



# Hall County Regional Planning Commission

Wednesday, March 1, 2023

Regular Meeting

## Item F1

**Public Hearing - Redevelopment Plan Amendment - Grand Island  
- JBA Ventures - CRA Area 31 - South Street and Henry and Ada  
Streets**

**Staff Contact:**

## Agenda Item # 4

### PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:

February 15, 2023

#### SUBJECT:

*Redevelopment plan amendment for property located in Blight and Substandard Area 31 located south of South Street along Henry and Ada Streets, in Grand Island, Hall County, Nebraska to support this development. (C-18-23G)*

#### PROPOSAL:

JBA Ventures LLC is proposing to develop the properties described above for residential purposes. The property is zoned a combination of M-2 Heavy Manufacturing but the applicants have requested a zoning changes to B2 General Business zone, the same zoning district as adjoining properties to the south. Residential uses are permitted in the B2 zoning district and properties to the south are already used and have been used for residential purposes for at least 30 years.

#### OVERVIEW:

The purpose of the CRA and the designated blight and substandard area is to provide incentives for development in underdeveloped areas of the community. This area has already been declared blighted and substandard the Grand Island City Council.

This project is **consistent** with the **proposed zoning** and the **future land use plan** for this area within the City of Grand Island. This development will promote housing construction in Grand Island.

The Regional Planning Commission recommendation is limited to the appropriateness of the proposed use at this location. The Grand Island Comprehensive Plan calls for the development of a medium density residential to office uses at this location.

The Planning Commission is required to comment on these applications to confirm that expenditure of public funds through TIF is not supporting uses that would be inconsistent with the comprehensive plan. The proposed use for a residential development at this location appears to be supported by the plan.

**RECOMMENDATION:**

That the Regional Planning Commission recommends find that the redevelopment plan is consistent with the Comprehensive Plan (general plan for development) of the city of Grand Island. A resolution is attached for your consideration.

\_\_\_\_\_ Chad Nability AICP, Planning Director

**Redevelopment Plan Amendment  
Grand Island CRA Area 31  
February 2023**

**The Community Redevelopment Authority (CRA) of the City of Grand Island intends to amend the Redevelopment Plan for Area 31 within the city, pursuant to the Nebraska Community Development Law (the “Act”) and provide for the financing of a specific redevelopment project in Area 31.**

**Executive Summary:**

**Project Description**

THE REDEVELOPMENT OF PROPERTIES LOCATED AT 1703 HENRY STREET AND 1703 ADA STREET FOR RESIDENTIAL USES.

The use of Tax Increment Financing to aid in rehabilitation expenses associated with redevelopment of the both the Henry and Ada Street properties. The developer is proposing to develop multifamily residential in four buildings with 18 units (10 one bedroom and 8 two bedroom) at this location. This project would not be feasible without the use of TIF.

The developer is responsible for and has provided evidence that they can secure adequate debt financing to cover the costs associated with the remodeling and rehabilitation of this building.

The Grand Island Community Redevelopment Authority (CRA) intends to pledge the ad valorem taxes generated over the 15 year period beginning January 1, 2025 towards the allowable costs and associated financing for rehabilitation.

TAX INCREMENT FINANCING TO PAY FOR THE REHABILITATION OF THE PROPERTY WILL COME FROM THE FOLLOWING REAL PROPERTY:

Property Description (the “Redevelopment Project Area”)

The properties are located at 1703 Henry Street and 1703 Ada Street in Grand Island Nebraska, the attached map identifies the subject property and the surrounding land uses.

**Legal Descriptions:** Lots 1 and 2 of Block 2 of Dawn Subdivision and the West 111 feet of lot 1 and all of lot 2 of Block 1 of Dawn Subdivision in the City of Grand Island, Hall County, Nebraska.



**The tax increment will be captured for the tax years the payments for which become delinquent in years 2024 through 2041 inclusive for no more than a 15 year period on any portion of the project.**

**The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase will come from the construction of 4 apartment buildings on these lots.**

**Statutory Pledge of Taxes.**

In accordance with Section 18-2147 of the Act and the terms of the Resolution providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

a. That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and

b. That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

**1. The Redevelopment Project Area has been declared blighted and substandard by action of the Grand Island City Council on July 28, 2020.[§18-2109] Such declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.**

**2. Conformation to the General Plan for the Municipality as a whole. [§18-2103 (13)]**

**(a) and §18-2110]**

Grand Island adopted a Comprehensive Plan on July 13, 2004. This redevelopment plan amendment and project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended. **The Hall County Regional Planning Commission held a public hearing at their meeting on March 1, 2023 and passed Resolution 2023-xx confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island.**

**3. The Redevelopment Plan must be sufficiently complete to address the following items: [§18-2103(13) (b)]**

***a. Land Acquisition:***

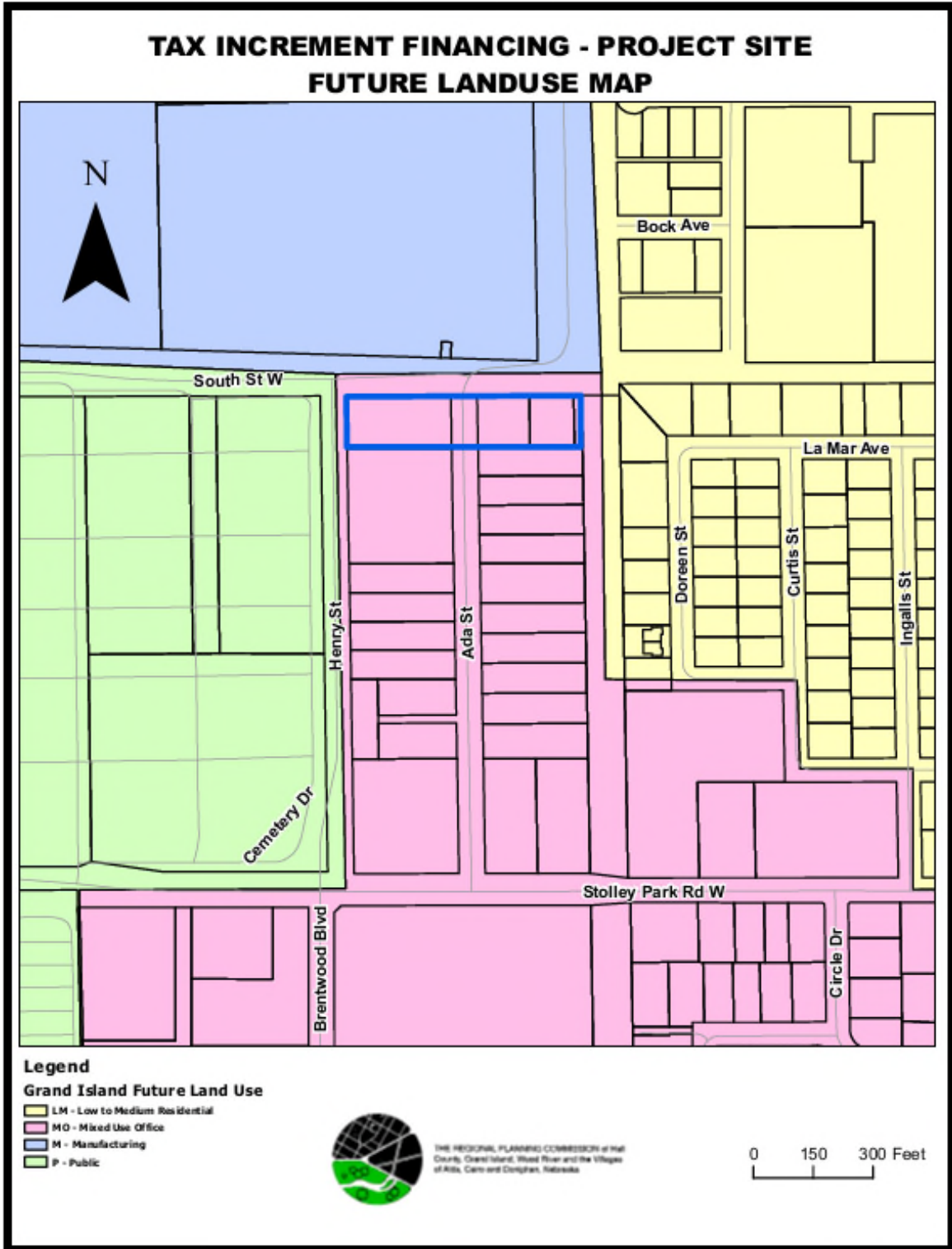
The Redevelopment Plan for Area 1 provides for real property acquisition and this plan amendment does not prohibit such acquisition. The developer has acquired the property and will be including acquisition as an eligible activity. There is no proposed acquisition by the authority.

***b. Demolition and Removal of Structures:***

The project to be implemented with this plan does provide for the demolition and removal any structures on this property. Some structures have already been demolished and removed to prepare for this project and those expenses will be eligible for reimbursement as permitted by statutes.

***c. Future Land Use Plan***

See the attached map from the 2004 Grand Island Comprehensive Plan. All of the area around the site in private ownership is planned for mixed use manufacturing development; this includes uses allowed in the general business district like housing and more intense uses like those found north of this site. A majority of the development along Henry and Ada Streets south of South Street is multifamily residential in nature and has been for more than 25 years. This property is in private ownership. [§18-2103(b) and §18-2111] The attached map also is an accurate site plan of the area after redevelopment. [§18-2111(5)]



City of Grand Island Future Land Use Map



***d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.***

The area is zoned M2 Heavy Manufacturing zone. The developer has submitted a request to change the zoning to B2 General Business. All of the properties south of these are zoned B2 and such changes would be consistent with the future land use map. No changes are anticipated in street layouts or grades. No changes are anticipated in building codes or ordinances. Nor are any other planning changes contemplated. [§18-2103(b) and §18-2111]

***e. Site Coverage and Intensity of Use***

The B2 zone would allow residential uses at a density of up to 1 unit per 1000 square feet of property with up to 100% of property covered with a 10 foot setback along the street sides. [§18-2103(b) and §18-2111]

***f. Additional Public Facilities or Utilities***

- Sewer and water are available and can be extended to support this development.
- Electric utilities are sufficient for the proposed use.
- No other utilities would be impacted by the development.
- The developer will be responsible for installing any sidewalks needed with this project.

No other utilities would be impacted by the development. [§18-2103(b) and §18-2111]

**4. The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation. This property is vacant and has not been used for any residential purposes. [§18-2103.02]**

**5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106]** No members of the authority or staff of the CRA have any interest in this property.

**6. Section 18-2114 of the Act requires that the Authority consider:**

***a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.***

The developer has established a purchase price of the property of \$460,000. The estimated costs for demolition and site work are \$94,000. Total costs for utilities and public streets and sidewalks and private streets is estimated at \$533,787. Architecture and planning fees will be \$25,859. Legal and fees for reimbursement to the City and the CRA for costs to prepare the contract and monitor the project over the course of the development of \$10,000 are included in the eligible expenses. The total of eligible expenses for this project exceeds \$1,124,000. The developer will also invest almost \$6,000,000 in private funds into the construction of the project.

No property will be transferred to redevelopers by the Authority. The developer will provide and secure all necessary financing.

***b. Statement of proposed method of financing the redevelopment project.***

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of \$950,932 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2025 through December 2040.

***c. Statement of feasible method of relocating displaced families.***

No families will be displaced as a result of this plan.

**7. Section 18-2113 of the Act requires:**

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the Comprehensive Plan. This will have the intended result of preventing recurring elements of unsafe buildings and blighting conditions some of these have been demolished prior to consideration of this plan in anticipation of this project. These residential units will be similar to the ones located south of this property that were developed in the mid to late 1990's.

**8. Time Frame for Development**

Development of this project is anticipated to be completed by December of 2025. Excess valuation should be available for this project for 15 years on each structure beginning with the 2025 tax year.

**9. Justification of Project**

Housing is a critical need in Grand Island and across Nebraska. This project would add 18 units of housing similar to the housing that has been located on Henry and Ada streets since the mid 1990's.

**10. Cost Benefit Analysis** Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, *Neb. Rev. Stat.* (2012), the City of Grand Island has analyzed the costs and benefits of the proposed Redevelopment Project, including:

**Project Sources and Uses.** Approximately \$950,932 in public funds from tax increment financing provided by the Grand Island Community Redevelopment Authority will be required to complete the project. This investment by the Authority will leverage \$6,604,164 in private sector financing; a private investment of \$6.92 for every TIF dollar invested.

Use of Funds Description	Source of funds		
	TIF Funds	Private Funds	Total
Acquisition	\$460,000		\$460,000
Building Costs		\$5,919,726	\$5,919,726
Demolition	\$54,000		\$54,000
Utilities	\$302,197	\$8,500	\$310,792
Public Streets/Sidewalk	\$84,735		\$84,735
Private Streets		\$138,800	\$138,800
Grading/Dirtwork	\$40,000		\$40,000
Planning (Arch. & Eng.)		\$25,859	\$25,859
Financing fees/ audit		\$491,063	\$491,063
Legal/ TIF contract	\$10,000		\$10,000
<b>Total</b>	<b>\$950,932</b>	<b>\$6,583,948</b>	<b>\$7,534,975</b>

**Tax Revenue.** The property to be redeveloped is anticipated to have a January 1, 2024, valuation of approximately \$213,282. Based on the 202e levy this would result in a real property tax of approximately \$4,514. It is anticipated that the assessed value will increase by \$5,247,186 upon full completion, as a result of the site redevelopment. This development will result in an estimated tax increase of over \$111,042 annually. The tax increment gained from this Redevelopment Project Area would not be available for use as city general tax revenues, for a period of 15 years on each phase of the project, or such shorter time as may be required to amortize the TIF bond, but would be used for eligible private redevelopment costs to enable this project to be realized.

Estimated 2022 assessed value:	\$ 213,282
Estimated value after completion	\$5,460,468
Increment value	\$5,247,186
Annual TIF generated (estimated)	\$ 111,042
TIF bond issue	\$ 950,932

***(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;***

The redevelopment project area currently has an estimated valuation of \$213,282. The proposed redevelopment will create additional valuation of \$5,247,186. No tax shifts are anticipated from the project outside of the use of TIF to support the redevelopment. It is not anticipated that any additional tax burdens will be assumed by public entities as a result of this project. The project creates additional valuation that will support taxing entities long after the project is paid off.

***(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;***

Existing water and waste water facilities are sufficient to accommodate this development but will need to be extended to serve the properties. The electric utility has sufficient capacity to support the development. It is not anticipated that this will impact schools in any significant way. Fire and police protection are available and should not be negatively impacted by this development.

***(c) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project;***

This will not have an impact on employers within the area..

***(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and***

This project will not have a negative impact on other employers in any manner different from any other expanding business within the Grand Island area. This will provide residential options for residents of Grand Island.

***(e) Impacts on student populations of school districts within the City or Village:***

**This development will have a minimal impact on the Grand Island School system as it will likely not result in any increased attendance.** The majority of the units to be developed with this project are two bedroom units and unlikely to be a family unit, especially for families with school age children. The developer intends to market these primarily to seniors 59 years and older.

The average number of persons per household in Grand Island for 2015 to 2019 according the American Community Survey is 2.61. According to the 2020 census 19.8% of the population of Grand Island was between the ages of 5 and 18. 2020 census and 2022 ACS. If the averages hold it would be expected that there would be a maximum of 19 school age child generated by this development. This is mitigate by the fact that 10 of the 18 proposed units are one bedroom units and the other 8 units are only two bedroom.

***(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.***

This project will expand housing opportunities in the city and is infill development that will not create additional costs for the city.

**Time Frame for Development**

Development of this project is anticipated to be completed by December of 2025. The base tax year will vary between January 1, 2024 or 25 and January 1, 2026. Excess valuation should be available for each phase of this project for 15 years beginning in

2024 with taxes due in 2025. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 18 years with no more than 15 years on any phase of the project or an amount not to exceed \$950,932 the projected amount of increment based upon the anticipated value of the project and current tax rate. Based on the estimates of the expenses of the rehabilitation the developer will spend at least \$1,124,000 on TIF eligible activities in excess of other grants given.



## BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST

### Project Redeveloper Information

Business Name:

JBA Ventures, LLC

Address:

114 N. Custer Ave. Grand Island, NE 68803

Telephone No.: 308-390-0351

Fax No.: 308-382-3553

Email: JBAventuresGI@gmail.com

Contact:

Riley Baasch

Application Submission Date: \_\_\_\_\_

### Brief Description of Applicant's Business:

JBA Ventures, LLC is organized as a Nebraska LLC. Subsequent to project completed (pending TIF approval), the company will operate and lease housing units for those aged 59+ located at the project site. Upon completion of all phases of the proposed project, a total of 4 buildings housing 18 units will be available.

### Legal Description/Address of Proposed Project

1703 & 1704 Ada St. and 1704 Henry St. Grand Island, NE 68803, Dawn sub W.111' Lt 1 Blk 1, Dawn sub lot 2 Blk 1, Dawn sub lots 1&2 Blk 2

Community Redevelopment Area Number \_\_\_\_\_

Present Ownership Proposed Project Site:  
JBA Ventures, LLC

Is purchase of the site contingent on Tax Increment Financing Approval? Yes  No

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

Site preparation at Dawn Subdivision, including concrete work, infrastructure (sewer and electric), landscaping, fencing, etc. and the construction of 4 buildings intended for residential living by those aged 59+. Phase 1 consists of 8 housing units, consisting of both 1-bedroom or 2-bedroom floor plans. Phase 2 consist of 10 housing units, consisting of 1-bedroom floor plans or 2-bedroom floor plans. Once both phases are completed over three years there will be 18 housing units, 10 1-bedroom floor plans and 8 2-bedroom floor plans

If Property is to be Subdivided, Show Division Planned:

VI. Estimated Project Costs:

Acquisition Costs:

A. Land	\$ 460,000
B. Building	\$ 0

Construction Costs:

A. Renovation or Building Costs:	\$ 5,919,726
B. On-Site Improvements:	
Sewer	\$ 26,088
Water	\$ 22,100
Electric	\$ 250,444
Gas	\$ 11,620
Public Streets/Sidewalks	\$ 84,735

Private Streets	\$ 138,800
Trails	\$ _____
Grading/Dirtwork/Fill	\$ 40,000
Demolition	\$ 54,000
Other	\$ _____
<b>Total</b>	<b>\$ 7,007,513</b>

Soft Costs:

A. Architectural & Engineering Fees:	\$ 25,859
B. Financing Fees:	\$ 491,063
C. Legal & Accounting	\$ 10,000
D. Developer Fees:	\$ _____
E. Audit Fees	\$ _____
F. Contingency Reserves:	\$ _____
G. Other (Please Specify)	\$ _____
<b>TOTAL</b>	<b>\$ 7,534,435</b>

Total Estimated Market Value at Completion: \$ 5,460,468

Source for Estimated Market Value Market value arrived at using the lesser of cost or estimated assess value provided by Hall County Assessor

Source of Financing:

A. Developer Equity:	\$ 556,495
B. Commercial Bank Loan:	\$ 6,027,548
C. Tax Credits:	
1. N.I.F.A.	\$ _____
2. Historic Tax Credits	\$ _____
3. New Market Tax Credits	\$ _____
4. Opportunity Zone	\$ _____
D. Industrial Revenue Bonds:	\$ _____
E. Tax Increment Assistance:	\$ 950,392
F. Enhanced Employment Area	\$ _____



G. Nebraska Housing Trust Fund \$ \_\_\_\_\_  
 H. Other \$ \_\_\_\_\_

**Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:**

Architect: Stacy Spotanski, Spotanski Creative Building, Design & Drafting, LLC. 1811 W 2nd St, Ste 296, Grand Island, NE 68803 stacy@spotanskicbdd.com, 308-850-8186.

Engineer: Nate Jensen, Olsson, 201 E. Second St. Grand Island, NE 68801, njensen@olsson.com, 308-384-8750.

General Contractor: Brad Shearer, Fast Track Buildings & Construction, 3090 W. 2nd St. Grand Island, NE 68803. 308-379-6099. freedomshearerne@msn.com

**Estimated Real Estate Taxes on Project Site Upon Completion of Project:  
 (Please Show Calculations)**

See Exhibit B for details

**Project Construction Schedule:**

Construction Start Date:  
2023

Construction Completion Date:  
2025

**If Phased Project:**

<u>2023</u>	Year	<u>50</u>	% Complete
<u>2025</u>	Year	<u>100</u>	% Complete
_____	Year	_____	% Complete
_____	Year	_____	% Complete
_____	Year	_____	% Complete
_____	Year	_____	% Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma

(With Appropriate Schedules)

### **TAX INCREMENT FINANCING REQUEST INFORMATION**

**Describe Amount and Purpose for Which Tax Increment Financing is Requested:**

\$1,615,009 of tax increment financing (based on a 0% lending rate) is being requested to assist in the construction of 4 buildings to be located in the Dawn Subdivision of Hall County which are intended to create a total of 18 homes for those 59+ upon completion. The two-phase project involves the construction of the housing units, as well as concrete work for the foundations and all necessary access roads, in addition to appropriate sewer and electrical hookups to the city water and electric facilities.

The TIF funds will enable the project to be undertaken, resulting in vast improvements to the current location with the development of an area that will help to satisfy an underutilized occupancy demand of Grand Island.

**Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing  
for Proposed Project:**

Tax increment financing is an integral and essential component to project completion, which is contingent upon receipt of the expected tax increment assistance. Feasibility is dependent on TIF funds that will enable the creation of adequate economics in operating the new development at a competitive rate in the specified area (See Exhibit E for the capitalization rate analysis).

Municipal and Corporate References (if applicable). Please identify all other Municipalities, and other Corporations the Applicant has been involved with, or has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

Tim Wojcik  
Five Points Bank  
2015 N Broadwell  
Grand Island NE 68801

Tom Champoux  
Unico  
1128 Lincoln Mall, Suite 200  
Lincoln, NE 68508

Post Office Box 1968  
Grand Island, Nebraska 68802-1968  
Phone: 308 385-5240  
Fax: 308 385-5423  
Email: [cnabity@grand-island.com](mailto:cnabity@grand-island.com)

**JBA Ventures, LLC  
Tax Increment Financing Request  
Estimated Real Estate Taxes on Project Site Upon Completion of Project**

**Existing Assessed Value and Real Estate Tax on Project Site**

Parcel Number	Assessed Value (2022)			Taxes	Sq Feet	Mil Rate
	Improvements	Land	Total			
400040387	26,909	14,368	41,277	874	14,368	2.1162391%
400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	
Subdivided Sq Ft	65,196	65,196	65,196	65,196		
Divided by total existing	65,196	65,196	65,196	65,196		
Ratio	1.000000	1.000000	1.000000	1.000000		
Estimated subdivision	148,086	65,196	213,282	4,514		

**Estimated Real Estate Taxes on Project Site Upon Completion of Project**

	2022 Assessment	Note 1 Limitation
2022 taxes assessed on site prior to project commencement	4,514	
Divided by base assessed value	213,282	
Estimated tax rate	2.116220%	
Proposed assessed value	5,460,468	
Estimated annual real estate tax after project completion	115,556	
Less existing annual real estate tax	(4,514)	
Estimated increase in annual real estate tax	111,042	107,667
Requested TIF assistance at zero percent lending rate	15 1,665,630	15 1,615,009
Principal debt service at indicated rate		
With annual note payments	PVA	Principal
With monthly note payments	PVA	Principal
	Rate	Principal
	7.50%	980,181
	7.50%	998,207
		950,392
		967,870

**Notes:**

- 1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

**Exhibit B**

**JBA Ventures, LLC**  
**Tax Increment Financing Request**  
**Estimated Real Estate Taxes on Project Site Upon Completion of Project**

**Existing Assessed Value and Real Estate Tax on Project Site**

Parcel Number	Assessed Value (2022)			Taxes	Sq Feet	Mil Rate
	Improvements	Land	Total			
400040387	26,909	14,368	41,277	874	14,368	2.1162391%
400040395	48,066	16,951	65,017	1,376	16,951	2.1162158%
400040409	73,111	33,877	106,988	2,264	33,877	2.1162186%
Before subdivision	148,086	65,196	213,282	4,513.52	65,196	

**Estimated Real Estate Taxes on Project Site Upon Completion of Project**

	2022 Assessment			Note 1 Limitation		
	Phase 1	Phase 2	Total			
2022 taxes assessed on site prior to project commencement	2,249	2,264	4,514			
Divided by base assessed value	106,294	106,988	213,282			
Estimated tax rate	2.116220%	2.116220%	2.116220%			
Proposed assessed value	2,706,672	2,753,796	5,460,468			
Estimated annual real estate tax after project completion	57,279	58,276	115,556			
Less existing annual real estate tax	(2,249)	(2,264)	(4,514)			
Estimated increase in annual real estate tax	55,030	56,012	111,042	107,667		
Requested TIF assistance at zero percent lending rate	15	15	15	15		
	825,446	840,184	1,665,630	1,615,009		
Principal debt service at indicated rate						
With annual note payments	PVA	7.50%	485,754	494,427	980,181	950,392
With monthly note payments	PVA	7.50%	494,687	503,520	998,207	967,870

**Notes:**

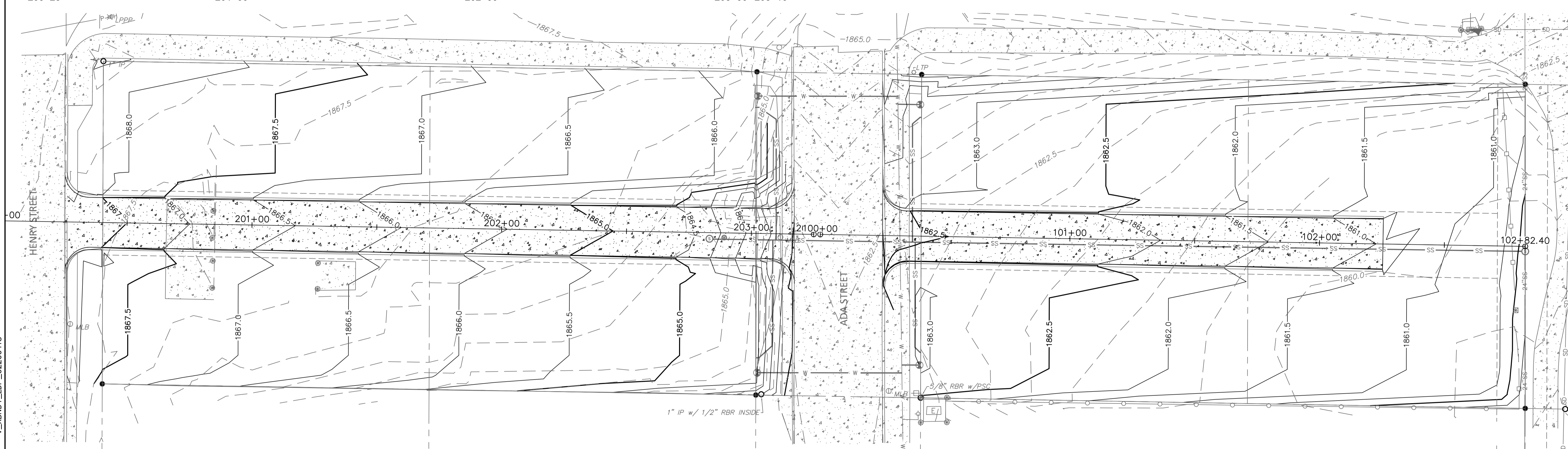
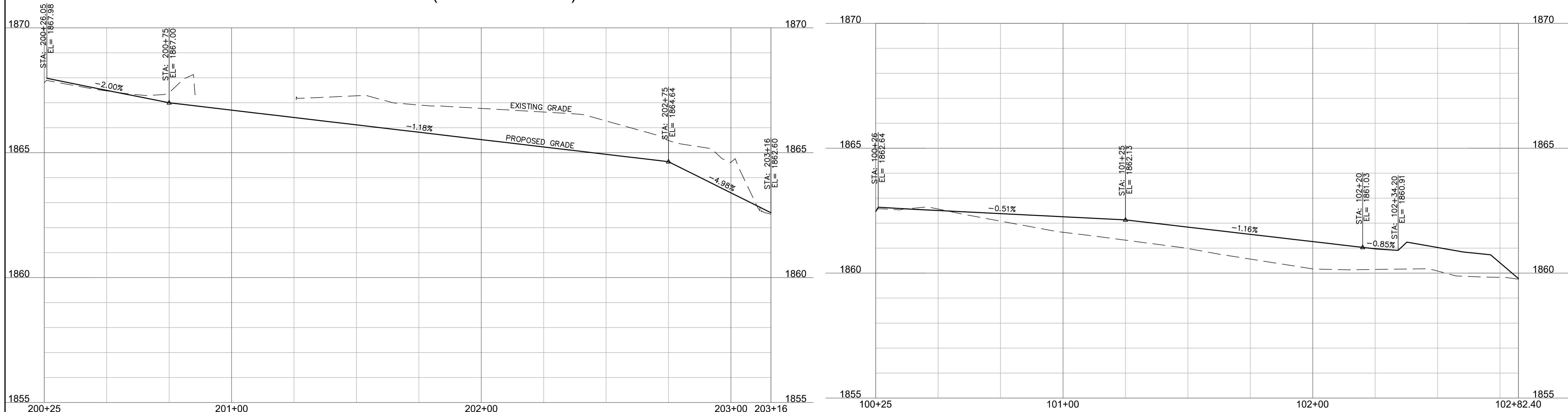
- 1.) This column represents requested financing in the event the tax increment over 15 years exceeds actual qualified TIF costs. Requested TIF assistance is limited to qualified costs.

**JBA Ventures LLC  
Project Cost Summary**

Description	Phase #1 Amount	Phase #2 Amount	Total	TIF Qualified (Q) Non-Qualified (NQ)
TIF qualified sitework	55,000	39,300	94,300	Q
TIF non-qualified sitework building costs	11,730	14,664	26,394	NQ
<b>Subtotal</b>	<b>66,730</b>	<b>53,964</b>	<b>120,694</b>	
TIF qualified concrete	110,143	113,392	223,535	Q
TIF non-qualified concrete	312,296	401,128	713,424	NQ
<b>Subtotal</b>	<b>422,439</b>	<b>514,520</b>	<b>936,959</b>	
TIF qualified plumbing	59,808	-	59,808	Q
TIF non-qualified plumbing	135,392	169,240	304,632	NQ
<b>Subtotal</b>	<b>195,200</b>	<b>169,240</b>	<b>364,440</b>	
TIF qualified electrical	110,195	140,249	250,444	Q
TIF non-qualified electrical	111,218	139,226	250,444	NQ
<b>Subtotal</b>	<b>221,413</b>	<b>279,475</b>	<b>500,888</b>	
Non-qualified building costs	2,024,170	2,600,362	4,624,532	NQ
<b>Total project costs per construction pro-forma</b>	<b>2,929,952</b>	<b>3,617,561</b>	<b>6,547,513</b>	
<b>Other costs:</b>				
Land	460,000	-	460,000	Q
Architect/Engineer	25,859	-	25,859	Q
Financing	219,746	271,317	491,063	Q
Legal & accounting	10,000	-	10,000	Q
<b>Total project costs</b>	<b>3,645,557</b>	<b>3,888,878</b>	<b>7,534,435</b>	
<b>Total TIF qualified costs (Q)</b>	<b>1,050,751</b>	<b>564,258</b>	<b>1,615,009</b>	
<b>Total TIF non-qualified costs (NQ)</b>	<b>2,594,806</b>	<b>3,324,620</b>	<b>5,919,426</b>	
<b>Total project costs</b>	<b>3,645,557</b>	<b>3,888,878</b>	<b>7,534,435</b>	

WEST PRIVATE DRIVE (200+25 - 203+16)

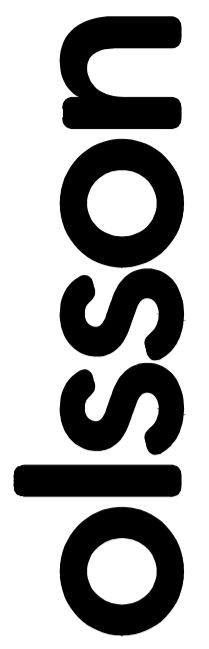
EAST PRIVATE DRIVE (100+25 - 102+82.40)



GRADING NOTES:

- ALL CONTOURS SHOWN ARE FOR FINISHED GRADE OR TOP OF SLAB. SPOT ELEVATIONS REPRESENT TOP OF SLAB OR TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED. TOPSOIL CAN BE REDISTRIBUTED AROUND THE SITE AFTER PAVING IS COMPLETE. ALL UNSURFACED AREAS DISTURBED SHALL RECEIVE 6 INCHES OF TOPSOIL, MINIMUM.
- AFTER TOPSOIL IS STRIPPED, ALL DISTURBED AREAS TO BE BUILT UPON SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
- STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY, AND -2 TO +3 OPTIMUM MOISTURE. SITE FILL SHALL BE OF APPROVED MATERIALS, FREE OF ORGANIC MATTER. FILL SHALL BE PLACED IN THIN LIFTS (8 INCHES RECOMMENDED, AND SHALL EXTEND 5' BEYOND BUILDING LIMITS.)
- ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- NON-LOADED LANDSCAPED/GRASS AREAS TO RECEIVE FILL SHALL BE COMPACTED TO 92% STANDARD PROCTOR DENSITY.
- AREAS THAT ARE TO BE CUT TO SUBGRADE ELEVATION SHALL BE SCARIFIED AND RECOMPACTED, A DEPTH OF 12" TO A MINIMUM OF 98% STANDARD PROCTOR.
- TOTAL DISTURBED AREA REQUIRED TO COMPLETE THE EARTHWORK SHOWN IS APPROXIMATELY 1.5 AC. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL MEASURES DURING GRADING OPERATIONS.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CUT - 470 CY  
FILL - 1,012 CY  
(NO FILL FACTOR APPLIED)

EXHIBIT D



**PRELIMINARY**  
NOT TO BE USED FOR CONSTRUCTION  
November 28, 2022  
DATE PRINTED  
OLSSON

201 East 2nd Street  
Grand Island, NE 68801  
TEL 308.384.8750  
www.olsson.com

REV. NO.	DATE	REVISIONS DESCRIPTION

2022

GRADING PLAN

BAASCH SUBDIVISION

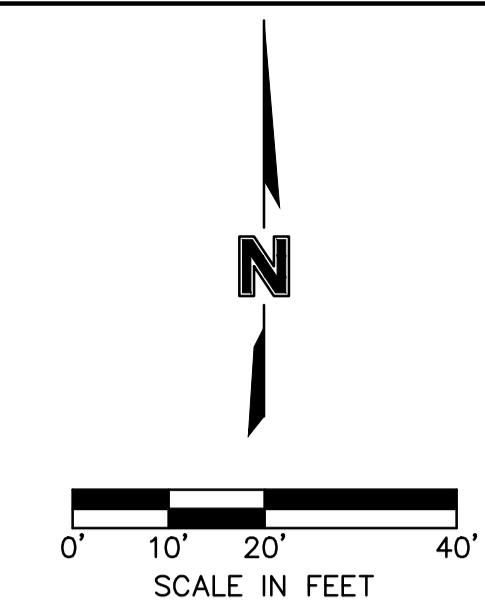
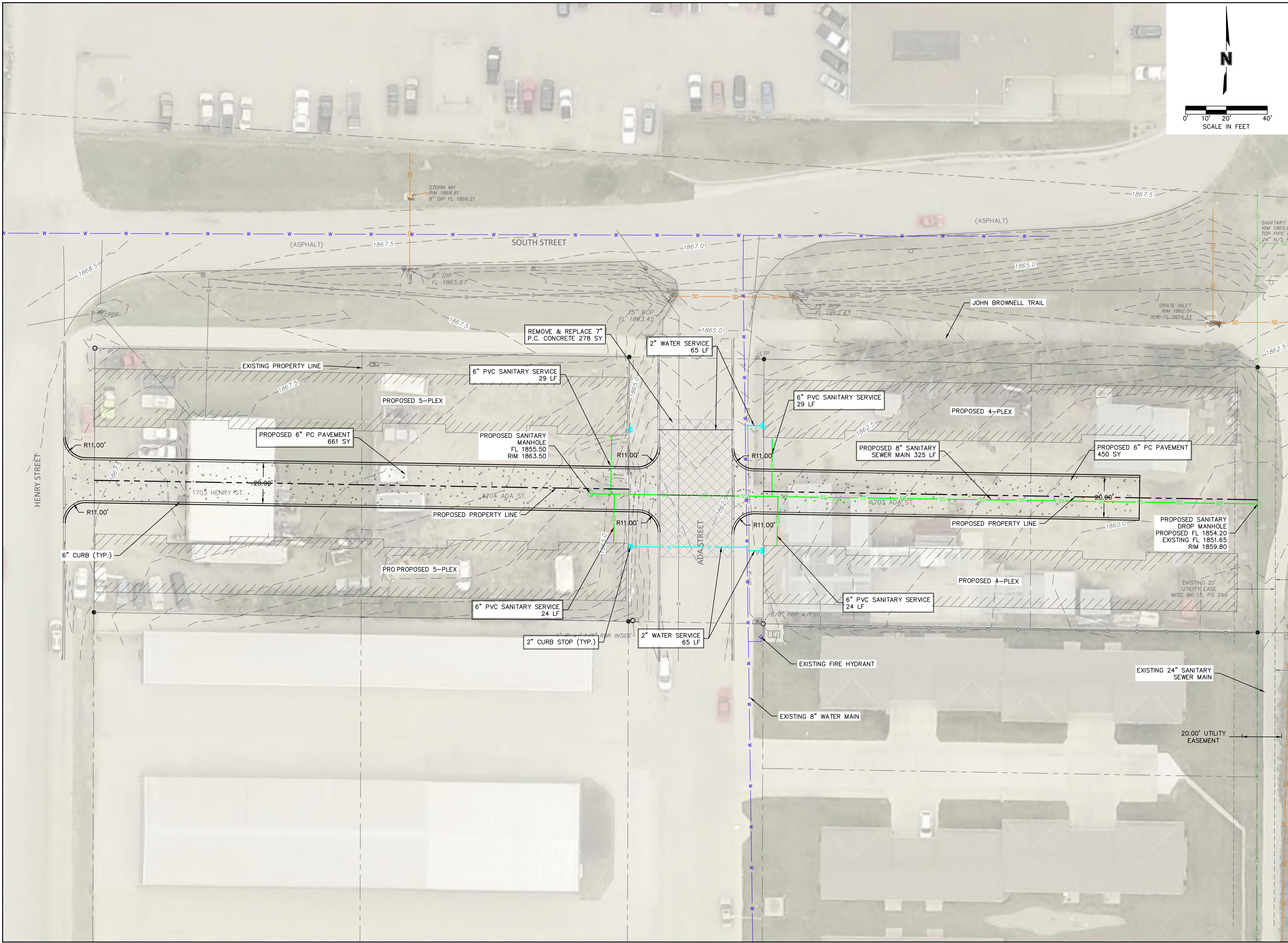
GRAND ISLAND, NE

drawn by: \_\_\_\_\_ HM  
checked by: \_\_\_\_\_ NE  
approved by: \_\_\_\_\_ NE  
QA/QC by: \_\_\_\_\_  
project no.: 022-00418  
drawing no.: C\_GRD\_02200418  
date: 11/28/2022

SHEET  
1 of 1

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 USER: njensen  
 V\_XBNDY\_LDP\_02200418  
 XREFS: C\_PBA5E

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 DATE: Nov 29, 2022 10:56am XREFS: V\_XBNDY\_LDP\_02200418  
 USER: njensen



**olsson**  
 201 East 2nd Street  
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**PRELIMINARY**  
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 November 29, 2022  
 DATE PRINTED  
 OLSSON

REV. NO.	DATE	REVISIONS DESCRIPTION

CONCEPT PLAN	2022
BAASCH SUBDIVISION	
GRAND ISLAND, NE	
drawn by: _____	
checked by: _____	
approved by: _____	
project no.: 022-00418	
drawing no.: _____	
date: 2022/11/23	

SHEET  
 1 of 1

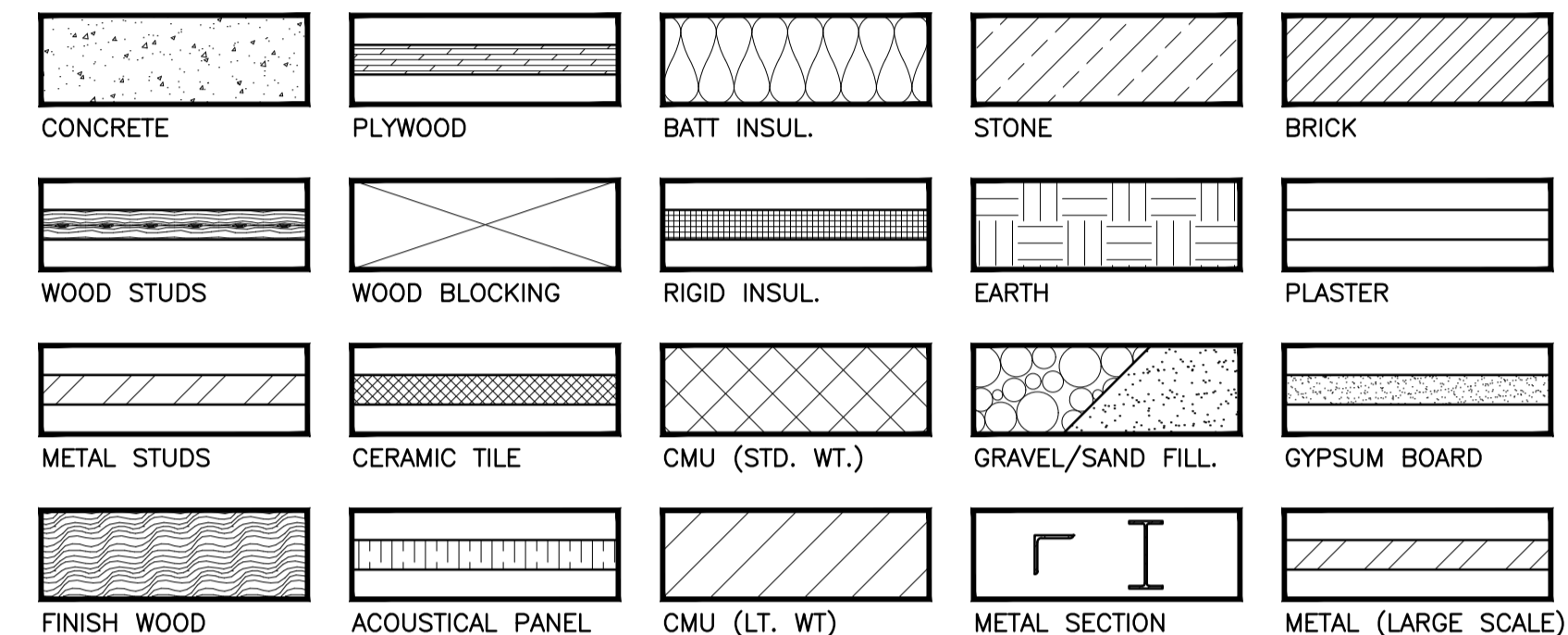


# NEW 4-PLEX FOR GRAND ISLAND, NE.

## GENERAL NOTES

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- DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS, FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE DOCUMENT, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
- SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

## MATERIAL INDICATIONS



## GRAPHIC SYMBOLS

**SITE SPOT ELEVATION**  
NEW FINISH SPOT GRADE, NEW AND EXISTING FINISH SPOT GRADE, TOP OF CURB, BOTTOM OF CURB

**NEW/EXISTING WALL CONSTRUCTION**  
NEW, EXISTING (SCREENING)

**COLUMN GRID LINE**  
E, E

**EXISTING CONTOUR LINE**  
103

**NEW CONTOUR LINE**  
103

**PROPERTY LINE**

**CENTER LINES/PROJECTED LINE**

**MATCH LINE**

**LEVEL LINE**  
MAIN FLOOR, ELEV. = 100'-0"

**REVISION**  
1

**KEY NOTES**  
INDICATES A NOTE FOR A SPECIFIC ITEM

**INDICATES VIEW DIRECTION**  
INDICATES BUILDING SECTION (LETTER)  
INDICATES WALL SECTION (NUMBER)

**INDICATES ELEVATION DIRECTION**  
INDICATES ELEVATION NUMBER  
INDICATES SHEET NUMBER ELEVATION OCCURS ON

**INDICATES DIAMETER/DIMENSION/ IDENTIFICATION**  
INDICATES INSIDE FACE  
INDICATES INCH(ES)  
INDICATES INCL(UD)(E) (DED) (DING) (SIVE)  
INDICATES INFORMATION  
INDICATES INSULAT(E) (ED) (ION)  
INDICATES INTERIOR

**INDICATES UNLESS NOTED OTHERWISE**  
INDICATES URINAL UTILITY  
INDICATES VAPOR BARRIER  
INDICATES VERTICAL VESTIBULE  
INDICATES WIDE, WIDTH, WEST WITH WATERPROOF WEIGHT  
INDICATES AND ANGLE AT CENTERLINE  
INDICATES PLATE LINE  
INDICATES POUND / NUMBER  
INDICATES DIAMETER / ROUND

## GENERAL ABBREVIATIONS

<b>A</b> AB ANCHOR BOLT A/C AIR CONDITIONER ACC ACCESS(BLE) (ORIES) ACCOUS ACOUSTICAL ADDL ADDITIONAL ADJ ADJUSTABLE ADJC ADJACENT A/E ARCHITECT/ENGINEER AFF ABOVE FINISH FLOOR AL ALUMINUM ALT ALTERNATE ANC ANCHOR(AGE) APPROX APPROXIMATE(LY) ARCH ARCHITECT AUTO AUTOMATIC AVG AVERAGE	<b>B</b> BD BOARD BITUM BITUMINOUS BLDG BUILDING BLE BRICK LEDGE ELEVATION BLK BLOCK(ING) BM BEAM BOT BOTTOM BRDG BRIDGING BRG BEARING BRKT BRACKET BTW BETWEEN BW BOTH WAYS	<b>C</b> C CHANNEL C/C CENTER TO CENTER CAB CABINET CBD CHALKBOARD CEN CENT(ER) (TRAL) CG CORNER GUARDS CHAM CHAMFER CI CAST IRON CNTR COUNTER COL COLUMN COMP COMPOSITE CONC CONCRETE CONF CONFERENCE COND CONDITION CONN CONNECTION CONT CONTINU(E) (OUS) (ATION)	<b>C</b> CONTR CONTRACT(OR) CORR CORRIDOR CTSK COUNTER(SINK) (SUNK) CTR CENTER CUH CABINET UNIT HEATER CLO CLOSET CLR CLEAR(ANCE) CJ CONTROL/CONSTRUCTION JOINT CLG CEILING	<b>D</b> D DEEP, DEPTH, DATA OUTLET D AND E DRILL, AND EPOXY GROUT DBE DECK BEARING ELEVATION DBL DOUBLE DEG DEGREE(S) DEMO DEMO(LISH) (LITON) DEPT DEPARTMENT DET DETAIL DFT DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DIF DIFFEREN(CE) (TIAL) DIFF DIFFUSER DIM DIMENSION DN DOWN DO DOOR OPENING DOC DOCUMENT(S) DR DOOR DSP DOWNSPOUT DYP DRY STANDPIPE DWG(S) DRAWING(S) DWL DOWEL (REBAR) DWR DRAWER	<b>E</b> E EAST, EASTING EA EACH EF EACH FACE EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EQ EQUAL EQUIP EQUIPMENT EW EACH WAY EWC ELECTRIC WATER COOLER EX EXAMPLE	<b>F</b> F/F FACE TO FACE FAB FABRICAT(E) (ED) (OR) FAS FASTEN(ED) (ER) FD(S) FACE(S) FD FLOOR DRAIN FND FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FIN FINISH FLR FLOOR FLASH FLASHING FLX FLEXIBLE FLG FLANGE FLR FLOOR(ING) FOW FACE OF WALL FR FRAME FT FOOT OR FEET FTG FOOTING FURR FURR(ED) (ING) FUT FUTURE	<b>G</b> GA GAUGE GALV GALVANIZED GB GRAB BAR OR GYPSUM BOARD GC GENERAL CONTRACTOR GENL GENERAL GFI GROUND FAULT CIRCUIT INTERRUPTER GL GLASS GLB GLUE LAMINATED BEAM GND GROUND GR GRADE GRLL GRILLE GRV GRAVITY ROOF VENTILATOR GYP GYPSUM	<b>H</b> H HIGH, HEIGHT HB HOSE BIB HC HOLLOW CORE HCP HANDICAP HD HEAVY DUTY HDR HEADER HWD HARDWOOD HWE HARDWARE HM HOLLOW METAL HO HOLD OPEN HORIZ HORIZONTAL HR HOUR HTR HEATER HVAC HEATING/ VENTILATING/ AIR CONDITIONING	<b>I</b> ID INSIDE DIAMETER/DIMENSION/ IDENTIFICATION IF INSIDE FACE IN INCH(ES) INCL INCL(UD)(E) (DED) (DING) (SIVE) INFO INFORMATION INSUL INSULAT(E) (ED) (ION) INT INTERIOR	<b>J</b> JAN JANITOR JBE JOIST BEARING ELEVATION JC JANITOR CLOSET JST JOIST JT JOINT	<b>K</b> K KIP (1000 POUNDS) KIT KITCHEN KO KNOCK OUT	<b>L</b> LAB LABORATORY LAM LAMINATE LAV LAVATORY LKR LOCKER LT LIGHT	<b>M</b> MAS MASONRY MAX MAXIMUM MECH MECHANICAL MET METAL MFR MANUFACTURER MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MTD MOUNTED MTL METAL	<b>N</b> N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	<b>O</b> OBS OBSCURE OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPT OPTIONAL OPP OPPOSITE ORD OVERFLOW ROOF DRAIN OS OVERFLOW SCUPPER	<b>P</b> PL PLATE PLAM PLASTIC LAMINATE PLWD PLYWOOD PR PAIR PREFIN PREFINISHED PTN PARTITION	<b>R</b> R RISER RAD RADIUS REIN REINFORCE (D) (ING) REQ'D REQUIRED RM ROOM RO ROUGH OPENING	<b>S</b> S SOUTH SCHED SCHEDULE SECT SECTION SHT SHEET SIM SIMILAR SPEC SPECIFICATIONS	<b>T</b> TEMP TEMPORARY TC TOP OF CURB T & G TONGUE AND GROOVE THK THICK TOM TOP OF MASONRY TOS TOP OF STEEL TPD TOILET PAPER DISPENSER TR TREAD TV TELEVISION	<b>U</b> UNO UNLESS NOTED OTHERWISE UR URINAL UTIL UTILITY	<b>V</b> VB VAPOR BARRIER VERT VERTICAL VEST VESTIBULE	<b>W</b> W WIDE, WIDTH, WEST W WITH WP WATERPROOF WT WEIGHT
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## SHEET INDEX

TO.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	PARTIAL FIRST FLOOR PLAN - AREA 'A'
A1.04	PARTIAL FIRST FLOOR PLAN - AREA 'B'
A1.05	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

## SQUARE FOOTAGE

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

## COORDINATING PROFESSIONAL SEAL

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

DATE: \_\_\_\_\_

REVISION: \_\_\_\_\_

OWNER: JBA VENTURES LLC  
114 N. CUSTER AVE.  
GRAND ISLAND, NE. 68803

SHEET TITLE: TITLE SHEET

PROJECT DESCRIPTION: NEW 4-PLEX FOR  
BAASCH DEVELOPMENT PROJECT  
1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE. 68803

DRAWN BY:  
S. SPOTANSKI

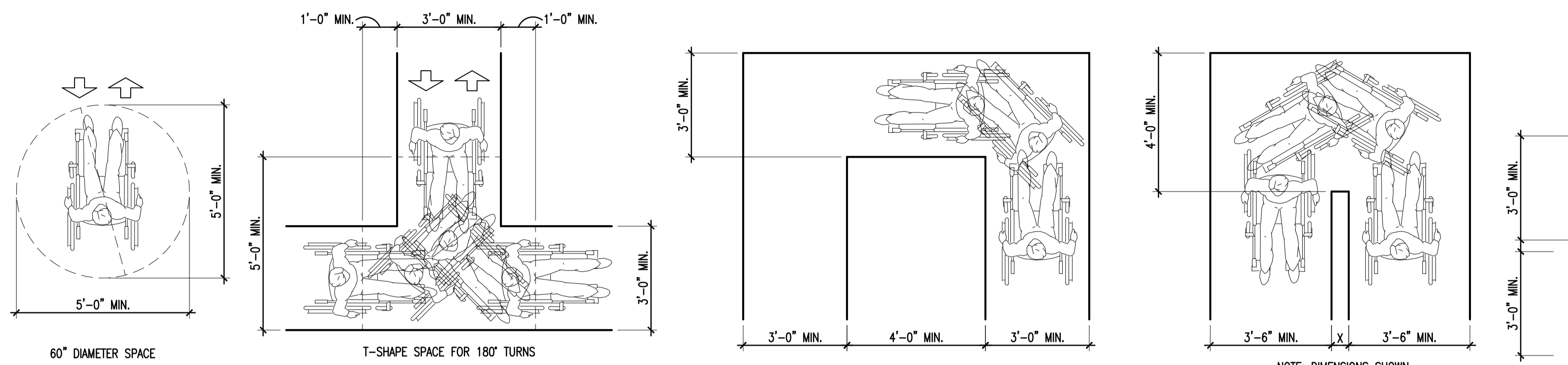
PLAN DATE:  
11-10-2022

PLOT DATE:  
11-10-2022

SHEET:  
T.01

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
114 N. CUSTER AVE., GRAND ISLAND, NE 68803  
(781) 850-8188 info@spotanskicbd.com

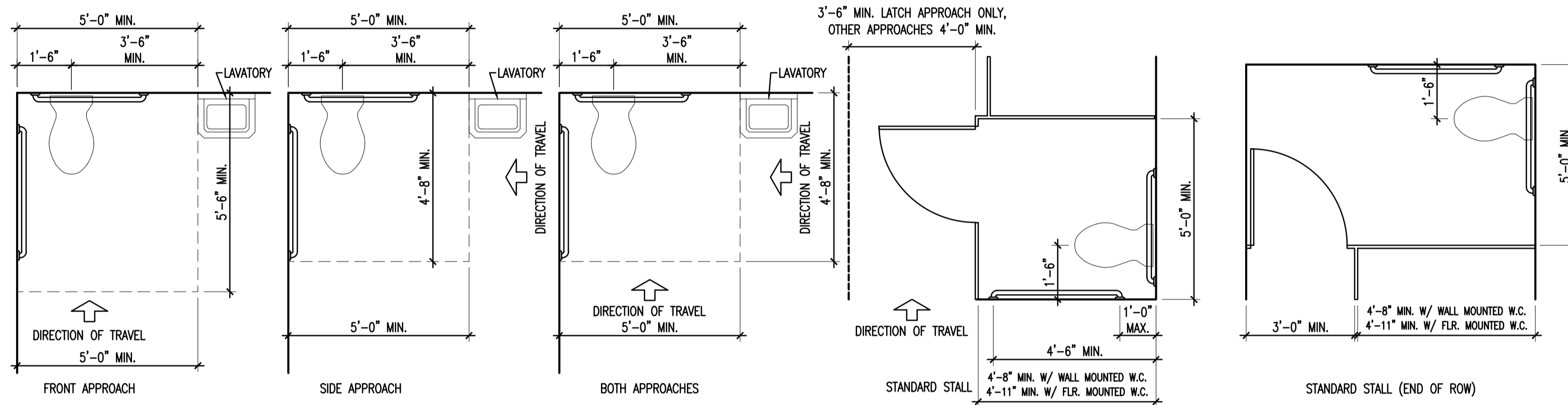
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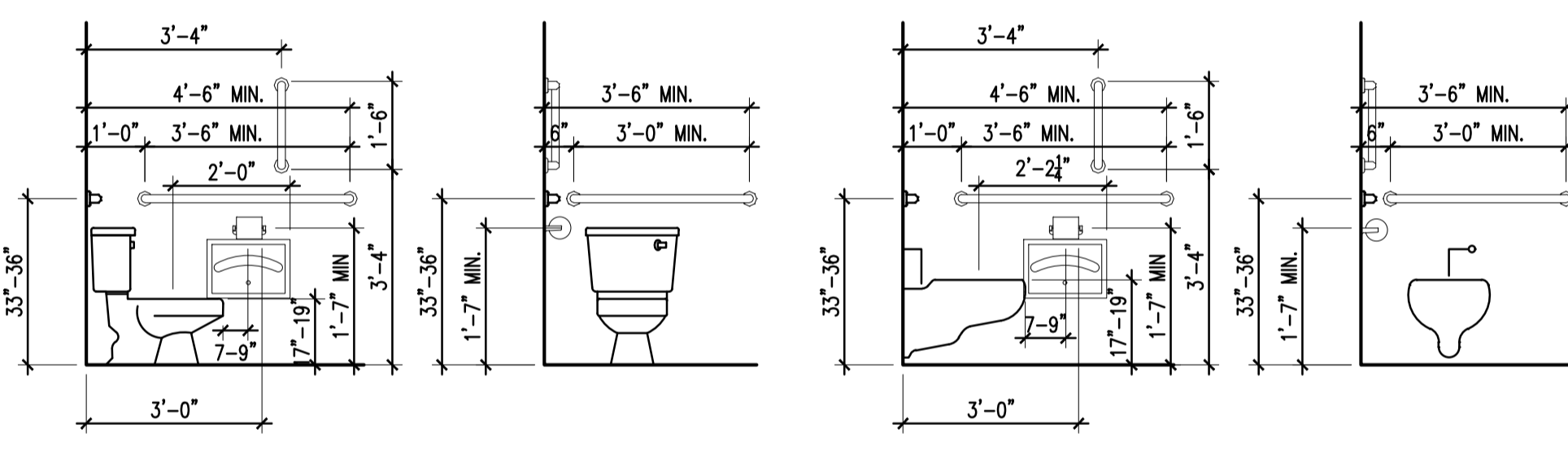
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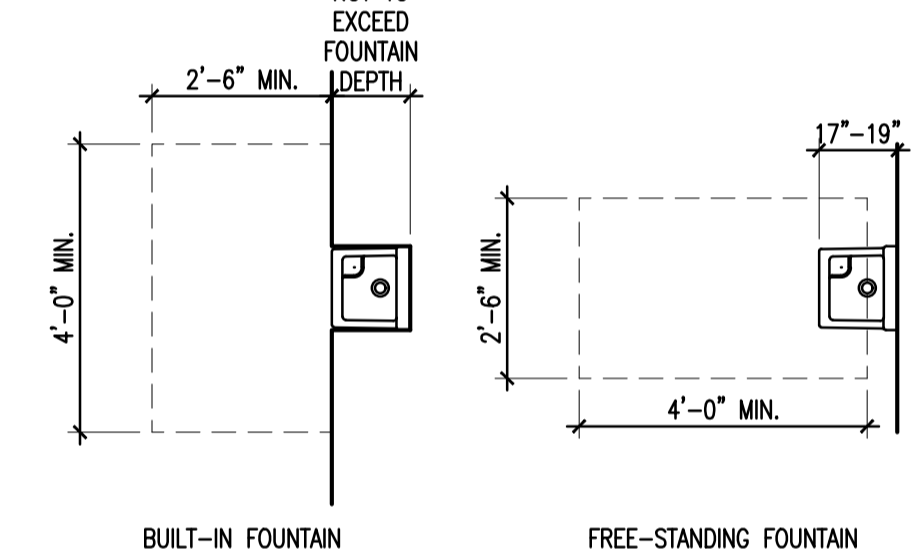
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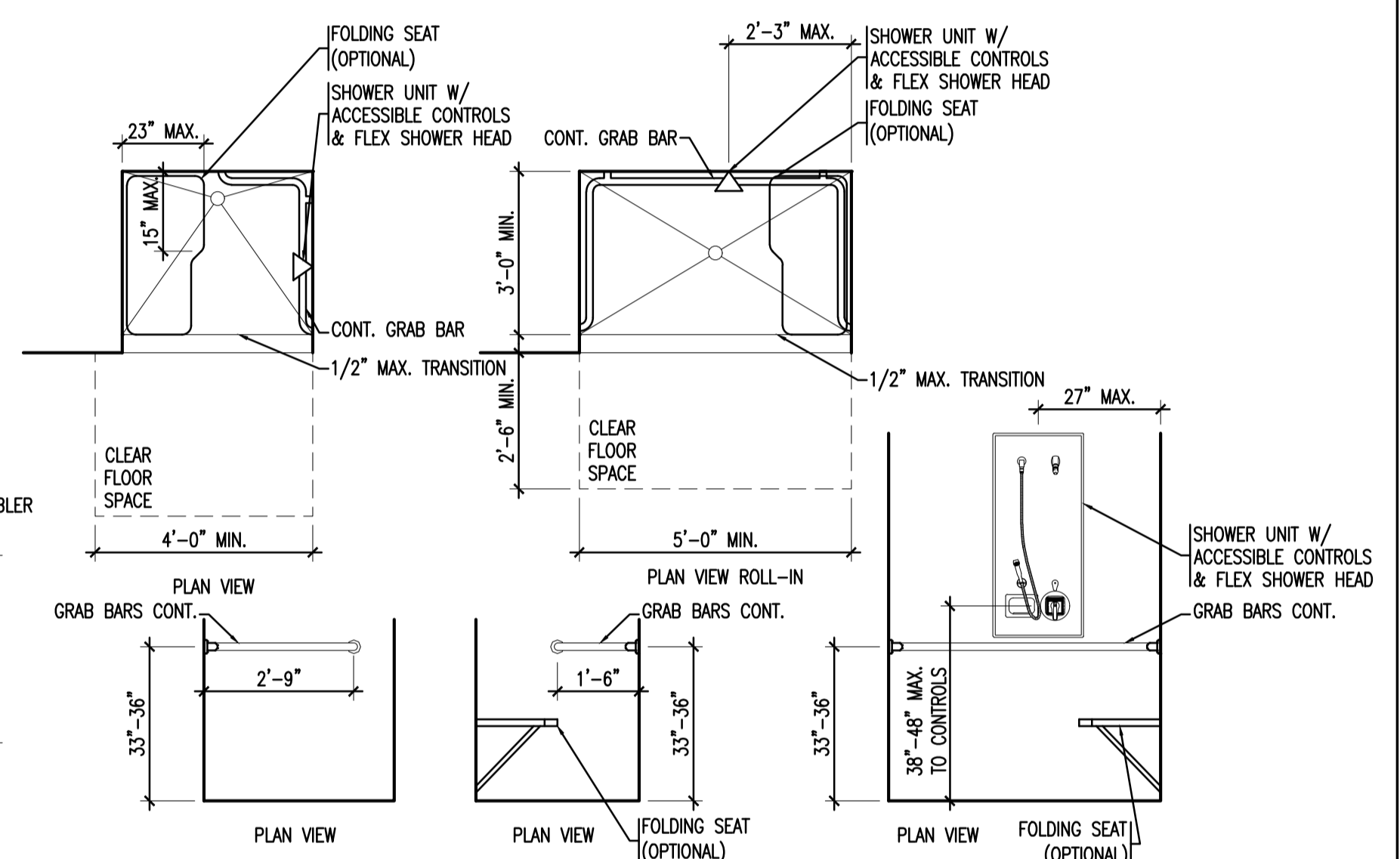
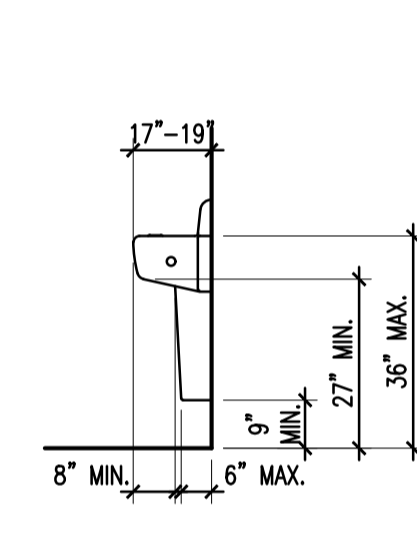
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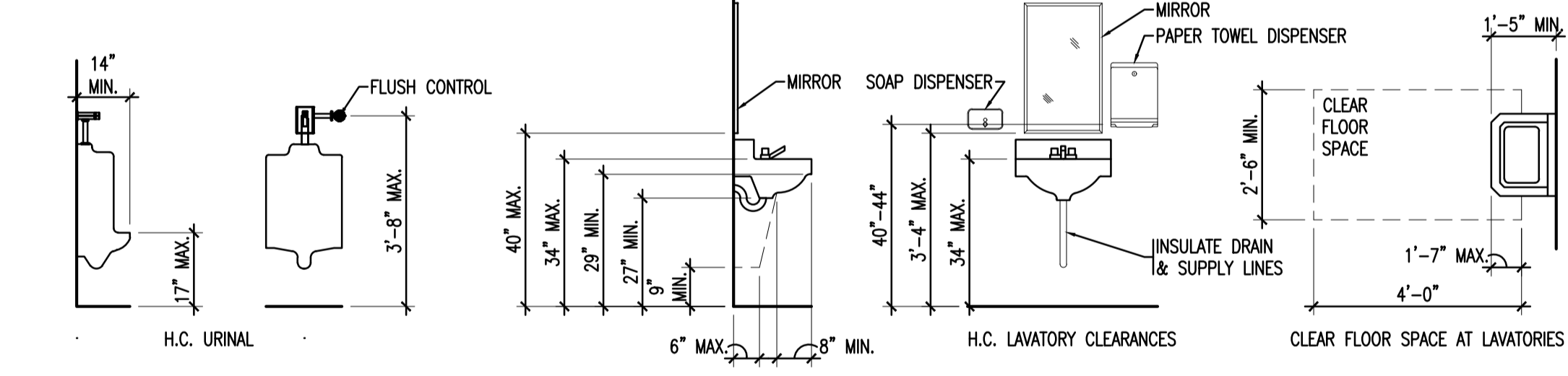
**TOILET STALL REQUIREMENTS**



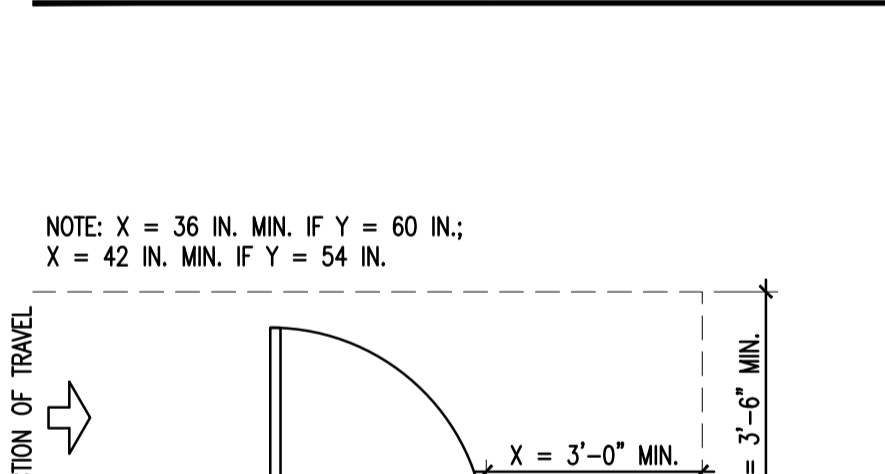
**HANDRAIL CLEARANCE**



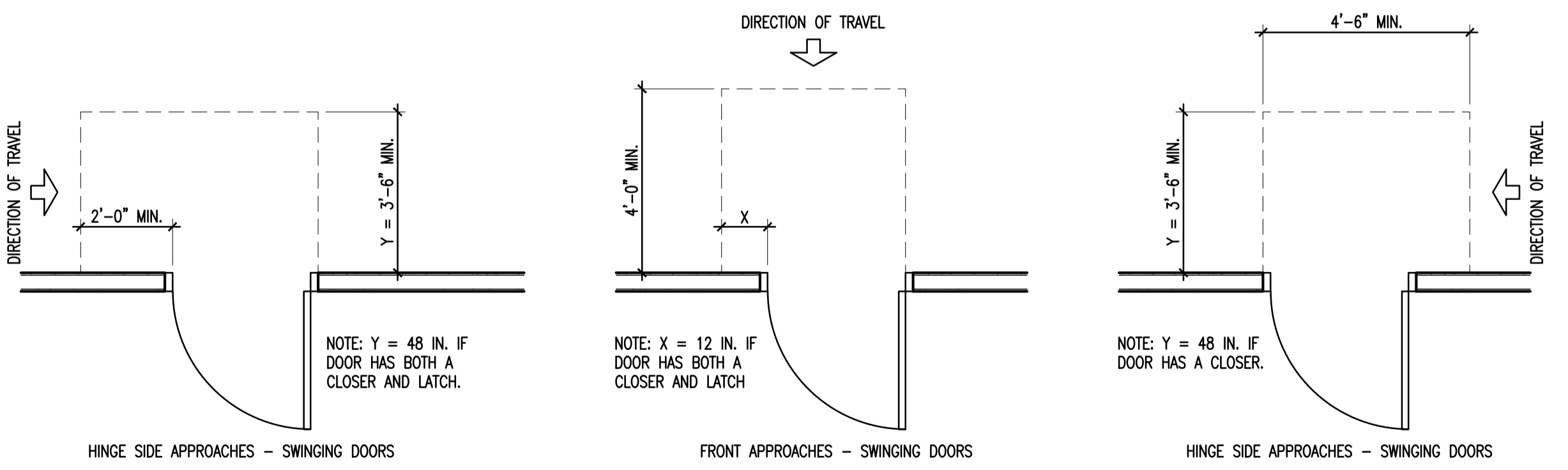
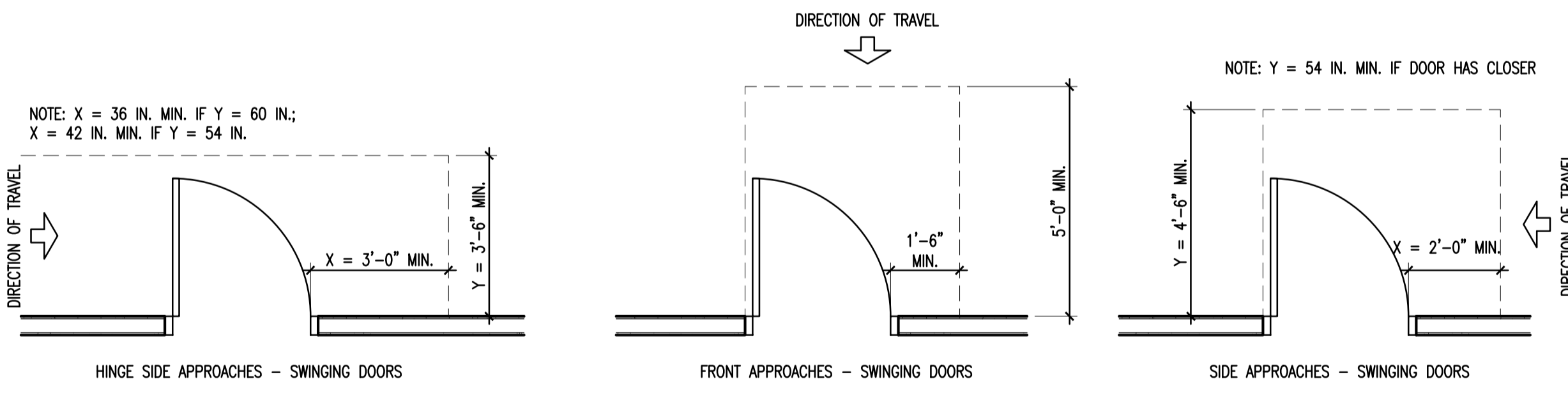
**BATHROOM FIXTURES & ACCESSORIES**



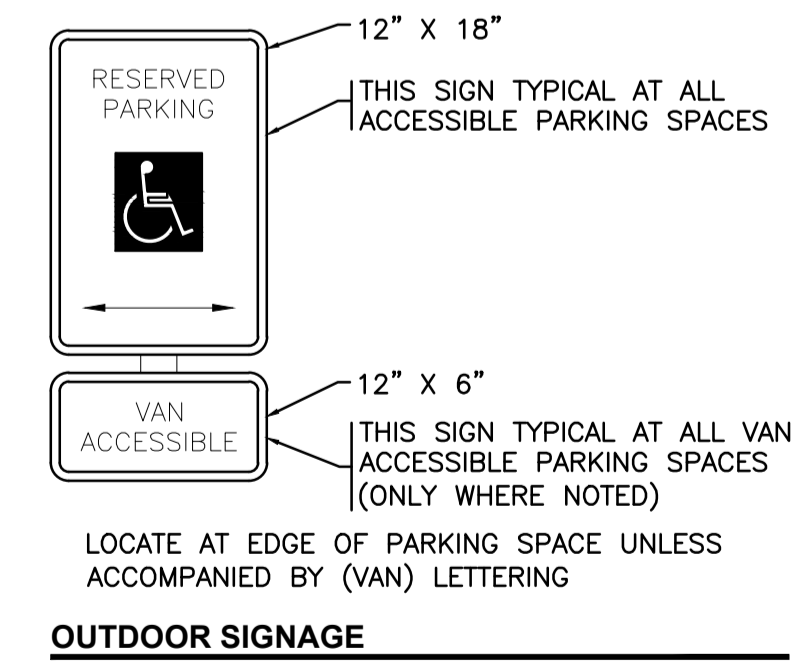
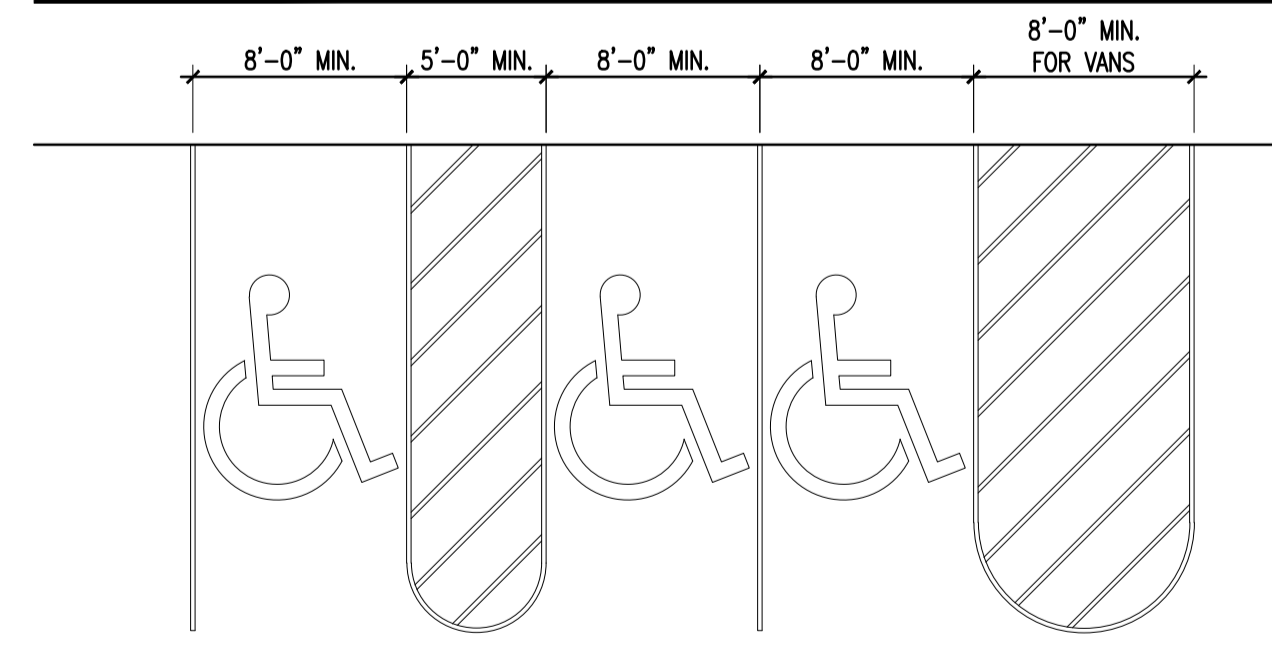
**DRINKING FOUNTAINS**



**ACCESSIBLE SHOWER**



**PARKING SPACES**



**MANEUVERING CLEARANCES AT DOORS**

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
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11-10-2022**

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DATE: \_\_\_\_\_

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OWNER: JBA VENTURES LLC  
114 N. CUSTER AVE.  
GRAND ISLAND, NE. 68803

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PROJECT DESCRIPTION: NEW 4-PLEX FOR  
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1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE. 68803

DRAWN BY:  
S. SPOTANSKI

PLAN DATE:  
11-10-2022

PLOT DATE:  
11-10-2022

SHEET:  
**ADA**

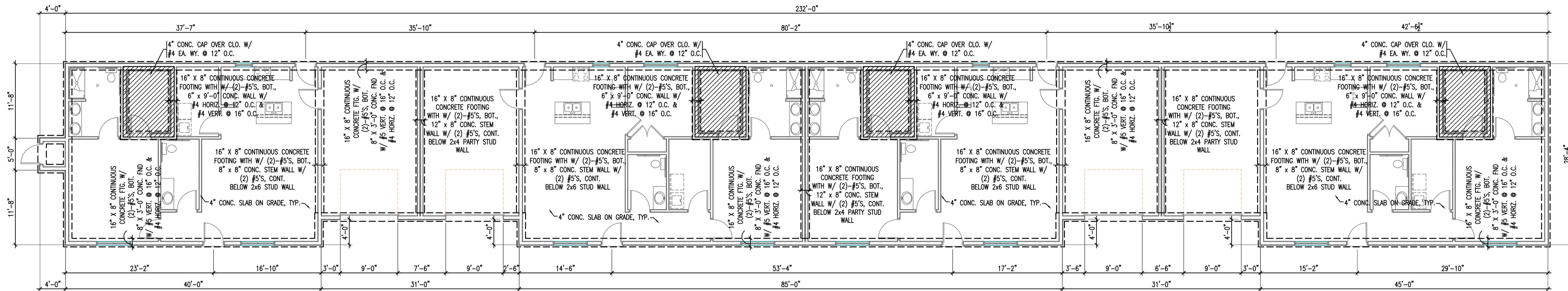
SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
1703 ADA STREET, GRAND ISLAND, NE 68803  
(781) 860-8188 info@spotanski.com

STACY J. SPOTANSKI

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NOTE: SEE FLOOR PLANS FOR MORE DIM. & FURTHER INFORMATION.



**FOUNDATION PLAN**

1/8" = 1'-0" 0 2'-0" 4'-0" 6'-0" 8'-0"  
1/8" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
11-10-2022**

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

DATE:	
REVISION:	

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
 1703 ADA STREET, GRAND ISLAND, NE 68803  
 (408) 850-8188 info@spotanskicreative.com

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: FOUNDATION PLAN  
 PROJECT DESCRIPTION: NEW 4-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY:  
 S. SPOTANSKI

PLAN DATE:  
 11-10-2022

PLOT DATE:  
 11-10-2022

SHEET:

**A1.01**

**LEGEND**

- 1 HOUR RATED CONSTRUCTION
- 2 HOUR RATED CONSTRUCTION
- SMOKE PARTITION - NO FIRE RESISTANCE RATING
- INDICATES SOUND WALL CONSTRUCTION
- FEC FIRE EXTINGUISHER CABINET
- ☺ FIRE EXTINGUISHER
- 10,000 AREA OF ROOM
- 1.50 OCCUPANT LOAD FACTOR
- 12 MAXIMUM OCCUPANCY
- 10,000 NO. OF OCCUPANTS EXITING
- 10/1 NO. OF OCCUPANT/NO. OF EXIT
- 2 REQ'D EXIT WIDTH
- 34' ACTUAL EXIT WIDTH

**LIFE SAFETY SUMMARY**

**PROJECT CODE INFORMATION:**  
 INTERNATIONAL BUILDING CODE (IBC) 2018  
 NEW BUILDING USE & OCCUPANCY CLASSIFICATION:  
 FIRST FLOOR: RESIDENTIAL (R-3)  
 STORAGE (S-2) (GARAGE)

**LIFE SAFETY CODE (NFPA 101) 2000**  
 OCCUPANCIES: NEW RESIDENTIAL  
 NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)  
 ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
 (ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS INDICATE IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS  
 UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS  
 NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

**CONSTRUCTION TYPE:**  
 NEW BUILDING: V-B

**BUILDING AREA:**  
 NEW FIRST FLOOR: 6,345 S.F.

**ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):**  
 RESIDENTIAL (R-3): UL  
 STORAGE (S-2) (GARAGE): 13,500

**ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):**  
 RESIDENTIAL (R-3): 3  
 STORAGE (S-2): 2

**FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.**

PRIMARY STRUCTURAL FRAME:	0-HOUR
BEARING WALLS:	0-HOUR
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS:	0-HOUR
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS:	0-HOUR
INTERIOR:	0-HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR

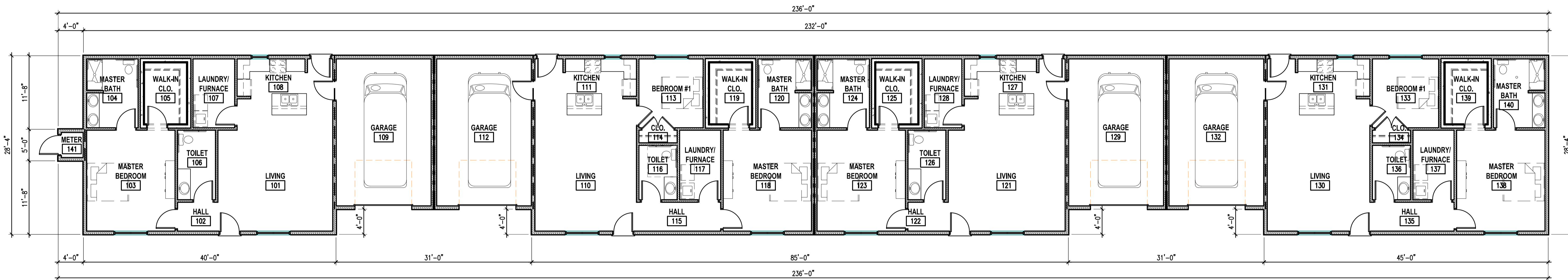
1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

**INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):**  
 NON-SPRINKLER

INTERIOR EXIT STAIRWAY	CORRIDOR AND ENCLOSURE ROOMS	ENCLOSED SPACES
STAIRWAY AND ENCLOSURE FOR ACCESS	STAIRWAY	
EXIT PASSAGEWAY		
GROUP: R-3	C	C
S-2	B	C

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**FIRST FLOOR COMPOSITE PLAN**

1/8" = 1'-0"  
 1/8" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS**  
**NOT FOR CONSTRUCTION**  
 11-10-2022

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DATE:	
REVISION:	

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 GRAND ISLAND, NE. 68803  
 (781) 850-8188 info@spotanskicbd.com

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN  
 PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 11-10-2022  
 PLOT DATE: 11-10-2022  
 SHEET: **A1.02**

**MATERIAL KEYING LEGEND**

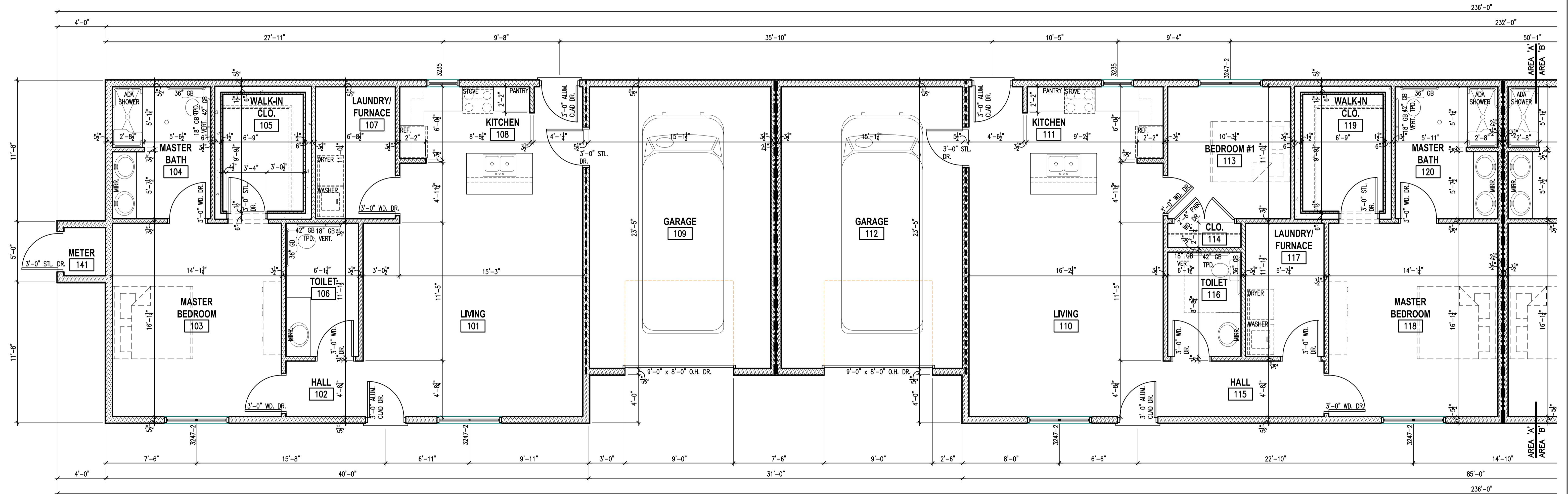
CG	CORNER GUARD
EHD	ELECTRIC HAND DRYER
FEB	FIRE EXTINGUISHER AND BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
FNR	FEMININE NAPKIN RECEPTACLE
GB	GRAB BAR
MB	MARKERBOARD
MIRR	MIRROR
MS	MOP STRIP
PS	PROJECTION SCREEN
PTD	PAPER TOWEL DISPENSER
PTD/WR	PAPER TOWEL DISP. & WASTE RECEPT.
SD	SOAP DISPENSER
TB	TACKBOARD
TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

**LEGEND**

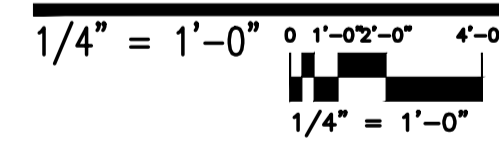
-----	1 HOUR RATED CONSTRUCTION
	2 HOUR RATED CONSTRUCTION

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**PARIAL FIRST FLOOR PLAN - 'AREA A'**



**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

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11-10-2022**

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REVISION:	

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 1703 ADA STREET, GRAND ISLAND, NE 68803  
 (781) 850-8188 info@spotanskicreative.com

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - AREA 'A'  
 PROJECT DESCRIPTION: NEW 4-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY:  
 S. SPOTANSKI  
 PLAN DATE:  
 11-10-2022  
 PLOT DATE:  
 11-10-2022  
 SHEET:  
**A1.03**

**MATERIAL KEYING LEGEND**

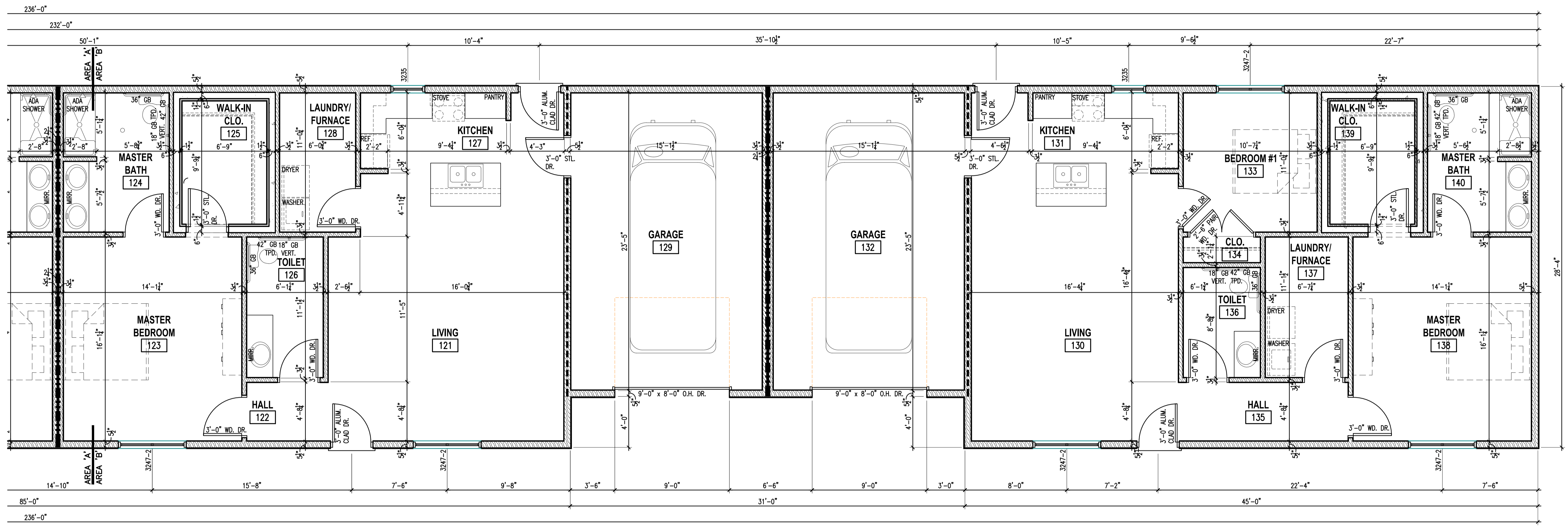
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SD	SOAP DISPENSER
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TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

**LEGEND**

-----	1 HOUR RATED CONSTRUCTION
	2 HOUR RATED CONSTRUCTION

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**PARIAL FIRST FLOOR PLAN - 'AREA B'**

1/4" = 1'-0"   
 1/4" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
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11-10-2022**

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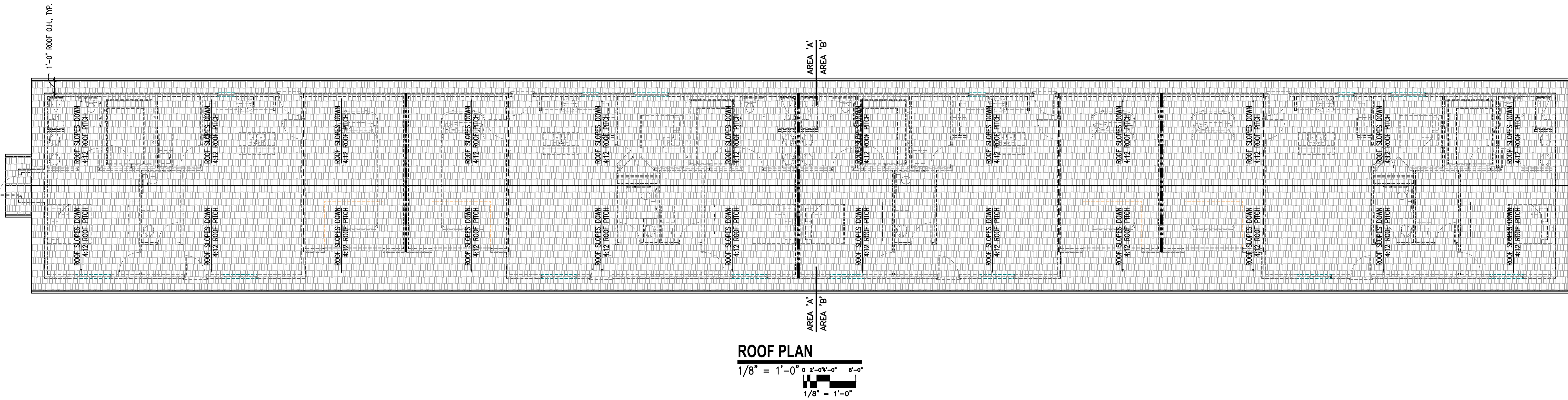
OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: PARTIAL FIRST FLOOR PLAN - AREA 'B'  
 PROJECT DESCRIPTION: NEW 4-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 11-10-2022  
 PLOT DATE: 11-10-2022  
 SHEET: **A1.04**

**GENERAL NOTES**

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(408) 850-8188 info@spotanskicbd.com

STACY J. SPOTANSKI

ENGINEER/ARCHITECT/PLANNING/DESIGN/CONCEPTS ARE PROVIDED BY THIS FIRM. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC.

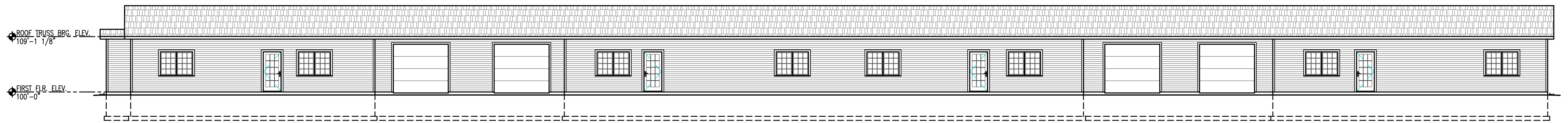
OWNER: JBA VENTURES LLC  
114 N. CUSTER AVE  
GRAND ISLAND, NE 68803

SHEET TITLE: ROOF PLAN  
PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT  
1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE 68803

DRAWN BY: S. SPOTANSKI  
PLAN DATE: 11-10-2022  
PLOT DATE: 11-10-2022  
SHEET: **A1.05**

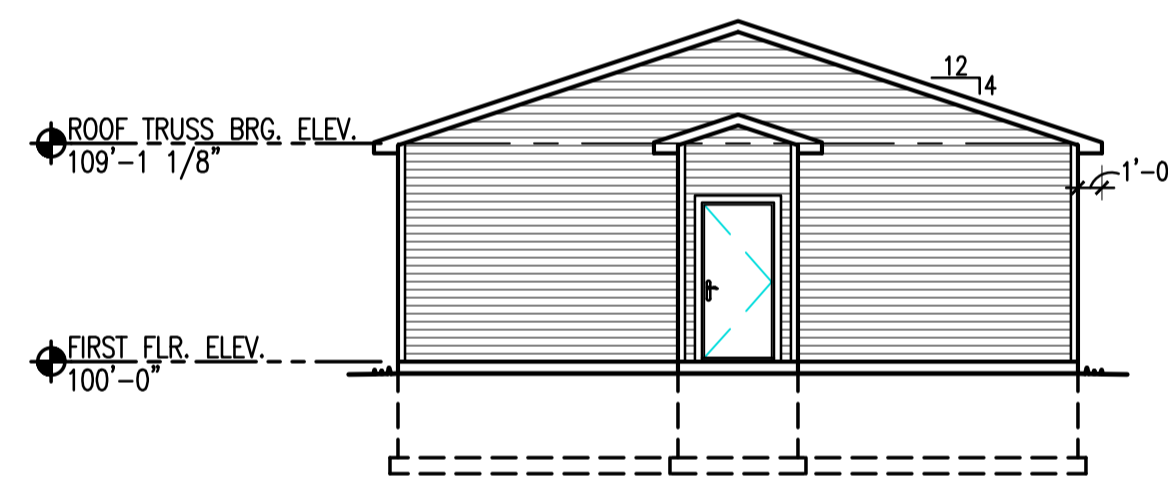
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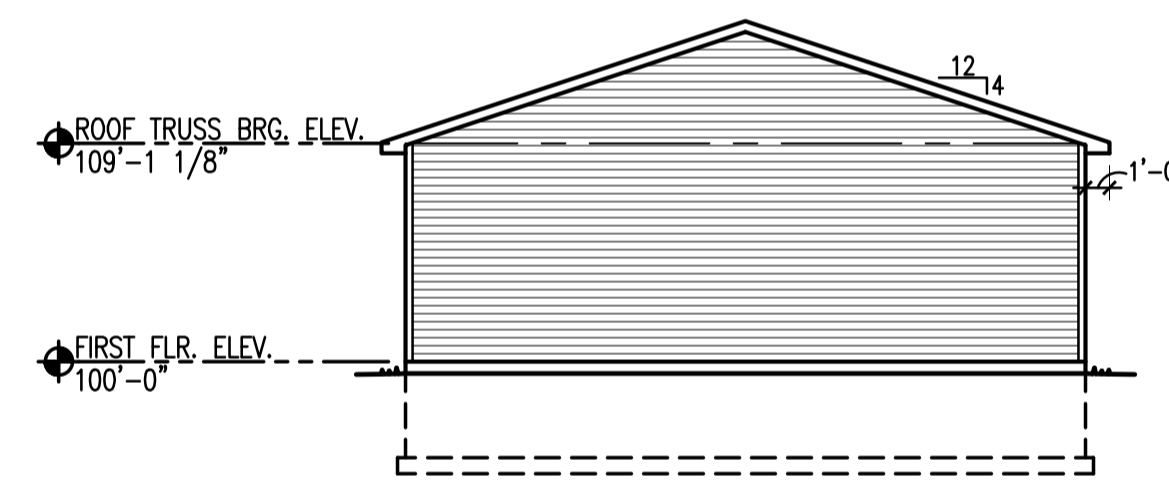
**FRONT EXTERIOR ELEVATION**

1/8" = 1'-0" 0 2'-0" 8'-0"  
1/4" = 1'-0"



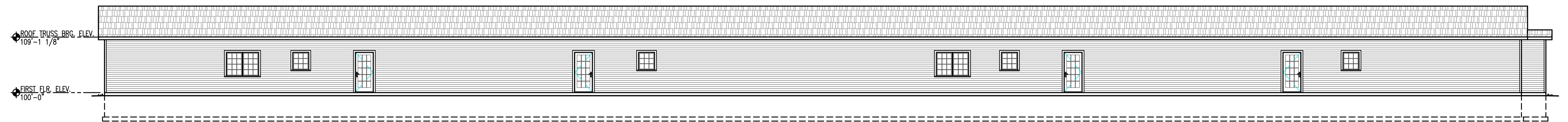
**SIDE EXTERIOR ELEVATION**

1/8" = 1'-0" 0 2'-0" 8'-0"  
1/4" = 1'-0"



**SIDE EXTERIOR ELEVATION**

1/8" = 1'-0" 0 2'-0" 8'-0"  
1/4" = 1'-0"



**REAR EXTERIOR ELEVATION**

1/8" = 1'-0" 0 2'-0" 8'-0"  
1/4" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 6,345

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
11-10-2022**

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REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
 1703 ADA STREET, GRAND ISLAND, NE 68803  
 (781) 850-8188 info@spotanskicreative.com

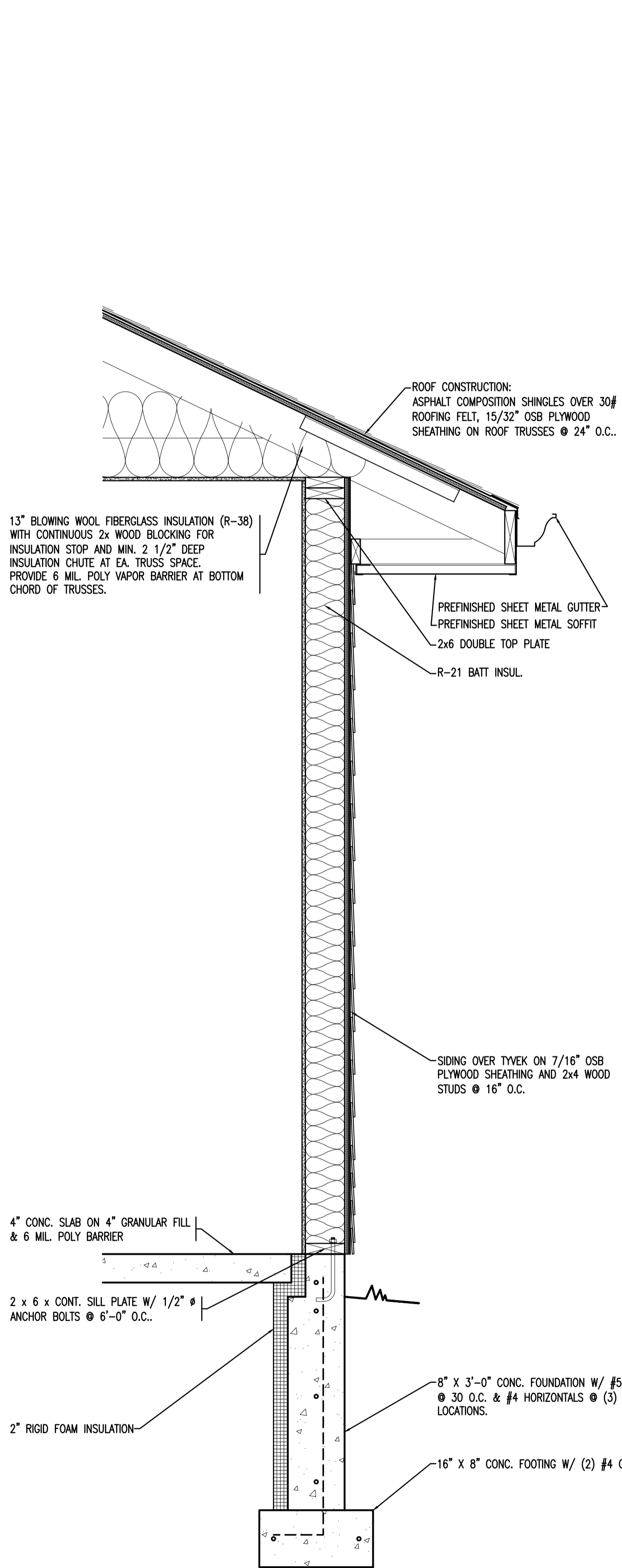
STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

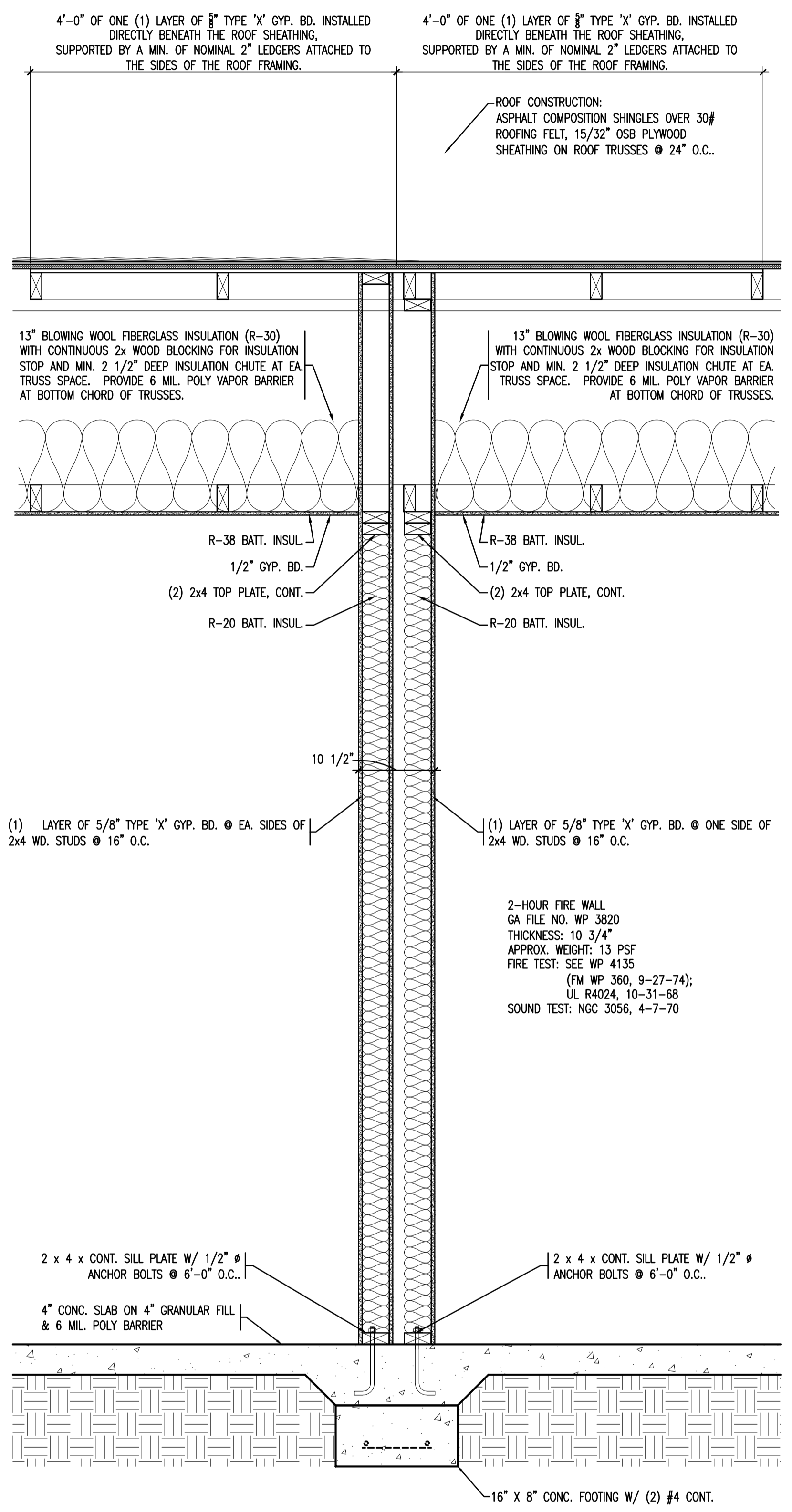
SHEET TITLE: EXTERIOR ELEVATIONS  
 PROJECT DESCRIPTION: NEW 4-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY:  
 S. SPOTANSKI  
 PLAN DATE:  
 11-10-2022  
 PLOT DATE:  
 11-10-2022  
 SHEET:  
**A2.01**





**1 TYP. EXTERIOR WALL SECTION**  
1" = 1'-0"



**2 2-HOUR FIRE WALL**  
1" = 1'-0" UL DESIGN: U342

**GENERAL NOTES**

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11-10-2022

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(781) 850-8188 info@spotanski.com

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GRAND ISLAND, NE. 68803

SHEET TITLE: WALL SECTION  
PROJECT DESCRIPTION: NEW 4-PLEX FOR BAASCH DEVELOPMENT PROJECT  
1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE. 68803

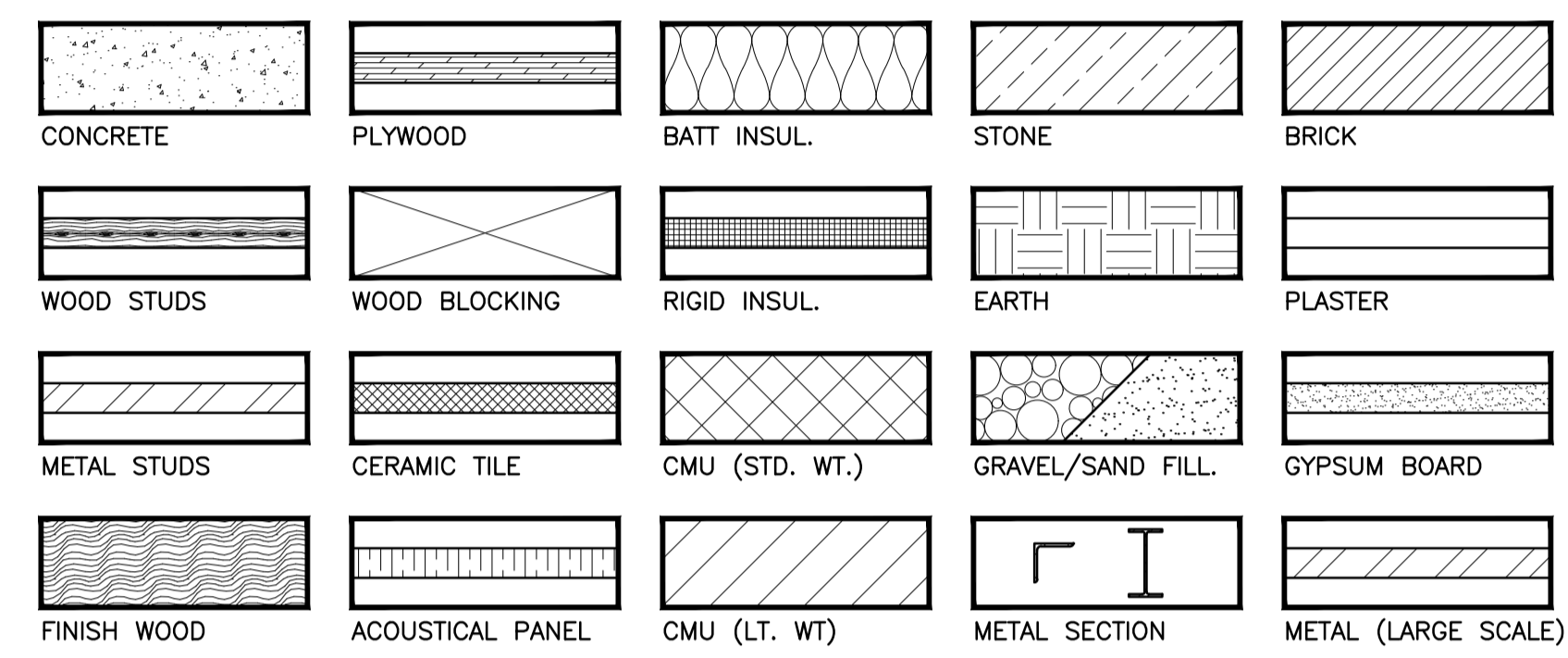
DRAWN BY: S. SPOTANSKI  
PLAN DATE: 11-10-2022  
PLOT DATE: 11-10-2022  
SHEET: **A3.01**

# NEW 5-PLEX FOR GRAND ISLAND, NE.

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## MATERIAL INDICATIONS



## GRAPHIC SYMBOLS

**SITE SPOT ELEVATION**  
NEW FINISH SPOT GRADE, NEW AND EXISTING FINISH SPOT GRADE, TOP OF CURB, BOTTOM OF CURB

**NEW/EXISTING WALL CONSTRUCTION**  
NEW, EXISTING (SCREENING)

**COLUMN GRID LINE**  
E, E

**EXISTING CONTOUR LINE**  
10.3

**NEW CONTOUR LINE**  
10.3

**PROPERTY LINE**

**CENTER LINES/PROJECTED LINE**

**MATCH LINE**

**LEVEL LINE**  
MAIN FLOOR ELEV. = 100'-0"

**REVISION**  
1

**KEY NOTES**  
INDICATES A NOTE FOR A SPECIFIC ITEM

**INDICATES VIEW DIRECTION**  
INDICATES BUILDING SECTION (LETTER)  
INDICATES WALL SECTION (NUMBER)

**INDICATES ELEVATION DIRECTION**  
INDICATES ELEVATION NUMBER  
INDICATES SHEET NUMBER ELEVATION OCCURS ON

**INDICATES DIAMETER/DIMENSION/IDENTIFICATION**  
INDICATES INSIDE FACE  
INDICATES INCH(ES)  
INDICATES INCL(US) (DED) (DING) (SIVE)  
INDICATES INFORMATION  
INDICATES INSULAT(E) (ED) (ION)  
INDICATES INTERIOR

**INDICATES NORTH**  
INDICATES NOT IN CONTRACT  
INDICATES NUMBER  
INDICATES NOMINAL  
INDICATES NOT TO SCALE

**INDICATES UNLESS NOTED OTHERWISE**  
INDICATES URINAL  
INDICATES UTILITY

**INDICATES VAPOR BARRIER**  
INDICATES VERTICAL  
INDICATES VESTIBULE

**INDICATES WIDE, WIDTH, WEST WITH WATERPROOF WEIGHT**  
INDICATES AND ANGLE  
INDICATES AT CENTERLINE  
INDICATES PLATE LINE  
INDICATES POUND / NUMBER  
INDICATES DIAMETER / ROUND

## GENERAL ABBREVIATIONS

<b>A</b> AB ANCHOR BOLT A/C AIR CONDITIONER ACC ACCESS(BLE) (ORIES) ACCOUS ACOUSTICAL ADDL ADDITIONAL ADJ ADJUSTABLE ADJC ADJACENT A/E ARCHITECT/ENGINEER AFF ABOVE FINISH FLOOR AL ALUMINUM ALT ALTERNATE ANC APPROXIMATE(LY) ARCH ARCHITECT AUTO AUTOMATIC AVG AVERAGE	<b>B</b> BD BOARD BITUM BITUMINOUS BLDG BUILDING BLE BRICK LEDGE ELEVATION BLK BLOCK(ING) BM BEAM BOT BOTTOM BRDG BRIDGING BRG BEARING BRKT BRACKET BTW BETWEEN BW BOTH WAYS	<b>C</b> C CHANNEL C/C CENTER TO CENTER CAB CABINET CBD CHALKBOARD CEN CENT(ER) (TRAL) CG CORNER GUARDS CHAM CHAMFER CI CAST IRON CNTR COUNTER COL COLUMN COMP COMPOSITE CONC CONCRETE CONF CONFERENCE COND CONDITION CONN CONNECTION CONT CONTINU(E) (OUS) (ATION)	<b>C</b> CONTR CONTRACT(OR) CORR CORRIDOR CTSK COUNTER(SINK) (SUNK) CTR CENTER CUH CABINET UNIT HEATER CLO CLOSET CLR CLEAR(ANCE) CJ CONTROL/CONSTRUCTION JOINT CLG CEILING	<b>D</b> D DEEP, DEPTH, DATA OUTLET D AND E DRILL, AND EPOXY GROUT DBE DECK BEARING ELEVATION DBL DOUBLE DEG DEGREE(S) DEMO DEMO(LISH) (LITON) DEPT DEPARTMENT DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DIF DIFFEREN(CE) (TIAL) DIFF DIFFUSER DIM DIMENSION DN DOWN DO DOOR OPENING DOC DOCUMENT(S) DR DOOR DSP DOWNSPOUT DWP DRY STANDPIPE DWG(S) DRAWING(S) DWL DOWEL (REBAR) DWR DRAWER	<b>E</b> E EAST, EASTING EA EACH EF EACH FACE EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EQ EQUAL EQUIP EQUIPMENT EW EACH WAY EWC ELECTRIC WATER COOLER EX EXAMPLE	<b>F</b> F/F FACE TO FACE FAB FABRICAT(E) (ED) (OR) FAS FASTEN(ED) (ER) FD(S) FACE(S) FD FLOOR DRAIN FND FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FIN FINISH FL FLOOR FLASH FLASHING FLEX FLEXIBLE FLG FLANGE FLR FLOOR(ING) FOW FACE OF WALL FR FRAME FT FOOT OR FEET FTG FOOTING FURR FURR(ED) (ING) FUT FUTURE	<b>G</b> GA GAUGE GALV GALVANIZED GB GRAB BAR OR GYPSUM BOARD GC GENERAL CONTRACTOR GENL GENERAL GFI GROUND FAULT CIRCUIT INTERRUPTER GL GLASS GLB GLUE LAMINATED BEAM GND GROUND GR GRADE GRLL GRILLE GRV GRAVITY ROOF VENTILATOR GYP GYPSUM	<b>H</b> H HIGH, HEIGHT HB HOSE BIB HC HOLLOW CORE HCP HANDICAP HD HEAVY DUTY HDR HEADER HWD HARDWOOD HWE HARDWARE HM HOLLOW METAL HO HOLD OPEN HORIZ HORIZONTAL HR HOUR HTR HEATER HVAC HEATING/ VENTILATING/ AIR CONDITIONING	<b>I</b> ID INSIDE DIAMETER/DIMENSION/ IDENTIFICATION IF INSIDE FACE IN INCH(ES) INCL INCL(US) (DED) (DING) (SIVE) INFO INFORMATION INSUL INSULAT(E) (ED) (ION) INT INTERIOR	<b>J</b> JAN JANITOR JBE JOIST BEARING ELEVATION JC JANITOR CLOSET JST JOIST JT JOINT	<b>K</b> K KIP (1000 POUNDS) KIT KITCHEN KO KNOCK OUT	<b>L</b> LAB LABORATORY LAM LAMINATE LAV LAVATORY LKR LOCKER LT LIGHT	<b>M</b> MAS MASONRY MAX MAXIMUM MECH MECHANICAL MET METAL MFR MANUFACTURER MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MTD MOUNTED MTL METAL	<b>N</b> N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE	<b>O</b> OBS OBSCURE OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OPNG OPENING OPT OPTIONAL OPP OPPOSITE ORD OVERFLOW ROOF DRAIN OS OVERFLOW SCUPPER	<b>P</b> PL PLATE PLAM PLASTIC LAMINATE PLWD PLYWOOD PR PAIR PREFIN PREFINISHED PTN PARTITION	<b>R</b> R RISER RAD RADIUS REINF REINFORCE (D) (ING) REQ'D REQUIRED RM ROOM RO ROUGH OPENING	<b>S</b> S SOUTH SCHED SCHEDULE SECT SECTION SHT SHEET SIM SIMILAR SPEC SPECIFICATIONS	<b>T</b> TEMP TEMPORARY TC TOP OF CURB T & G TONGUE AND GROOVE THK THICK TOM TOP OF MASONRY TOS TOP OF STEEL TPD TOILET PAPER DISPENSER TR TREAD TV TELEVISION	<b>U</b> UNO UNLESS NOTED OTHERWISE UR URINAL UTIL UTILITY	<b>V</b> VB VAPOR BARRIER VERT VERTICAL VEST VESTIBULE	<b>W</b> W WIDE, WIDTH, WEST WITH WATERPROOF WEIGHT
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## SHEET INDEX

TO.01	TITLE SHEET
ADA	ADA INFORMATION
A1.01	FOUNDATION PLAN
A1.02	FIRST FLOOR COMPOSITE PLAN
A1.03	FIRST FLOOR ENLARGED PLANS
A1.04	ROOF PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	WALL SECTIONS

## SQUARE FOOTAGE

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## COORDINATING PROFESSIONAL SEAL

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11-10-2022

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REVISION: \_\_\_\_\_

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SHEET TITLE: TITLE SHEET

PROJECT DESCRIPTION: NEW 5-PLEX FOR  
BAASCH DEVELOPMENT PROJECT  
1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE. 68803

DRAWN BY:  
S. SPOTANSKI

PLAN DATE:  
11-10-2022

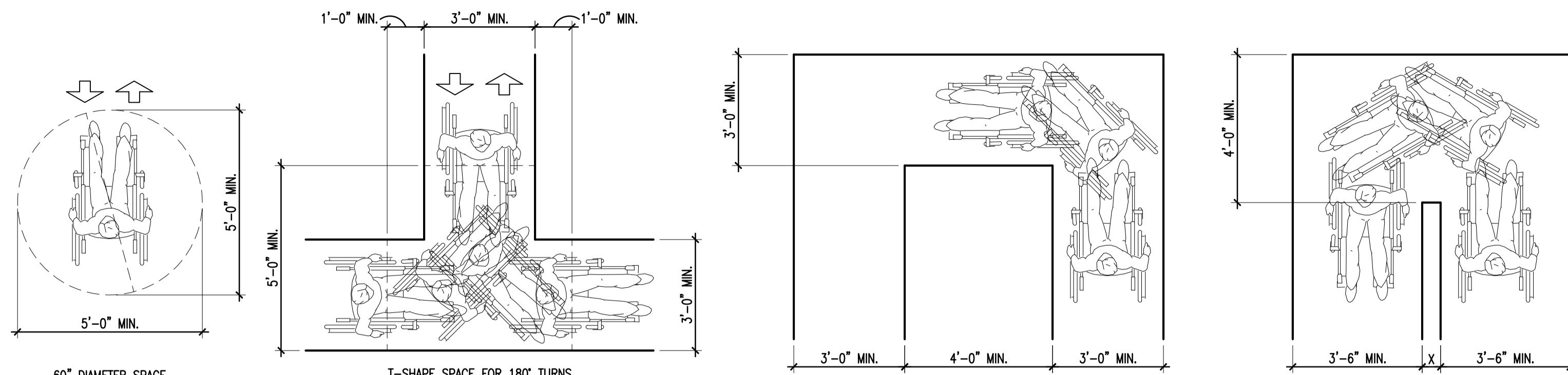
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11-10-2022

SHEET:  
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SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
1000 S. 10TH ST., SUITE 200, GRAND ISLAND, NE 68801  
(781) 820-8188 info@spotanskicbd.com

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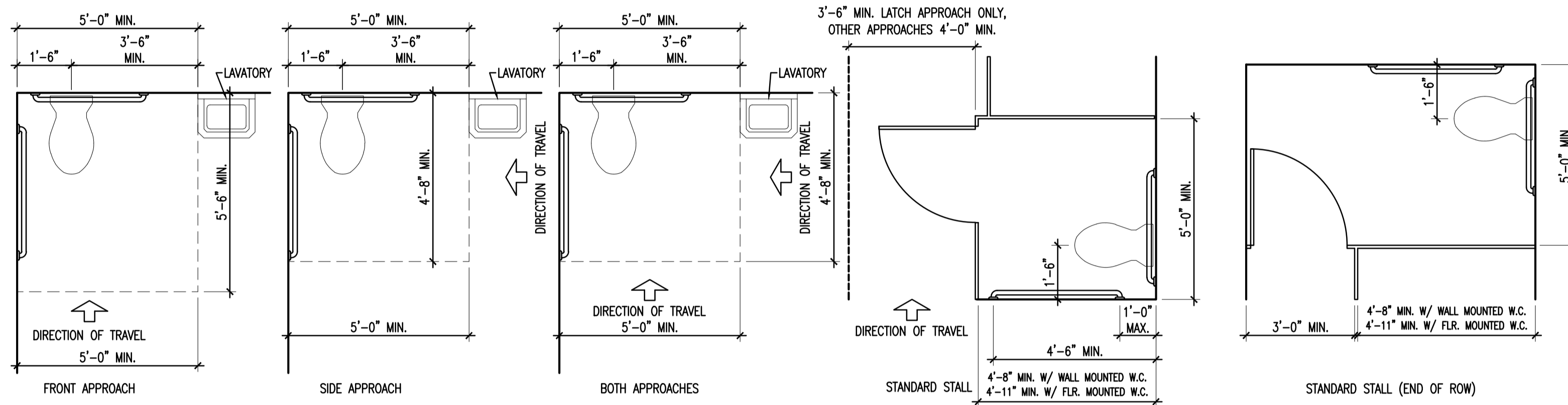
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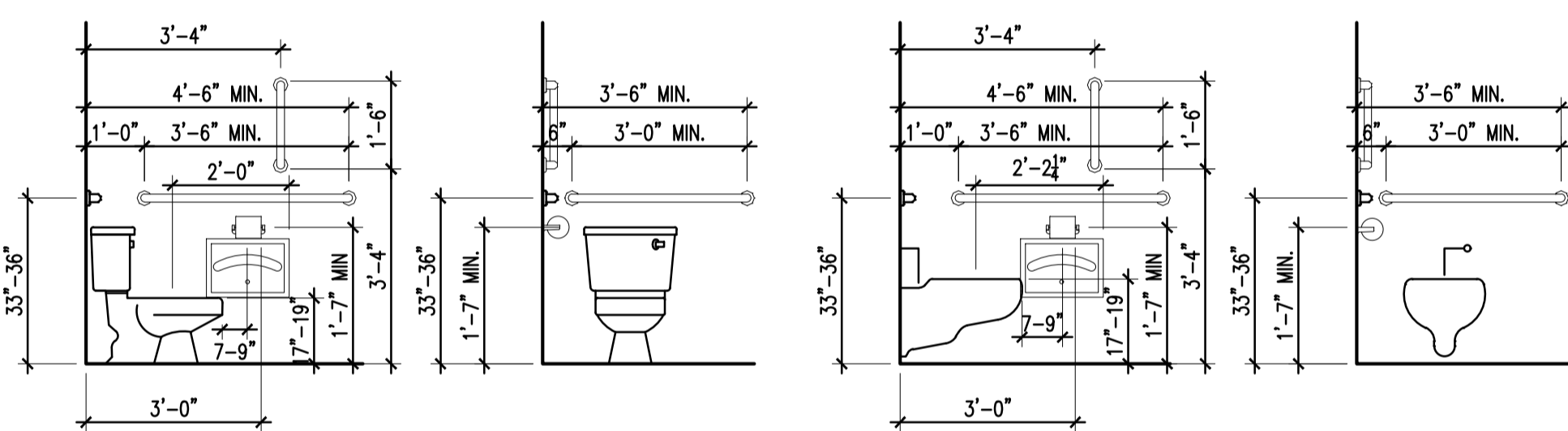
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**ACCESSIBLE ROUTE**



**SINGLE TOILET REQUIREMENTS**

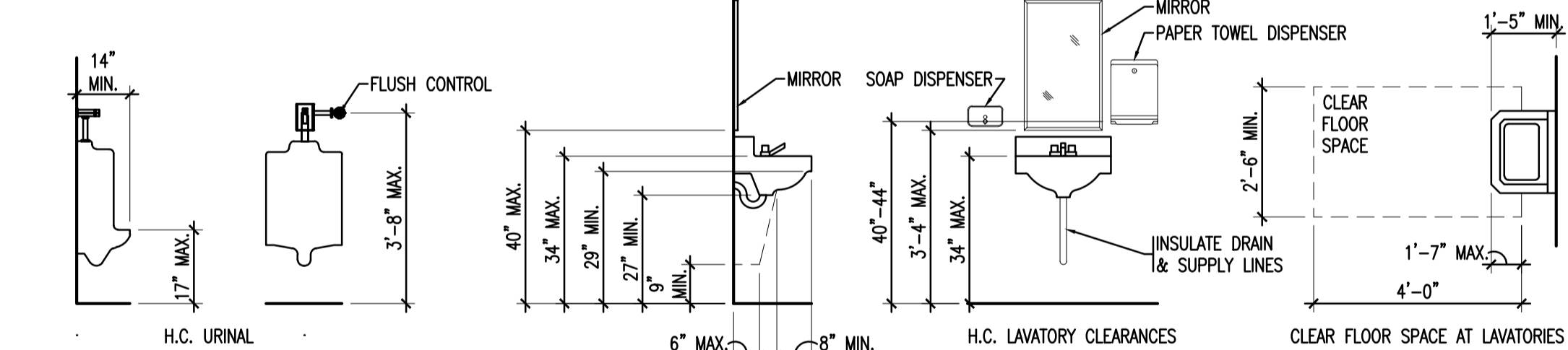


H.C. FLOOR MTD. TOILET

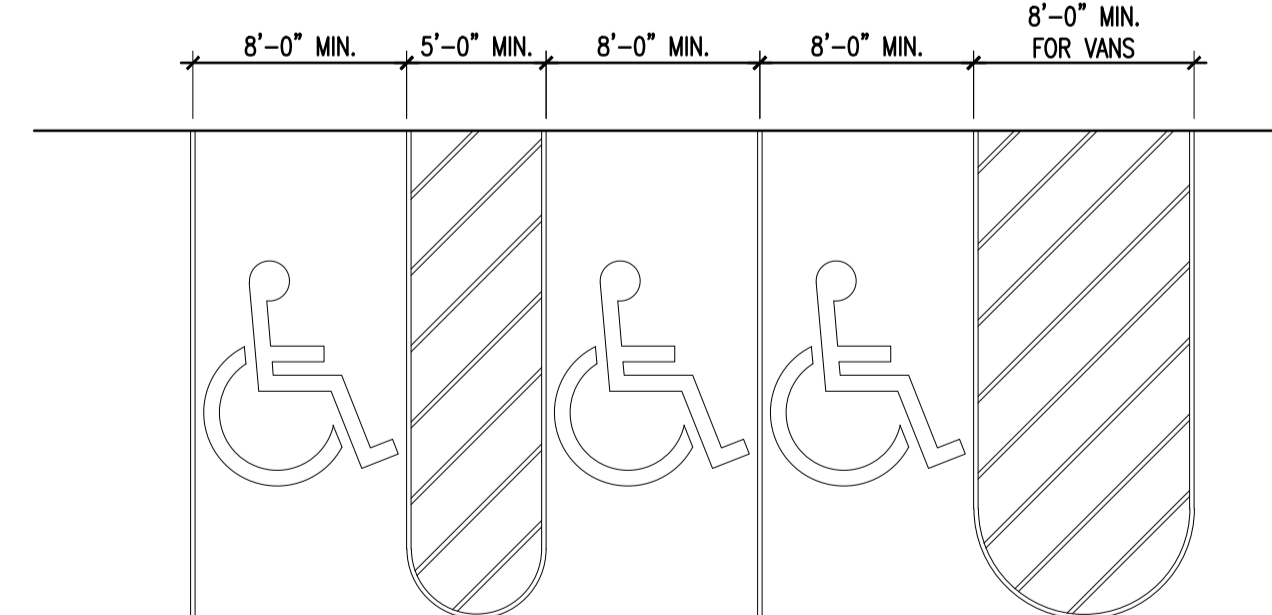
H.C. WALL MTD. TOILET

H.C. LAVATORY CLEARANCES

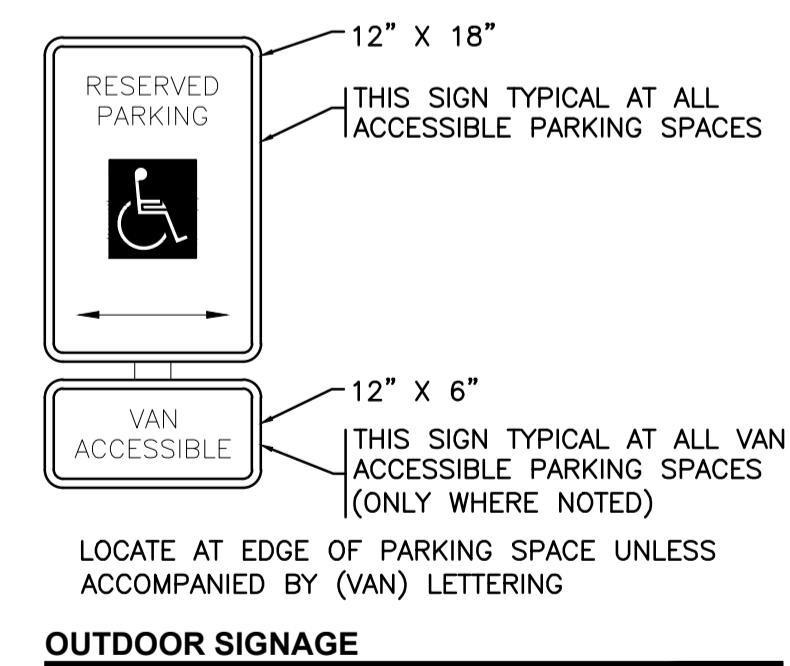
CLEAR FLOOR SPACE AT LAVATORIES



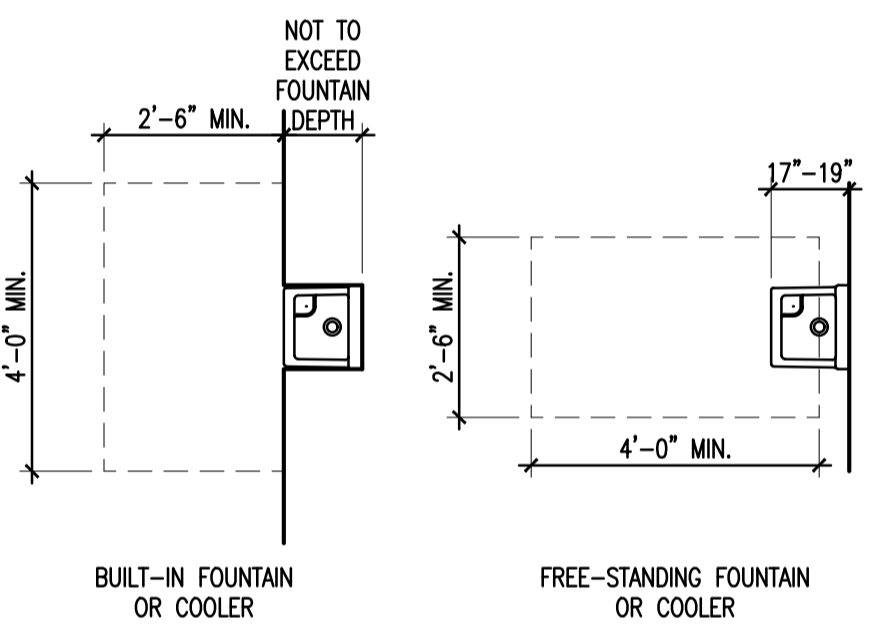
**BATHROOM FIXTURES & ACCESSORIES**



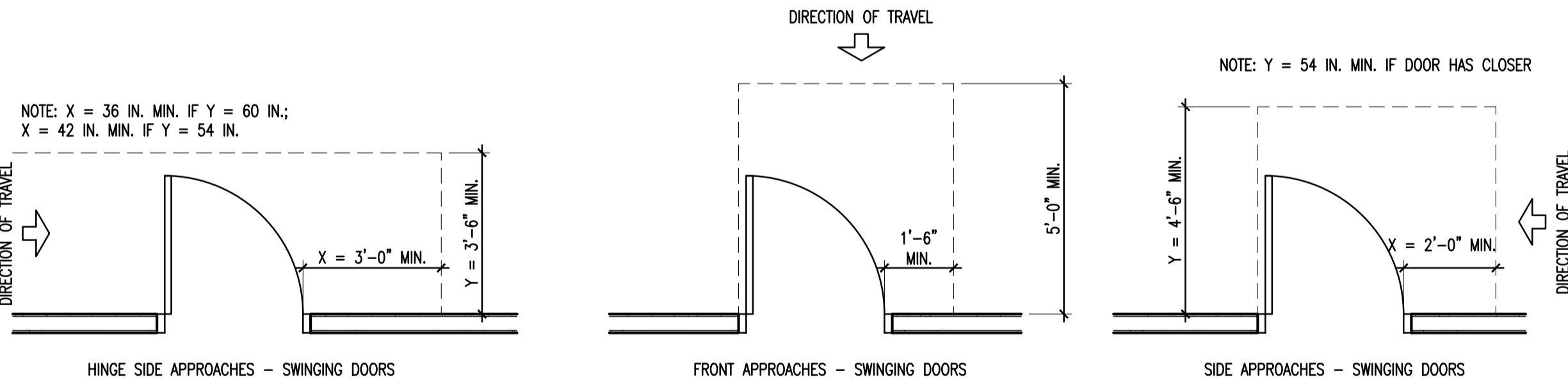
**PARKING SPACES**



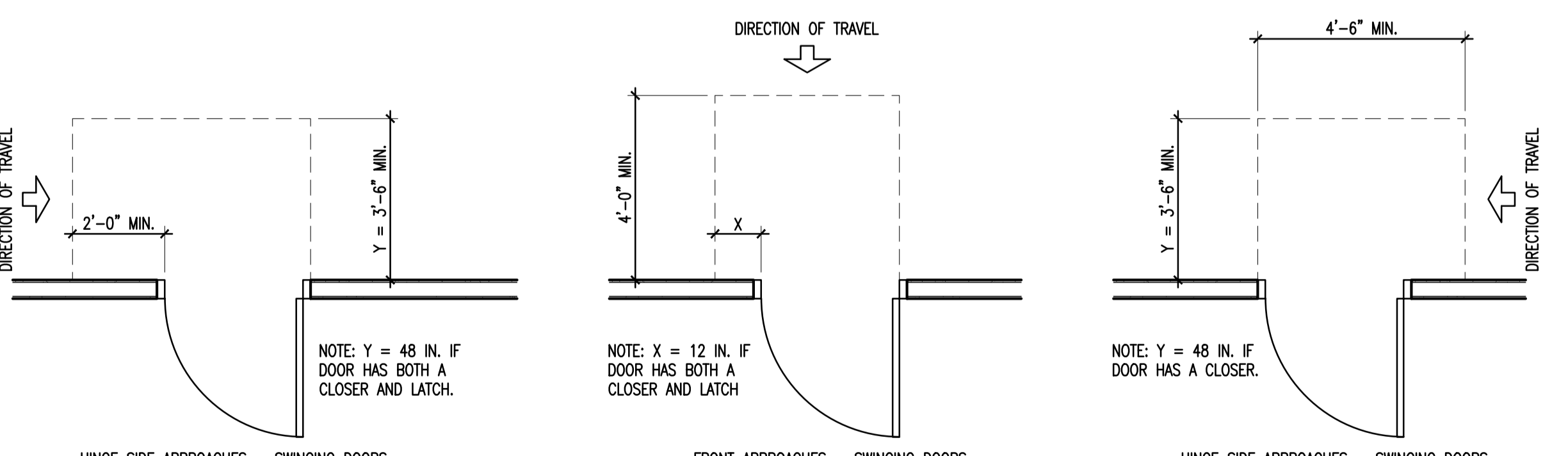
**OUTDOOR SIGNAGE**



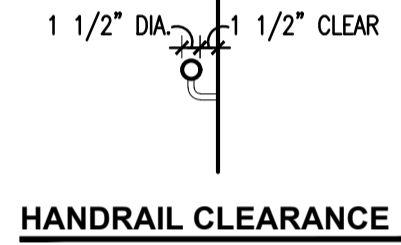
**DRINKING FOUNTAINS**



**ACCESSIBLE SHOWER**



**MANEUVERING CLEARANCES AT DOORS**



**HANDRAIL CLEARANCE**

**SQUARE FOOTAGE**

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 info@spotanski.com

OWNER: JBA VENTURES LLC  
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 GRAND ISLAND, NE. 68803

SHEET TITLE: ADA INFORMATION  
 PROJECT DESCRIPTION: NEW 5-PLEX FOR  
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DRAWN BY:  
 S. SPOTANSKI

PLAN DATE:  
 11-10-2022

PLOT DATE:  
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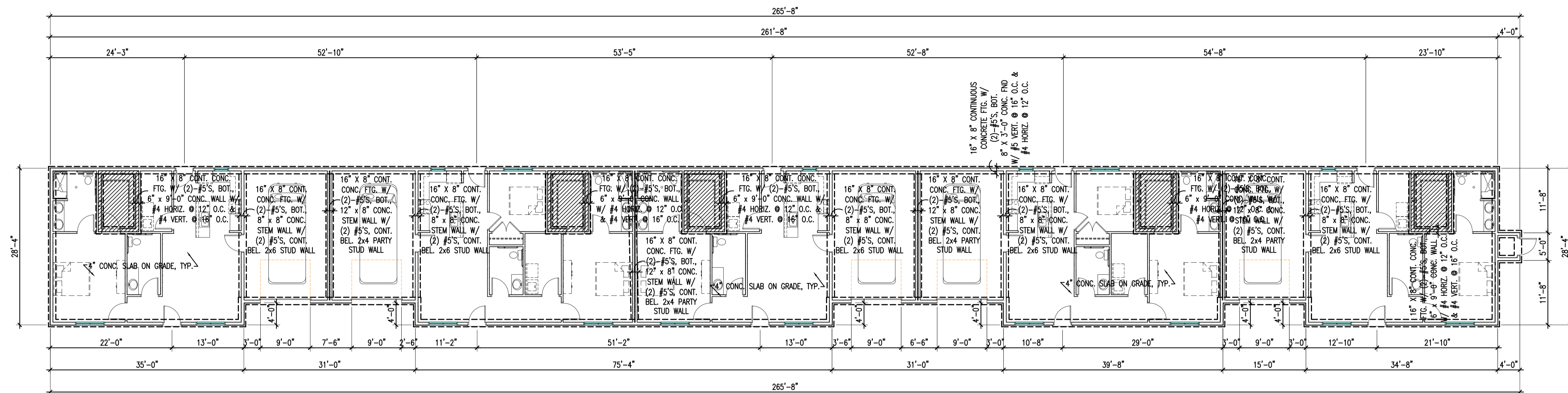
SHEET:

**ADA**

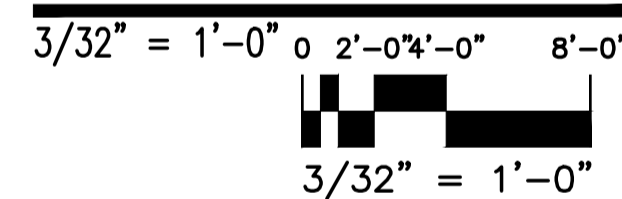
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NOTE: SEE FLOOR PLANS FOR MORE DIM. & FURTHER INFORMATION.



**FOUNDATION PLAN**



**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

**PROFESSIONAL SEAL**

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
11-10-2022

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
 1703 ADA STREET, GRAND ISLAND, NE 68803  
 (308) 850-8188 info@spotanskicbd.com

STACY J. SPOTANSKI

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: FOUNDATION PLAN  
 PROJECT DESCRIPTION: NEW 5-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 11-10-2022  
 PLOT DATE: 11-10-2022  
 SHEET: **A1.01**

**LEGEND**

- 1 HOUR RATED CONSTRUCTION
- ===== 2 HOUR RATED CONSTRUCTION
- SMOKE PARTITION - NO FIRE RESISTANCE RATING
- INDICATES SOUND WALL CONSTRUCTION
- FEC FIRE EXTINGUISHER CABINET
- ☺ FIRE EXTINGUISHER
- 10,000 AREA OF ROOM
- 1.50 OCCUPANT LOAD FACTOR
- 2 REQ'D EXIT WIDTH
- 12 MAXIMUM OCCUPANCY
- 10,000 NO. OF OCCUPANTS EXITING
- 10/71 NO. OF OCCUPANT/NO. OF EXIT
- 2 REQ'D EXIT WIDTH
- 34' ACTUAL EXIT WIDTH

**LIFE SAFETY SUMMARY**

**PROJECT CODE INFORMATION:**  
**INTERNATIONAL BUILDING CODE (IBC) 2018**  
 NEW BUILDING USE & OCCUPANCY CLASSIFICATION:  
 FIRST FLOOR: RESIDENTIAL (R-3)  
 STORAGE (S-2) (GARAGE)

**LIFE SAFETY CODE (NFPA 101) 2000**  
 OCCUPANCIES: NEW RESIDENTIAL  
 NEW STORAGE

2010 AMERICANS WITH DISABILITIES ACT (ADA)  
 ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
 (ALL UNITS SHALL COMPLY WITH THE TYPE (B) UNIT REQ'D AS INDICATE  
 IN SECTION 1004 TYPE 'B' UNITS)

UNIFORM PLUMBING CODE (UPC) 2018 W/ LOCAL AMENDMENTS  
 UNIFORM MECHANICAL CODE (UMC) 2018 W/ LOCAL AMENDMENTS  
 NATIONAL ELECTRICAL CODE 2020 STATE W/ LOCAL AMENDMENTS

**CONSTRUCTION TYPE:**  
 NEW BUILDING: V-B

**BUILDING AREA:**  
 NEW FIRST FLOOR: 7,126 S.F.

**ALLOWABLE BUILDING AREA BASED ON TYPE OF CONST. (506.2):**  
 RESIDENTIAL (R-3): UL  
 STORAGE (S-2) (GARAGE): 13,500

**ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (504.4):**  
 RESIDENTIAL (R-3): 3  
 STORAGE (S-2): 2

**FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (HOURS) (601) FOR TYPE V-B CONST.**

PRIMARY STRUCTURAL FRAME:	0-HOUR
BEARING WALLS:	0-HOUR
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS:	0-HOUR
EXTERIOR:	0-HOUR
NONBEARING WALLS AND PARTITIONS:	0-HOUR
INTERIOR:	0-HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0-HOUR

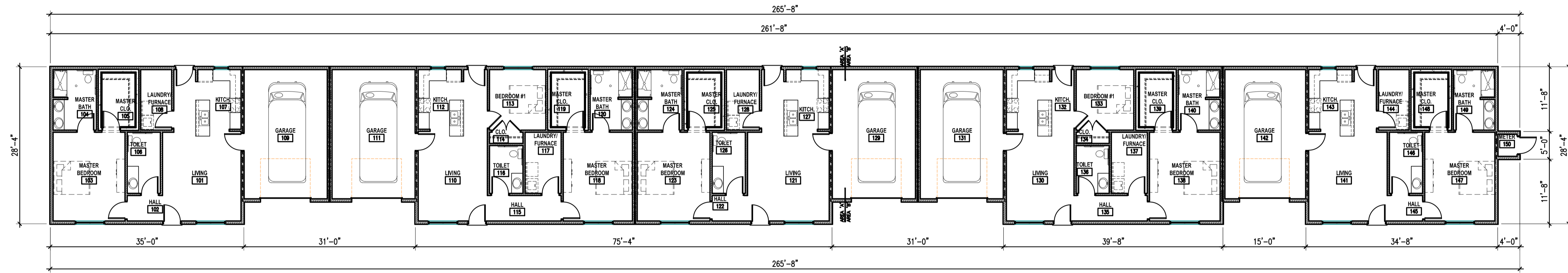
1. REQUIRED SEPARATION OF OCCUPANCIES SHALL BE ACCORDING TO TABLE 508.4.

**INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (803.1):**  
 NON-SPRINKLER

INTERIOR EXIT STAIRWAY AND STAIRWAY AND EXIT PASSAGEWAY	CORRIDOR AND ENCLOSURE ROOMS AND ENCLOSURE FOR ACCESS STAIRWAY	ENCLOSED SPACES
GROUP: R-3	C	C
S-2	B	C

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**FIRST FLOOR COMPOSITE PLAN**

3/32" = 1'-0" 0 2'-0" 4'-0" 8'-0"  
 3/32" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

**PROFESSIONAL SEAL**

PRELIMINARY DRAWINGS  
 NOT FOR CONSTRUCTION  
 11-10-2022

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REVISION:	DATE:

Spotanski Creative Building Design & Drafting, LLC  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803  
 (781) 850-8188 info@spotanskicbd.com

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: FIRST FLOOR COMPOSITE PLAN  
 PROJECT DESCRIPTION: NEW 5-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 11-10-2022  
 PLOT DATE: 11-10-2022  
 SHEET: **A1.02**

**MATERIAL KEYING LEGEND**

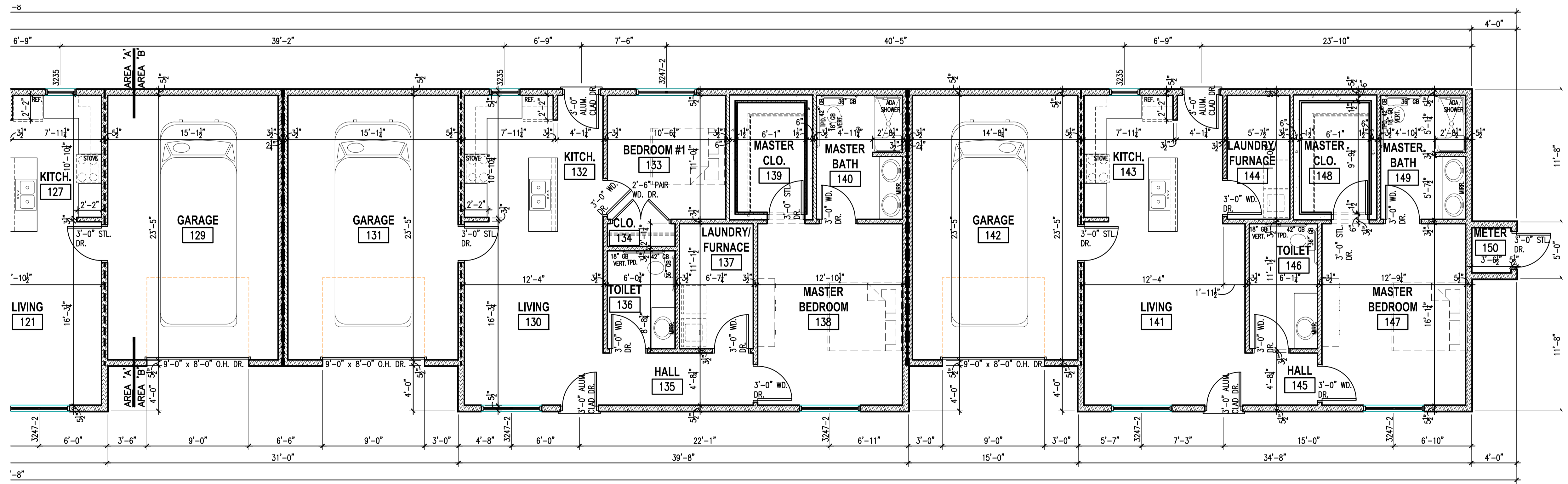
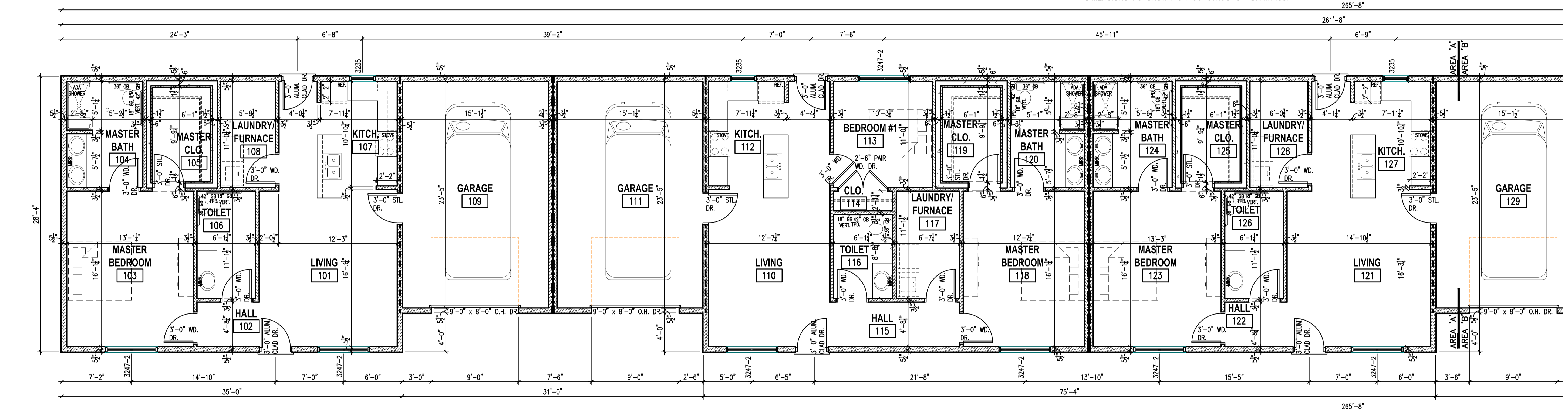
CG	CORNER GUARD
EHD	ELECTRIC HAND DRYER
FEB	FIRE EXTINGUISHER AND BRACKET
FEC	FIRE EXTINGUISHER AND CABINET
FNR	FEMININE NAPKIN RECEPTACLE
GB	GRAB BAR
MB	MARKERBOARD
MIRR	MIRROR
MS	MOP STRIP
PS	PROJECTION SCREEN
PTD	PAPER TOWEL DISPENSER
PTD/WR	PAPER TOWEL DISP. & WASTE RECEPT.
SD	SOAP DISPENSER
TB	TACKBOARD
TPD	TOILET PAPER DISPENSER
WB	HORIZONTAL WINDOW BLIND

**LEGEND**

-----	1 HOUR RATED CONSTRUCTION
	2 HOUR RATED CONSTRUCTION

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**PARTIAL FIRST FLOOR PLAN ' AREA 'B'**

3/16" = 1'-0"  $\frac{1}{32} = \frac{1}{16} = \frac{1}{8}$

**PARTIAL FIRST FLOOR PLAN - AREA 'A'**

3/16" = 1'-0"  $\frac{1}{32} = \frac{1}{16} = \frac{1}{8}$

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
04-08-2022**

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DATE:	
REVISION:	

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
 1703 HENRY STREET  
 GRAND ISLAND, NE 68803  
 (408) 850-8188  
 info@spotanski.com

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

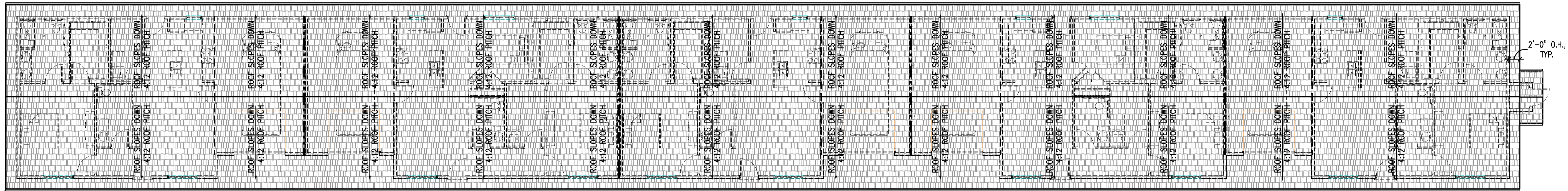
SHEET TITLE: FIRST FLOOR ENLARGED PLANS  
 PROJECT DESCRIPTION: NEW 4-PLEX & 5-PLEX FOR BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803


DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 04-08-2022  
 PLOT DATE: 04-08-2022  
 SHEET:

**A1.03**

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**ROOF PLAN**  
 $3/32" = 1'-0"$  0 2'-0 1/4'-0" 8'-0"  
  
 $3/32" = 1'-0"$

**SQUARE FOOTAGE**

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**PROFESSIONAL SEAL**

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 (781) 850-8188 info@spotanskicbd.com

SPOTANSKI  
 & Creative Building Design  
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STACY J. SPOTANSKI

INFORMATION CONTAINED WITHIN THIS DESIGN CONCEPT IS PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM.

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: ROOF PLAN

PROJECT DESCRIPTION: NEW 5-PLEX FOR  
 BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY:  
 S. SPOTANSKI

PLAN DATE:  
 11-10-2022

PLOT DATE:  
 11-10-2022

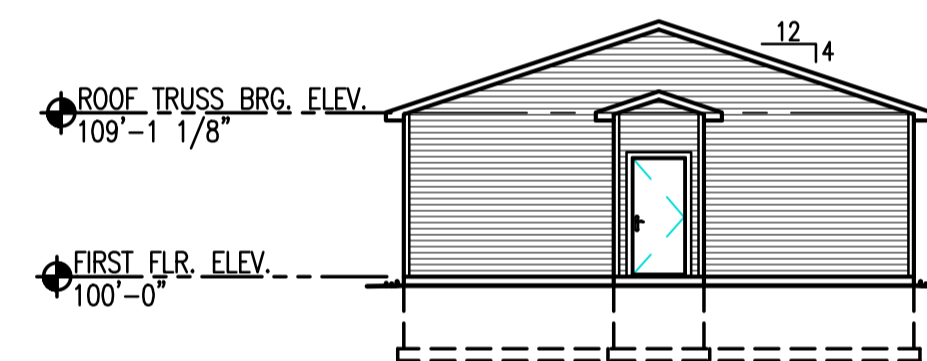
SHEET:  
**A1.04**

**GENERAL NOTES**

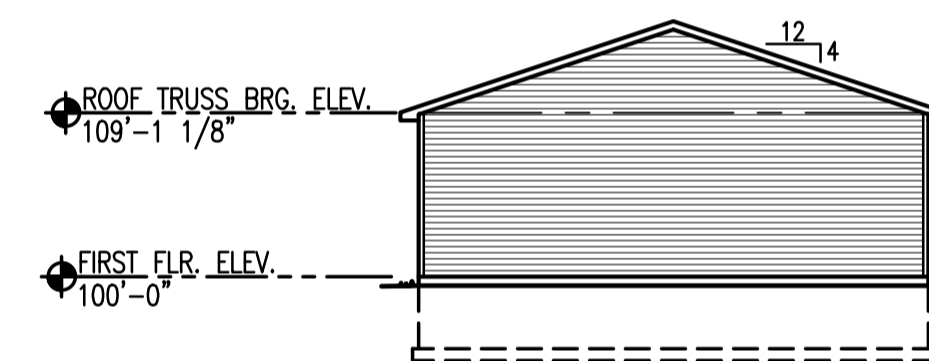
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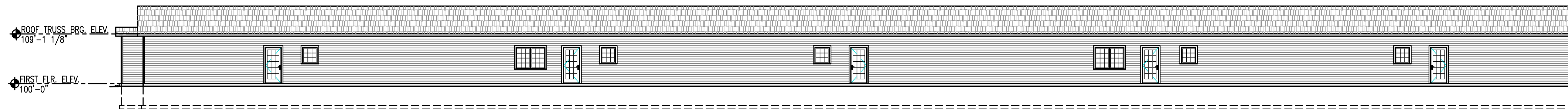
FRONT EXTERIOR ELEVATION  
3/32" = 1'-0" @ 2'-00" @ 8'-0"  
3/32" = 1'-0"



SIDE EXTERIOR ELEVATION  
3/32" = 1'-0" @ 2'-00" @ 8'-0"  
3/32" = 1'-0"



SIDE EXTERIOR ELEVATION  
3/32" = 1'-0" @ 2'-00" @ 8'-0"  
3/32" = 1'-0"



REAR EXTERIOR ELEVATION  
3/32" = 1'-0" @ 2'-00" @ 8'-0"  
3/32" = 1'-0"

**SQUARE FOOTAGE**

TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

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11-10-2022

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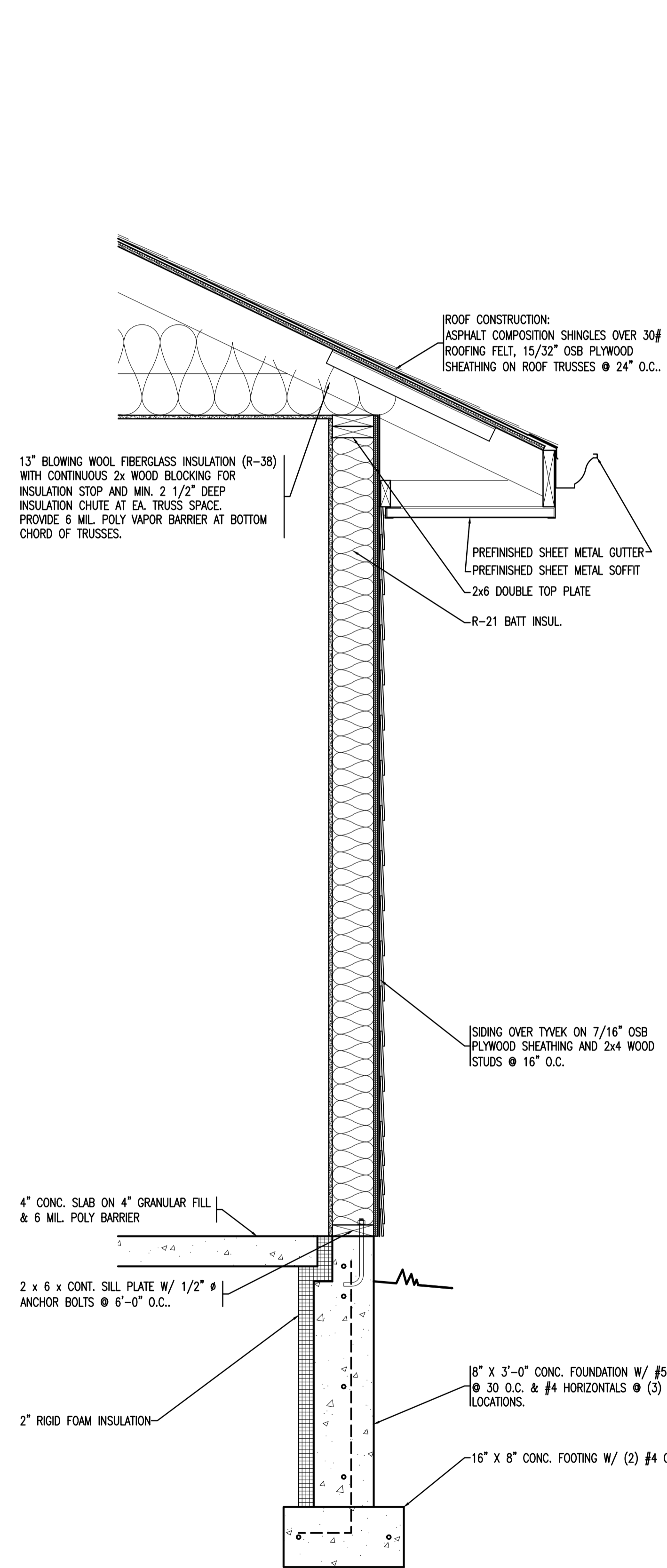
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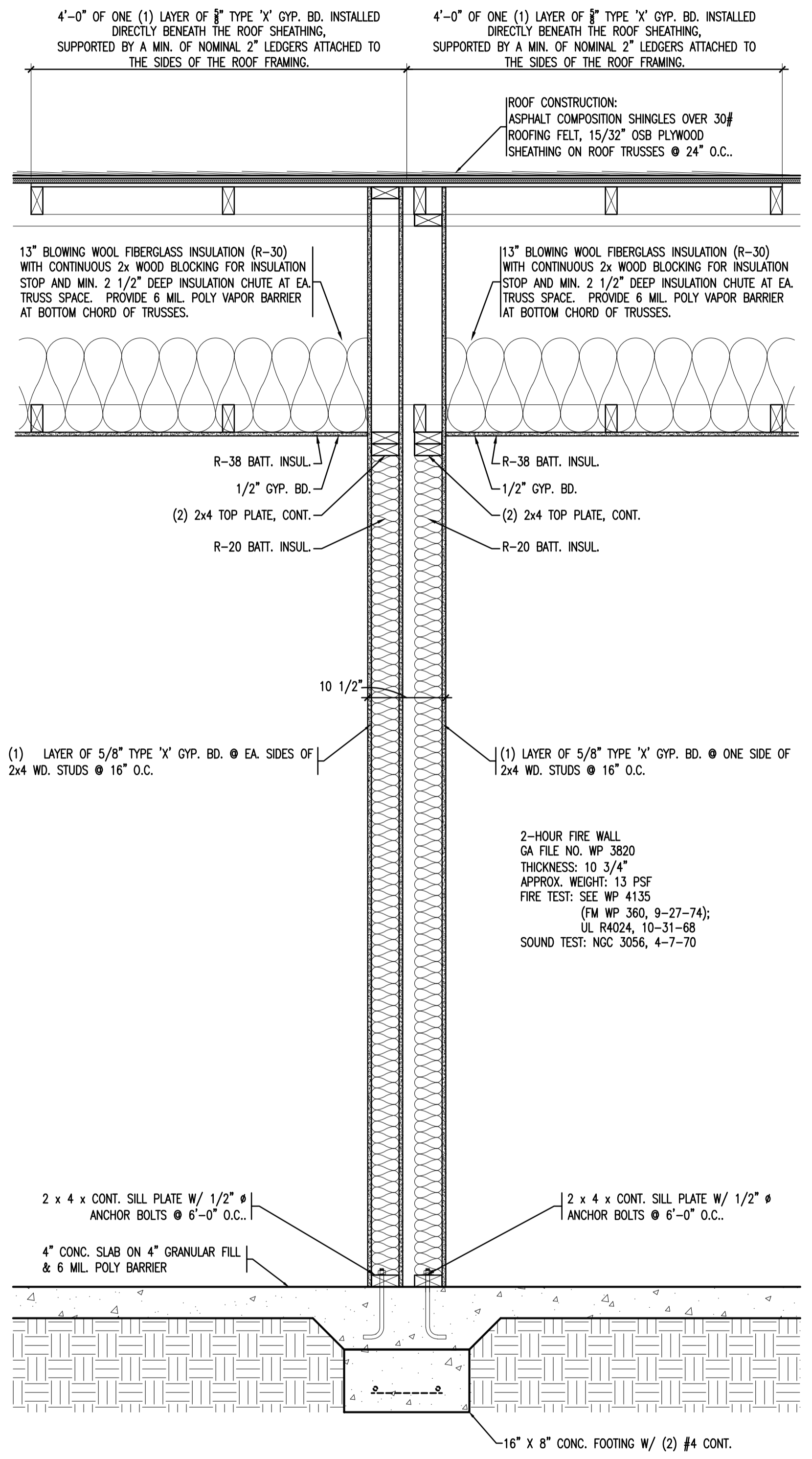
SHEET TITLE: EXTERIOR ELEVATIONS  
PROJECT DESCRIPTION: NEW 5-PLEX FOR  
BAASCH DEVELOPMENT PROJECT  
1703 ADA STREET/1703 HENRY STREET  
GRAND ISLAND, NE. 68803

DRAWN BY:  
S. SPOTANSKI  
PLAN DATE:  
11-10-2022  
PLOT DATE:  
11-10-2022  
SHEET:  
**A2.01**





**1 TYP. EXTERIOR WALL SECTION**  
1" = 1'-0"



**2 2-HOUR FIRE WALL**  
1" = 1'-0" UL DESIGN: U342

**GENERAL NOTES**

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE PROJECT LEADS RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS.
- THESE DRAWINGS ARE INTENDED TO CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES; HOWEVER, STATE AND LOCAL CODES VARY WIDELY AND ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING, AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE BEING MET.
- DO NOT SCALE DRAWINGS, USE ONLY THE PRINTED DIMENSIONS.
- VERIFY WITH THE WINDOW MANUFACTURER ALL WINDOW SIZES AND APPLICABLE EGRESS REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM/TO ROUGH STUDS OF A DIMENSION OF EITHER 5 1/2" (2x6 STUDS), 3 1/2" (2x4 STUDS) OR TO THE OUTSIDE OF MASONRY.
- DUE TO COORDINATION WITH FRAMING AND MECHANICAL INSTALLATIONS. FINAL DIMENSIONS MAY VARY SLIGHTLY FROM DIMENSIONS AS SHOWN ON CONSTRUCTION DRAWINGS.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, INCLUDING THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEM. STRUCTURAL INTEGRITY OF THIS BUILDING IS SUBJECT TO REVIEW BY A QUALIFIED STRUCTURAL ENGINEER. AS A SCOPE DOCUMENT, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS FOR CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICTS OR FIELD CONDITIONS WHICH REQUIRE ALTERATION OF THESE PLANS PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF DIMENSIONAL DISCREPANCIES IN THE PLANS, THE FLOOR PLANS SHALL GOVERN.
- SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING IS NOT A PROFESSIONAL OR ARCHITECTURAL FIRM. THESE PLANS ARE DRAWN ACCORDING TO THE CONTRACTOR/CLIENTS SPECIFICATIONS. ALL DIMENSIONS ARE TO BE VERIFIED BY CONTRACTOR.

**SQUARE FOOTAGE**  
TOTAL SQUARE FOOTAGE OF THE ENTIRE BLDG: 7,126

**PROFESSIONAL SEAL**

**PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION  
11-10-2022**

IF THIS DRAWING IS NOT 24" X 36", THEN IT IS NOT TO SCALE

REVISION:	DATE:

SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
 114 N. CUSTER AVE. GRAND ISLAND, NE. 68803  
 (308) 850-8188 info@spotanski.com

INFORMATION CONTAINED WITHIN THIS DOCUMENT IS THE PROPERTY OF SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC.

OWNER: JBA VENTURES LLC  
 114 N. CUSTER AVE.  
 GRAND ISLAND, NE. 68803

SHEET TITLE: WALL SECTION  
 PROJECT DESCRIPTION: NEW 5-PLEX FOR BAASCH DEVELOPMENT PROJECT  
 1703 ADA STREET/1703 HENRY STREET  
 GRAND ISLAND, NE. 68803

DRAWN BY: S. SPOTANSKI  
 PLAN DATE: 11-10-2022  
 PLOT DATE: 11-10-2022  
 SHEET: **A3.01**

**JBA Ventures, LLC**

**PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING  
SCENARIOS DETAILED IN NOTE A – CASH BASIS**

**Twelve Months Ending After Project Phase 1 Completion**

**Exhibit E**

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## INTRODUCTION

The projection in this illustration presents the entity's, JBA Ventures, LLC's, projected receipts and disbursements under the hypothetical assumptions in Note A on the cash basis for the twelve months ending after project phase 1 completion.



**SCHROEDER & SCHREINER, P.C.**  
**CERTIFIED PUBLIC ACCOUNTANTS**

**INDEPENDENT ACCOUNTANTS' COMPILATION REPORT**

To Management of  
JBA Ventures, LLC  
Grand Island, NE

Management is responsible for the accompanying projection of JBA Ventures, LLC, which comprise projected statements of receipts and disbursements under various tax increment financing scenarios detailed in Note A – cash basis of JBA Ventures, LLC (see introduction), for the twelve months ending after project phase 1 completion, and the related summaries of significant assumptions and accounting policies in accordance with guidelines for the presentation of a projection established by the American Institute of Certified Public Accountants (AICPA). We have performed a compilation engagement in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the AICPA. We did not examine or review the projection nor were we required to perform any procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an opinion, a conclusion, nor provide any form of assurance on this projection.

Even if the tax increment financing (TIF) scenarios outlined occurred, the projected results may not be achieved, as there will usually be differences between the projection and actual result, because events and circumstances frequently do not occur as expected, and those differences may be material. We have no responsibility to update this report for events and circumstances occurring after the date of this report.

Management has elected to omit substantially all disclosures and the summary of significant accounting policies required by the guidelines for the presentation of a projection established by the AICPA other than those related to significant assumptions. If the omitted disclosures and accounting policies were included in the projection, they might influence the user's conclusions about JBA Ventures, LLC's net cash receipts and disbursements for the projection period. Accordingly, this projection is not designed for those who are not informed about such matters.

This accompanying projection and this report are intended solely for the information and use of JBA Ventures, LLC, the Grand Island Community Redevelopment Authority, the Grand Island City Council, and certain individuals and organizations involved in the tax increment financing application process and are not intended to be and should not be used by anyone other than these specified parties.

*Schroeder & Schreiner, P.C.*

Grand Island, NE  
January 31, 2023

## JBA VENTURES, LLC

### PROJECTED STATEMENTS OF RECEIPTS AND DISBURSEMENTS UNDER VARIOUS TAX INCREMENT FINANCING SCENARIOS DETAILED IN NOTE A - CASH BASIS

Twelve Months Ending After Project Phase 1 Completion

	With Tax Increment Financing	Without Tax Increment Financing
<b>Gross Taxable Income:</b>		
Rental revenue	\$ 132,000	\$ 132,000
Tax increment financing (TIF) revenue	<u>55,030</u>	<u>-</u>
	187,030	132,000
<b>Tax Deductions:</b>		
Interest expense - TIF debt	35,814	-
Interest expense - Non-TIF debt	149,563	221,439
Real estate tax (existing)	2,404	2,404
Real estate tax (TIF increment)	55,030	55,030
Insurance	13,750	13,750
Depreciation and amortization	<u>102,104</u>	<u>102,104</u>
	<u>358,665</u>	<u>394,727</u>
 Taxable income (loss)	 (171,635)	 (262,727)
 <b>Adjustments to Arrive at Net Cash Receipts (Disbursements)</b>		
Depreciation & amortization	102,104	102,104
Principal debt service - TIF	(18,222)	-
Principal debt service - Non-TIF	<u>(45,192)</u>	<u>(74,310)</u>
	38,690	27,794
 Net cash receipts	 <u>\$ (132,945)</u>	 <u>\$ (234,933)</u>

See the summary of significant projection  
assumptions and the independent accountants' compilation report.  
Schroeder & Schreiner, P.C.

## **JBA Ventures, LLC**

### **SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS**

#### **Twelve Months Ending After Project Phase 1 Completion**

##### **NOTE A – NATURE AND LIMITATION OF PROJECTIONS**

The accompanying projection presents, to the best of JBA Ventures, LLC's knowledge and belief, cash receipts and disbursements for the twelve months ending after project phase 1 completion to be generated by housing units (e.g. "the project") located in Grand Island, Nebraska. Stated cash receipts and disbursements are intended to convey results of operations after the anticipated 2024 completion of phase 1 of the project, assuming funding of the estimated construction and acquisition costs of \$7,534,435 both with, and in the absence of, tax increment financing assistance. The projection reflects their judgment as of January 31, 2023, the date of this projection, of the expected conditions and their expected course of action. Actual results are likely to differ from the projected results because events and circumstances frequently do not occur as expected. Those differences may be material. The assumptions disclosed herein are those that management believes are significant to the projections. The projected information was prepared for use in a tax increment financing request to the Grand Island Community Redevelopment Authority.

##### **NOTE B – BASIS OF ACCOUNTING**

The presentations of cash receipts and disbursements for the projection period and the twelve months ending after project phase 1 completion portray results using the cash basis of accounting. The results of this basis differ from those using generally accepted accounting principles primarily because the cash basis does not recognize assets other than cash and the debt principal outstanding under the tax increment financing or construction or building loan(s).

##### **NOTE C – CASH RECEIPTS**

JBA Ventures, LLC is the owner and operating entity for four-buildings intended to house 18 housing units. This projection considers only expected operating results from the first phase of the project consisting of two buildings housing 8 housing units. Revenue has been determined based on the knowledge and experience of the owners of JBA Ventures, LLC (and related parties) in the operation of similar facilities in the same locale. The projection assumes 100% occupancy of the 8 housing units at 4 – 2-bedroom units at \$1,500 and 4 – 1-bedroom units at \$1,250 per month for 12 months per year.

The projection includes two scenarios dependent on whether or not the tax increment financing (TIF) request is approved. In the event of TIF approval, JBA Ventures, LLC will receive additional TIF revenue from the County based on the anticipated increase in the assessed value generated by the proposed project and the additional real estate tax that increase will generate. Both the TIF financing and real estate taxes are subject to the final determination of assessed value.

##### **NOTE D – CASH DISBURSEMENTS**

Interest expense and principal debt service are based on the assumption that with the exception of any TIF financing assistance, the entire construction project Phase 1 will be financed through \$556,495 of capital contributions from the owners of JBA Ventures, LLC with additional debt incurred to cover the remaining anticipated construction and improvement costs.

See independent accountants' compilation report  
Schroeder & Schreiner, P.C.

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## JBA Ventures, LLC

### SUMMARY OF SIGNIFICANT PROJECTION ASSUMPTIONS, Continued

#### Twelve Months Ending After Project Phase 1 Completion

##### NOTE D – CASH DISBURSEMENTS, Continued

Phase 1 TIF debt is based on an initial \$950,392 principal balance that can be serviced with the anticipated incremental real estate tax generated by the project. The loan is expected to have a 15-year term with scheduled monthly payments of \$4,503 (annual \$54,036) and an interest rate of approximately 7.5%. This debt reflects only that incurred to cover the first phase of the project.

The remaining construction and land acquisition costs, not funded through tax increment financing, will be satisfied with \$556,495 of capital contributions and \$6,027,548 of bank debt for the residual obligation. All remaining non-TIF construction debt will have a 20-year term. All loans will have an annual interest rate of approximately 7.5%. Scenarios contemplating the denial of tax increment financing will assume bank debt replacing TIF financing at the same 15-year term and 7.5% annual interest rate as the equivalent TIF financing.

Projected real estate tax is expected to equal the current tax (for the 2022 year) plus additional tax generated by applying the current levy rate to the anticipated increase in assessed value to be generated by the construction project.

Projected costs for common area water, sewer and utilities; insurance; repairs and maintenance; professional fees; and other costs are all based on the experience of JBA Ventures, LLC's members and the expected occupancy of the facility.

This projection estimates a taxable loss under all reporting scenarios. Accordingly, in anticipation of passive activity loss limitations restricting the use of said losses, no member distributions to cover estimated individual income tax (or contributions to reflect estimated income tax benefits) based on tax law provisions expected to be in effect during the projection period have been considered. Although not a cash expenditure, estimated depreciation has been calculated and included in the projection to arrive at net taxable income. Estimated capitalized costs are depreciated under either the straight-line method for 27.5-year life building components or the 150 percent declining balance method for 15-year life paving and improvement components.

See independent accountants' compilation report  
Schroeder & Schreiner, P.C.

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**JBA Ventures, LLC**  
**Tax Increment Financing Application**  
**Capitalization Rate Analysis**

	<u>With Tax Increment Financing</u>	<u>Without Tax Increment Financing</u>
Net cash receipts (disbursements)	(132,945)	(234,933)
Add back: debt service	248,791	295,749
Net operating income	<u>115,846</u>	<u>60,816</u>
Divided by fair market value	2,942,035	2,942,035
Equals capitalization rate	3.94%	2.07%

**Exhibit E**

**COMMUNITY REDEVELOPMENT AUTHORITY  
OF THE CITY OF GRAND ISLAND, NEBRASKA**

**RESOLUTION NO. 424**

**RESOLUTION OF THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY  
OF GRAND ISLAND, NEBRASKA, SUBMITTING A PROPOSED  
REDEVELOPMENT PLAN TO THE HALL COUNTY REGIONAL PLANNING  
COMMISSION FOR ITS RECOMMENDATION**

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), pursuant to the Nebraska Community Development Law (the "Act"), prepared a proposed redevelopment plan (the "Plan") a copy of which is attached hereto as Exhibit 1, for redevelopment of an area within the city limits of the City of Grand Island, Hall County, Nebraska; and

WHEREAS, the Authority is required by Section 18-2112 of the Act to submit said to the planning board having jurisdiction of the area proposed for redevelopment for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

The Authority submits to the Hall County Regional Planning Commission the proposed Plan attached to this Resolution, for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska.

Passed and approved this 8<sup>th</sup> day of February, 2023

COMMUNITY REDEVELOPMENT  
AUTHORITY OF THE CITY OF  
GRAND ISLAND, NEBRASKA.

By   
Chairperson

ATTEST:

  
Secretary

JBA Ventures LLC Henry and Ada-Area 31

**Resolution Number 2023-07**

**HALL COUNTY REGIONAL PLANNING COMMISSION**

**A RESOLUTION RECOMMENDING APPROVAL OF AN AMENDMENT TO A REDEVELOPMENT PLAN IN THE CITY OF GRAND ISLAND, NEBRASKA; AND APPROVAL OF RELATED ACTIONS**

**WHEREAS**, the Chairman and Board of the Community Redevelopment Authority of the City of Grand Island, Nebraska (the “**Authority**”), referred **the Redevelopment Plan for CRA Area 31 requested by JBA Ventures LLC** to the Hall County Regional Planning Commission, (the “**Commission**”) for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska, pursuant to Section 18-2112 of the Community Development Law, Chapter 18, Article 21, Reissue Revised Statutes of Nebraska, as amended (the “**Act**”); and

**WHEREAS**, the Commission held a public hearing on the proposed plan on March 1, 2023, and

**WHEREAS**, the chair or president of Hall County Board, Grand Island School Board, Central Platte Natural Resources District, Educational Service Unit #10 and Central Community College were notified by certified mail of said hearing, and

**WHEREAS**, the Commission advertised the time, date and location public hearing in the Grand Island Independent on Friday February 10<sup>th</sup> and Friday February 17<sup>th</sup>, and

**WHEREAS**, there are no Neighborhood Associations registered with the City of Grand Island, and

**WHEREAS**, the Commission has reviewed said Redevelopment Plan as to its conformity with the general plan for the development of the City of Grand Island, Hall County;

**NOW, THEREFORE, BE IT RESOLVED BY THE HALL COUNTY REGIONAL PLANNING COMMISSION AS FOLLOWS:**

**Section 1.** The Commission hereby recommends approval of the Redevelopment Plan finding that it is in conformance with the comprehensive development plan (general plan for development) for the City of Grand Island.

**Section 2.** All prior resolutions of the Commission in conflict with the terms and provisions of this resolution are hereby expressly repealed to the extent of such conflicts.

**Section 3.** This resolution shall be in full force and effect from and after its passage as provided by law.

**DATED:** March 1, 2023

**HALL COUNTY REGIONAL PLANNING COMMISSION**

ATTEST:

By: \_\_\_\_\_  
Chair

By: \_\_\_\_\_  
Secretary