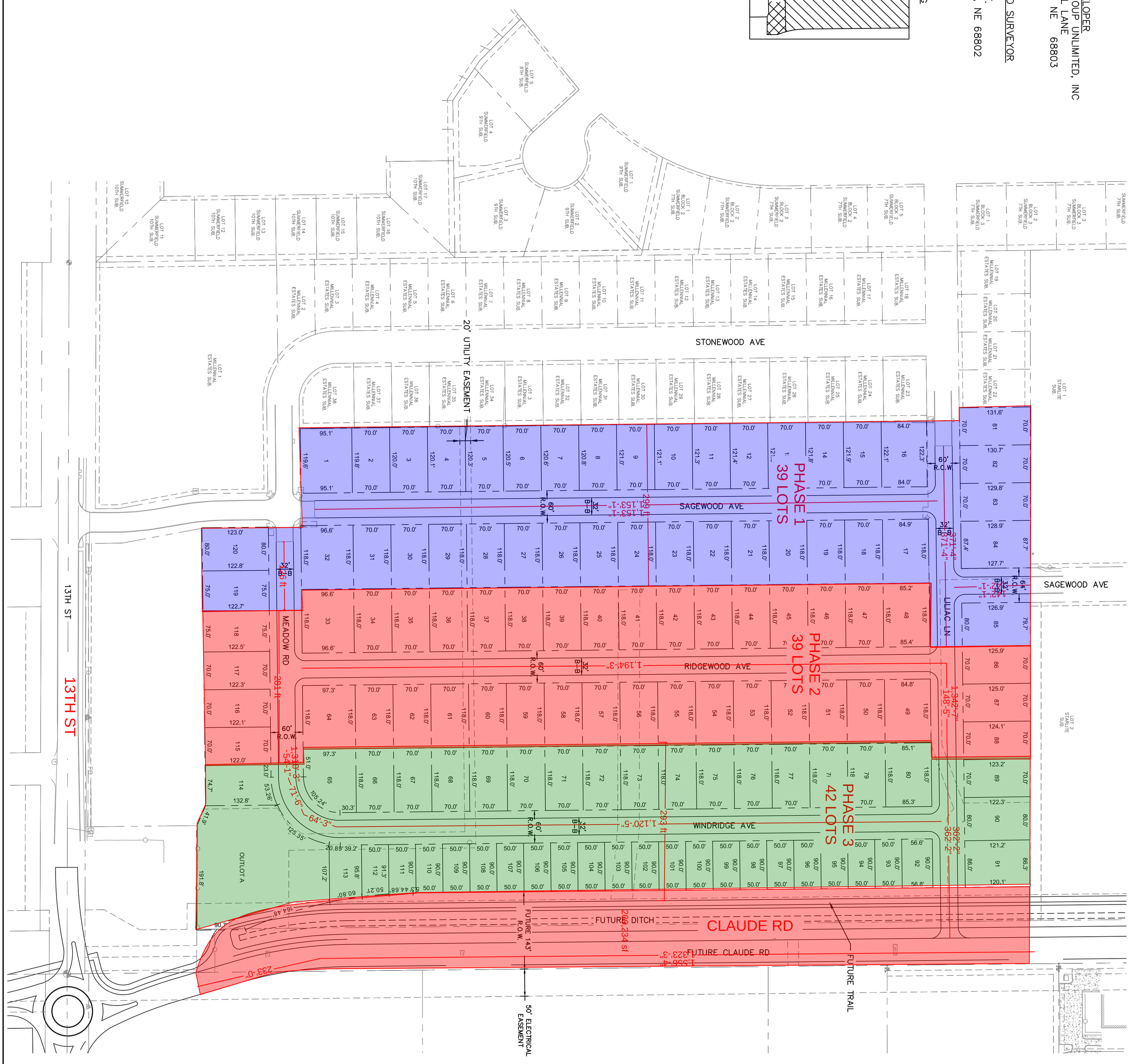


PHASING BOUNDARY
PROPOSED PROPERTY LINE
PROPOSED EASEMENT LINE
FLOOD PLAIN ZONE BOUNDARY
EXISTING PROPERTY LINE
EXISTING EASEMENT LINE
WATER MAIN
SANITARY SEWER
STORM SEWER
(M) MEASURED DISTANCE
(R) RECORDED DISTANCE
FOUND PROPERTY CORNER

OWNER / DEVELOPER
STAROSTKA GROUP UNLIMITED, INC
429 INDUSTRIAL LANE
GRAND ISLAND, NE 68803

ENGINEER/LAND SURVEYOR
OLSSON
201 E. 2ND ST.
GRAND ISLAND, NE 68802





120 TOTAL LOTS

SCALE IN FEET 0' 50' 100' 200'

N

LOT LAYOUT

MILLENNIAL ESTATES SUBDIVISION
PRELIMINARY PLAT

GRAND ISLAND, NEBRASKA

REV. NO.	DATE	REVISIONS DESCRIPTION

REVISIONS

drawn by: SMG
checked by: BJD
approved by: BJD
QA/QC by:
project no.: 022-00432
drawing no.:
date: 5.5.2022

SHEET 1 of 3

olsson
201 East 2nd Street
Grand Island, NE 68801 TEL 308.384.8750 www.olsson.com

Explanation of Estimated Costs

LAND ACQUISITION:

- PID 400149971 was recently acquired for approximately $410,000
- PID 400149966 is under contract and will be acquired for approximately $400,000

TIF USES:

Total proposed TIF uses for the Project are approximately $5,650,000:

Subdivision Phase 1	$1,613,788
Subdivision Phase 2	$1,521,263
Subdivision Phase 3	$1,321,582
Claude Road	$1,192,916
Total	$5,649,549

Redeveloper requests a TIF Bond with an interest rate of 8%. The 8% interest rate is necessary for the financing and investment, based on the risk of the large infrastructure investment for the multi-phase project.

The TIF uses consist of site acquisition costs, site preparation, utility and infrastructure improvements, and engineering, architectural, and legal fees.

The proposed TIF uses by phase are set forth in the chart below:

MILLENIAL ESTATES REDEVELOPMENT PROJECT

Phase	Phase 2	Phase 3	Phase 4	Claude Rd	total
Lots	39	39	42	0	120
Anticipated Construction Year	2022	2025	2027	2027	n/a
TIF Uses (see below)	$1,613,788	$1,521,263	$1,321,582	$1,192,916	$5,649,549
TIF USES					
PAVING / Grading	$526,873	$568,590	$561,792	$738,400	$2,395,655
Utilities (Water & Wastewater)	$402,339	$320,478	$461,472	$114,400	$1,298,689
Dewatering	$57,500	$30,000	$60,000	$0	$147,500
Lighting / Striping	$0	$0	$0	$125,000	$125,000
TOTAL INFRASTRUCTURE	$986,712	$919,068	$1,083,264	$977,800	$3,966,844
Site Acquisition	$410,000	$400,000	$0	$0	$810,000
Survey, Engineering, Legal	$217,077	$202,195	$238,318	$215,116	$872,706
Total	$1,613,788	$1,521,263	$1,321,582	$1,192,916	$5,649,549

All costs set forth herein are preliminary estimates and will be certified upon completion. Given the current state of labor and materials pricing in the construction industry, it is likely that the prices will continue to increase and will not go down any time soon.

OVERALL PROJECT COSTS:

In addition to the initial $5,650,000 for public improvements, Applicant will construct 120 residential dwelling units. Because of the unstable cost of labor and materials in the construction industry and the long term construction schedule, it is impossible to determine the construction costs for the private improvements. However, applicant's goal is to construct workforce housing – targeting an average house valuation of approximately $270,000. Accordingly, the final valuation is anticipated to be approximately $32,400,000 when construction of the entire project is completed, so total construction costs of more than $30,000,000 is a reasonable estimate at this point.

Construction Schedule

The Project will be built in four (4) phases: three phases of residential units and the Claude Road phase. Each residential phase shall be completed in up to three (3) subphases. The residential phases are referred to herein as Phase 1, Phase 2, and Phase 3.

Redeveloper desires to complete the project by the end of 2027. However, Redeveloper desires to built in a little flexibility to account for the unknown market conditions that will affect the project.

First, applicant's desired schedule is set forth below:

		Completion date	Effective Date
Phase 1	Subphase 1	12/31/2023	1/1/2024
	Subphase 2	12/31/2024	1/1/2025
Phase 2	Subphase 1	12/31/2025	1/1/2026
	Subphase 2	12/31/2026	1/1/2027
Phase 3	Subphase 1	12/31/2027	1/1/2028
	Subphase 2	12/31/2028	1/1/2029
Claude Road		12/31/2027	n/a

Because the construction schedule will depend on market conditions and absorption rate of new home purchases, Redeveloper desires to build a little flexibility into the schedule required by the Redevelopment Agreement. Therefore, while Redeveloper intends to try to complete the project by the desires schedule set forth above, the proposed schedule for the Redevelopment Agreement is set forth below:

		Completion date	Effective Date
Phase 1	Subphase 1	12/31/2023	1/1/2024
	Subphase 2	12/31/2024	1/1/2025
	Subphase 3	12/31/2025	1/1/2026
Phase 2	Subphase 1	12/31/2026	1/1/2027
	Subphase 2	12/31/2027	1/1/2028
	Subphase 3	12/31/2028	1/1/2029
Phase 3	Subphase 1	12/31/2029	1/1/2030
	Subphase 2	12/31/2030	1/1/2031
	Subphase 3	12/31/2031	1/1/2032
Claude Road		12/31/2029	n/a

Here is a more detailed explanation of the more conservative schedule set forth above:

Phase 1
It is anticipated that the infrastructure for Phase 1 will commence in 2022. It will take up to three (3) subphases to complete the 39 residential units consisting of Phase 1. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (13 units) will be built each year, such that the Phase 1 schedule will be:

- Infrastructure construction: 2022
- 13 homes built: 2023
- 13 homes built: 2024
- 13 homes built: 2025

Phase 2
It is anticipated that the infrastructure for Phase 2 will commence in 2025. It will take up to three (3) subphases to complete the 39 residential units consisting of Phase 2. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (13 units) will be built each year, such that the Phase 2 schedule will be:

- Infrastructure construction: 2025
- 13 homes built: 2026
- 13 homes built: 2027
- 13 homes built: 2028

Phase 3
It is anticipated that the infrastructure for Phase 3 will commence in 2027 or 2028. It will take up to three (3) subphases to complete the 42 residential units consisting of Phase 3. While construction may occur quicker depending on the market, current assumptions are that 1/3 of the units (14 units) will be built each year, such that the Phase 3 schedule will be:

- Infrastructure construction: 2028
- 14 homes built: 2029
- 14 homes built: 2030
- 14 homes built: 2031

Claude Road
Claude Road will be constructed by the time the first homes are built for Phase 3. It is intended that this will occur by December 31, 2027, but in no case will this be later than December 31, 2029.

4864-3080-6824, v. 1

COMMUNITY REDEVELOPMENT AUTHORITY
OF THE CITY OF GRAND ISLAND, NEBRASKA

RESOLUTION NO. 423

RESOLUTION OF THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA, SUBMITTING A PROPOSED REDEVELOPMENT CONTRACT TO THE HALL COUNTY REGIONAL PLANNING COMMISSION FOR ITS RECOMMENDATION

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), pursuant to the Nebraska Community Development Law (the "Act"), prepared a proposed redevelopment plan (the "Plan") a copy of which is attached hereto as Exhibit 1, for redevelopment of an area within the city limits of the City of Grand Island, Hall County, Nebraska; and

WHEREAS, the Authority is required by Section 18-2112 of the Act to submit said to the planning board having jurisdiction of the area proposed for redevelopment for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

The Authority submits to the Hall County Regional Planning Commission the proposed Plan attached to this Resolution, for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska.

Passed and approved this 8th day of February, 2023

COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA.

By _____
Chairperson

ATTEST:

_____
Secretary

Resolution Number 2023-08

HALL COUNTY REGIONAL PLANNING COMMISSION

A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO A REDEVELOPMENT PLAN IN THE CITY OF GRAND ISLAND, NEBRASKA; AND APPROVAL OF RELATED ACTIONS

WHEREAS, the Chairman and Board of the Community Redevelopment Authority of the City of Grand Island, Nebraska (the **"Authority"**), referred **the amendment of the Redevelopment Plan for CRA Area 34 requested by Starostka Group Unlimited** to the Hall County Regional Planning Commission, (the "**Commission"**) for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska, pursuant to Section 18-2112 of the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the **"Act"**); and

WHEREAS, the Commission held a public hearing on the proposed plan on March 1, 2023, and

WHEREAS, the chair or president of Hall County Board, Grand Island School Board, Central Platte Natural Resources District, Educational Service Unit #10 and Central Community College were notified by certified mail of said hearing, and

WHEREAS, the Commission advertised the time, date and location public hearing in the Grand Island Independent on Friday February 10th and Friday February 17th, and

WHEREAS, there are no Neighborhood Associations registered with the City of Grand Island, and

WHEREAS, the Commission has reviewed said Redevelopment Plan as to its conformity with the general plan for the development of the City of Grand Island, Hall County;

NOW, THEREFORE, BE IT RESOLVED BY THE HALL COUNTY REGIONAL PLANNING COMMISSION AS FOLLOWS:

Section 1. The Commission hereby recommends approval of the Redevelopment Plan finding that it is in conformance with the comprehensive development plan (general plan for development) for the City of Grand Island.

Section 2. All prior resolutions of the Commission in conflict with the terms and provisions of this resolution are hereby expressly repealed to the extent of such conflicts.

Section 3. This resolution shall be in full force and effect from and after its passage as provided by law.

DATED: March 1, 2023

HALL COUNTY REGIONAL PLANNING COMMISSION

ATTEST:

By: _____
Chair

By: _____
Secretary

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F5

Public Hearing - Proposed Changes to Zoning Ordinance - Grand Island - changes to 36-26, 36-76, 36-77, 36-78 and 36-96

Staff Contact:

Agenda Item # 8

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 16, 2023

SUBJECT:

Concerning proposed amendments to changes to 36-72 M-1 Light Manufacturing Zone 36-76 Commercial Development Zone and 36-99 Home Occupations. (C-16-23GI)

PROPOSAL:

The proposed changes to 36-72 are clean up language to remove specific landscaping requirements from the M-1 zoning district that appear to be from prior to 1996 when overall landscaping regulations were adopted. This will reduce confusion and eliminate inconsistencies. The changes to 36-76 would further define the buffer yard requirements in the CD zone relative to landscaping and the required number of plantings. The changes to 36-99 are specific to Grand Island's Home Occupation standards as they apply to In Home Daycare Providers as defined and licensed by the State of Nebraska.

OVERVIEW:

The proposed changes to all sections of the code are attached. Additions to the code are identified as *highlighted and underlined italics print* and deletions are shown as ~~strikethrough highlighted print~~.

The changes to 36-72 M-1 Light Manufacturing District pertain to specific landscaping requirements in the front yard setback. It appears from a review of old regulations that required landscaping was included this district prior to the adoption of the landscaping regulations found later in the code that apply to all commercial and manufacturing districts. The references in this section of the code are not the same as the requirements later in the code and in order to harmonize the regulations staff is suggesting that we remove these references from 36-72.

The buffer yard changes to 36-76 Commercial Development Zone are intended to clarify how to determine what additional planting besides grass are required in the buffer yard. This will eliminate confusion when implementing these developments.

The changes to 36-99 Home Occupations are in direct response to concerns from the Hall County Health Department about the need for additional day care operations within the City. In Home Daycare has always been interpreted as allowed under our home based is specifically allowed as a home based business in our current regulations. The State of Nebraska has two classes of In Home Daycare referred to as Family Child Care Home I and II. Under our current regulations Family Child Care Home I is permitted without any question as long as the person providing care owns/rents and lives in the house. Family Child Care Home II requires that two caregivers are present and under our current regulations both caregivers would have to live at the residence. The proposed changes would allow up to two non-resident employees to work at an In Home Daycare which would open them up to being able to apply for a license as a Family Child Care Home II. Based on the licensing standards up to 10 children can be cared for in a Family Child Home I and up to 12 children can be cared for in a Family Child Care Home II. The addition of a non-resident employees will expand the number of children allowed by two but will have a greater impact on the number of infants that can be cared for. The breakdown allowed by age is attached.

1-006.08B Staff-to-Child Ratio: The appropriate staff-to-child ratio must be met at all times, as follows.

1. Infants only. If the program provides care to infants only, the following ratios apply:

Number of Infants in Care	Number of Staff Required
4	1
5-8	2

2. Mixed ages. If the program provides care to children of mixed ages, the following ratios apply:

Number of Children in Care	Number of Staff Required
1-8	1
9-10 (9th and 10th children must be school-age)	1

   a. Programs serving children of mixed ages of may provide care for up to three infants if no more than two of the infants are under 12 months of age.
   b. Programs may provide care for up to two additional school-age children during non-school hours if no more than two of the other children in care are under 18 months of age.

3. School-age only. If the program provides care to school-age children only, the following ratio applies:

Number of Children in Care	Number of Staff Required
1-10	1

1. Infants only. If the program provides care to infants only, the following ratios apply:

Number of Infants in Care	Number of Staff Required
4	1
5-8	2
9-12	3

2. Mixed ages. If the program provides care to children of mixed ages, the following ratios apply:

Number of Children in Care	Number of Staff Required
1-10	1
11-12	2

a. Programs serving children of mixed ages may provide care for up to three infants if no more than two of the infants are under 12 months of age.
b. Programs serving ten children with one staff are limited to two infants and the ninth and tenth children must be school-age.

3. School-age only: If the program provides care to school-age children only, the following ratio applies:

Number of Children in Care	Number of Staff Required
1-12	1

RECOMMENDATION:

That the Regional Planning Commission recommend that the Grand Island City Council **approve** the changes to the Grand Island Zoning Ordinance as presented.

_____ Chad Nabity AICP, Planning Director

§36-72. (M-1) Light Manufacturing Zone

Intent: The intent of this zoning district is to provide for light fabrication, service, warehousing, administrative and research uses within a zoning district having generally limited public contact and requiring some minimal landscaping standards.

(A) Permitted Principal Uses: The following principal uses are permitted in the (M-1) Light Manufacturing Zoning District.

(1) Administrative, executive, professional, research and similar office use having limited contact with the public

(2) Agriculture, including the raising of field crops, tree and bush crops, animals and fowls, but not including feed lots, poultry farms, fur farms, and commercial kennels

(3) Buildings and installations for public utilities; facilities shall observe yard space requirements but shall not be subject to minimum area or width requirements

(4) Railway right-of-way, but not including railway yards or facilities

(5) Radio and television stations, private clubs, and meeting halls

(6) Manufacture, processing, assembly, fabrication or storage of non-hazardous products and materials

(7) Parking Lot

(8) Other uses found in the Zoning Matrix [Attachment A hereto]

(B) Conditional Uses: The following uses are subject to any conditions listed in this chapter and are subject to other conditions relating to the placement of said use on a specific tract of ground in the (M-1) Light Manufacturing Zoning District as approved by City Council.

(1) Gravel, sand, or dirt removal, stockpiling, processing or distribution, and batching plant

(2) Concrete or cement products manufacturing and batching plant.

(3) Truck terminal, tractor, trailer, or truck storage, including maintenance facilities

(4) Contractor's storage yard or plant

(5) Motels and hotels

(6) Towers

(C) Permitted Accessory Uses:

(1) Sales of new merchandise when same is manufactured, processed, assembled, fabricated or stored on the premises

(2) Buildings and uses accessory to the permitted principal use

(3) A single dwelling unit occupying not more than 50% of the space located within the permitted principal structure on the property and not to exceed 750 square feet. Building shall conform to all building and life safety codes necessary for the mix of uses.

.

(D) Specifically Excluded Uses:

(1) Residences as a principal use

(2) Manufactured homes and manufactured home parks

(3) Churches, schools, institutions and other public and semi-public uses except for trade and vocational schools

(E) Space Limitations:

Uses			**Minimum Setbacks**					
		A	**B**	**C**	**D**	**E**		
	Minimum Parcel Area (feet)	**Minimum Lot Width (feet)**	**Front Yard (feet)**	**Rear Yard (feet)**	**Side Yard (feet)**	**Street Side Yard (feet)**	**Maximum Ground Coverage**	**Maximum Building Height (feet)**
Permitted Uses	20,000	100	35[‡]	20	10	10	50%	50
Conditional Uses	20,000	100	35[‡]	20	10	10	50%	50

~~‡with 15 feet adjacent to a street landscaped to satisfaction of the zoning official.~~

(F) Miscellaneous Provisions:

(1) Supplementary regulations shall be complied with as defined herein

~~(2) Landscaping shall be provided and maintained by the owner or developer within the 15 feet adjacent to a street; landscaping shall include but is not limited to, screen planting, lawn area, trees, shrubs, fences and walls; all landscaping shall be planned and maintained to the satisfaction of the zoning official.~~

(2~~3~~) Only one principal building shall be permitted on one zoning lot except as otherwise provided herein.

Amended by Ordinance No. 8947, effective 1-5-2005
Amended by Ordinance No. 9256, effective 4-7-2010
Amended by Ordinance No. 9706, effective 10-2-2018

36-76 (CD) Commercial Development Zone

1. *Intent*. The intent of this zoning district is to permit a more flexible regulation of land use so as to more fully implement comprehensive planning for large parcels of land proposed for commercial use.

2. *Boundaries*. The boundaries of the (CD) Commercial Development Zoning District shall be fixed by amendment of the Official Zoning Map, at such times in the future as such district is applied to properties within the City's zoning jurisdiction.

3. *Limitations*.

    1. In a (CD) Commercial Development Zoning District, there shall be provided a minimum size of 1.5 acres

    2. Any proposed development shall be constructed in accordance with an overall plan of development.

    3. Any proposed plan of development shall be designed as a single architectural scheme with appropriate common landscaping.

    4. Adequate parking space shall be provided for all employees', visitors', and users' vehicles, and such parking, loading or service areas that shall be used for motor vehicles shall be located within the boundary lines of the (CD) Commercial Development Zoning District and shall be physically separated from any public street, right-of-way or property line by a buffer strip of not less than 30 feet along the exterior of the (CD) Commercial Development Zone. The buffer strip is not required if such public street, right-of-way or property line is also adjacent to other properties zoned either (CD) Commercial Development Zone or (RD) Residential Development Zone. Setbacks from property lines will be review with the development plan and plat.

    5. No building or other permanent structure, nor parking lot, shall be located within 30 feet of any public street, right-of-way, or property line along the exterior of the (CD) Commercial Development Zone. Trees shrubs, and other plantings may be included in the buffer strip. The number of trees and shrubs shall not be regulated by the landscaping section of this code. The buffer strip is not required if such public street, right-of-way or property line is also adjacent to other properties zoned either (CD) Commercial Development Zone or (RD) Residential Development Zone. Landscaping plans will be reviewed with the development plan and plat. Setbacks from property lines will be reviewed with the development plan and plat.

    6. The maximum ground coverage shall not exceed 50% of each site within the (CD) Commercial Development Zoning District.

    7. The minimum off-street parking requirement shall be provided as defined in this chapter of the city code.

4. *Ownership*. A (CD) Commercial Development Zoning District shall require a tract of land which is developed as a unit under single ownership or control, or which is under single designated control by a common ownership at the time it is certified as a (CD) Commercial Development Zone.

5. *Permitted Uses*.

    1. Public and quasi-public buildings for cultural use

    2. Nonprofit community buildings and social welfare establishments

    3. Radio and television stations (no antennae), and meeting halls

    4. Offices and office buildings

    5. Stores and shops for the conduct of retail business, provided, all activities and displays of goods are carried on within an enclosed building except that green plants and shrubs may be displayed in the open.

    6. Retail uses as found in the Zoning Matrix [Attachment A hereto]

    7. Agencies as found in the Zoning Matrix [Attachment A hereto]

    8. Shops as found in the Zoning Matrix [Attachment A hereto]

    9. Motel and hotel uses.

    10. Residential uses with the largest percentage at least 75% above the ground level.

    11. Other uses as found in the Zoning Matrix [Attachment A hereto]

6. *Conditional Uses*. The following uses are subject to any conditions listed in this chapter and are subject to other conditions relating to the placement of said use on a specific tract of ground in the (CD) Commercial Development Zoning District as approved by City Council.

    1. Towers

7. *Permitted Accessory Uses*.

    1. Buildings and uses accessory to the permitted principal use.

8. *Procedure*.

    1. An application to amend the Official Zoning Map to establish a CD-Commercial Development Zone shall be initiated in the manner prescribed in Article X of this chapter.

    2. Said application shall be filed with the city clerk in such form as shall be required by the city council, and shall be accompanied by the following information:

        1. Site plan showing preliminary location and dimensions of all building areas, recreation, green or landscaped areas, parking and loading facilities, walkways or malls, screen walls, or plantings, waste disposal areas, illumination facilities, signs, curb cuts, utilities and service, private or dedicated drives or streets, etc.

        2. Preliminary drawings or renderings in sufficient detail so that the character of the development may be so determined.

3. Evidence as to the methods of retaining, maintaining, and protecting the open space, green areas, recreational facilities, etc.

4. Development schedule as to construction phases of buildings, open space, recreational areas, parking facilities, etc., and estimated completion time.

5. Evidence of ownership or control of the entire parcel to be used as a planned unit development by a single person, association, firm, etc., as defined herein.

6. Evidence of economic feasibility: a copy of such application and supplementary information shall then be forwarded by the city clerk to the Planning Commission for review, hearing, and recommendation.

3. In reviewing the application for amendment, the Planning Commission shall determine the following factors:

    1. That the proposed development will be in the public interest, in harmony with the purpose of this chapter and with comprehensive development plans for the City and will not adversely affect nearby property.

    2. That adequate, safe, and convenient pedestrian and vehicular trafficways and facilities are provided.

    3. That the development to be permitted shall be for the purpose of developing an integrated site plan in conformity with the regulations for a CD-Commercial Development Zone.

4. The Planning Commission shall hold a public hearing on the proposed amendment and shall transmit its recommendation to the city council; a copy of the recommendation shall be sent to the applicant and one copy shall be retained in the permanent files of the Planning Commission.

5. Procedure and action by the city council shall be the same as considering an amendment to a (CD) Commercial Development Zoning District as in Article X of this chapter.

9. *Miscellaneous Provisions*.

    1. It is intended that plans required for review and approval must be in a form that will satisfy the requirements of the subdivision regulations for both the preliminary and final plat and that approval for plans and plats be considered simultaneously.

    2. The approved and filed final plan and plat shall be the basis for issuance of a building permit in conformity therewith; the initial building permit shall include as a minimum 50% of the main building or structure; free-standing subordinate buildings shall not be included in the initial permit and shall not receive a permit until the initial permit phase is over 50% constructed; plan changes which increase the number of buildings, increase building height or bulk, or change the location of buildings or other features which materially affect the basic design of the development shall require resubmission of the amendment. Minor

adjustments in orientation, height or bulk of buildings, or decrease in number of buildings shall be approved by the Planning Director.

3. Should any successful applicant for an amendment hereunder fail to have completed the construction of the footings and foundations for the initial building permit within eighteen (18) months after the city council shall approve a rezoning to a (CD) Commercial Development Zoning District, the area in its entirety shall be reverted to its former zoning classification by appropriate action of the city council, provided, that the city council shall have the power to extend said period by six (6) months in the event of special and unique hardships and circumstances.

4. Control of the development following completion:

    1. The chief building official shall issue a certificate certifying the completion of the planned development, and shall note the issuance of the certificate on the final development plan.

    2. After the certificate of completion has been issued, the use of land and the construction, modification, or alteration of any buildings or structures within the (CD) Commercial Development Zoning District will be governed by the approved final development plan exclusively.

    3. After the certificate of completion has been issued, no changes may be made in the approved final development plan except upon application to the appropriate agency under the procedures provided below:

        1. Any minor extensions, alterations, or modifications of existing buildings or structures shall be authorized by the Planning Director if they are consistent with the purposes and intent of the final plan; no change authorized by this subsection may increase the density of any building or structure by more than ten percent.

        2. A building or structure that is totally or substantially destroyed may be reconstructed only in compliance with the final development plan unless an amendment to the final development plan is approved under subsection (3) hereof.

        3. All other changes in the final development plan as approved by the city council must be made by the city council under the procedures authorized under Article X for amendment of the Official Zoning Map; no changes may be made in the final development plan unless they are found by the city council to be required for the continued successful functioning of the commercial development, or unless they are found by the city council to be required by changes in conditions that have occurred since the final plan was improved or by changes in the comprehensive planning and development policy of the City.

(Amended by Ordinance No. 9871, effective 02-9-2022)

§36-99. Home Occupations

The following are the minimum standards required for a Home Occupation:

(A) There shall be no external or externally visible evidence of the home occupation, business or profession whatsoever. There shall be no signage or advertising, linking the residential property with the home occupation.

(B) No more than 25% of the floor area of any one story can be used for the home occupation

(C) There shall be no machinery other than that normally found in a home

(D) There shall be no contact at the premises with customers or clients other than by telephone or mail, except that music lessons may be given to one pupil at a time, and cultural, art, or dance instruction may be given to four pupils at one time *and children may be dropped off at an In Home Daycare.*

(E) No one other than the resident(s) can work from that site *except that up to two non-resident employees may be present on the site for In Home Daycare operations as permitted and defined by the State of Nebraska*

(F) No retail sales are permitted from the site other than incidental sales related to services provided

(G) No exterior storage (including storage within detached buildings/garage) is permitted

(H) No offensive noise, vibration, smoke, odor, heat or glare shall be noticeable at or beyond the property line

(I) The above listed characteristics of a home occupation shall not be construed to restrict the sale of garden produce grown on the premises, provided, this exception shall not extend to allow the operation of a commercial greenhouse or nursery, or the existence of stands or booths for display of said produce

All businesses related to Child Care Homes and Child Care Centers shall be in accordance with Neb. R.R.S. 1943, Sec. §71-1902.

Amended by Ordinance No. 8947, effective 1-5-2005

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F6

Public Hearing - Proposed Amendment to the Future Land Use Map - Alda - Public Hearing regarding a change to the future land use map for the Village of Alda for property located at the northeast corner of the intersection of 60th Road and Wildroad Drive

Staff Contact:

Agenda Item #9

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING
February 20, 2023

SUBJECT: Concerning proposed amendments to the Future Land Use Map of the Alda Comprehensive Development Plan. (C-19-23A)

PROPOSAL:

The Village of Alda approved a future land use map as part of their comprehensive development plan on December 2, 2003. The Norma Cunningham Estate is requesting an amendment to the future land use map of for property located at the corner of 60th and Wildwood. The amendment as shown on the attached map would declare the subject property as planned for light industrial developments. This property has been the location of as many as 13 Quonset type buildings since at least 1957 based on aerial photography archives.

.

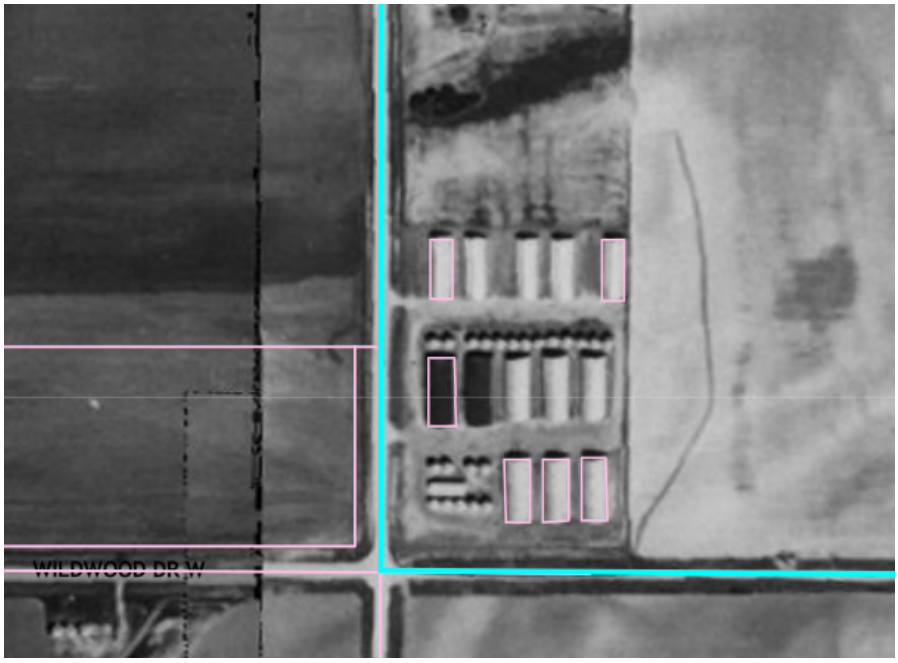
Future land use map as adopted Dec. 2003

This property was shown as planned for agriculture. The use of the property since at least 1957 was agricultural and other storage. Over the years individual buildings have been sold as improvements on leased land many of the existing units are taxed separately from the underlying property. Given these factors it is sensible to consider an amendment to the future land use element of the comprehensive plan and the zoning map.

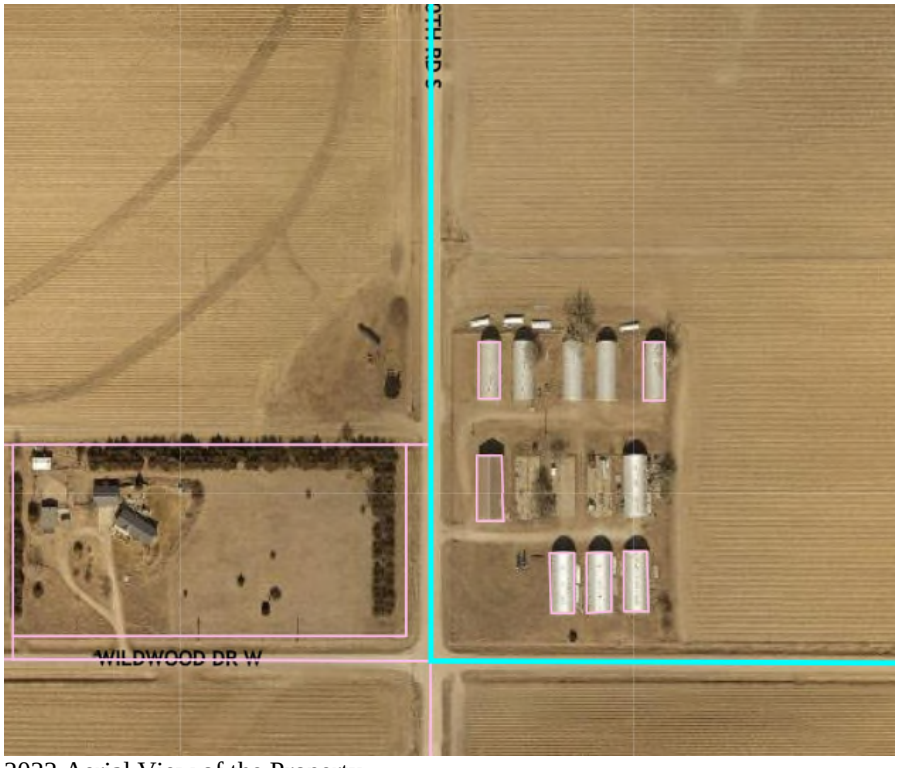
RECOMMENDATION:

That the Regional Planning Commission recommend that the Village Board of Alda amend the Future Land Use Map to show the property at the corner of 60th Road and Wildwood Drive as planned for light industrial development.

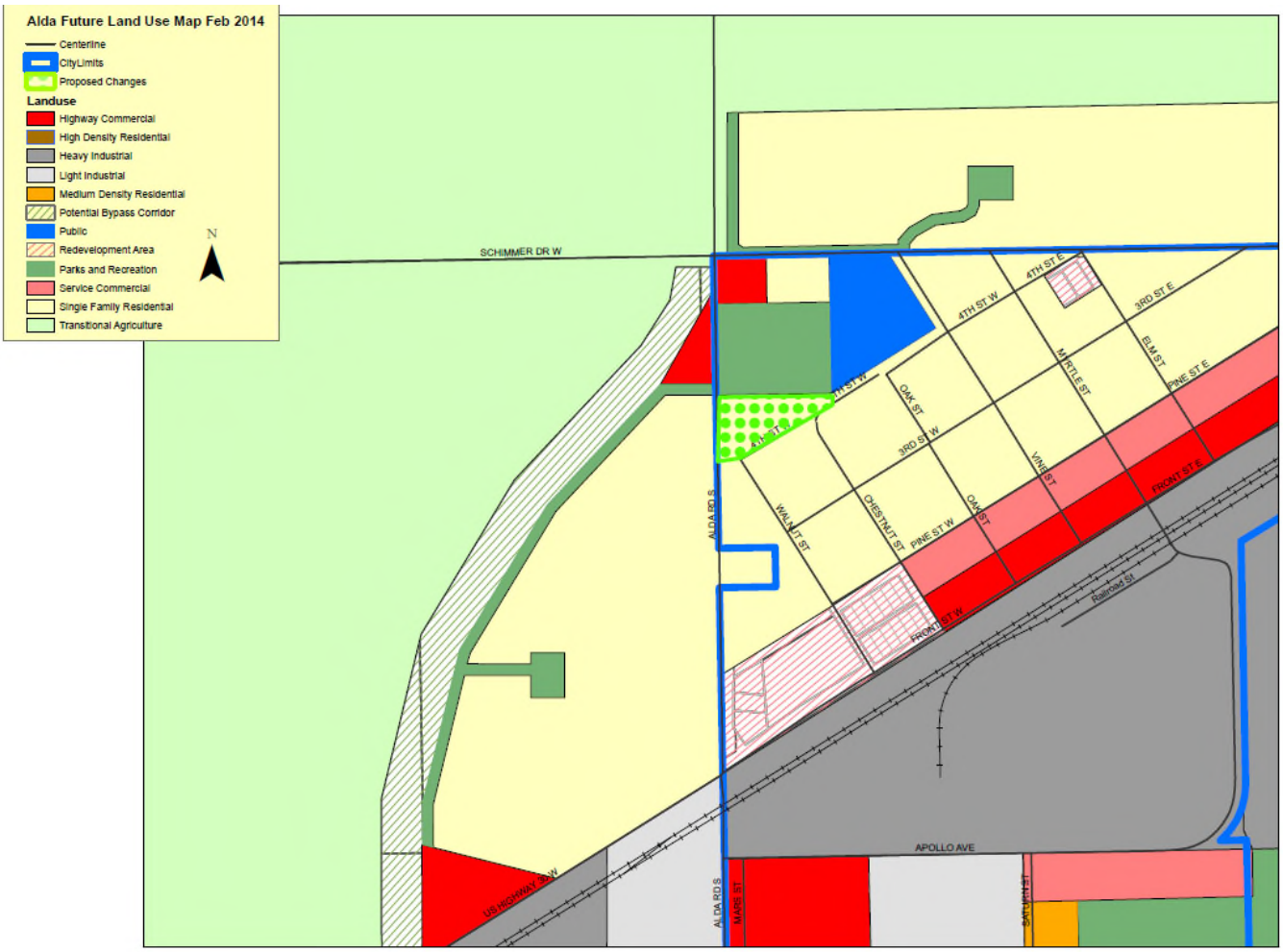
_____ Chad Nabity AICP, Planning Director



1957 Aerial view of the property.



2022 Aerial View of the Property



Proposed changes to the Alda Future Land Use Map

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item F7

Public Hearing - Proposed Rezoning - Alda - Public Hearing regarding the rezoning for property located at the northeast corner of the intersection of 60th Road and Wildwood Drive

Staff Contact:

Agenda Item #10

PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:
February 20, 2023

SUBJECT: *Zoning Change* (C-20-23A)

PROPOSAL: To rezone property in southeast Alda east of 60th Road and south Schimmer Drive (south of the electric substation) from TA-Transitional Agriculture to I1-Light Industrial District, in the jurisdiction of the Village of Alda.

OVERVIEW:

Site Analysis

Current zoning designation:	TA Transitional Agriculture
Permitted and conditional uses:	TA – Farming, single family homes, green houses, parks and public service facilities.
Comprehensive Plan Designation:	Designated agricultural unless changed
Existing land uses.	Existing Quonset type storage buildings

Adjacent Properties Analysis

Current zoning designations:	**North, South and East**: TA Transitional Agriculture **West**: R6-Single Family Residential *Permitted and conditional uses:* R6 – Residential uses on lots of at least 6000 square feet with a density of less than 12 units per acre. Parks, hospitals, rest homes schools and churches are also allowed in this district. TA – Farming, single family homes, green houses, parks and public service facilities.
Comprehensive Plan Designation:	**North, South and East** Designated agricultural uses **West;** Designated for residential development.
Existing land uses:	**North**: Agriculture **West**: Residential **East**: Agriculture **South**: Agriculture

EVALUATION:

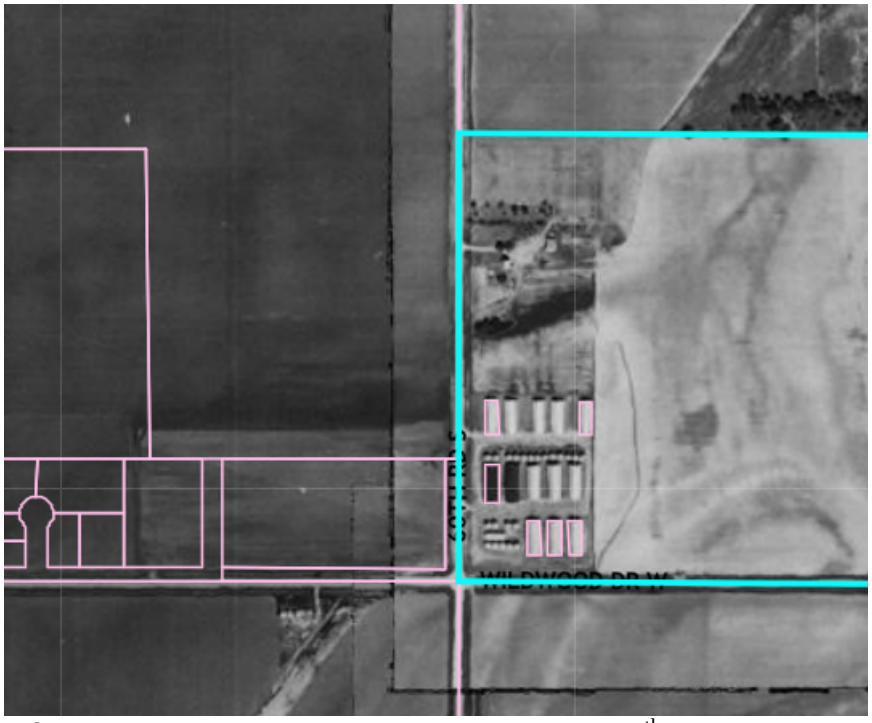
Positive Implications:

- *Consistent with the City's Comprehensive Land Use Plan (with proposed amendment)*: The subject property is proposed for industrial development.

- *Consistent with the existing roads:* 60th Road and Wildwood Drive would both support industrial uses.

- *Supported by existing Infrastructure*: This location is not served by the village sewer lines. This would allow alternate uses (non-residential) that would not require sewer.

- *Consistent with existing uses:* These Quonset style storage units have been at this location since at least 1957 and used by multiple people for many years. This change brings the existing use into conformance with the zoning.



Aerial photo from 1957 showing the Quonset Buildings at 60th and Wildwood

Negative Implications:

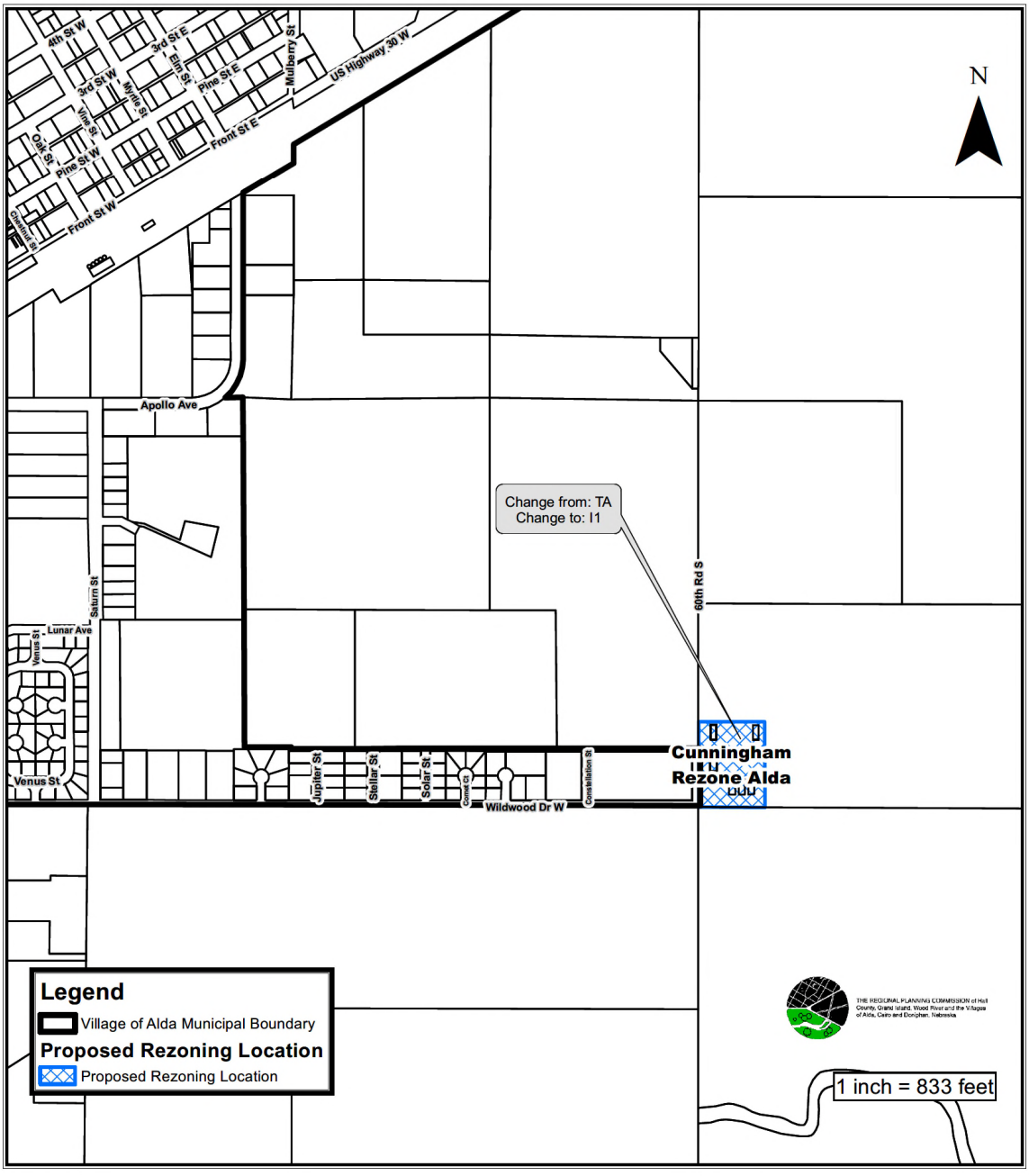
- None foreseen.

RECOMMENDATION:

That the Regional Planning Commission recommend that the Village of Alda change the zoning on this site from TA Transitional Agriculture to L1 Light Industrial District as shown on the attached map.

_____ Chad Nabity AICP, Planning Director

Proposed
Rezoning Area



HALL COUNTY REGIONAL PLANNING COMMISSION
SUBDIVISION APPLICATION

This application must be submitted a minimum of 20 calendar days prior to a planning commission meeting to be considered at that meeting. Planning Commission meetings are typically held on the first Wednesday of the month.

Owners Information

Name Estate of Norma J. Cunningham-John Cunningham PR
Address P.O.Box 2015
City Frederiksted, State V.I. Zip 00841
Phone 340-227-9316

Attach additional information as necessary for all parties listed as an owner on the plat and any other parties such as partners Deed of Trust holders, etc...

All owners, lien holders, etc. will be required to sign the dedication certificate on the final plat. As the applicant for this subdivision I do hereby certify that I have provided complete information regarding the ownership of the property included in this application:

By: Ruhter Auction & Realty-Ryan Samuelson (Applicant) Date: 01/26/2023

Surveyor/Engineers Information

Surveyor/Engineering Firm Krueger Land Surveying
Address 2837 W. Hwy 6 #204
City Hastings, State NE Zip 68901
Phone 402-984-2176
Surveyor/Engineer Name Tom Krueger License Number 448

SUBDIVISION NAME: Cunningham Subdivision

Please check the appropriate location

- [x] Hall County
- [ ] The City of Grand Island or 2-Mile Grand Island Jurisdiction
- [ ] The City of Wood River or 1 Mile Jurisdiction
- [x] Village of Alda or 1 Mile Jurisdiction
- [ ] Village of Cairo or 1 Mile Jurisdiction
- [ ] Village of Doniphan or 1 Mile Jurisdiction

Please check the appropriate Plat

- [ ] Preliminary Plat
- [x] Final Plat

Number of Lots 1
Number of Acres 5

Checklist of things Planning Commission Needs

- [ ] AutoCAD file (Scaled 1:100) and a PDF sent to rashadm@grand-island.com
- [ ] 10 + 15* copies if in City limits or the two mile jurisdiction of Grand Island
- [ ] 5 + 15* copies if in Hall County, City of Wood River, Village of Cairo, Doniphan or Alda.
- [ ] Closure Sheet
- [ ] Utilities Sheet
- [ ] Receipt for Subdivision Application Fees in the amount of $_____

*** 15 Pages are to be printed on 11X17, larger sizes maybe requested if needed**

Providing false information on this application will result in nullification of the application and forfeiture of all related fees. If you have any questions regarding this form or subdivision regulations administered by the Hall County Regional Planning Department call (308) 385-5240.

APPLICATION FOR REZONING OR ZONING ORDINANCE CHANGE

Regional Planning Commission

Check Appropriate Location:
- ☐ City of Grand Island and 2 mile zoning jurisdiction
- ☑ Alda, Cairo, Doniphan, Wood River and 1 mile zoning jurisdiction
- ☑ Hall County

RPC Filing Fee _____
(see reverse side)
*plus Municipal Fee** $50.00
*applicable only in Alda, Doniphan, Wood River

A. Applicant/Registered Owner Information (please print):

Applicant Name Ruhter Auction & Realty, Inc. Phone (h)_____ (w)402-463-8565

Applicant Address 2837 W. Hwy 6 Hastings, NE 68901

Registered Property Owner (if different from applicant) John M. Cunningham, PR (Norma J. Cunningham Estate)

Address P.O.Box 2015 Frederiksted, V.I. 00841 Phone (h)_____ (w)340-227-9316

B. Description of Land Subject of a Requested Zoning Change:

Property Address Parcel ID 400216450

Legal Description: (provide copy of deed description of property)

Lot ____ Block ____ Subdivision Name _____, and/or

All/Part PRT ¼ of Section 4 TWP 10 RGE 10 W6PM

C. Requested Zoning Change:

1. Property Rezoning (yes☐) (no☐)
   (provide a properly scaled map of property to be rezoned)

   From Transitional Ag to Light Industrial

2. Amendment to Specific Section/Text of Zoning Ordinance (yes☐) (no☐)
   (describe nature of requested change to text of Zoning Ordinance)

D. Reasons in Support of Requested Rezoning or Zoning Ordinance Change:

NOTE: This application shall not be deemed complete unless the following is provided:

1. Evidence that proper filing fee has been submitted.
2. A properly scaled map of the property to be rezoned (if applicable), and copy of deed description.
3. The names, addresses and locations of all property owners immediately adjacent to, or within, 300 feet of the perimeter of the property to be rezoned (if the property is bounded by a street, the 300 feet shall begin across the street from the property to be rezoned).
4. Acknowledgement that the undersigned is/are the owner(s), or person authorized by the owner(s) of record title of any property which is requested to be rezoned:

A public hearing will be held for this request

Signature of Owner or Authorized Person Ryan Samuelson Date 01/27/2023

Note: Please submit a copy of this application, all attachments plus any applicable municipal filing fee to the appropriate Municipal Clerk's Office. RPC filing fee must be submitted separately to the Hall County Treasurer's Office (unless application is in Grand Island or its 2 mile zoning jurisdiction, then the RPC filing fee must be submitted to the G.I. City Clerk's Office).

Application Deemed Complete by RPC: mo.____day.____yr.____Initial____

RPC form revised 10/23/19

ENTERED AS INSTRUMENT NO
2019002876

STATE OF NEBRASKA)
COUNTY OF HALL)

2019 MAY 21 AM 9 54

KRISTI WOLD
ASSR/REGISTER OF DEEDS

CASH
CHECK 10.00

REFUNDS:
CASH
CHECK

NEBRASKA DOCUMENTARY
STAMP TAX
Date 5-21-19
By

2019002876

RETURN TO:
John M. Cunningham
P.O. Box 2015
Frederiksted, VI 00841

DEED OF DISTRIBUTION

10.00

John M. Cunningham, Personal Representative of the Estate of B.J. Cunningham, Deceased, Grantor, conveys and releases to John M. Cunningham, an undivided one-fifth (1/5) interest; Ann Brondel, and undivided one-fifth (1/5) interest; Jane Cunningham, an undivided one-fifth (1/5) interest; Mark Cunningham, an undivided one-fifth (1/5) interest; Emily Jones, an undivided one-tenth (1/10) interest, and Katy Bentzinger, an undivided one-tenth (1/10) interest, Grantees, whether one or more, as tenants in common, and subject to a life estate in favor of Norma J. Cunningham for and during her natural lifetime, the following described real property:

An undivided one-half (1/2) interest in all of the North Half of the Northeast Quarter (N½ NE¼) of Section Eighteen (18), Township Ten (10) North, Range Eleven (11), West of the 6th P.M. in Hall County, Nebraska

An undivided one-half (1/2) interest in the South Half of the Southwest Quarter (S½ SW¼) of Section Twenty-Two (22), Township Eleven (11) North, Range Twelve (12) West of the 6th P.M. in Hall County, Nebraska

An undivided one-half (1/2) interest in the South Half of the Southwest Quarter (S½ SW¼) of Section Four (4), Township Ten (10) North, Range Ten (10) West of the 6th P.M. in Hall County, Nebraska, subject to a lease in favor of Commodity Credit Corporation on a five (5) acre tract located thereon.

Subject to easements, reservations, covenants, and restrictions of record.

Grantor has determined that the Grantees are the persons entitled to distribution of the real estate from said estate. Grantor covenants with Grantees that Grantor has legal power and lawful authority to convey and release the same.

Dated this 21 day of May 2019.

John M. Cunningham
Personal Representative of the Estate of B.J. Cunningham, Deceased

STATE OF NEBRASKA)
)ss:
COUNTY OF HALL)

On this 21 day of May 2019, personally appeared before me John M. Cunningham, Personal Representative of the Estate of B.J. Cunningham, Deceased, who executed the foregoing Personal Representative's Deed and acknowledged the same to be his voluntary act and deed.

GENERAL NOTARY - State of Nebraska
DEBORAH R. RITTER
My Comm. Exp. October 20, 2019

Notary Public

Property owners within 300 ft

Donald & Emily Soderman
6120 W. Wildwood Dr.
Alda, NE 68810

Located directly west of the subject property

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item J1

Final Plat - Cunningham Farms Subdivision - Alda - Located east of 60th Road and north of Wildwood Drive in Hall County, Alda ETJ.

Staff Contact:

HALL COUNTY REGIONAL PLANNING COMMISSION
SUBDIVISION APPLICATION

This application must be submitted a minimum of 20 calendar days prior to a planning commission meeting to be considered at that meeting. Planning Commission meetings are typically held on the first Wednesday of the month.

Owners Information

Name Estate of Norma J. Cunningham-John Cunningham PR
Address P.O.Box 2015
City Frederiksted, State V.I. Zip 00841
Phone 340-227-9316

Attach additional information as necessary for all parties listed as an owner on the plat and any other parties such as partners Deed of Trust holders, etc...

All owners, lien holders, etc. will be required to sign the dedication certificate on the final plat. As the applicant for this subdivision I do hereby certify that I have provided complete information regarding the ownership of the property included in this application:

By: Ruhter Auction & Realty-Ryan Samuelson Date: 01/26/2023
(Applicant)

Surveyor/Engineers Information

Surveyor/Engineering Firm Krueger Land Surveying
Address 2837 W. Hwy 6 #204
City Hastings, State NE Zip 68901
Phone 402-984-2176
Surveyor/Engineer Name Tom Krueger License Number 448

SUBDIVISION NAME: Cunningham Farms Subdivision

Please check the appropriate location

- [x] Hall County
- [ ] The City of Grand Island or 2-Mile Grand Island Jurisdiction
- [ ] The City of Wood River or 1 Mile Jurisdiction
- [x] Village of Alda or 1 Mile Jurisdiction
- [ ] Village of Cairo or 1 Mile Jurisdiction
- [ ] Village of Doniphan or 1 Mile Jurisdiction

Please check the appropriate Plat

- [ ] Preliminary Plat
- [x] Final Plat

Number of Lots 1
Number of Acres 5

Checklist of things Planning Commission Needs

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- [ ] 10 + 15* copies if in City limits or the two mile jurisdiction of Grand Island
- [ ] 5 + 15* copies if in Hall County, City of Wood River, Village of Cairo, Doniphan or Alda.
- [ ] Closure Sheet
- [ ] Utilities Sheet
- [ ] Receipt for Subdivision Application Fees in the amount of $_____

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APPLICATION FOR REZONING OR ZONING ORDINANCE CHANGE

Regional Planning Commission

Check Appropriate Location:

☐ City of Grand Island and 2 mile zoning jurisdiction
☑ Alda, Cairo, Doniphan, Wood River and 1 mile zoning jurisdiction
☑ Hall County

RPC Filing Fee _____
(see reverse side)
*plus Municipal Fee** $50.00
*applicable only in Alda, Doniphan, Wood River

A. Applicant/Registered Owner Information (please print):

Applicant Name Ruhter Auction & Realty, Inc. Phone (h)_____ (w)402-463-8565

Applicant Address 2837 W. Hwy 6 Hastings, NE 68901

Registered Property Owner (if different from applicant) John M. Cunningham, PR (Norma J. Cunningham Estate)

Address P.O.Box 2015 Frederiksted, V.I. 00841 Phone (h)_____ (w)340-227-9316

B. Description of Land Subject of a Requested Zoning Change:

Property Address Parcel ID 400216450

Legal Description: (provide copy of deed description of property)

Lot ____ Block ____ Subdivision Name _____, and/or

All/Part PRT ¼ of Section 4 TWP 10 RGE 10 W6PM

C. Requested Zoning Change:

1. Property Rezoning (yes☐) (no☐)
(provide a properly scaled map of property to be rezoned)

From Transitional Ag to Light Industrial

2. Amendment to Specific Section/Text of Zoning Ordinance (yes☐) (no☐)
(describe nature of requested change to text of Zoning Ordinance)

D. Reasons in Support of Requested Rezoning or Zoning Ordinance Change:

NOTE: This application shall not be deemed complete unless the following is provided:

1. Evidence that proper filing fee has been submitted.
2. A properly scaled map of the property to be rezoned (if applicable), and copy of deed description.
3. The names, addresses and locations of all property owners immediately adjacent to, or within, 300 feet of the perimeter of the property to be rezoned (if the property is bounded by a street, the 300 feet shall begin across the street from the property to be rezoned).
4. Acknowledgement that the undersigned is/are the owner(s), or person authorized by the owner(s) of record title of any property which is requested to be rezoned:

A public hearing will be held for this request

Signature of Owner or Authorized Person _____ Date 01/27/2023

Note: Please submit a copy of this application, all attachments plus any applicable municipal filing fee to the appropriate Municipal Clerk's Office. RPC filing fee must be submitted separately to the Hall County Treasurer's Office (unless application is in Grand Island or its 2 mile zoning jurisdiction, then the RPC filing fee must be submitted to the G.I. City Clerk's Office).

Application Deemed Complete by RPC: mo.____day.____yr.____Initial____

RPC form revised 10/23/19

ENTERED AS INSTRUMENT NO
2019002876

STATE OF NEBRASKA
COUNTY OF HALL

FILED
2019 MAY 21 AM 8 54
KRISTI WOLD
ASSR/REGISTER OF DEEDS

CASH
CHECK 10.00

REFUNDS
CASH
CHECK

NEBRASKA DOCUMENTARY
STAMP TAX
5-21-19

2019002876

RETURN TO:
John M. Cunningham
P.O. Box 2015
Frederiksted, VI 00841

10.00

DEED OF DISTRIBUTION

John M. Cunningham, Personal Representative of the Estate of B.J. Cunningham, Deceased, Grantor, conveys and releases to John M. Cunningham, an undivided one-fifth (1/5) interest; Ann Brondel, and undivided one-fifth (1/5) interest; Jane Cunningham, an undivided one-fifth (1/5) interest; Mark Cunningham, an undivided one-fifth (1/5) interest; Emily Jones, an undivided one-tenth (1/10) interest, and Katy Bentzinger, an undivided one-tenth (1/10) interest, Grantees, whether one or more, as tenants in common, and subject to a life estate in favor of Norma J. Cunningham for and during her natural lifetime, the following described real property:

An undivided one-half (1/2) interest in all of the North Half of the Northeast Quarter (N½ NE¼) of Section Eighteen (18), Township Ten (10) North, Range Eleven (11), West of the 6th P.M. in Hall County, Nebraska

An undivided one-half (1/2) interest in the South Half of the Southwest Quarter (S½ SW¼) of Section Twenty-Two (22), Township Eleven (11) North, Range Twelve (12) West of the 6th P.M. in Hall County, Nebraska

An undivided one-half (1/2) interest in the South Half of the Southwest Quarter (S½ SW¼) of Section Four (4), Township Ten (10) North, Range Ten (10) West of the 6th P.M. in Hall County, Nebraska, subject to a lease in favor of Commodity Credit Corporation on a five (5) acre tract located thereon.

Subject to easements, reservations, covenants, and restrictions of record.

Grantor has determined that the Grantees are the persons entitled to distribution of the real estate from said estate. Grantor covenants with Grantees that Grantor has legal power and lawful authority to convey and release the same.

Dated this 21 day of May 2019.

John M. Cunningham
Personal Representative of the Estate of B.J. Cunningham, Deceased

STATE OF NEBRASKA)
)ss:
COUNTY OF HALL)

On this 21 day of May 2019, personally appeared before me John M. Cunningham, Personal Representative of the Estate of B.J. Cunningham, Deceased, who executed the foregoing Personal Representative's Deed and acknowledged the same to be his voluntary act and deed.

GENERAL NOTARY - State of Nebraska
DEBORAH R. RITTER
My Comm. Exp. October 20, 2019

Notary Public

PROPOSED SUBDIVISION
LOCATION MAP

THE REGIONAL PLANNING COMMISSION of Hall County, Grand Island, Wood River and the Villages of Alda, Cairo and Doniphan, Nebraska

1 inch = 300 feet

CUNNINGHAM FARMS SUBDIVISION

AN ADDITION TO THE VILLAGE OF ALDA, NEBRASKA
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 10 WEST OF THE 6TH P.M.,
HALL COUNTY, NEBRASKA

NW COR SW ¼ SEC 4-T10N-R10W
FOUND A ½" PINCHED PIPE 0.5' DEEP

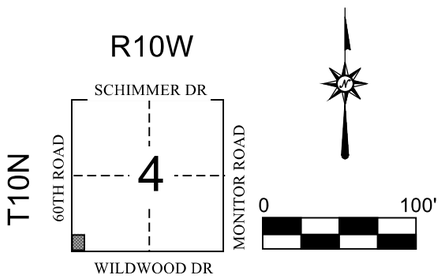
NE 36.88' TO A HEX SCREW FOUND IN THE TOP OF A CUT-OFF POWER POLE
W 32.97' TO A NAIL IN A BOTTLE CAP SET IN THE TOP OF A RAILROAD TIE FENCE POST
NW 38.89' TO A NAIL IN A BOTTLE CAP SET 1-FOOT ABOVE GROUND IN THE EAST FACE OF A POWER POLE
IN THE CENTER OF A GRAVEL ROAD AS DRIVEN NORTH AND SOUTH

SW COR SEC 4-T10N-R10W
FOUND AN ALUMINUM CAP 0.6' DEEP

NE 47.53' TO A NAIL FOUND 0.5-FOOT ABOVE GROUND IN THE NORTHWEST FACE OF A POWER POLE
NW 70.73' TO THE CENTER OF THE TOP NUT OF A FIRE HYDRANT
SW 47.83' TO A NAIL FOUND 2-FOOT ABOVE GROUND IN THE SOUTHEAST FACE OF A POWER POLE
SE 82.31' TO A NAIL IN A BOTTLE CAP SET 1-FOOT ABOVE GROUND IN THE SOUTHWEST FACE OF AN UNDERGROUND FIBER OPTIC WARNING POST
IN THE CENTER OF THE INTERSECTION OF DRIVEN ROADS

SE COR SW ¼ SEC 4-T10N-R10W
FOUND A 1' PIPE 2.5' DEEP

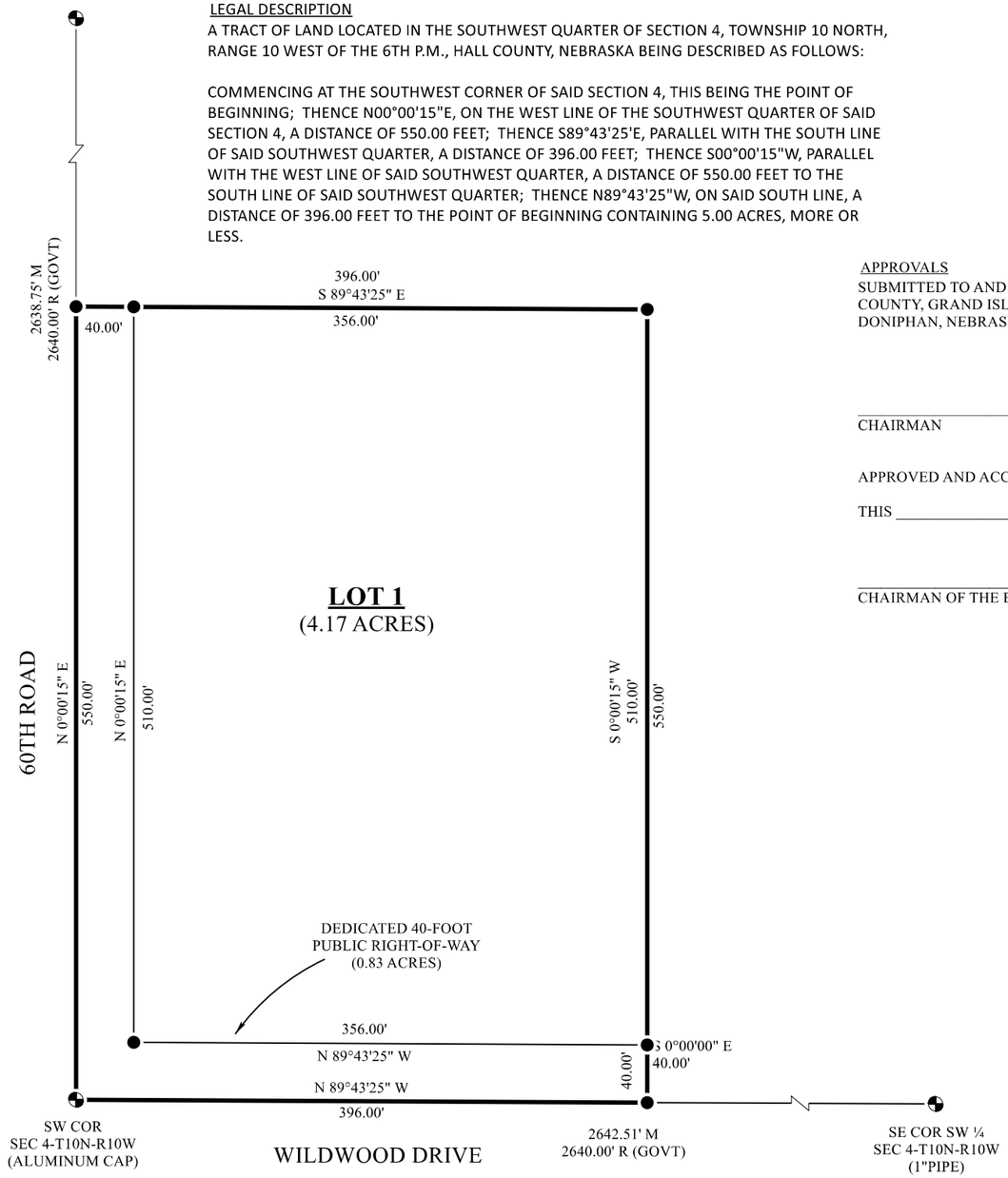
S 37.99' TO A NAIL FOUND 1-FOOT ABOVE GROUND IN THE WEST FACE OF A GATE FENCE POST
SE 44.05' TO A NAIL FOUND 1.5-FOOT ABOVE GROUND IN THE EAST FACE OF AN UNDERGROUND FIBER OPTIC WARNING POST
N 36.46' TO A NAIL FOUND 1-FOOT ABOVE GROUND IN THE WEST FACE OF A RAILROAD TIE FENCE POST
IN THE CENTER OF A GRAVEL ROAD AS DRIVEN EAST AND WEST



NOTE: ALL BEARINGS ARE ASSUMED

LEGEND	
●	SET PLASTIC CAP (LS-448) ON ½" REBAR
◕	CORNER FOUND
M	MEASURED DISTANCE
R	RECORD DISTANCE

KRUEGER LAND SURVEYING
2837 WEST U.S. HIGHWAY 6 #204
HASTINGS, NE 68901
402-984-2176



LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 10 NORTH, RANGE 10 WEST OF THE 6TH P.M., HALL COUNTY, NEBRASKA BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 4, THIS BEING THE POINT OF BEGINNING; THENCE N00°00'15"E, ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 550.00 FEET; THENCE S89°43'25"E, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 396.00 FEET; THENCE S00°00'15"W, PARALLEL WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 550.00 FEET TO THE SOUTH LINE OF SAID SOUTHWEST QUARTER; THENCE N89°43'25"W, ON SAID SOUTH LINE, A DISTANCE OF 396.00 FEET TO THE POINT OF BEGINNING CONTAINING 5.00 ACRES, MORE OR LESS.

APPROVALS

SUBMITTED TO AND APPROVED BY THE REGIONAL PLANNING COMMISSION OF HALL COUNTY, GRAND ISLAND AND WOOD RIVER AND THE VILLAGES OF ALDA, CAIRO, AND DONIPHAN, NEBRASKA.

_____ _____
CHAIRMAN DATE

APPROVED AND ACCEPTED BY THE ALDA VILLAGE BOARD,

THIS _____DAY OF _____20_____.

_____ _____
CHAIRMAN OF THE BOARD VILLAGE CLERK

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAT OF A SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.

_____
THOMAS L. KRUEGER | LS-448

FILE NAME HALL COUNTY SEC 4-T10N-R10W		
SCALE 100 Ft/In	DATE 2-14-2023	DRAWN BY T. KRUEGER
JOB KLS-23010	FIELD WORK TK	SHEET 1 OF 2

CUNNINGHAM FARMS SUBDIVISION

AN ADDITION TO THE VILLAGE OF ALDA, NEBRASKA, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 10 NORTH, RANGE 10 WEST OF THE 6TH P.M., HALL COUNTY, NEBRASKA

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT JOHN M. CUNNINGHAM AND SARAH C. CUNNINGHAM, HUSBAND AND WIFE, STANLEY R. BRONDEL AND ANN L. BRONDEL, HUSBAND AND WIFE, JANE E. CUNNINGHAM, A SINGLE PERSON, MARK A.CUNNINGHAM, A SINGLE PERSON, EMILY J. JONES,A SINGLE PERSON, AND MICHAEL K. BENTZINGER AND KATY L. BENTZINGER, HUSBAND AND WIFE, BEING THE OWNERS OF THE LAND DESCRIBED HEREON, HAVE CAUSED SAME TO BE SURVEYED, SUBDIVIDED, PLATTED AND DESIGNATED AS "CUNNINGHAM FARMS SUBDIVISION", AN ADDITION TO THE VILLAGE OF ALDA, HALL COUNTY, NEBRASKA, AS SHOWN ON THE ACCOMPANYING PLAT THEREOF, AND DO HEREBY DEDICATE THE STREETS AS SHOWN THEREON TO THE PUBLIC FOR THEIR USE FOREVER, AND THE EASEMENTS, IF ANY, AS SHOWN THEREON FOR THE LOCATION, CONSTRUCTION, AND MAINTENANCE OF PUBLIC SERVICE UTILITIES FOREVER, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS THERETO, AND HEREBY PROHIBITING THE PLANTING OF TREES BUSHES AND SHRUBS OR PLACING OTHER OBSTRUCTIONS UPON, OVER, ALONG OR UNDERNEATH THE SURFACE OF SUCH EASEMENTS AND THAT THE FORGOING SUBDIVISION AS MORE PARTICULARLY DESCRIBED IN THE LEGAL DESCRIPTION HEREON AS APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.

IN WITNESS WHEREOF, I HAVE AFFIXED MY SIGNATURE HERETO, AT GRAND ISLAND, NEBRASKA, THIS DAY OF

_____20____.

_____ JOHN M. CUNNINGHAM, HUSBAND

_____ SARAH C. CUNNINGHAM, WIFE

_____ JANE E. CUNNINGHAM, A SINGLE PERSON

_____ STANLEY R. BRONDEL, HUSBAND

_____ ANN L. BRONDEL, WIFE

_____ MARK A. CUNNINGHAM, A SINGLE PERSON

_____ MICHAEL K. BENTZINGER, HUSBAND

_____ KATY L. BENTZINGER, WIFE

_____ EMILY J. JONES, A SINGLE PERSON

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED JOHN M. CUNNINGHAM AND SARAH C. CUNNINGHAM, HUSBAND AND WIFE TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSONS WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HIS VOLUNTARY ACT AND DEED.

MY COMMISSION EXPIRES_____

_____
NOTARY PUBLIC

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED JANE E. CUNNINGHAM, A SINGLE PERSON TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HER VOLUNTARY ACT AND DEED.

MY COMMISSION EXPIRES_____

_____
NOTARY PUBLIC

KRUEGER LAND SURVEYING
2837 WEST U.S. HIGHWAY 6 #204
HASTINGS, NE 68901
402-984-2176

FILE NAME HALL COUNTY SEC 4-T10N-R10W		
SCALE 100 Ft/In	DATE 2-14-2023	DRAWN BY T. KRUEGER
JOB KLS-23010	FIELD WORK TK	SHEET 2 OF 2

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED STANLEY R. BRONDEL AND ANN L. BRONDEL, HUSBAND AND WIFE TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSONS WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HER VOLUNTARY ACT AND DEED.

MY COMMISSION EXPIRES_____

_____
NOTARY PUBLIC

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED MARK A.CUNNINGHAM, A SINGLE PERSON TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HIS VOLUNTARY ACT AND DEED.

MY COMMISSION EXPIRES_____

_____
NOTARY PUBLIC

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED MICHAEL K. BENTZINGER AND KATY L. BENTZINGER, HUSBAND AND WIFE TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSONS WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HER VOLUNTARY ACT AND DEED.

MY COMMISSION EXPIRES_____

_____
NOTARY PUBLIC

ACKNOWLEDGEMENT

STATE OF_____)
) SS
COUNTY OF _____)

ON THE _____DAY OF _____20_____, BEFORE ME _____ A NOTARY PUBLIC WITHIN AND FOR SAID COUNTY, PERSONALLY APPEARED EMILY J. JONES, A SINGLE PERSON TO ME PERSONALLY KNOWN TO BE THE IDENTICAL PERSON WHOSE SIGNATURE IS AFFIXED HERETO, AND DID ACKNOWLEDGE THE EXECUTION THEREOF TO BE HER VOLUNTARY ACT AND DEED.

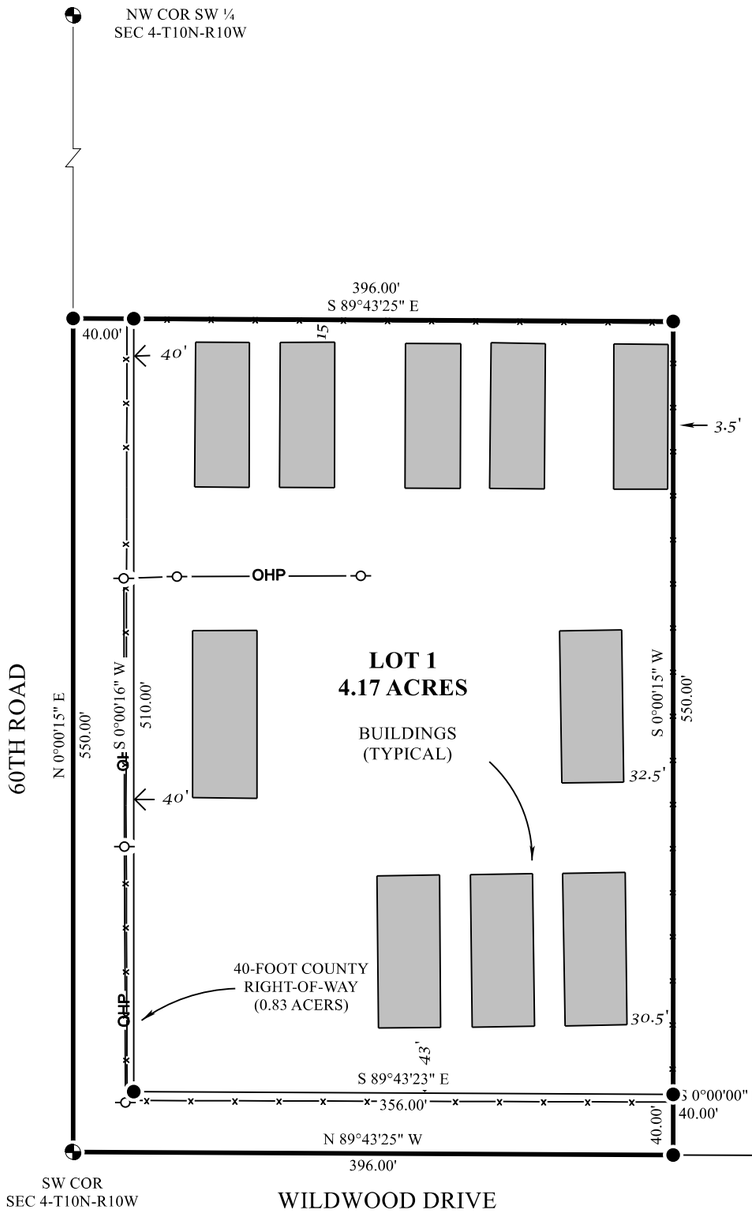
MY COMMISSION EXPIRES_____

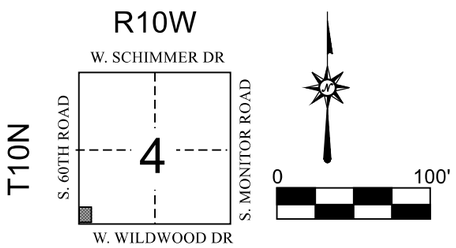
_____
NOTARY PUBLIC

CUNNINGHAM FARMS SUBDIVISION

SITE PLAN

AN ADDITION TO THE VILLAGE OF ALDA, NEBRASKA
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 10 NORTH, RANGE 10 WEST OF THE 6TH P.M.,
HALL COUNTY, NEBRASKA





NOTE: ALL BEARINGS ARE ASSUMED

LEGEND	
●	SET PLASTIC CAP (LS-448) ON ½" REBAR
◐	CORNER FOUND
M	MEASURED DISTANCE
R	RECORD DISTANCE
—x—	FENCE
—o—	POWER POLE
OHP	OVERHEAD POWER

KRUEGER LAND SURVEYING
2837 WEST U.S. HIGHWAY 6 #204
HASTINGS, NE 68901
402-984-2176

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAT OF A SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.

_____

THOMAS L. KRUEGER | LS-448

FILE NAME HALL COUNTY SEC 4-T10N-R10W		
SCALE 100 Ft/In	DATE 2-14-2023	DRAWN BY T. KRUEGER
JOB KLS-23010	FIELD WORK TK	SHEET 1/1

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item J2

Final Plat - JMR Subdivision - Grand Island - Located north of 4th Street and east of Wheeler Avenue in Grand Island, NE

Staff Contact:

HALL COUNTY REGIONAL PLANNING COMMISSION
SUBDIVISION APPLICATION

This application must be submitted a minimum of 20 calendar days prior to a planning commission meeting to be considered at that meeting. Planning Commission meetings are typically held on the first Wednesday of the month.

Owners Information

Name Jeff Gerr (JMR Enterprises LLC)
Address 514 S. Shady Bend Road
City Grand Island, State NE Zip 68801
Phone 308-380-2336

Attach additional information as necessary for all parties listed as an owner on the plat and any other parties such as partners Deed of Trust holders, etc...

All owners, lien holders, etc. will be required to sign the dedication certificate on the final plat. As the applicant for this subdivision I do hereby certify that I have provided complete information regarding the ownership of the property included in this application:

By: Jeff Gerr (Applicant) Date: 2-3-23

Surveyor/Engineers Information

Surveyor/Engineering Firm Initial Point Surveying
Address 1811 W. 2nd St STE 280
City Grand Island, State NE Zip 68803
Phone 308-675-4141
Surveyor/Engineer Name Brent Cyboron License Number 727

SUBDIVISION NAME: JMR Subdivision

Please check the appropriate location

- [ ] Hall County
- [x] The City of Grand Island or 2-Mile Grand Island Jurisdiction
- [ ] The City of Wood River or 1 Mile Jurisdiction
- [ ] Village of Alda or 1 Mile Jurisdiction
- [ ] Village of Cairo or 1 Mile Jurisdiction
- [ ] Village of Doniphan or 1 Mile Jurisdiction

Please check the appropriate Plat

- [ ] Preliminary Plat
- [x] Final Plat

Number of Lots 2

Number of Acres _____

Checklist of things Planning Commission Needs

- [x] AutoCAD file (Scaled 1:100) and a PDF sent to rashadm@grand-island.com
- [x] 10 + 15* copies if in City limits or the two mile jurisdiction of Grand Island
- [x] 5 + 15* copies if in Hall County, City of Wood River, Village of Cairo, Doniphan or Alda.
- [x] Closure Sheet
- [x] Utilities Sheet
- [x] Receipt for Subdivision Application Fees in the amount of $510.00

*** 15 Pages are to be printed on 11X17, larger sizes maybe requested if needed**

Providing false information on this application will result in nullification of the application and forfeiture of all related fees. If you have any questions regarding this form or subdivision regulations administered by the Hall County Regional Planning Department call (308) 385-5240.

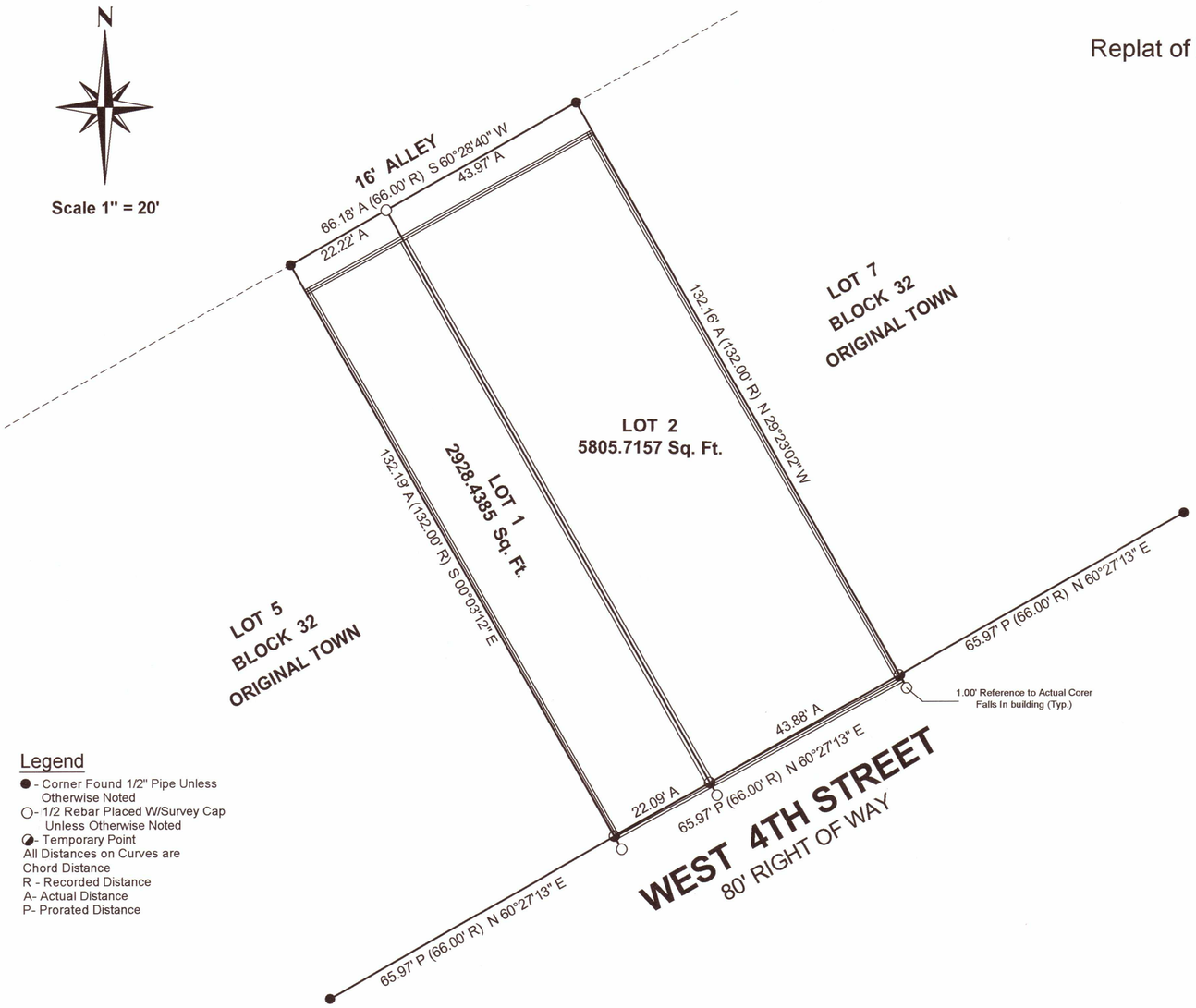
PROPOSED SUBDIVISION
LOCATION MAP

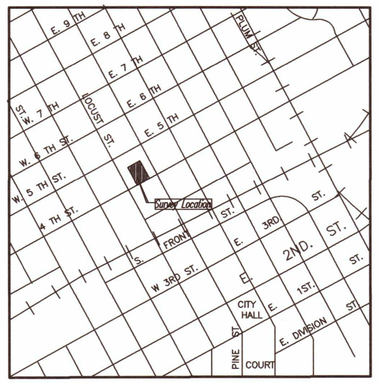
THE REGIONAL PLANNING COMMISSION of Hall County, Grand Island, Wood River and the Villages of Alda, Cairo and Doniphan, Nebraska

1 inch = 100 feet

JMR SUBDIVISION

Replat of Lot Six (6), Block Thirty-Two (32), Original Town, now city of Grand Island,
Hall County, Nebraska





Legend

- ● - Corner Found 1/2" Pipe Unless Otherwise Noted
- ○ - 1/2 Rebar Placed W/Survey Cap Unless Otherwise Noted
- ◔ - Temporary Point

All Distances on Curves are Chord Distance
R - Recorded Distance
A- Actual Distance
P- Prorated Distance

LEGAL DESCRIPTION

Lot Six (6), Block Thirty-Two (32), Original Town, now city of Grand Island,
Hall County, Nebraska and that part of vacated street as shown in Ordinance No. 4795 recorded December 3, 1969 in the Register of Deeds office in Book 19, Page
341 and that part of vacated street as shown in Ordinance No. 5114 recorded December 21, 1971 in the Register of Deeds office in Book 22, Page 431

SURVEYORS CERTIFICATE

I hereby certify that on December 8, 2022, I completed an accurate survey of 'JMR SUBDIVISION', in Hall County, Nebraska, as shown on the accompanying plat thereof; that the lots, blocks, streets, avenues, alleys, parks, commons and other grounds as contained in said subdivision as shown on the accompanying plat thereof are well and accurately staked off and marked; that iron markers were placed at all lot corners; that the dimensions of each lot are as shown on the plat; that each lot bears its own number; and that said survey was made with reference to known and recorded monuments.

_____

Brent D Cyboron

Nebraska Professional Registered Land Surveyor No. 727

NEBRASKA REGISTERED LS-727 LAND SURVEYOR BRENT D. CYBORON

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that Jeffrey L Greer, member of, JMR Enterprises LLC, and being the owner of the land described hereon, has caused same to be surveyed, subdivided, platted and designated as 'BEN R. DAVIS SUBDIVISION' in the City of Grand Island, Hall County, Nebraska, as shown on the accompanying plat thereof, and do hereby dedicate the easements, if any, as shown thereon for the location, construction and maintenance of public service utilities, together with the right of ingress and egress thereto, and hereby prohibiting the planting of trees, bushes and shrubs, or placing other obstructions upon, over, along or underneath the surface of such easements; and that the foregoing subdivision as more particularly described in the description hereon as appears on this plat is made with the free consent and in accordance with the desires of the undersigned owner and proprietor.

IN WITNESS WHEREOF, I have affixed my signature hereto, at Grand Island, Nebraska.

_____

Jeffrey L Greer - Member JMR Enterprises

Date_____

ACKNOWLEDEGEMENT

State of Nebraska

County of Hall *SS*

On the ____day of _____ , 20___, before me _____ a Notary Public within and for said County, personally appeared Jeffery L. Greer - Member, JMR Enterprises LLC convey to GRANTEES, and to me personally known to be the identical person whose signature is affixed hereto, and that he did acknowledge the execution thereof to be his voluntary act and deed.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal at Grand Island, Nebraska, on the date last above written.

My commission expires _____ .20__

_____

Notary Public

APPROVALS

Submitted to and approved by the Regional Planning Commission of Hall County, Grand Island and Wood River, and The Villages of Alda, Cairo, and Doniphan, Nebraska

_____ _____

Chairman Date

Approved and accepted by the City of Grand Island, Hall County, Nebraska this_____ Day of _____,20____

_____ _____

Mayor City Clerk

INITIAL POINT SURVEYING LLC
1811 W 2nd Street; Suite 280
Grand Island, NE 68803
308-383-6754 Cell
308-675-4141 Office

LOCATION: JMR SUBDIVISION			
TITLE: Grand Island, Nebraska			
SCALE: AT A3: 1" = 20'	DATE: 2/8/2023	DRAWN: Brent C.	PAGE: 1 OF 1
	DRAWING NO:		REVISION:

Hall County Regional Planning Commission

Wednesday, March 1, 2023
Regular Meeting

Item J3

Final Plat - Gloe Acres Second Subdivision - Located south of Wildwood Drive and east of 110th Road in Hall County

Staff Contact:

HALL COUNTY REGIONAL PLANNING COMMISSION
SUBDIVISION APPLICATION

This application must be submitted a minimum of 20 calendar days prior to a planning commission meeting to be considered at that meeting. Planning Commission meetings are typically held on the first Wednesday of the month.

Owners Information

Name Mark A. & Dian M. Gloe.....Matthew A. & Hannah Gloe

Address 9920 W. Wildwood Drive.....10525 Wildwood Drive

City Wood River, State NE Zip 68883

Phone 308 379-8283.....308 379-1594

Attach additional information as necessary for all parties listed as an owner on the plat and any other parties such as partners Deed of Trust holders, etc...

All owners, lien holders, etc. will be required to sign the dedication certificate on the final plat. As the applicant for this subdivision I do hereby certify that I have provided complete information regarding the ownership of the property included in this application:

By:_____ Date:_____
(Applicant)

Surveyor/Engineers Information

Surveyor/Engineering Firm Benjamin & Associates, Inc.

Address P. O. Box 339

City Grand Island, State NE Zip 68802

Phone 308 382-8465

Surveyor/Engineer Name Lee D. Wagner License Number 557

SUBDIVISION NAME: GLOE ACRES SECOND SUBDIVISION

Please check the appropriate location

- [x] Hall County
- [ ] The City of Grand Island or 2-Mile Grand Island Jurisdiction
- [ ] The City of Wood River or 1 Mile Jurisdiction
- [ ] Village of Alda or 1 Mile Jurisdiction
- [ ] Village of Cairo or 1 Mile Jurisdiction
- [ ] Village of Doniphan or 1 Mile Jurisdiction

Please check the appropriate Plat

- [ ] Preliminary Plat
- [x] Final Plat

Number of Lots 1

Number of Acres 3.631

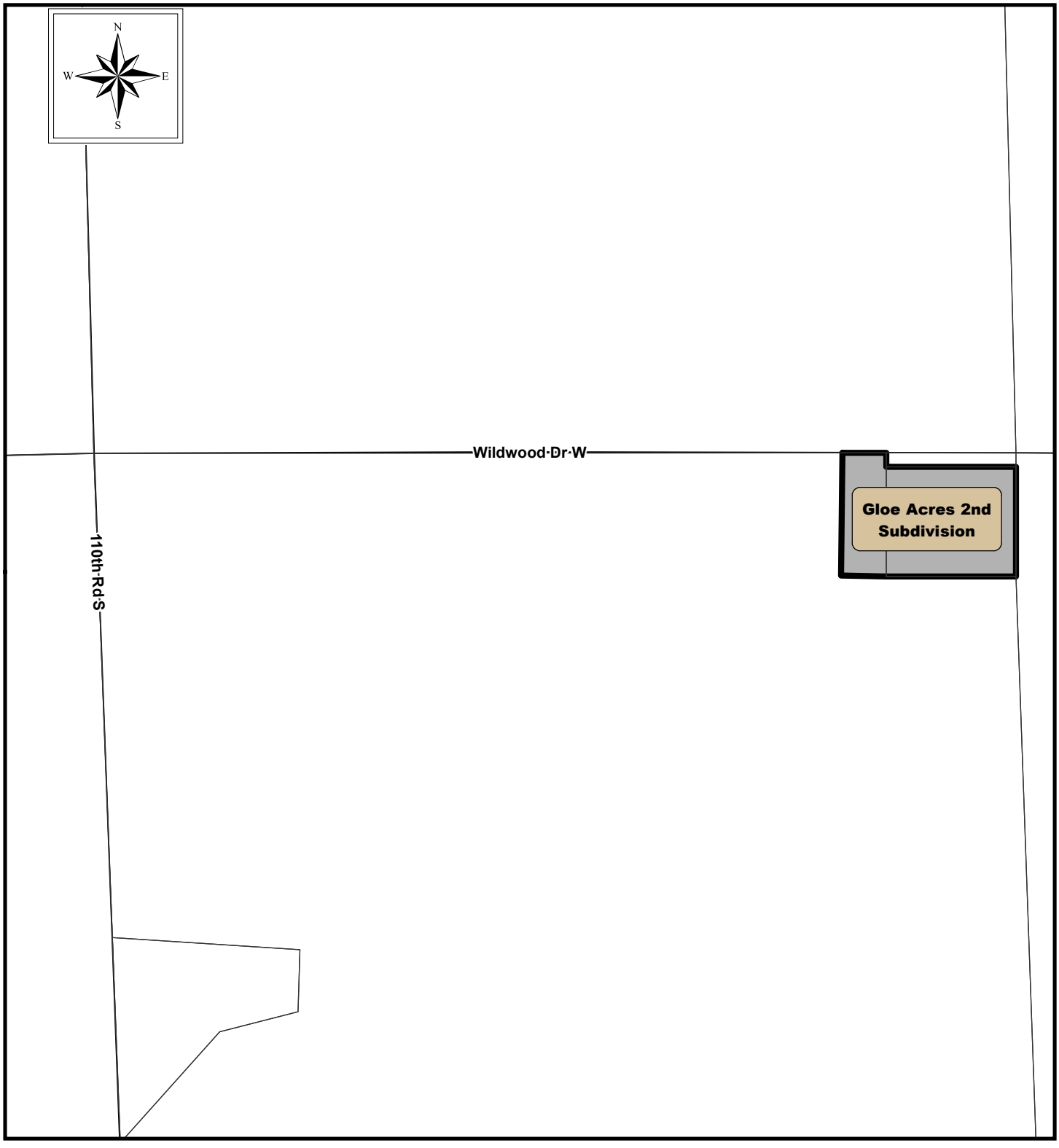
Checklist of things Planning Commission Needs

- [x] AutoCAD file (Scaled 1:100) and a PDF sent to rashadm@grand-island.com
- [ ] 10 + 15* copies if in City limits or the two mile jurisdiction of Grand Island
- [x] 5 + 15* copies if in Hall County, City of Wood River, Village of Cairo, Doniphan or Alda.
- [x] Closure Sheet
- [ ] Utilities Sheet
- [x] Receipt for Subdivision Application Fees in the amount of $500.00

*** 15 Pages are to be printed on 11X17, larger sizes maybe requested if needed**

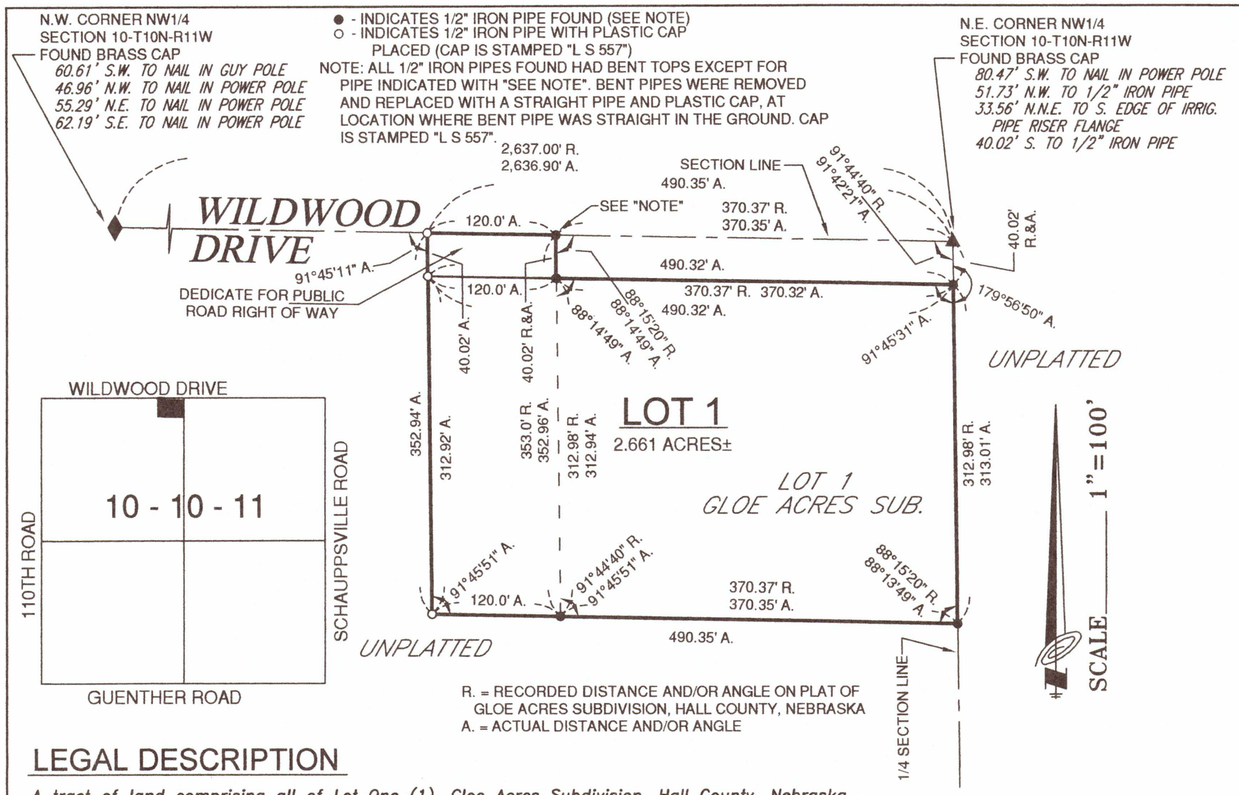
Providing false information on this application will result in nullification of the application and forfeiture of all related fees. If you have any questions regarding this form or subdivision regulations administered by the Hall County Regional Planning Department call (308) 385-5240.

PROPOSED SUBDIVISION
LOCATION MAP



THE REGIONAL PLANNING COMMISSION of Hall County, Grand Island, Wood River and the Villages of Alda, Cairo and Doniphan, Nebraska

1 inch = 400 feet



LEGAL DESCRIPTION

A tract of land comprising all of Lot One (1), Gloe Acres Subdivision, Hall County, Nebraska,

and

A tract of land comprising a part of the Northwest Quarter (NW1/4) of Section Ten (10), Township Ten (10) North, Range Eleven (11) West of the 6th P.M., Hall County, Nebraska, and more particularly described as follows:

Beginning at a point on the north line of said Northwest Quarter (NW1/4), said point being Three Hundred Seventy and Thirty Five Hundredths (370.35) feet west of the northeast corner of said Northwest Quarter (NW1/4), said point also being on the northerly prolongation of the west line of said Lot One (1), Gloe Acres Subdivision; thence running westerly, along and upon the north line of said Northwest Quarter (NW1/4), a distance of One Hundred Twenty (120.0) feet; thence deflecting left 91°45'11" and running southerly, parallel with the west line of said Lot One (1), Gloe Acres Subdivision, a distance of Three Hundred Fifty Two and Ninety Four Hundredths (352.94) feet to a point on the westerly prolongation of the south line of said Lot One (1), Gloe Acres Subdivision; thence deflection left 88°14'09" and running easterly, along and upon said westerly prolongation of the south line of said Lot One (1), Gloe Acres Subdivision, a distance of One Hundred Twenty (120.0) feet to the southwest corner of said Lot One (1), Gloe Acres Subdivision; thence deflecting left 91°45'51" and running northerly, along and upon the west line of said Lot One (1), Gloe Acres Subdivision and the northerly prolongation of the west line of said Lot One (1), Gloe Acres Subdivision, a distance of Three Hundred Fifty Two and Ninety Six Hundredths (352.96) feet to the point of beginning.

Said total tract containing 3.631 acres, more or less.

SURVEYOR'S CERTIFICATE

I hereby certify that on_____, 2023, I completed an accurate survey (made under my supervision) of "GLOE ACRES SECOND SUBDIVISION", Hall County, Nebraska, as shown on the accompanying plat thereof; that the lots, blocks, streets, avenues, alleys, parks, commons, and other grounds as contained in said subdivision as shown on the accompanying plat thereof, are well and accurately staked off and marked; that iron markers were placed at all corners as shown on the plat; that each lot bears its own number; and that said survey was made with reference to known and recorded monuments.

Lee D. Wagner, Registered Land Surveyor No. 557

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that we, Mark A. Gloe and Dian M. Gloe, husband and wife, and Matthew A. Gloe and Hannah Gloe, husband and wife, being the owners of the land described hereon, have caused same to be surveyed, subdivided, platted and designated as "GLOE ACRES SECOND SUBDIVISION", Hall County, Nebraska, as shown on the accompanying plat thereof, and do hereby dedicate the road as shown thereon, to the public for their use forever, and the easements, if any, for the location, construction and maintenance of public service utilities forever, together with the right of ingress and egress thereto, and hereby prohibiting the planting of trees, bushes and shrubs, or placing other obstructions upon, over, along or underneath the surface of such easements, and that the foregoing subdivision as more particularly described in the description hereon as appears on this plat, is made with the free consent and in accordance with the desires of the undersigned owners and proprietors.

IN WITNESS WHEREOF, we have affixed our signatures hereto at_____, Nebraska, this_____day of _____, 2023.

Mark A. Gloe *Dian M. Gloe*

IN WITNESS WHEREOF, we have affixed our signatures hereto at_____, Nebraska, this_____day of _____, 2023.

Matthew A. Gloe *Hannah Gloe*

ACKNOWLEDGEMENT

State of Nebraska
ss
County of Hall

On the_____day of_____, 2023, before me,_____, a Notary Public within and for said County, personally appeared Mark A. Gloe and Dian M. Gloe, husband and wife, to me personally known to be the identical persons whose signatures are affixed hereto, and they did acknowledge the execution thereof to be his and her voluntary act and deed.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal at_____, Nebraska, on the date last above written.

My commission expires_____.

Notary Public *(SEAL)*

State of Nebraska
ss
County of Hall

On the_____day of_____, 2023, before me,_____, a Notary Public within and for said County, personally appeared Matthew A. Gloe and Hannah Gloe, husband and wife, to me personally known to be the identical persons whose signatures are affixed hereto, and they did acknowledge the execution thereof to be his and her voluntary act and deed.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal at_____, Nebraska, on the date last above written.

My commission expires_____.

Notary Public *(SEAL)*

APPROVALS

Submitted to and approved by the Regional Planning Commission of Hall County, Grand Island and Wood River, and the Villages of Alda, Cairo and Doniphan, Nebraska.

Chairman *Date*

Approved and accepted by the Hall County Board of Commissioners, this_____day of_____, 2023.

Chairman of the Board *County Clerk*

GLOE ACRES SECOND SUBDIVISION

HALL COUNTY, NEBRASKA

BENJAMIN & ASSOCIATES, INC.

ENGINEERS & SURVEYORS - GRAND ISLAND, NEBRASKA

SHEET 1 OF 1