



# City of Grand Island

Tuesday, March 14, 2023

Council Session

## Item E-1

**Public Hearing on Zoning Change for Legacy 34 Third Sub.  
located W. of Prairie View St and N. of Husker Hwy from CD  
Commercial Dev & RD Residential Dev to Amended CD  
Commercial Dev & RD Residential Dev & B2 General Business**

*Council action will take place under Ordinances item F-1.*

Staff Contact: Chad Nabity

# **Council Agenda Memo**

**From:** Regional Planning Commission

**Meeting:** March 14, 2023

**Subject:** Change of Zoning from RD Residential Development Zone and CD Commercial Development Zone to Amended RD Residential Development Zone and Amended CD Commercial Development Zone and B2 General Business

**Presenter(s):** Chad Nabity AICP, Regional Planning Director

## **Background**

Innate Development the owners of 200 acres located north of Husker Highway and west of Prairieview Street, are requesting that amendments to their RD and CD zones are approved along with a change for a small portion of the property to B2 General Business. The proposal is to build 150 units of three story apartments in 10 unit buildings along with 4 carriage house apartments the Residential Development portion of this property. In the Commercial Development Zone that will have one building on each lot that will provide for neighborhood commercial services and office space. Plans for the commercial node include a sports bar, ice cream shop and coffee house. The very southeast lot at Husker Highway and Prairieview Street is proposed a B2 General Business and they are proposing that a hotel would be built on that lot. A preliminary plat for the whole development was approved in 2021. This is a replat of the second subdivision approved in October 2022 with 20.109 acres and 23 lots and 10 outlots. Legacy 34 presents a more complete vision of the development with 20.109 acres 28 lots and 10 outlots. This final plat is also included for approval.

## **Discussion**

At the regular meeting of the Regional Planning Commission, held September 7, 2022 the above item was considered following a public hearing.

O'Neill opened the public hearing

Nabity stated changes were made from the original plan that was brought forward about 4 months ago. The request would rezone property from CD Commercial Development Zone and RD Residential Development Zone to an amended CD



Commercial Development Zone and RD Residential Development Zone and B2 General Business. The proposed changes are generally minor modifications to the development plan with more specific details about the size and placement of the proposed commercial buildings with the CD Zone. Nabity also mentioned another proposed change to B2 General Business is the located at the southeast corner for a proposed hotel. Nabity stated the proposed changes are consistent with the Comprehensive Plan and recommending approval.

O'Neill closed the public hearing.

A motion was made by Ruge and second by Robb to approve the proposed rezoning of Legacy 34 Second Subdivision and the Final Plat for Legacy 34 Third Subdivision.

The motion was carried with eight members voting in favor (Nelson, O'Neill, Ruge, Robb, Monter, Rainforth, Goplin and Doane), no members voting no or abstaining, (Allan, Stevenson, Hendrickson, and Randone were absent).

The memo sent to the planning commission with staff recommendation is attached for review by Council.

### **Alternatives**

It appears that the Council has the following alternatives concerning the issue at hand. The Council may:

1. Approve the rezoning request as presented
2. Modify the rezoning request to meet the wishes of the Council
3. Postpone the issue
4. Deny the application

### **Recommendation**

City Administration recommends that the Council approve the proposed changes as recommended.

### **Sample Motion**

Move to approve the ordinance as presented.

## Agenda Item #6

### PLANNING DIRECTOR RECOMMENDATION TO REGIONAL PLANNING COMMISSION:

February 20, 2023

**SUBJECT:** *Zoning Change (C-15-23GI)*

**PROPOSAL:** An application has been made to rezone 20.109 acres of property proposed for platting as part of the Legacy 34 development located west of Prairie View Street and north of Husker Highway from RD Residential Development Zone and CD Commercial Development Zone to amended RD Residential Development Zone and amended CD Commercial Development Zone and B2 General Business. The developers are proposing to build fifteen apartment buildings **(150 units)** on the property with buildings as shown on the attached plans, four carriage houses and seven commercial buildings including a civic center to support the neighborhood. This is the second change of several that are proposed for the full 200 acre site as shown with the preliminary plat for the whole property.

#### OVERVIEW:

##### Site Analysis

*Current zoning designation:* RD- Residential Development Zone  
CD- Commercial Development Zone

*Permitted and conditional uses:* Approve development plan for **RD** and **CD** Zones: The current plan called for fifteen 10 unit apartment buildings and 4 carriage houses and 4 commercial buildings. The proposed plan maintains the same number of residential units in the same general locations but amends the building envelopes to encompass all of the architectural projections from the buildings within those envelopes. The majority of the parking is included in the RD zone even that intended to serve the CD zone. The number of commercial buildings is changing from 4 to 7. The general location of the buildings is not changing but they have more detail

*Comprehensive Plan Designation:* Mixed Use Commercial

*Existing land uses.* Vacant Undeveloped Property

### **Adjacent Properties Analysis**

#### *Current zoning designations:*

**North:** R2- Low Density Residential Zone

**East:** B2 General Business Zone and RD Residential Development Zone

**West:** RD Residential Development Zone

**South:** TA Transitional Agricultural Zone and RO Residential Office Zone

#### *Permitted and conditional uses:*

**R2-** Residential uses with a density of 1 unit per 6,000 square feet of property. Minimum lot size of 6,000 square feet. Churches, schools, parks are permitted in this zoning district

**RD-** Residential uses as approved by the submitted plan with density up to 42 units per acre. Churches, schools, parks and retirement facilities are also permitted in this district. Can allow more than one principle use per lot and development of private streets and utilities.

**TA** - Permits both farm and non-farm dwellings at a maximum density of two dwelling units per acre, as well as other open space and recreational activities. The intent of the zoning district also would allow the raising of livestock to a limit and within certain density requirements.

**B2** - The intent of this zoning district is to provide for the service, retail and wholesale needs of the general community. This zoning district will contain uses that have users and traffic from all areas of the community and trade areas, and therefore will have close proximity to the major traffic corridors of the City. Residential uses are permitted at the density of the (R-4) High Density Residential Zoning District.

**RO:** The intent of this zoning district is to provide the highest density of residential uses as well as for various office, personal services and professional uses. This zoning district is also used as a transitional zone between lower density residential zones and business or manufacturing zones.

#### *Comprehensive Plan Designation:*

**West, East, South and North:** Mixed Use Commercial

#### *Existing land uses:*

**North:** Agricultural/ Vacant

**South:** Agricultural/Lake/Tabitha

**East:** Multifamily Residential and Commercial Lots  
some are developed some are vacant.

**West:** Multi-Family Residential and vacant property

## **EVALUATION:**

### **Positive Implications:**

- *In conformance with the City's Comprehensive Land Use Plan:* This particular site is designated for mixed use commercial uses within the plan. This would typically be a combination of commercial and multi-family residential.
- *New Housing Choices in Southwestern Grand Island:* Most of the new construction in Grand Island occurs in the northwest part of the city. This proposed development would build 154 new units in the southwestern part of the city.
- *Infill Development:* Most of the existing infrastructure is in place to support this development. Sewer and water are available. The developer is proposing a combination of private and public streets to support this development.
- *Provides Housing for Grand Island Residents and potential workers near the newly developed Hospital.*
- *Develops a neighborhood commercial node to support this development and the hospital development to the south.*

### **Negative Implications:**

- *None foreseen.* This request does not materially change what has already been approved for the site. The proposed changes are generally minor modifications to the development plan with more specific details about the size and placement of the proposed commercial buildings with the CD Zone. The B2 zone in the southeast corner does give the developer additional flexibility for the location of buildings but the uses would be consistent with the CD and RD zones.

## **RECOMMENDATION:**

That the Regional Planning Commission recommend that the Grand Island City Council change the zoning on this site approve the amended RD-Residential Development Zone and amended CD Commercial Development Zone along with the B2 General Business Zone.

\_\_\_\_\_ Chad Nabity AICP, Planning Director

# Proposed Rezoning Area Future Landuse Map

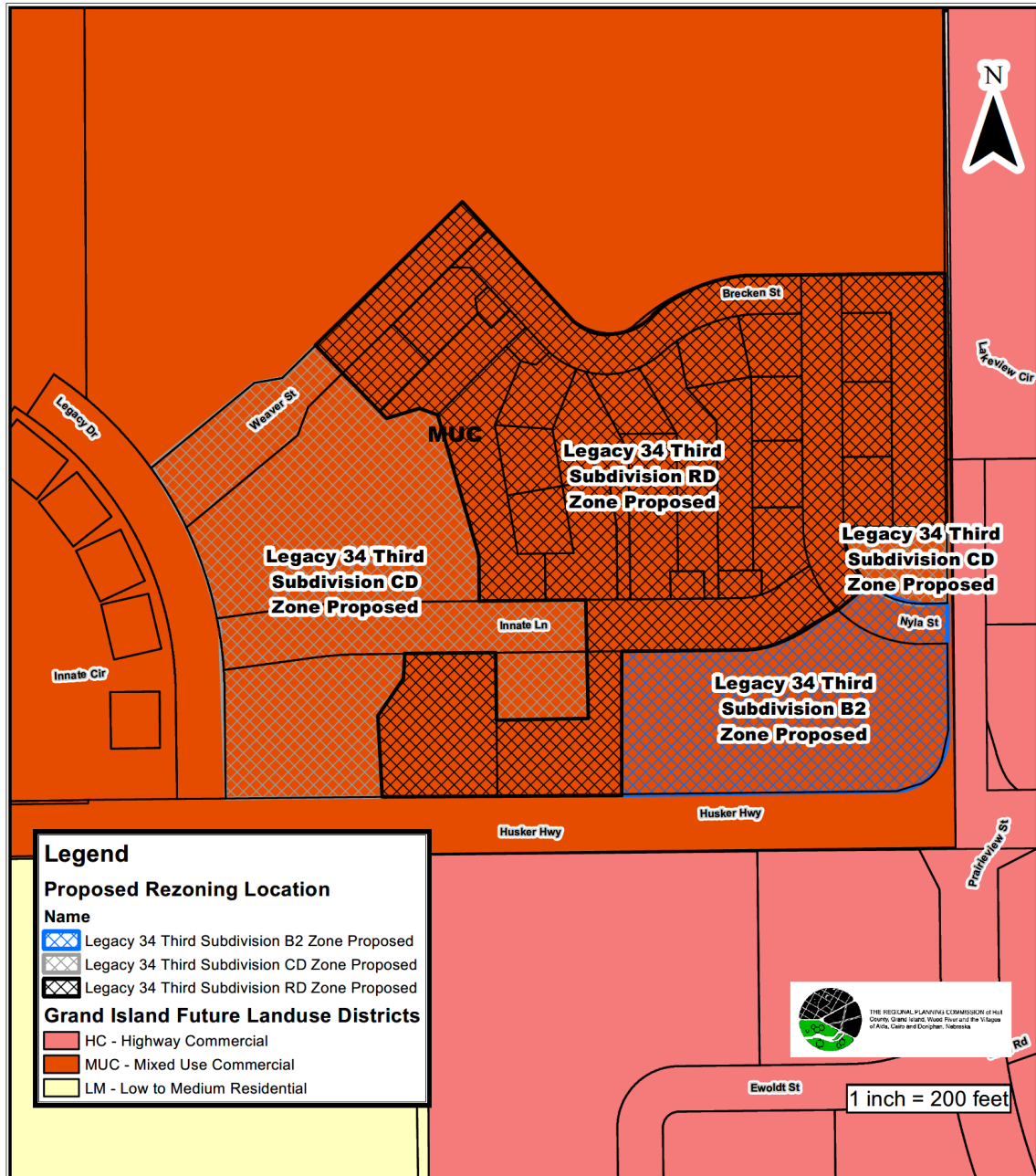


Figure 1 Future Land Use Map from the Grand Island Comprehensive Plan

# Proposed Rezoning Area

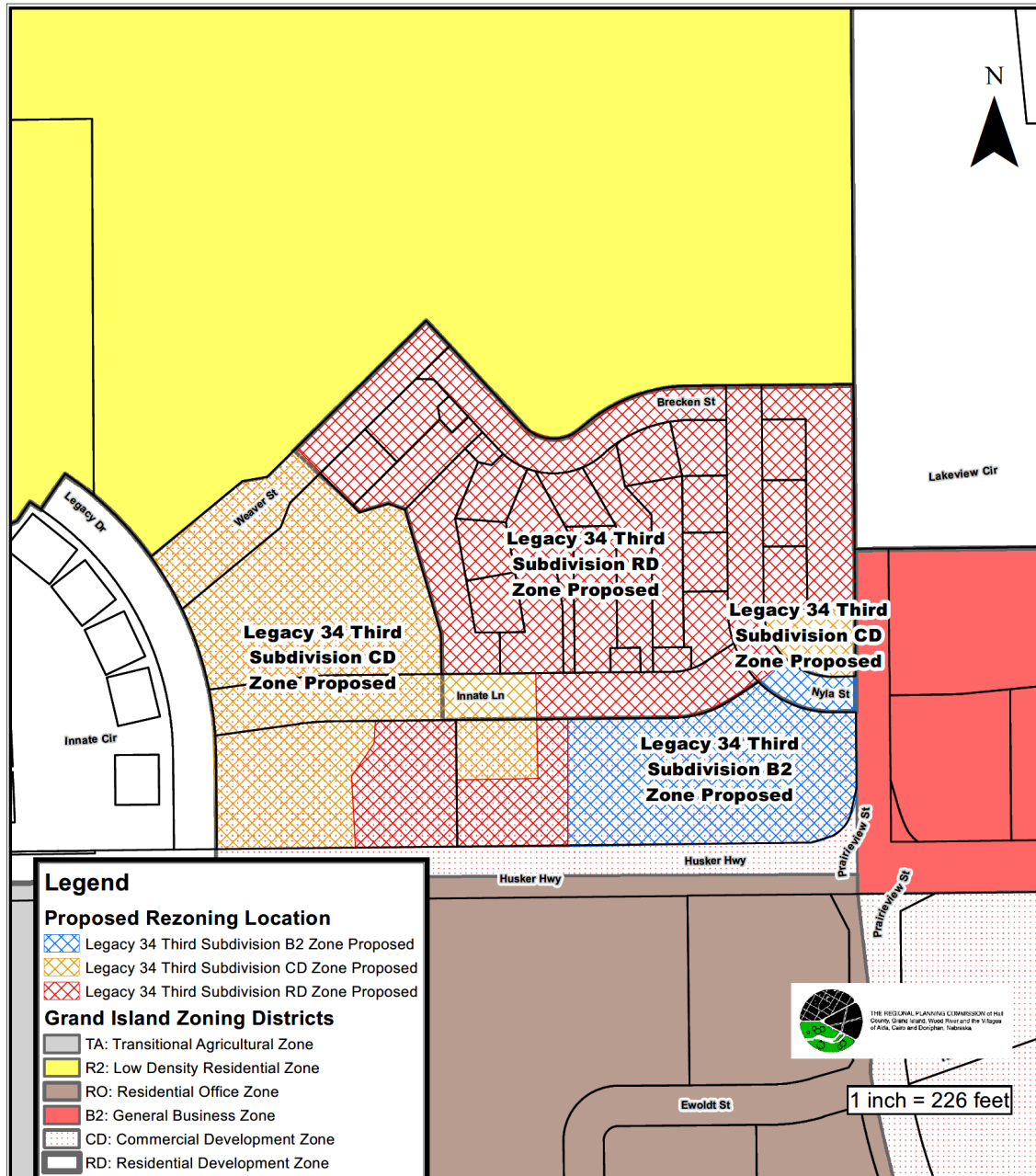


Figure 2- Proposed Zoning

# APPLICATION FOR REZONING OR ZONING ORDINANCE CHANGE

Regional Planning Commission

Check Appropriate Location:

- ☐ City of Grand Island and 2 mile zoning jurisdiction  
☐ Alda, Cairo, Doniphan, Wood River and 1 mile zoning jurisdiction  
☐ Hall County

RPC Filing Fee \_\_\_\_\_

(see reverse side)

plus Municipal Fee\* \$50.00

\*applicable only in Alda, Doniphan, Wood River

## A. Applicant/Registered Owner Information (please print):

Applicant Name \_\_\_\_\_ Phone (h) \_\_\_\_\_ (w) \_\_\_\_\_

Applicant Address \_\_\_\_\_

Registered Property Owner (if different from applicant) \_\_\_\_\_

Address \_\_\_\_\_ Phone (h) \_\_\_\_\_ (w) \_\_\_\_\_

## B. Description of Land Subject of a Requested Zoning Change:

Property Address \_\_\_\_\_

Legal Description: (provide copy of deed description of property)

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision Name \_\_\_\_\_, and/or

All/Part \_\_\_\_\_ ¼ of Section \_\_\_\_\_ TWP \_\_\_\_\_ RGE \_\_\_\_\_ W6PM

## C. Requested Zoning Change:

1. Property Rezoning (yes\_\_\_) (no\_\_\_)  
(provide a properly scaled map of property to be rezoned)

From \_\_\_\_\_ to \_\_\_\_\_

2. Amendment to Specific Section/Text of Zoning Ordinance (yes\_\_\_) (no\_\_\_)  
(describe nature of requested change to text of Zoning Ordinance)

## D. Reasons in Support of Requested Rezoning or Zoning Ordinance Change:

**NOTE: This application shall not be deemed complete unless the following is provided:**

1. Evidence that proper filing fee has been submitted.
2. A properly scaled map of the property to be rezoned (if applicable), and copy of deed description.
3. The names, addresses and locations of all property owners immediately adjacent to, or within, 300 feet of the perimeter of the property to be rezoned (if the property is bounded by a street, the 300 feet shall begin across the street from the property to be rezoned).
4. Acknowledgement that the undersigned is/are the owner(s), or person authorized by the owner(s) of record title of any property which is requested to be rezoned:

**\*A public hearing will be held for this request\***

Signature of Owner or Authorized Person Gai Gason Date \_\_\_\_\_

Note: Please submit a copy of this application, all attachments plus any applicable municipal filing fee to the appropriate Municipal Clerk's Office. RPC filing fee must be submitted separately to the Hall County Treasurer's Office (unless application is in Grand Island or its 2 mile zoning jurisdiction, then the RPC filing fee must be submitted to the G.I. City Clerk's Office).

Application Deemed Complete by RPC: mo. \_\_\_ day. \_\_\_ yr. \_\_\_ Initial \_\_\_

RPC form revised 10/23/19

## REGIONAL PLANNING COMMISSION FEES AND CHARGES

Effective October 1, 2020

Service or Product	Fee
Zoning Map Amendment (General)	\$900.00
Zoning Ordinance Text Amendment	\$900.00
CD or RD Comprehensive Rezoning (Grand Island 2 mile)	\$900.00
P.U.D. Rezoning	\$850.00 + \$10.00/lot

### Payment of Fees and Charges:

Zoning, Subdivision and Comprehensive plan amendment fees associated with land located within Grand Island or its 2 mile jurisdiction, are **payable to the City Clerk of Grand Island**.

Zoning, Subdivision and Comprehensive plan amendment fees associated with lands located within all other areas of Hall County are **payable to the Hall County Treasurer's Office**.

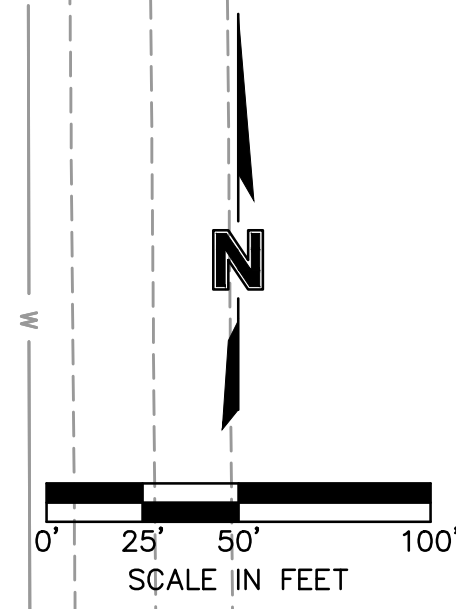
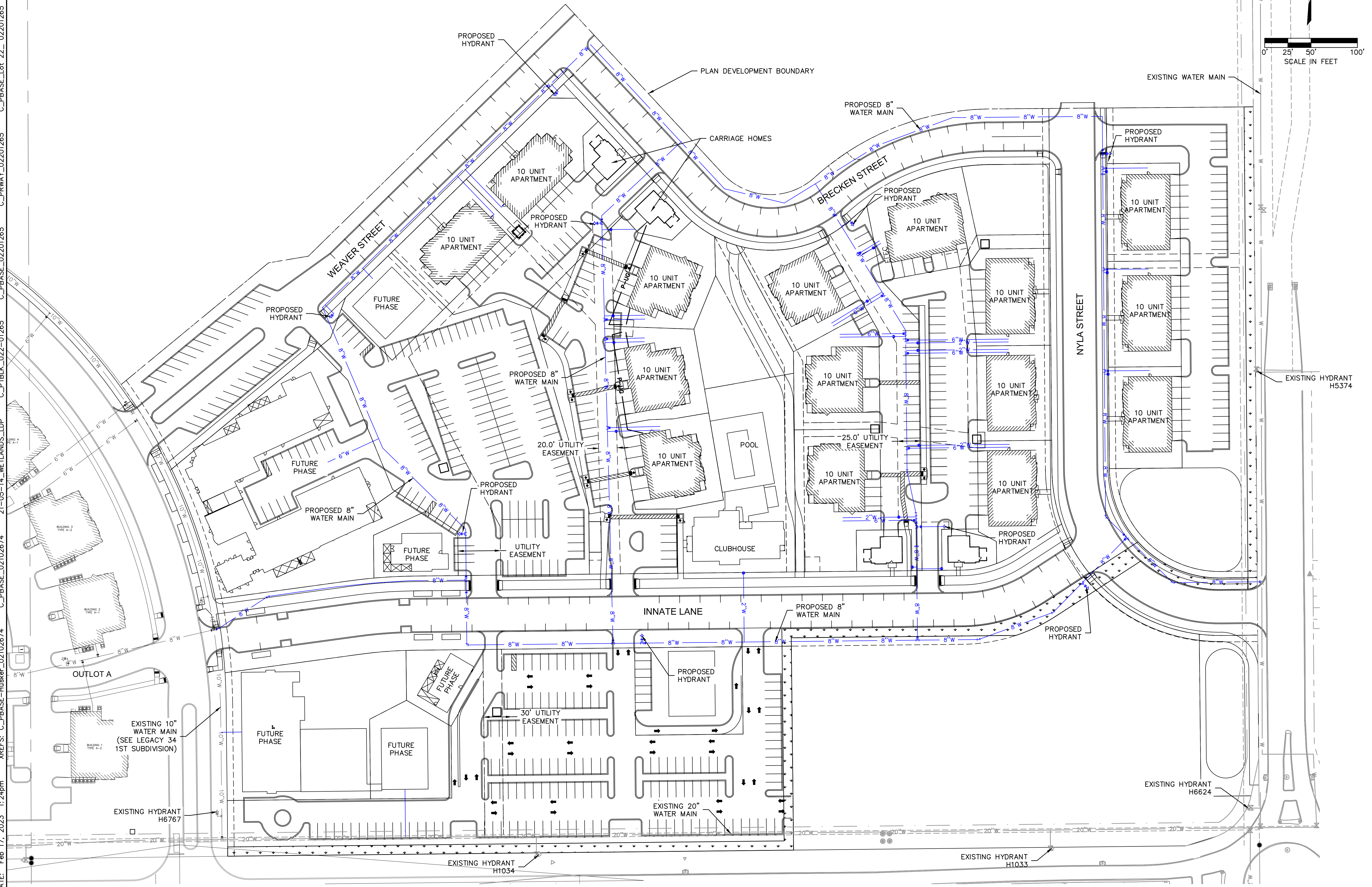
\*Additional fees are charged for zoning within the City of Wood River, and the Villages of Alda and Doniphan of \$50.00 each, **payable to the appropriate Clerk's office**.





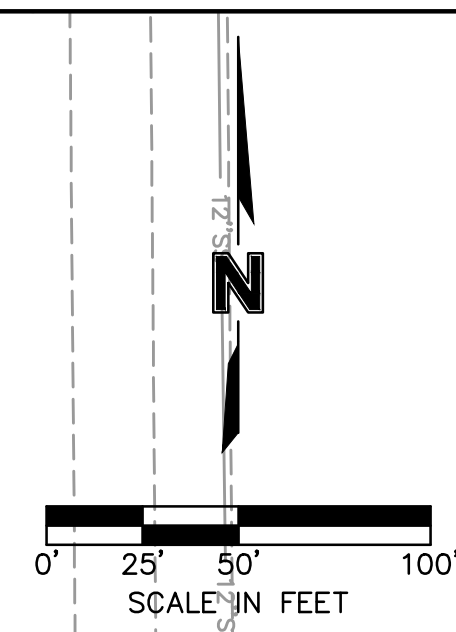
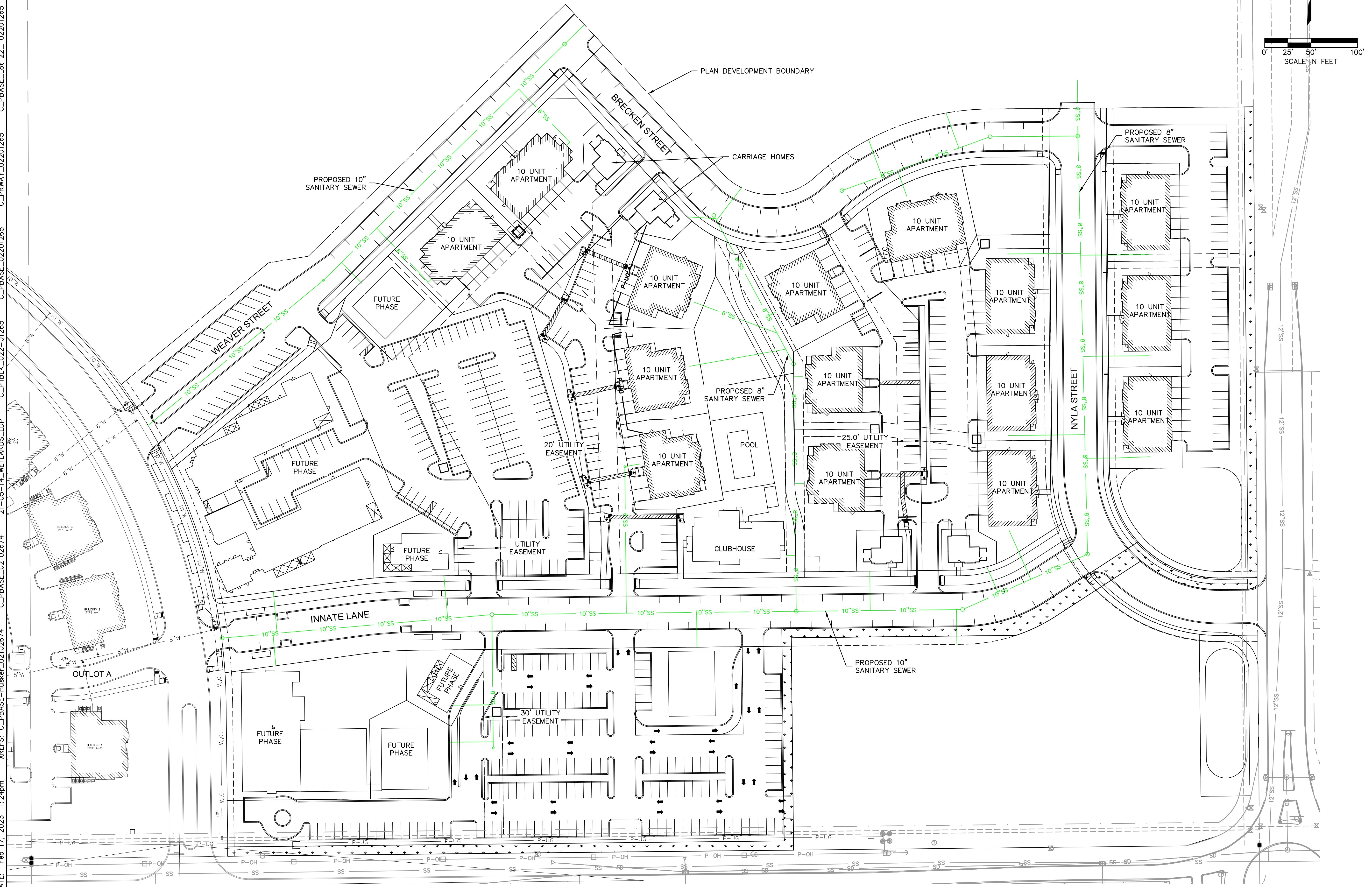


LEGACY 34 THIRD SUBDIVISION  
*WATER MAIN PLAN*

[illegible]



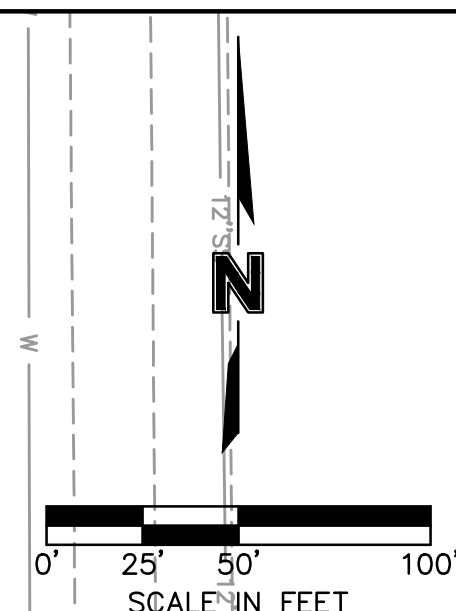
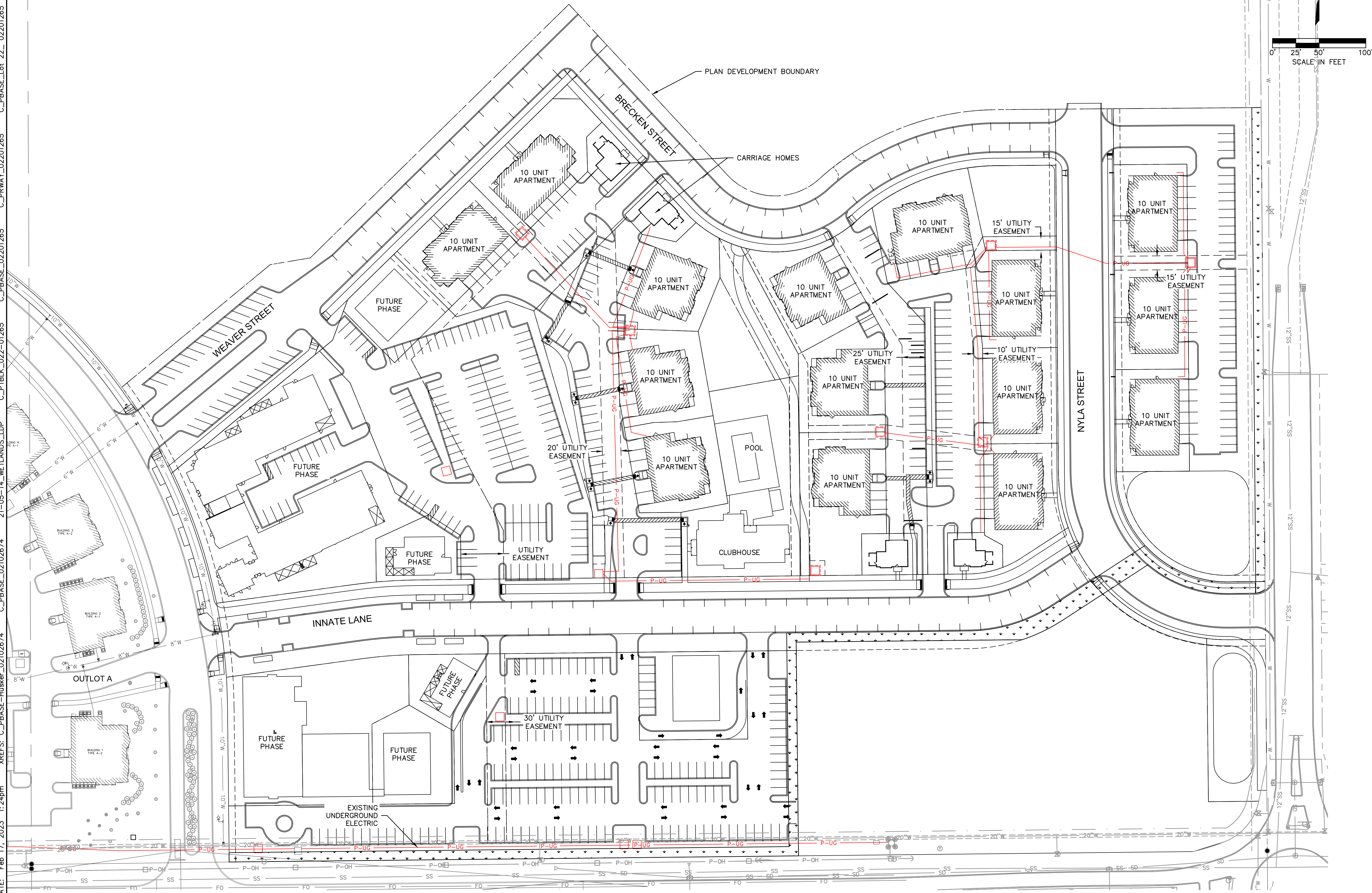
LEGACY 34 THIRD SUBDIVISION  
SANITARY SEWER PLAN



<div>drawn by: _____ AST</div> <div>checked by: _____</div> <div>approved by: _____ MMR</div> <div>QA/QC by: _____</div> <div>project no.: _____ 022-01265</div> <div>drawing no.: _____</div> <div>date: _____ 2.17.2023</div>		<div>SANITARY SEWER PLAN</div> <div>LEGACY 34 THIRD SUBDIVISION DEVELOPMENT PLAN</div> <div>GRAND ISLAND, NEBRASKA</div>		<div>REV. NO.</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>DATE</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>REVISIONS DESCRIPTION</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>REVISIONS</div>
SHEET		3 of 6		<div>olsson</div> <div>201 East 2nd Street Grand Island, NE 68801 TEL 308.384.8750 www.olsson.com</div>			



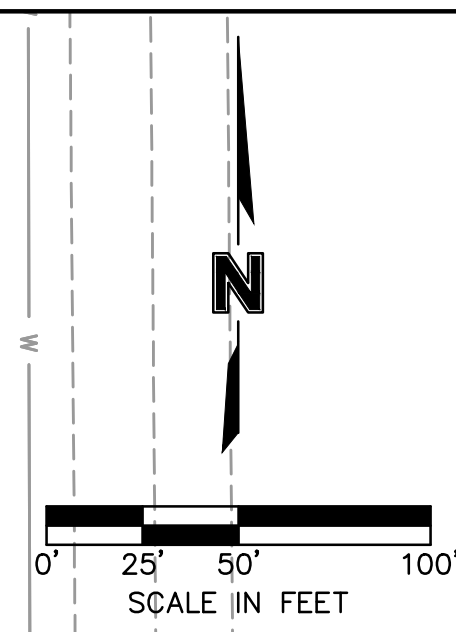
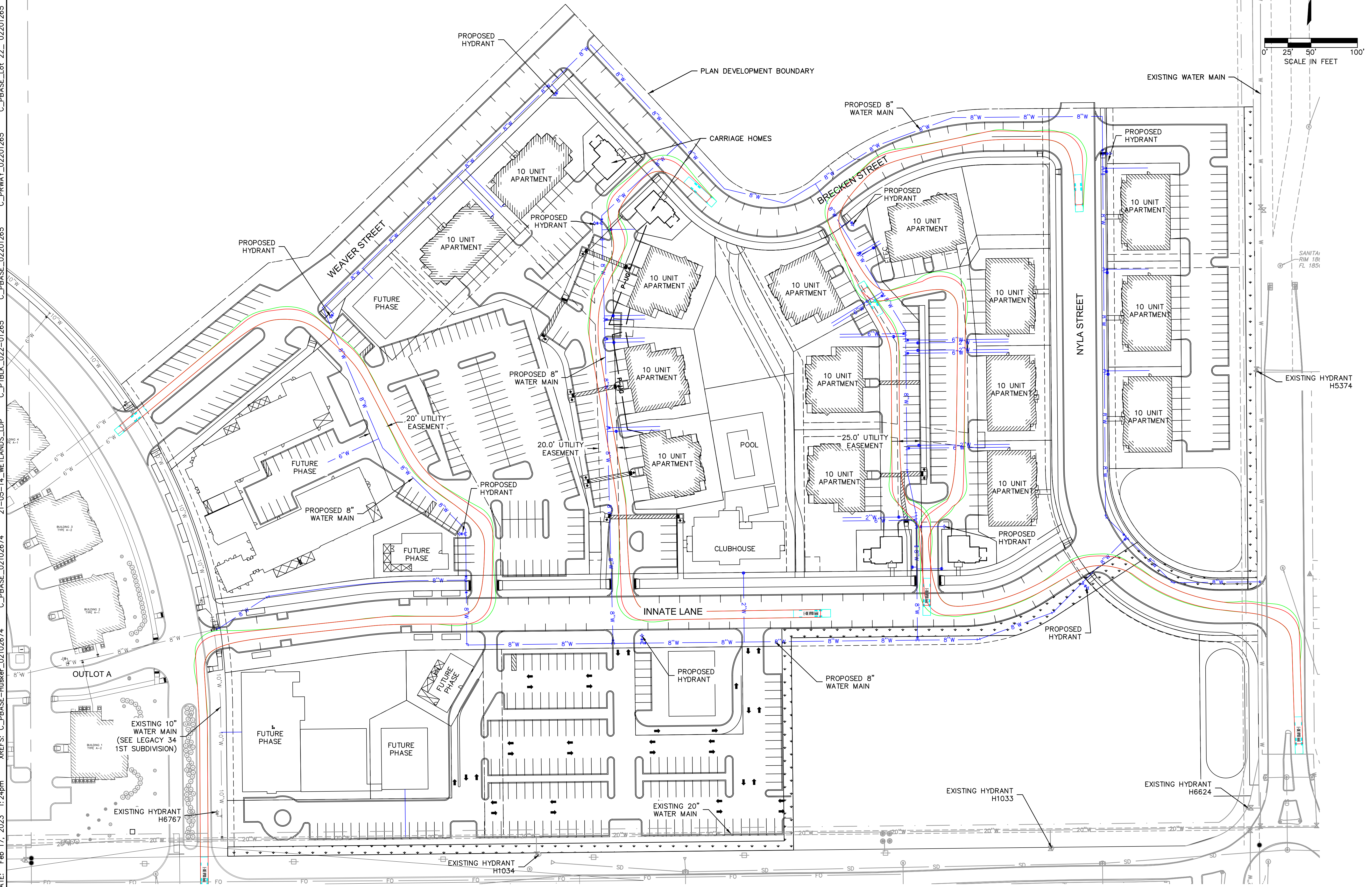
LEGACY 34 THIRD SUBDIVISION  
*ELECTRICAL PLAN*



<div><div>drawn by: _____ AST</div><div>checked by: _____</div><div>approved by: _____ MMR</div><div>QA/QC by: _____</div><div>project no.: _____ 022-01265</div><div>drawing no.: _____</div><div>date: _____ 2.17.2023</div></div>		ELECTRICAL PLAN		REV. NO.	DATE	REVISIONS DESCRIPTION
		LEGACY 34 THIRD SUBDIVISION DEVELOPMENT PLAN				
GRAND ISLAND, NEBRASKA		2023	REVISIONS			
<div><div>SHEET</div><div>4 of 6</div></div>						



LEGACY 34 THIRD SUBDIVISION  
*FIRE SERVICE PLAN*



<div>drawn by: _____ AST</div> <div>checked by: _____</div> <div>approved by: _____ MMR</div> <div>QA/QC by: _____</div> <div>project no.: _____ 022-01265</div> <div>drawing no.: _____</div> <div>date: _____ 2.17.2023</div>		<div>FIRE SERVICE/TRUCK ACCESS</div> <div>LEGACY 34 THIRD SUBDIVISION DEVELOPMENT PLAN</div> <div>GRAND ISLAND, NEBRASKA</div> <div>2023</div>		<div>REV. NO.</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>DATE</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>REVISIONS DESCRIPTION</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div>	<div>REVISIONS</div>	<div>olsson</div> <div>201 East 2nd Street Grand Island, NE 68801 TEL 308.384.8750 www.olsson.com</div>	
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# LEGACY 34 THIRD SUBDIVISION UTILITIES

## LEGEND:

- W PROPOSED WATER MAIN
- SS PROPOSED SANITARY SEWER
- P-UG PROPOSED ELECTRICAL



201 East 2nd Street  
Grand Island, NE 68801  
TEL 308.384.8750  
www.olsson.com

COMBINED UTILITIES		REVISIONS	
REV. NO.	DATE	REVISIONS DESCRIPTION	

LEGACY 34 THIRD SUBDIVISION  
DEVELOPMENT PLAN

GRAND ISLAND, NEBRASKA

drawn by: AST  
checked by: MMR  
QA/QC by: 022-01265  
drawing no.: 2.17.2023

SHEET  
6 of 6



# LEGACY 34 THIRD SUB LOTS 7, 10

EXTERIOR MATERIALS KEY:	
1	GREEN SIZE BRICK VENEER
2	BRICK VENEER SOLDIER-HEADER COURSE
3	BRICK VENEER SILL
4	SLOPED WOOD CAP
5	PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
6	1/2" VERTICAL BATTENS (PAINTED) - SIZE AS NOTED
7	FIBER CEMENT 1" EXPOSURE LAP SIDING
8	PAINTED 1/2" TRIM (SMOOTH FINISH) - SIZE AS NOTED
9	PAINTED 3/4" CAP OVER 5/8" BASE TRIM (SMOOTH FINISH)
10	PAINTED GARAGE DOOR JAMB & HEAD TRIM
11	PAINTED DECK OR PORCH COLUMN - SIZE AS NOTED
12	DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS
13	SCREEN
14	ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES
15	PRE-FINISHED ALUMINUM K-STYLE GUTTER
16	ROOF RIDGE VENT - REFER TO ROOF PLAN
17	PRE-FINISHED ALUMINUM FLASHING AT VERTICAL INTERSECTIONS & ROOF LINE VALLEY FLASH ALL VALLEYS
18	COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE
19	PAINTED FIBERGLASS OR STEEL DOOR
20	PAINTED ENTRY DOOR w/ TEMPERED GLAZING
21	OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
22	LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
23	KNOX BOX MODEL NO. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT THROATNEY & SURFACE MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
24	ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS
25	PAINTED WOOD BRACKETS

BUILDING ELEVATIONS KEY:	
A	WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)
T	DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATIONS SHEETS AND THE FLOOR PLANS
R	DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARE COMPLYING WITH ICC/ANSI A117.1 SECTIONS 308.3 AND 308.3.3. REFER TO UNIT FLOOR PLANS FOR ADDITIONAL NOTATION
V	DENOTES DRIVE VENT ON EXTERIOR WALL. IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO TECHNICAL DUPS.
RD	DENOTES RIDGE VENT

DOOR TRANSOM SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
T1	3'-0" x 1'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T2	3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T3	(2) 3'-0" x 1'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T4	(2) 3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T5	3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T6	(2) 3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING

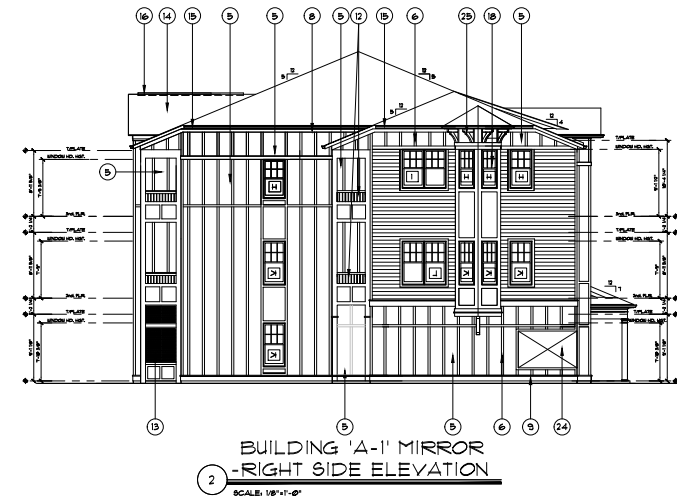
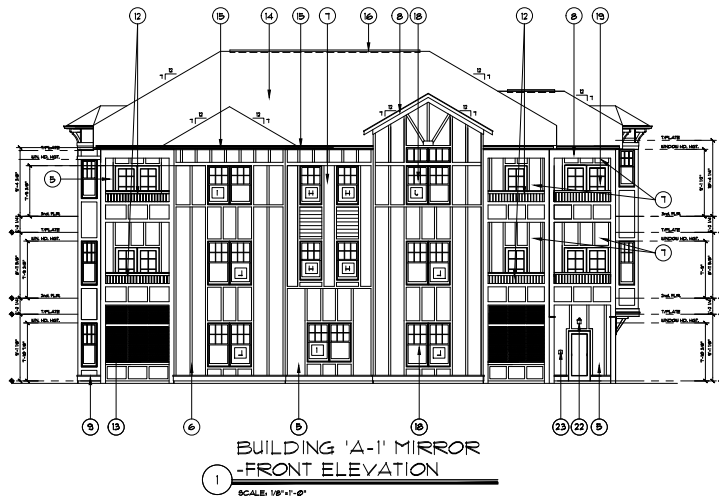
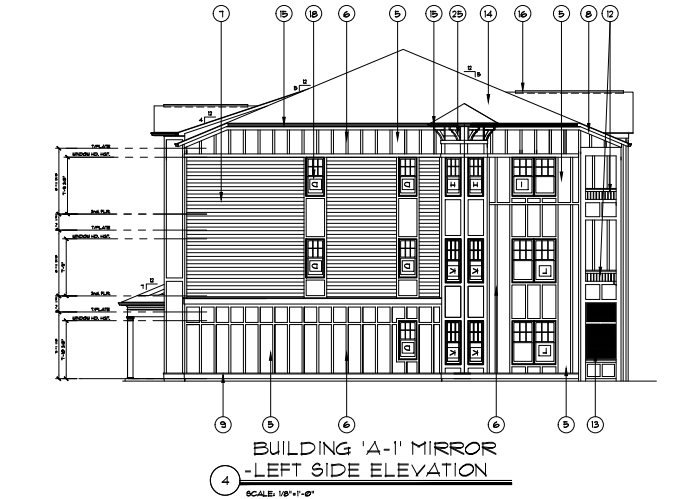
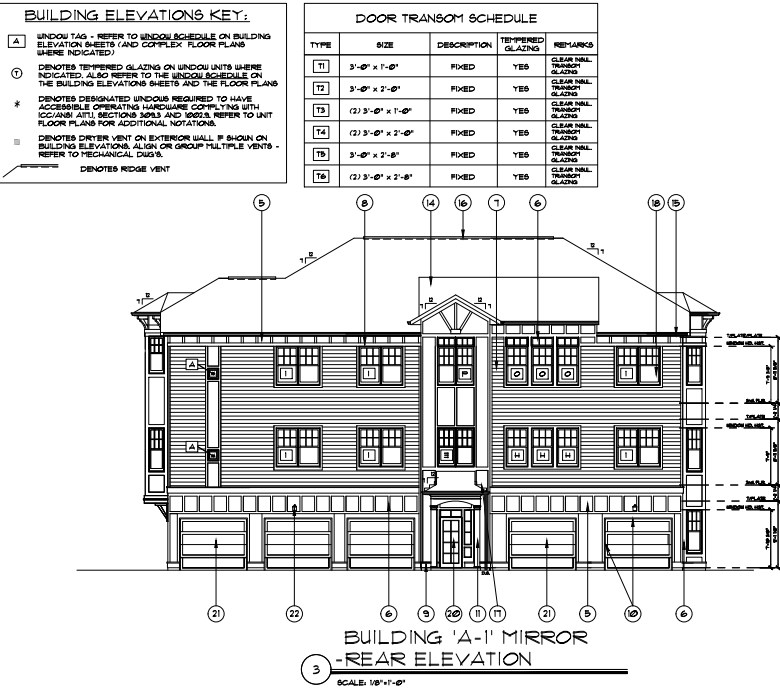
  

**NOTES:**

- ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.
- CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT II".
- PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLORS AS SELECTED BY ARCHITECT.
- PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNO.
- PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.
- FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL REARS UNLESS NOTED OTHERWISE.
- BATHROOM & CLOSET DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.
- PROVIDE 3/4" INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOW AND TRANSOM WHERE INDICATED.
- PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.
- REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES.

WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	1'-6" x 1'-6"	FIXED	*****	
B	3'-0" x 3'-0"	FIXED	*****	
C	"NOT USED"			
D	2'-6" x 3'-4"	SINGLE HUNG	YES	
E	(2) 2'-6" x 3'-4"	SINGLE HUNG	YES	
F	2'-6" x 6'-0"	SINGLE HUNG	*****	
G	"NOT USED"			
H	3'-0" x 3'-4"	SINGLE HUNG	*****	EGRESS
I	(2) 3'-0" x 3'-4"	SINGLE HUNG	*****	EGRESS
J	(2) 3'-0" x 3'-0" TRANSOM OVER (2) 3'-0" x 3'-4"	SINGLE HUNG	*****	2x6 SUB HEAD EGRESS
K	3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
L	(2) 3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
M	3'-0" x 2'-0" TRANSOM OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	2x6 SUB HEAD EGRESS
N	3'-0" x 2'-0" TRANSOM OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	2x6 SUB HEAD EGRESS

REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES



**weaver sherman design**  
architects and land planners  
6301 carrollton avenue  
Indianapolis, IN 46220  
phone 317 202 6861  
fax 317 202 6862  
email office@weaverherman.com

REVISIONS

**PRAIRIE DISTRICT  
BUILDING 'A-1' MIRROR  
BUILDING ELEVATIONS/ NOTES**

DATE: 12/22/2022  
SHEET NO.  
A301M

# LEGACY 34 THIRD SUB LOTS 6, 11

EXTERIOR MATERIALS KEY:	
1	GREEN GLASS BRICK VENEER
2	BRICK VENEER SOLDIER-HEADER COURSE
3	BRICK VENEER SILL
4	SLOPED WOOD CAP
5	PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
6	1/2" VERTICAL BATTENS (PAINTED) - SIZE AS NOTED
7	FIBER CEMENT 1" EXPOSURE LAP SIDING
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21	OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
22	LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
23	KNOX BOX MODEL NO. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT TRUCKNEY & SURFACE MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
24	ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS
25	PAINTED WOOD BRACKETS

**NOTES:**

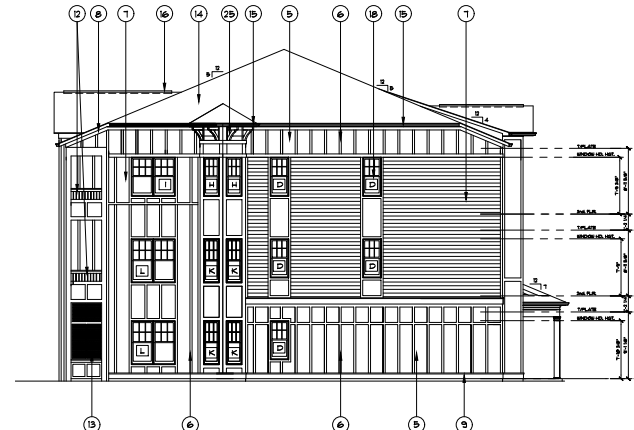
- ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.
- CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT II".
- PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLORS AS SELECTED BY ARCHITECT.
- PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNQ.
- PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.
- FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL REARS UNLESS NOTED OTHERWISE.
- BATHROOM & CLOSET DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.
- PROVIDE 1/4" INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS WHERE INDICATED.
- PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.
- REFER TO SHEET A302 FOR WINDOW AND GLAZING NOTES.

BUILDING ELEVATIONS KEY:	
A	WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)
1	DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATIONS SHEETS AND THE FLOOR PLANS
2	DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARE COMPLYING WITH ICC/ANSI A117.1 SECTIONS 309.3 AND 309.4. UNLESS REFER TO UNIT FLOOR PLANS FOR ADDITIONAL NOTATIONS.
3	DENOTES DRYER VENT ON EXTERIOR WALL. IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO MECHANICAL DRAWING
4	DENOTES RIDGE VENT

DOOR TRANSOM SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
T1	3'-0" x 1'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T2	3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T3	(2) 3'-0" x 1'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T4	(2) 3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T5	3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING
T6	(2) 3'-0" x 2'-0"	FIXED	YES	CLEAR HALL TRANSOM GLAZING



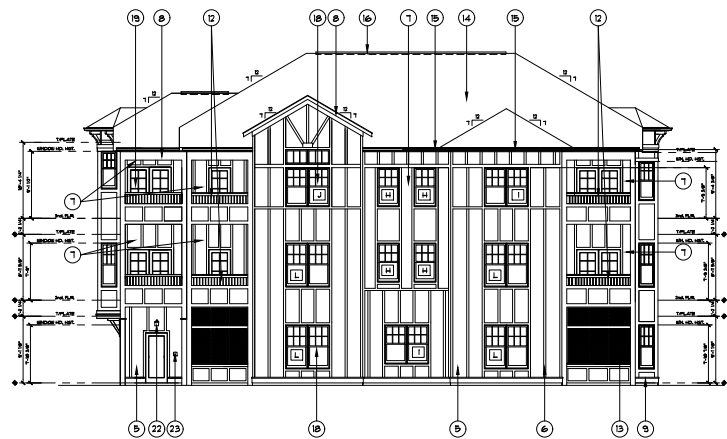
BUILDING 'A-1'  
3 - REAR ELEVATION  
SCALE: 1/8"=1'-0"



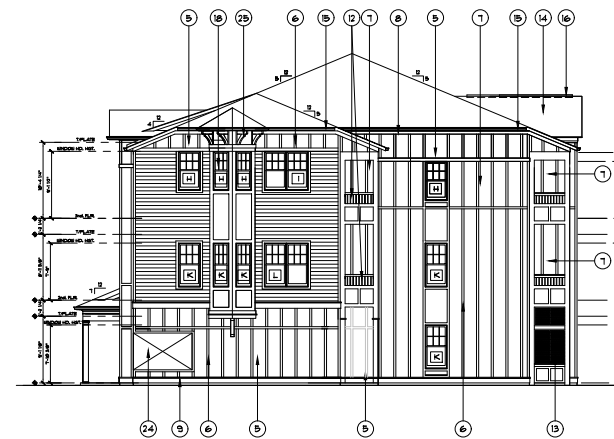
BUILDING 'A-1'  
4 - RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	1'-6" x 1'-6"	FIXED	*****	
B	3'-0" x 3'-0"	FIXED	*****	
C	"NOT USED"			
D	2'-6" x 3'-4"	SINGLE HUNG	YES	
E	(2) 2'-6" x 3'-4"	SINGLE HUNG	YES	
F	2'-6" x 6'-0"	SINGLE HUNG	*****	
G	"NOT USED"			
H	3'-0" x 5'-4"	SINGLE HUNG	*****	EGRESS
I	(2) 3'-0" x 5'-4"	SINGLE HUNG	*****	EGRESS
J	(2) 3'-0" x 3'-0" TRANSOM OVER (2) 3'-0" x 3'-4"	SINGLE HUNG	*****	2x6 SUB. HEADERS EGRESS
K	3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
L	(2) 3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
M	3'-0" x 2'-0" TRANSOM OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	2x6 SUB. HEADERS EGRESS
N	3'-0" x 2'-0" TRANSOM OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	2x6 SUB. HEADERS EGRESS

REFER TO SHEET A302 FOR WINDOW AND GLAZING NOTES



BUILDING 'A-1'  
1 - FRONT ELEVATION  
SCALE: 1/8"=1'-0"



BUILDING 'A-1'  
2 - LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



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REVISIONS

PRAIRIE DISTRICT  
BUILDING 'A-1'  
BUILDING ELEVATIONS/ NOTES

DATE: 12/22/2022  
SHEET NO.  
A301



# LEGACY 34 THIRD SUB LOTS 8, 12

## EXTERIOR MATERIALS KEY:

- 1 GREEN SIZE BRICK VENEER
- 2 BRICK VENEER SOLDIER HEADER COURSE
- 3 BRICK VENEER RILL
- 4 SLOPED WOOD CAP
- 5 PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
- 6 1/2" VERTICAL BATTENS (PAINTED) SIZE AS NOTED
- 7 FIBER CEMENT 1" EXPOSURE LAP SIDING
- 8 PAINTED 1/2" TRIM (SMOOTH FINISH) - SIZE AS NOTED
- 9 PAINTED 3/4" CAP OVER 5/8" BASE TRIM (SMOOTH FINISH)
- 10 PAINTED GARAGE DOOR JAMB 1" HEAD TRIM
- 11 PAINTED DECK OR PORCH COLUMN - SIZE AS NOTED
- 12 DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS
- 13 SCREEN
- 14 ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES
- 15 PRE-FINISHED ALUMINUM K-STYLE GUTTER
- 16 ROOF RIDGE VENT - REFER TO ROOF PLAN
- 17 PRE-FINISHED ALUMINUM FLASHING AT VERTICAL INTERSECTIONS & ROOF LINES VALLEY FLASH ALL VALLEYS
- 18 COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE
- 19 PAINTED FIBERGLASS OR STEEL DOOR
- 20 PAINTED ENTRY DOOR w/ TEMPERED GLAZING
- 21 OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
- 22 LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
- 23 KNOX BOX MODEL NO. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT TRACERAY & SURFACE MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
- 24 ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS
- 25 PAINTED WOOD BRACKETS

## NOTES:

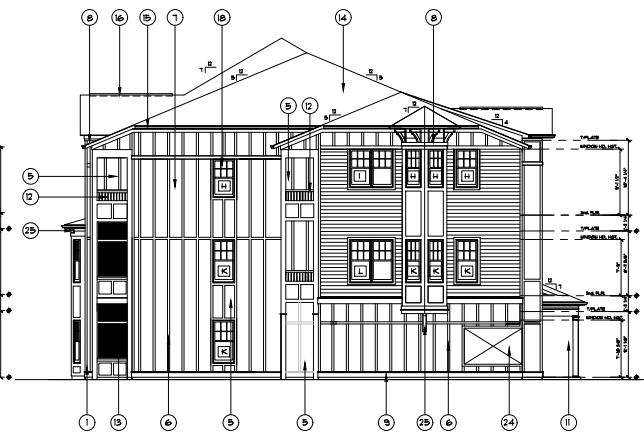
1. ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.
2. CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT II".
3. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLORS AS SELECTED BY ARCHITECT.
4. PROVIDE SMOOTH FINISH PANELS AND TRIM UNO.
5. PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.
6. FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL REARS UNLESS NOTED OTHERWISE.
7. BATHROOM & CLOSET DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.
8. PROVIDE 1/4" INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS. WHERE INDICATED.
9. PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.
10. REFER TO SHEET A302 FOR WINDOW AND GLAZING NOTES.

## BUILDING ELEVATIONS KEY:

- A WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)
- 1 DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATIONS SHEETS AND THE FLOOR PLANS
- 2 DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARES COMPLYING WITH ICC/ANSI A117.1 SECTIONS 309.3 AND 309.4. UNLESS REFER TO FLOOR PLANS FOR ADDITIONAL NOTATIONS.
- 3 DENOTES DRYER VENT ON EXTERIOR WALL. IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO MECHANICAL DRAWING
- 4 DENOTES RIDGE VENT



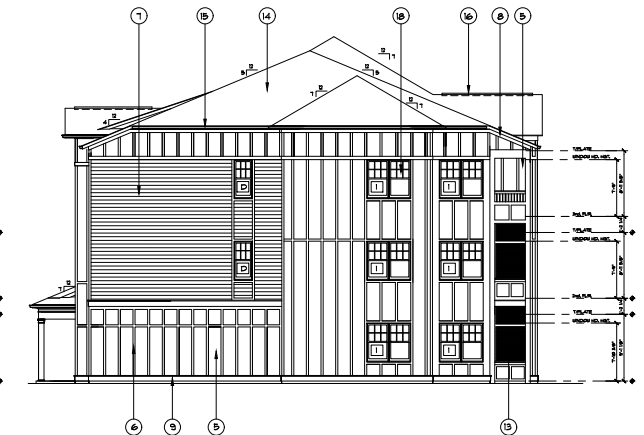
BUILDING 'A-2'  
-REAR ELEVATION  
3  
SCALE: 1/8"=1'-0"



BUILDING 'A-2'  
-RIGHT SIDE ELEVATION  
4  
SCALE: 1/8"=1'-0"



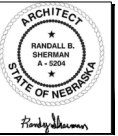
BUILDING 'A-2'  
-FRONT ELEVATION  
1  
SCALE: 1/8"=1'-0"



BUILDING 'A-2'  
-LEFT SIDE ELEVATION  
2  
SCALE: 1/8"=1'-0"

## WINDOW SCHEDULE

TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	1'-6" x 1'-6"	FIXED	*****	
B	3'-0" x 3'-0"	FIXED	*****	
C	"NOT USED"			
D	2'-6" x 5'-4"	SINGLE HUNG	YES	
E	(2) 2'-6" x 5'-4"	SINGLE HUNG	YES	
F	2'-6" x 6'-0"	SINGLE HUNG	*****	
G	"NOT USED"			
H	3'-0" x 5'-4"	SINGLE HUNG	*****	EGRESS
I	(2) 3'-0" x 5'-4"	SINGLE HUNG	*****	EGRESS
J	(2) 3'-0" x 2'-0" TRANS. OVER (2) 3'-0" x 5'-4"	SINGLE HUNG	*****	24" SUB-EGRESS
K	3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
L	(2) 3'-0" x 6'-0"	SINGLE HUNG	*****	EGRESS
M	3'-0" x 2'-0" TRANS. OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	24" SUB-EGRESS
N	3'-0" x 2'-0" TRANS. OVER 3'-0" x 6'-0"	SINGLE HUNG	*****	24" SUB-EGRESS



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## REVISIONS

PRAIRIE DISTRICT  
BUILDING 'A-2'  
BUILDING ELEVATIONS/ NOTES

DATE: 12/22/2022

SHEET NO.  
A302

EXTERIOR MATERIALS KEY:

- 1 PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
- 2 1x VERTICAL BATTENS (PAINTED) - SIZE AS NOTED
- 3 FIBER CEMENT 1" EXPOSURE LAP SIDING
- 4 PAINTED 1x TRIM (SMOOTH FINISH) - SIZE AS NOTED
- 5 PAINTED GARAGE DOOR JAMB & HEAD TRIM
- 6 PAINTED WOOD BRACKETS
- 7 DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS
- 8 ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES
- 9 PRE-FINISHED ALUMINUM K-STYLE GUTTER
- 10 ROOF RIDGE VENT - REFER TO ROOF PLAN
- 11 PRE-FINISHED ALUMINUM STANDING SEAM ROOFING w/ 12" SEAMS
- 12 COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE
- 13 PAINTED ENTRY DOOR w/ TEMPERED GLAZING
- 14 OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
- 15 LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
- 16 KNOX BOX MODEL No. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT MASONRY & SURFACE-MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
- 17 ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS

NOTES:

1. ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.

2. CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT 11".

3. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS, COLORS AS SELECTED BY ARCHITECT.

4. PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNO.

5. PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.

6. FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL SEAMS UNLESS NOTED OTHERWISE.

7. BATHROOM & CLOTHES DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.

8. PROVIDE 2x6 INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS WHERE INDICATED.

9. PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.

10. REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES.

BUILDING ELEVATIONS KEY:

A WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)

WINDOW SCHEDULE-CARRIAGE HOUSE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	2'-0" x 3'-0"	FIXED	-----	
B	2'-0" x 4'-0"	SINGLE HUNG	WHERE INDICATED	
C	2'-0" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
D	(2) 2'-0" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
E	3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS

REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES



4 CARRIAGE BUILDING - LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

3 CARRIAGE BUILDING - REAR ELEVATION  
SCALE: 1/8"=1'-0"



2 CARRIAGE BUILDING - RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



1 CARRIAGE BUILDING - FRONT ELEVATION  
SCALE: 1/8"=1'-0"

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REVISIONS

PRAIRIE DISTRICT  
CARRIAGE BUILDING  
BUILDING ELEVATIONS

DATE: 12/21/2022  
SHEET NO.  
A301



EXTERIOR MATERIALS KEY:

- 1 QUEEN SIZE BRICK VENEER
- 2 BRICK VENEER SOLDIER HEADER COURSE
- 3 BRICK VENEER SILL
- 4 SLOPED WOOD CAP
- 5 PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
- 6 1x VERTICAL BATTENS (PAINTED) - SIZE AS NOTED
- 7 FIBER CEMENT 1" EXPOSURE LAP SIDING
- 8 PAINTED 1x TRIM (SMOOTH FINISH) - SIZE AS NOTED
- 9 PAINTED 2x2 CAP OVER 5/4x8 BASE TRIM (SMOOTH FINISH)
- 10 PAINTED GARAGE DOOR JAMB & HEAD TRIM
- 11 PAINTED DECK OR PORCH COLUMN - SIZE AS NOTED
- 12 DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS
- 13 SCREEN
- 14 ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES
- 15 PRE-FINISHED ALUMINUM K-STYLE GUTTER
- 16 ROOF RIDGE VENT - REFER TO ROOF PLAN
- 17 PRE-FINISHED ALUMINUM FLASHING AT VERTICAL INTERSECTIONS w/ ROOF LINES. VALLEY FLASH ALL VALLEYS
- 18 COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE
- 19 PAINTED FIBERGLASS OR STEEL DOOR
- 20 PAINTED ENTRY DOOR w/ TEMPERED GLAZING
- 21 OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
- 22 LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
- 23 KNOX BOX MODEL No. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT MASONRY & SURFACE-MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
- 24 ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS
- 25 PAINTED WOOD BRACKETS

NOTES:

- ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.
- CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT 11".
- PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLORS AS SELECTED BY ARCHITECT.
- PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNO.
- PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.
- FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL BEAMS UNLESS NOTED OTHERWISE.
- BATHROOM & CLOTHES DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.
- PROVIDE 2x6 INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS WHERE INDICATED.
- PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.
- REFER TO SHEET A292 FOR WINDOW AND GLAZING NOTES.

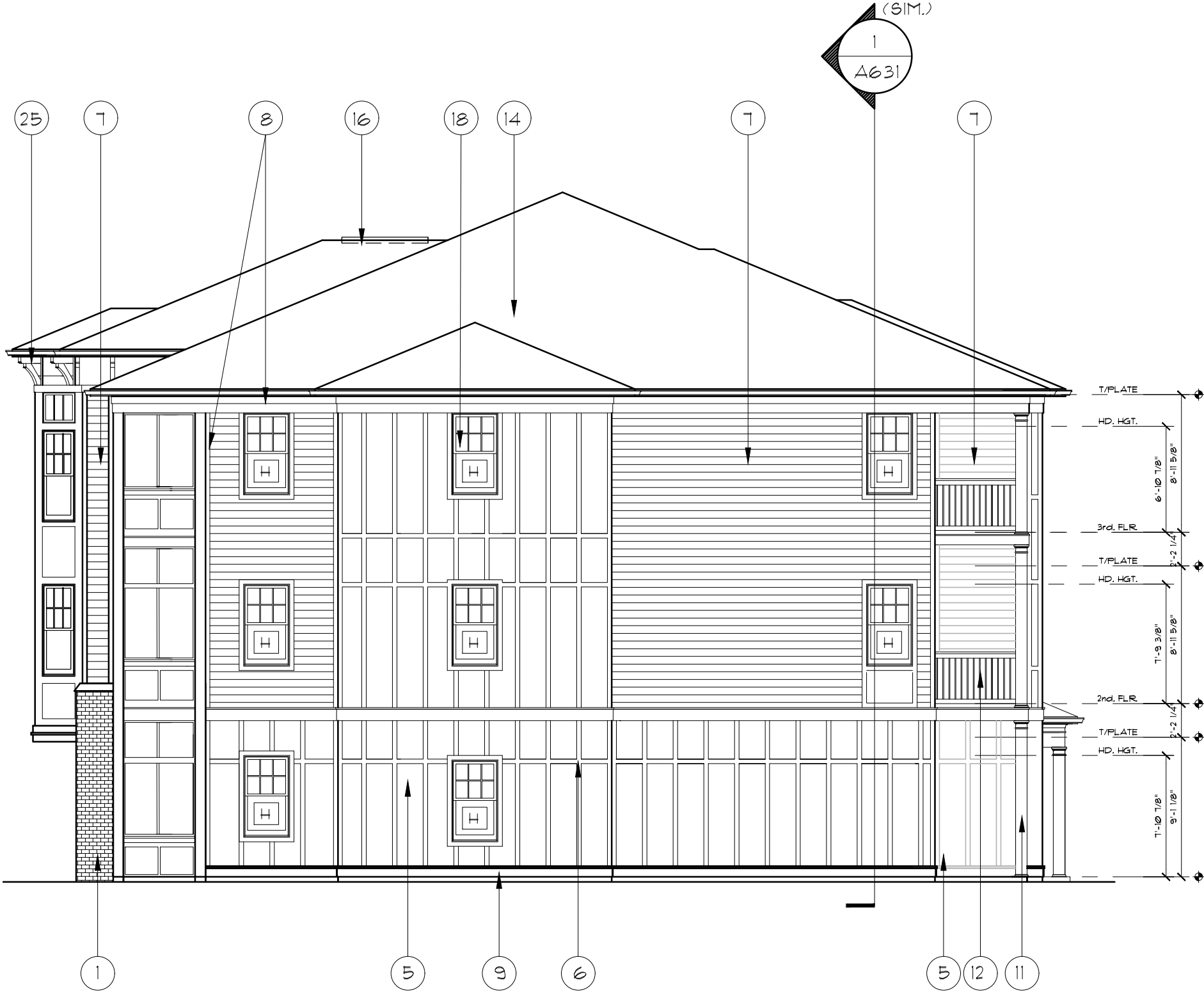
BUILDING ELEVATIONS KEY:

- A WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)
- T DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATIONS SHEETS AND THE FLOOR PLANS
- \* DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARE COMPLYING WITH ICC (ANSI) A117.1, SECTIONS 309.3 AND 1002.3. REFER TO UNIT FLOOR PLANS FOR ADDITIONAL NOTATIONS.
- DENOTES DRYER VENT ON EXTERIOR WALL. IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO MECHANICAL DUG'S.
- DENOTES RIDGE VENT



BUILDING 'B'  
-REAR ELEVATION

SCALE: 1/8"=1'-0"



BUILDING 'B'  
-RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



BUILDING 'B'  
-FRONT ELEVATION

SCALE: 1/8"=1'-0"



BUILDING 'B'  
-LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	1'-6" x 1'-6"	FIXED	-----	
B	3'-0" x 3'-0"	FIXED	-----	
C	"NOT USED"			
D	2'-6" x 5'-4"	SINGLE HUNG	YES	
E	(2) 2'-6" x 5'-4"	SINGLE HUNG	YES	
F	2'-6" x 6'-0"	SINGLE HUNG	-----	
G	"NOT USED"			
H	3'-0" x 5'-4"	SINGLE HUNG	-----	EGRESS
I	(2) 3'-0" x 5'-4"	SINGLE HUNG	-----	EGRESS
J	(2) 3'-0" x 2'-0" TRAN. OVER (2) 3'-0" x 5'-4"	SINGLE HUNG	-----	2x6 SUB-HEADER EGRESS
K	3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
L	(2) 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
M	3'-0" x 2'-0" TRAN. OVER 3'-0" x 6'-0"	SINGLE HUNG	-----	2x6 SUB-HEADER EGRESS
N	3'-0" x 2'-0" TRAN. OVER 3'-0" x 6'-0"	SINGLE HUNG	-----	2x6 SUB-HEADER EGRESS



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REVISIONS
REVISION #1 12/17/21

LEGACY 34  
BUILDING 'B'

BUILDING ELEVATIONS/ NOTES

DATE: 11/05/21

SHEET NO.  
A303



LEGACY 34 THIRD SUB  
LOT 2,3

EXTERIOR MATERIALS KEY:

1

QUEEN SIZE BRICK VENEER

2

BRICK VENEER SOLDIER HEADER COURSE

3

CUT LIMESTONE OR CAST STONE SILL

4

SCREENED PATIO OR SCREENED DECK

5

CUT LIMESTONE OR CAST STONE BELT COURSE

6

(OMIT)

7

(OMIT)

8

PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)

9

1x VERTICAL BATTENS (PAINTED) SIZE AS NOTED

10

FIBER CEMENT 1" EXPOSURE LAP SIDING

11

PAINTED 1x TRIM (SMOOTH FINISH) - SIZE AS NOTED

12

PAINTED 2x2 CAP OVER 5/4x8 BASE TRIM (SMOOTH FINISH)

13

PAINTED GARAGE DOOR JAMB & HEAD TRIM

14

PAINTED DECK OR PORCH COLUMN - SIZE AS NOTED

15

DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS

16

PAINTED WOOD BRACKETS

17

ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES

18

PRE-FINISHED ALUMINUM K-STYLE GUTTER

19

ROOF RIDGE VENT - REFER TO ROOF PLAN

20

PRE-FINISHED ALUMINUM FLASHING AT VERTICAL INTERSECTIONS w/ ROOF LINES. VALLEY FLASH ALL VALLEYS

21

COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE

22

PAINTED FIBERGLASS OR STEEL DOOR

23

PAINTED ENTRY DOOR w/ TEMPERED GLAZING

24

OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATIONS

25

LIGHT FIXTURE - REFER TO ELECT. DRAWINGS

26

KNOX BOX MODEL No. AS DIRECTED BY LOCAL FIRE DEPARTMENT. PROVIDE RECESSED MODEL AT MASONRY & SURFACE-MOUNT MODEL AT OTHER AREAS. CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING.

27

ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS

NOTES:

1. ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL. PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.

2. CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT 1".

3. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS. COLORS AS SELECTED BY ARCHITECT.

4. PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNO.

5. PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS. REFER TO THE ELECTRICAL DRAWINGS.

6. FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL SEAMS UNLESS NOTED OTHERWISE.

7. BATHROOM & CLOTHES DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS & BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.

8. PROVIDE 2x6 INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS WHERE INDICATED.

9. PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.

10. REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES.

WINDOW SCHEDULE-BUILDING 'D', 'D-ALT' & 'E'				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	2'-0" x 4'-0"	SINGLE HUNG	-----	
B	2'-0" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
C	(2) 2'-6" x 5'-0"	SINGLE HUNG	YES	
D	(3) 2'-6" x 6'-0"	SINGLE HUNG	-----	
E	3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
F	(2) 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
G	(2) 3'-0" x 2'-0" TRAN. OVER 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS 2x4 SUB-HEADER
H	3'-0" x 2'-0" TRAN. OVER 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS 2x4 SUB-HEADER
I	(2) 3'-0" x 2'-0" TRAN. OVER 2'-0" x 5'-2"	SINGLE HUNG	-----	EGRESS 2x4 SUB-HEADER
J	2'-0" x 2'-0" TRAN. OVER 3'-0" x 5'-2"	SINGLE HUNG	-----	EGRESS 2x4 SUB-HEADER
K	(2) 2'-6" x 4'-0"	SINGLE HUNG	YES	
L	2'-6" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
M	2'-6" x 2'-0" TRAN. 2'-6" x 5'-0"	SINGLE HUNG	-----	2x4 SUB-HEADER
REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES				

BUILDING ELEVATIONS KEY:

A

WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)

1

DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATIONS SHEETS AND THE FLOOR PLANS

\*

DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARE COMPLYING WITH ICC/ANSI A117.1, SECTIONS 309.3 AND 1002.3. REFER TO UNIT FLOOR PLANS FOR ADDITIONAL NOTATIONS.

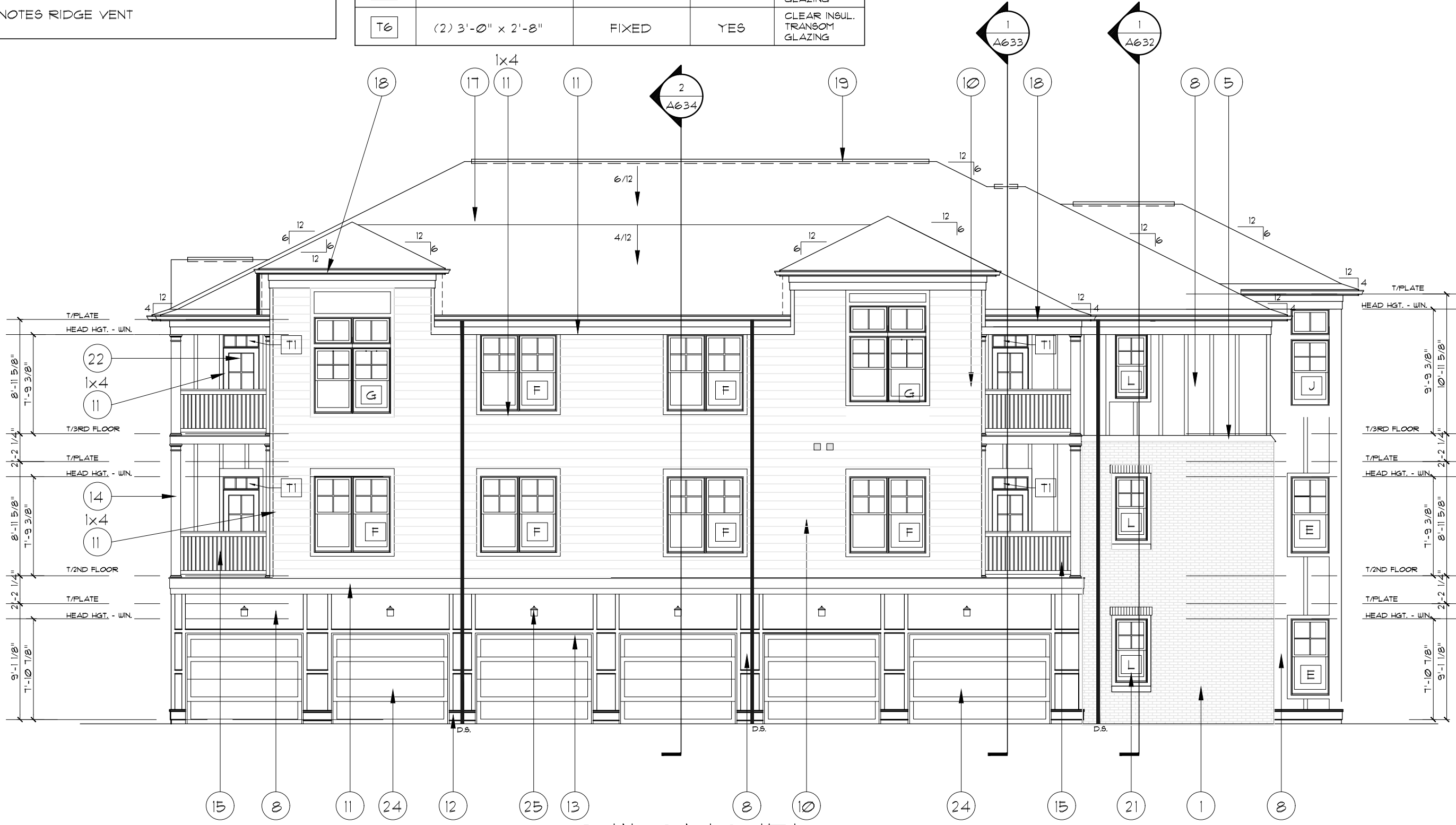
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DENOTES DRYER VENT ON EXTERIOR WALL. IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO MECHANICAL DUGS.

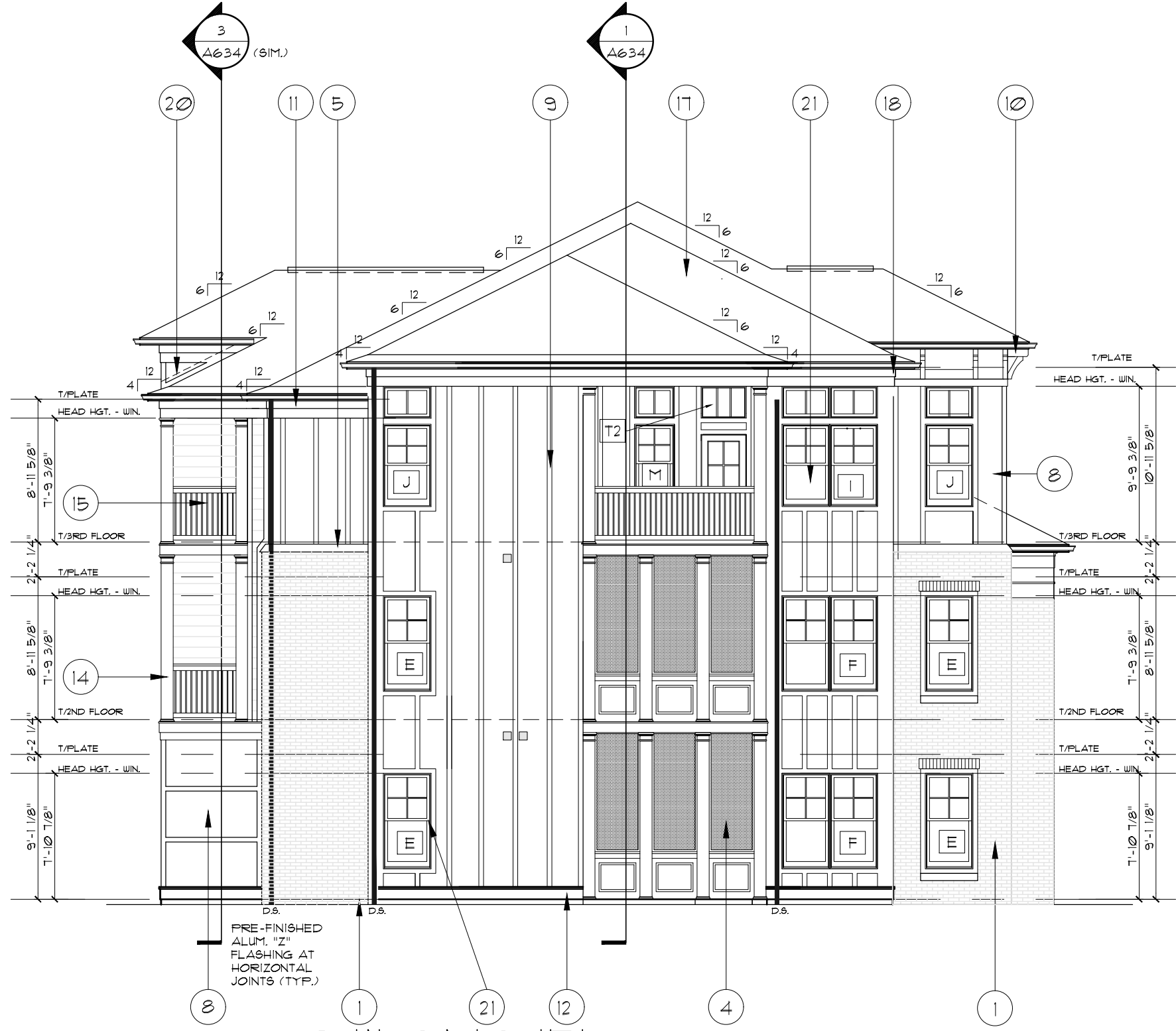
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DENOTES RIDGE VENT

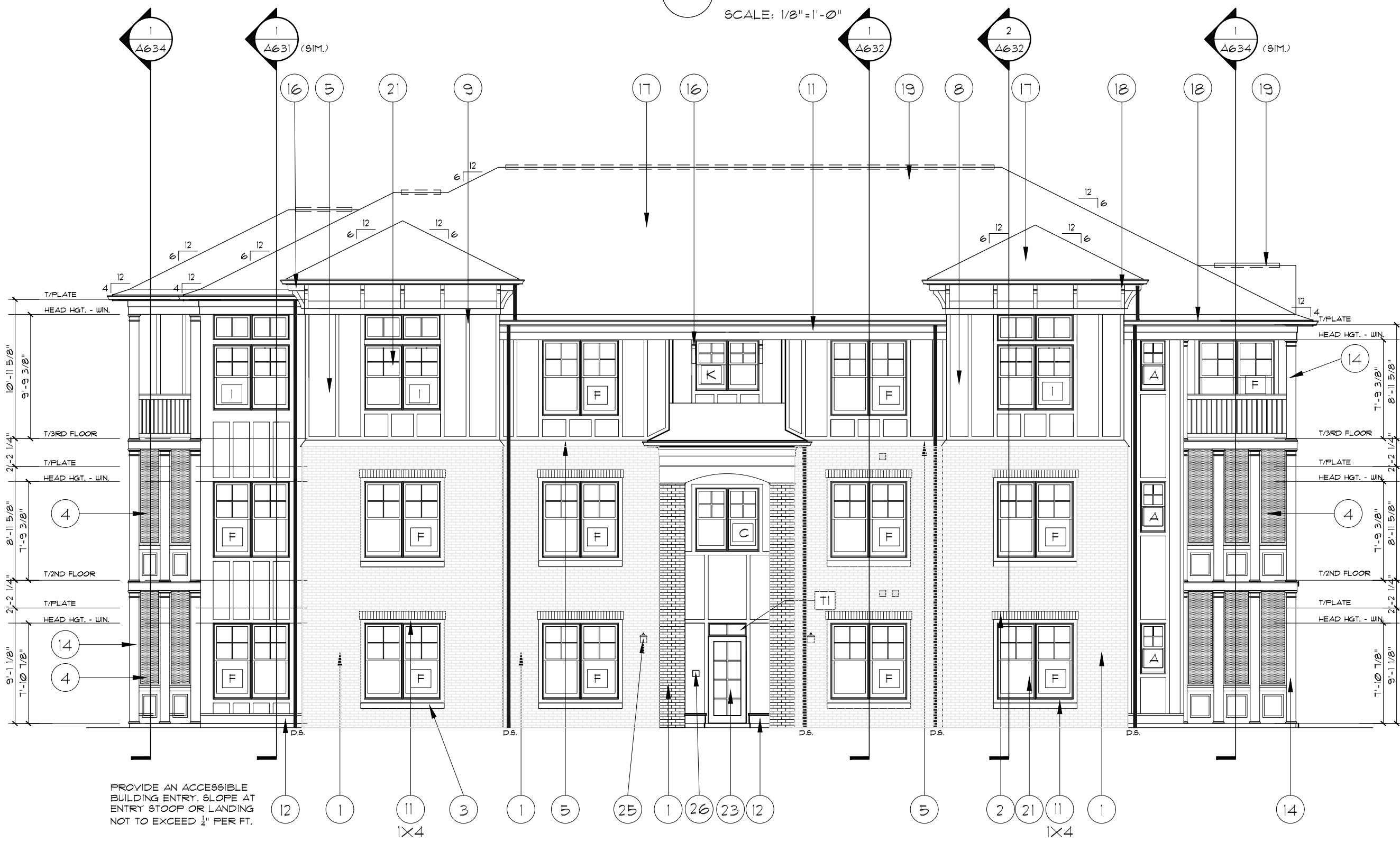
DOOR TRANSOM SCHEDULE				
TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
T1	3'-0" x 1'-0"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING
T2	3'-0" x 2'-0"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING
T3	(2) 3'-0" x 1'-0"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING
T4	(2) 3'-0" x 2'-0"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING
T5	3'-0" x 2'-8"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING
T6	(2) 3'-0" x 2'-8"	FIXED	YES	CLEAR INSUL. TRANSOM GLAZING



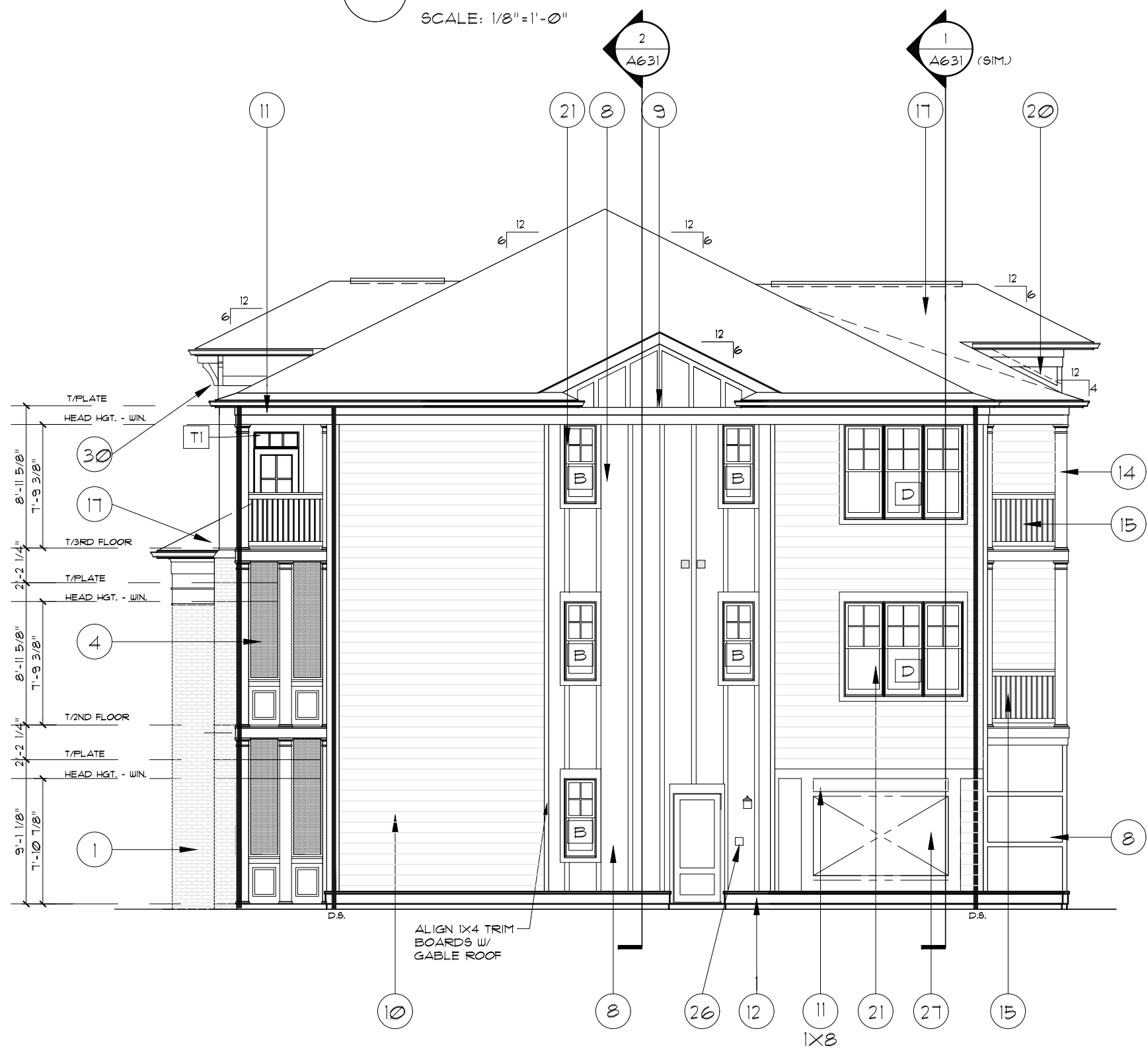
BUILDING 'E'  
-REAR ELEVATION  
SCALE: 1/8"=1'-0"



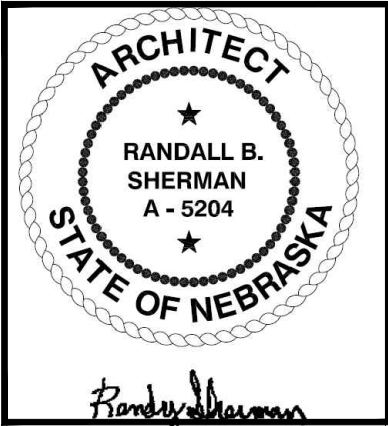
BUILDING 'E'  
-LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



BUILDING 'E'  
-FRONT ELEVATION  
SCALE: 1/8"=1'-0"



BUILDING 'E'  
-RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



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REVISIONS

LEGACY 34  
BUILDING 'E'

BUILDING ELEVATIONS

DATE: 03/25/22

SHEET NO.  
A303



LEGACY 34 THIRD SUB  
LOT 15, 16, 17, 19, 20, 21

EXTERIOR MATERIALS KEY:

- QUEEN SIZE BRICK VENEER
- BRICK VENEER SOLDIER HEADER COURSE
- CUT LIMESTONE OR CAST STONE SILL
- SCREENED PATIO OR SCREENED DECK
- CUT LIMESTONE OR CAST STONE BELT COURSE
- (OMIT)
- (OMIT)
- PAINTED FIBER CEMENT SIDING PANEL (SMOOTH FINISH)
- 1x VERTICAL BATTENS (PAINTED) SIZE AS NOTED
- FIBER CEMENT 1" EXPOSURE LAP SIDING
- PAINTED 1x TRIM (SMOOTH FINISH) - SIZE AS NOTED
- PAINTED 2x2 CAP OVER 5/4x8 BASE TRIM (SMOOTH FINISH)
- PAINTED GARAGE DOOR JAMB 4 HEAD TRIM
- PAINTED DECK OR PORCH COLUMN - SIZE AS NOTED
- DECK GUARDRAIL SYSTEM - REFER TO WALL SECTIONS
- PAINTED WOOD BRACKETS
- ARCHITECTURAL TAB DIMENSIONAL ROOF SHINGLES
- PRE-FINISHED ALUMINUM K-STYLE GUTTER
- ROOF RIDGE VENT - REFER TO ROOF PLAN
- PRE-FINISHED ALUMINUM FLASHING AT VERTICAL INTERSECTIONS w/ ROOF LINES, VALLEY FLASH ALL VALLEYS
- COMPOSITE WINDOW - REFER TO WINDOW SCHEDULE
- PAINTED FIBERGLASS OR STEEL DOOR
- PAINTED ENTRY DOOR w/ TEMPERED GLAZING
- OVERHEAD GARAGE DOOR - PROVIDE LITES WHERE INDICATED ON BUILDING ELEVATION DRAWINGS
- LIGHT FIXTURE - REFER TO ELECT. DRAWINGS
- KNOX BOX MODEL No. A9 DIRECTED BY LOCAL FIRE DEPARTMENT, PROVIDE RECESSED MODEL AT MASONRY & SURFACE-MOUNT MODEL AT OTHER AREAS, CONFIRM EXACT PLACEMENT & LOCATION OF KNOX BOX PRIOR TO INSTALLATION ON BUILDING
- ELECTRIC METER BASE - REFER TO ELECTRICAL DRAWINGS

NOTES:

- ROOFING SHINGLES SHALL BE ARCHITECTURAL TAB DIMENSIONAL, PROVIDE ICE AND WATER SHIELD AT ALL VALLEY LOCATIONS.
- CONTINUOUS RIDGE VENTS SHALL BE EQUAL TO "SHINGLE VENT 1".
- PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS, COLORS AS SELECTED BY ARCHITECT.
- PROVIDE SMOOTH FINISH SIDING PANELS AND TRIM UNO.
- PATIO LIGHTING TYPICALLY IS NOT INDICATED ON THE BUILDING ELEVATIONS, REFER TO THE ELECTRICAL DRAWINGS.
- FURNISH & INSTALL PRE-FINISHED ALUMINUM Z-FLASHING AT FIBER CEMENT PANEL SEAMS UNLESS NOTED OTHERWISE.
- BATHROOM & CLOTHES DRYER EXHAUST VENT OUTLETS SHALL BE LOCATED ON EXTERIOR WALLS AND BE PLACED NO CLOSER THAN 3 FEET FROM ANY DOOR OR WINDOW OPENING.
- PROVIDE 2x6 INTERMEDIATE HEADER w/ EXTERIOR TRIM BETWEEN WINDOWS AND TRANSOMS WHERE INDICATED.
- PROVIDE WINDOW AND TRANSOM GRIDS WHERE INDICATED ON BUILDING ELEVATIONS.
- REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES.

WINDOW SCHEDULE-BUILDING 'D', 'D-ALT' & 'E'

TYPE	SIZE	DESCRIPTION	TEMPERED GLAZING	REMARKS
A	2'-0" x 4'-0"	SINGLE HUNG	-----	
B	2'-0" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
C	(2) 2'-6" x 5'-0"	SINGLE HUNG	YES	
D	(3) 2'-6" x 6'-0"	SINGLE HUNG	-----	
E	3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
F	(2) 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS
G	(2) 3'-0" x 2'-0" TRAN. OVER (2) 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS - 2x4 SUB-HEADER
H	3'-0" x 2'-0" TRAN. OVER 3'-0" x 6'-0"	SINGLE HUNG	-----	EGRESS - 2x4 SUB-HEADER
I	(2) 3'-0" x 2'-0" TRAN. OVER (2) 3'-0" x 5'-2"	SINGLE HUNG	-----	EGRESS - 2x4 SUB-HEADER
J	3'-0" x 2'-0" TRAN. OVER 3'-0" x 5'-2"	SINGLE HUNG	-----	EGRESS - 2x4 SUB-HEADER
K	(2) 2'-6" x 4'-0"	SINGLE HUNG	YES	
L	2'-6" x 5'-0"	SINGLE HUNG	WHERE INDICATED	
M	2'-6" x 2'-0" TRAN. 2'-6" x 5'-0"	SINGLE HUNG	-----	2x4 SUB-HEADER

REFER TO SHEET A252 FOR WINDOW AND GLAZING NOTES

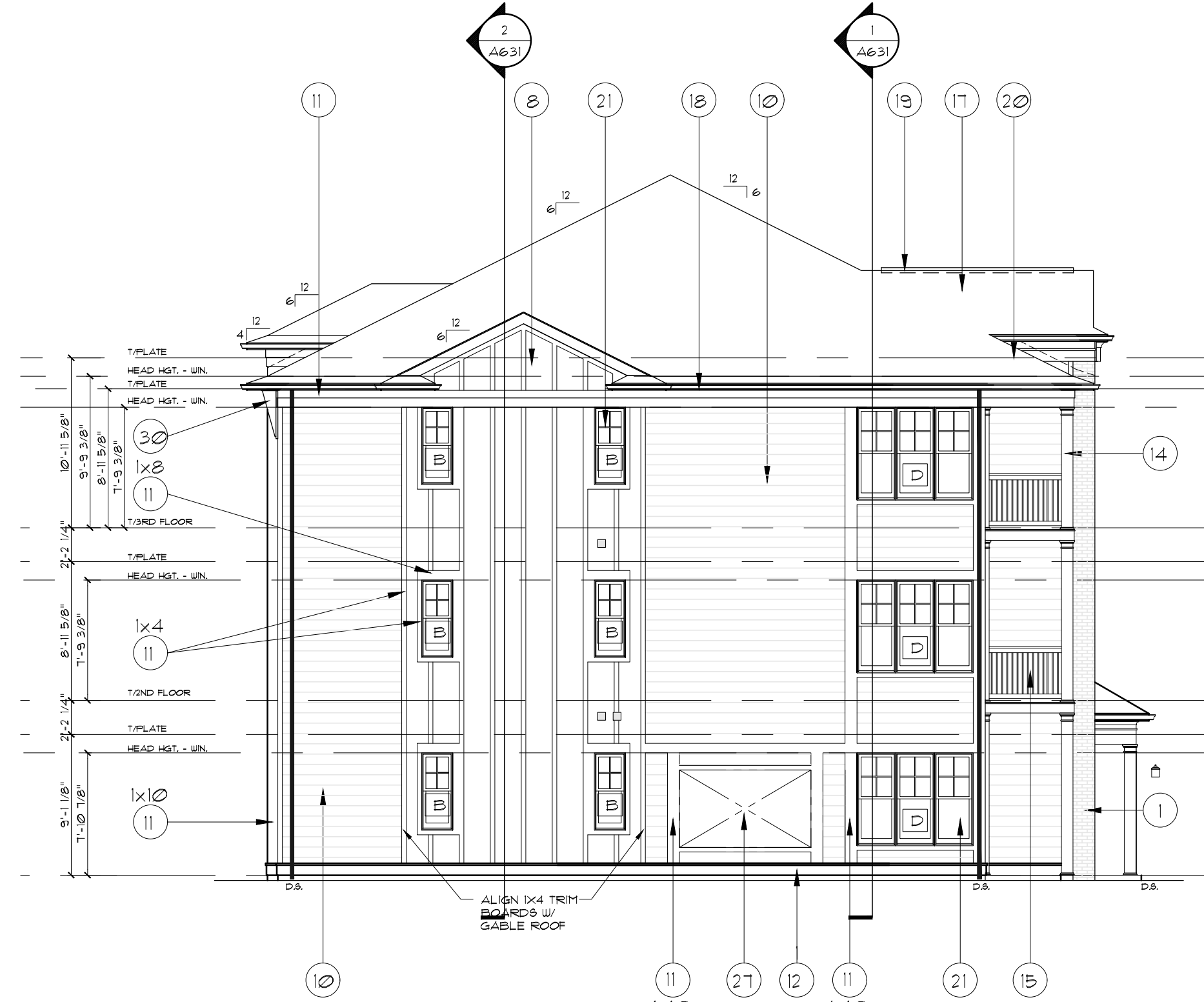
BUILDING ELEVATIONS KEY:

- A WINDOW TAG - REFER TO WINDOW SCHEDULE ON BUILDING ELEVATION SHEETS (AND COMPLEX FLOOR PLANS WHERE INDICATED)
- ① DENOTES TEMPERED GLAZING ON WINDOW UNITS WHERE INDICATED. ALSO REFER TO THE WINDOW SCHEDULE ON THE BUILDING ELEVATION SHEETS AND THE FLOOR PLANS
- \* DENOTES DESIGNATED WINDOWS REQUIRED TO HAVE ACCESSIBLE OPERATING HARDWARE COMPLYING WITH (C.C./ANS) A117.1, SECTIONS 309.3 AND 1002.3, REFER TO UNIT FLOOR PLANS FOR ADDITIONAL NOTATIONS.
- DENOTES DRYER VENT ON EXTERIOR WALL IF SHOWN ON BUILDING ELEVATIONS, ALIGN OR GROUP MULTIPLE VENTS - REFER TO MECHANICAL DUGS.
- DENOTES RIDGE VENT



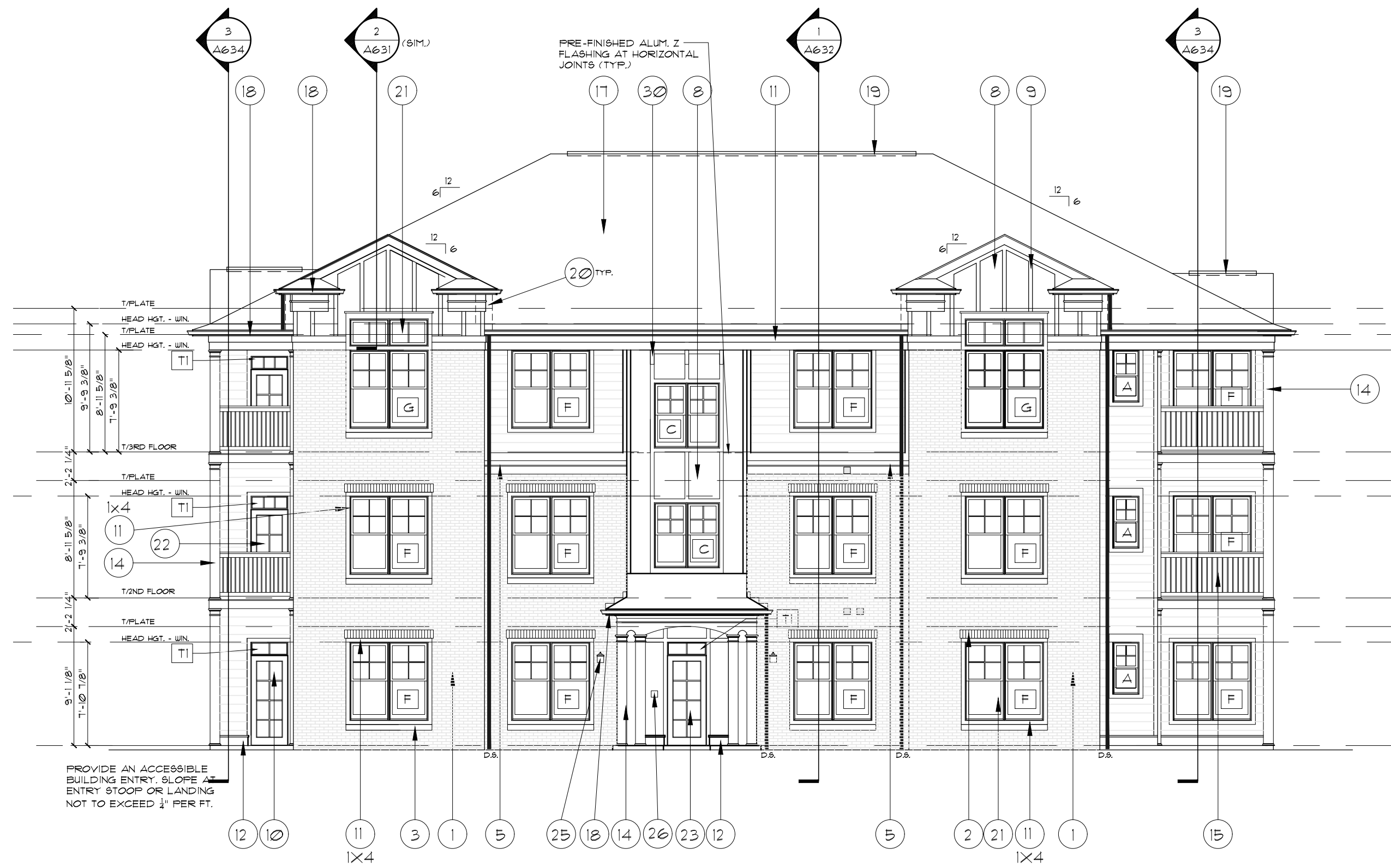
BUILDING 'D'  
-REAR ELEVATION

SCALE: 1/8"=1'-0"



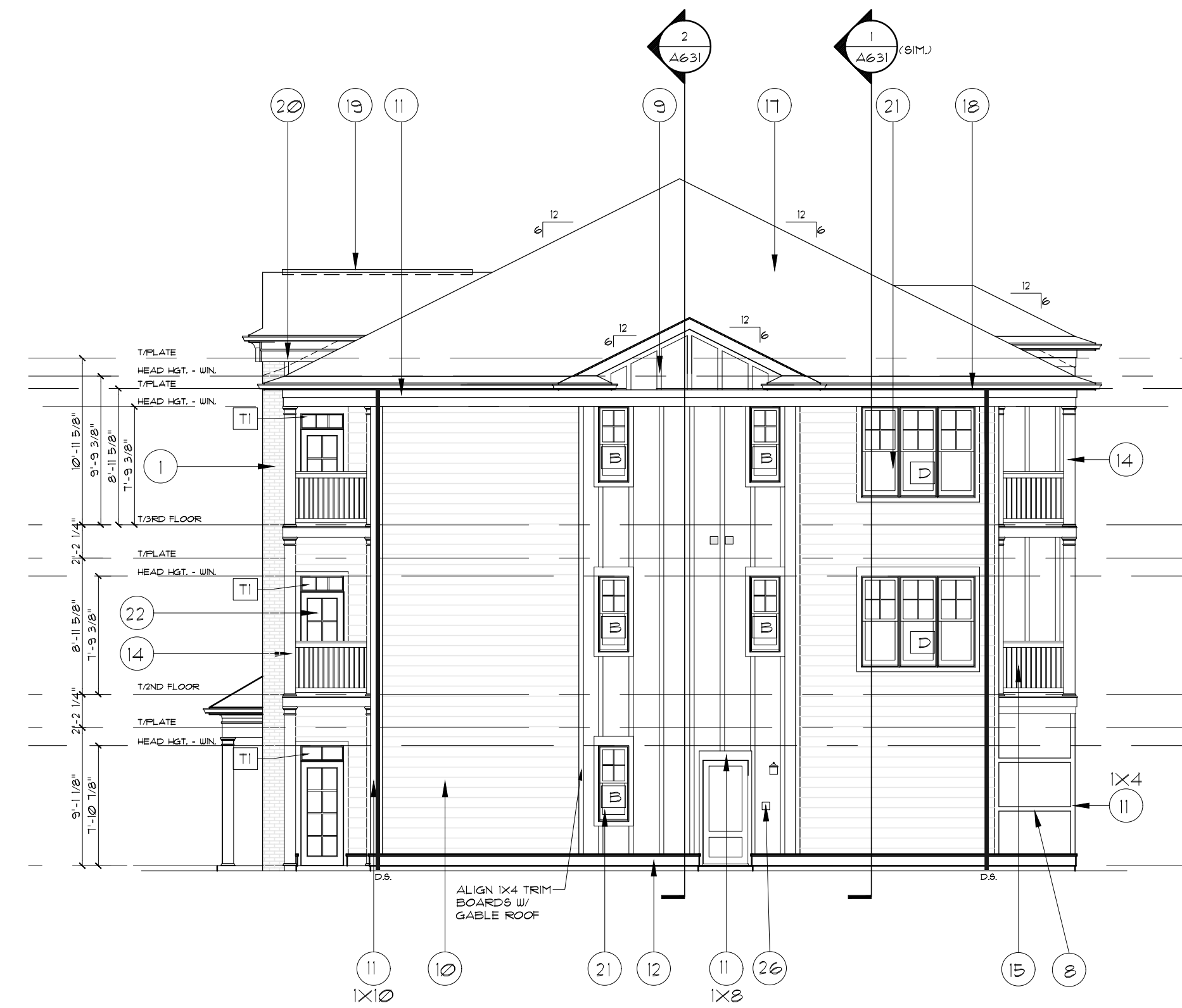
BUILDING 'D'  
-LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



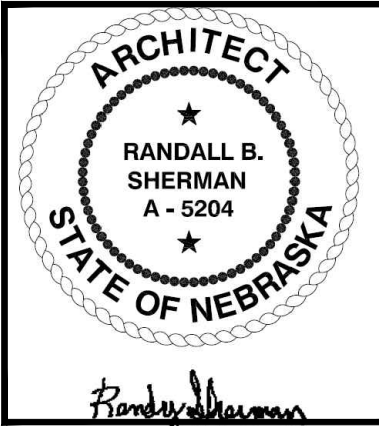
BUILDING 'D'  
-FRONT ELEVATION

SCALE: 1/8"=1'-0"



BUILDING 'D'  
-RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



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REVISIONS

LEGACY 34

BUILDING 'D'

BUILDING ELEVATIONS

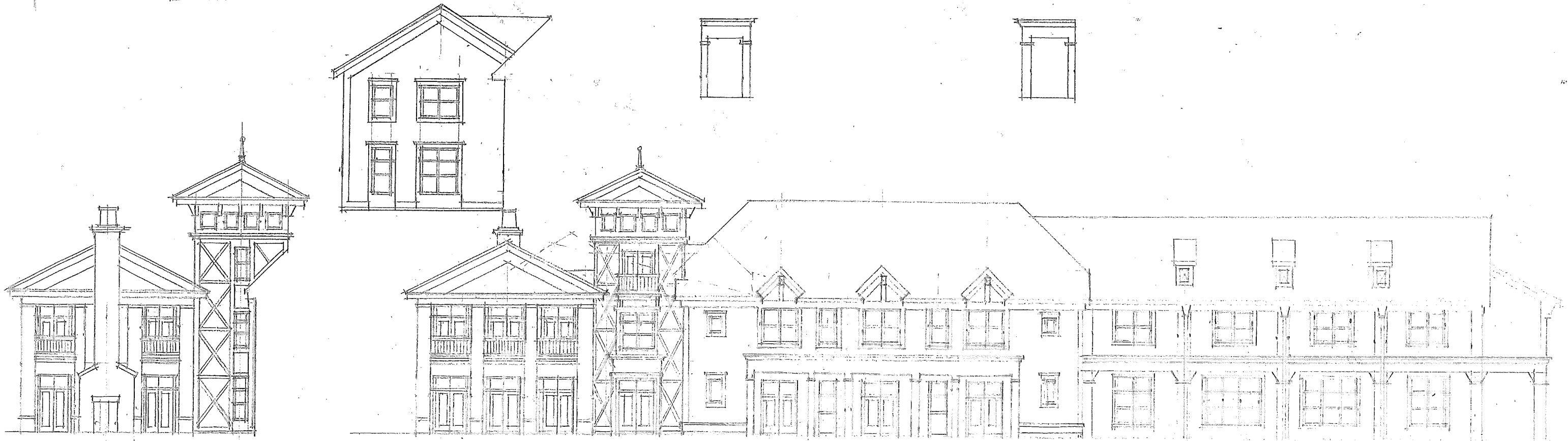
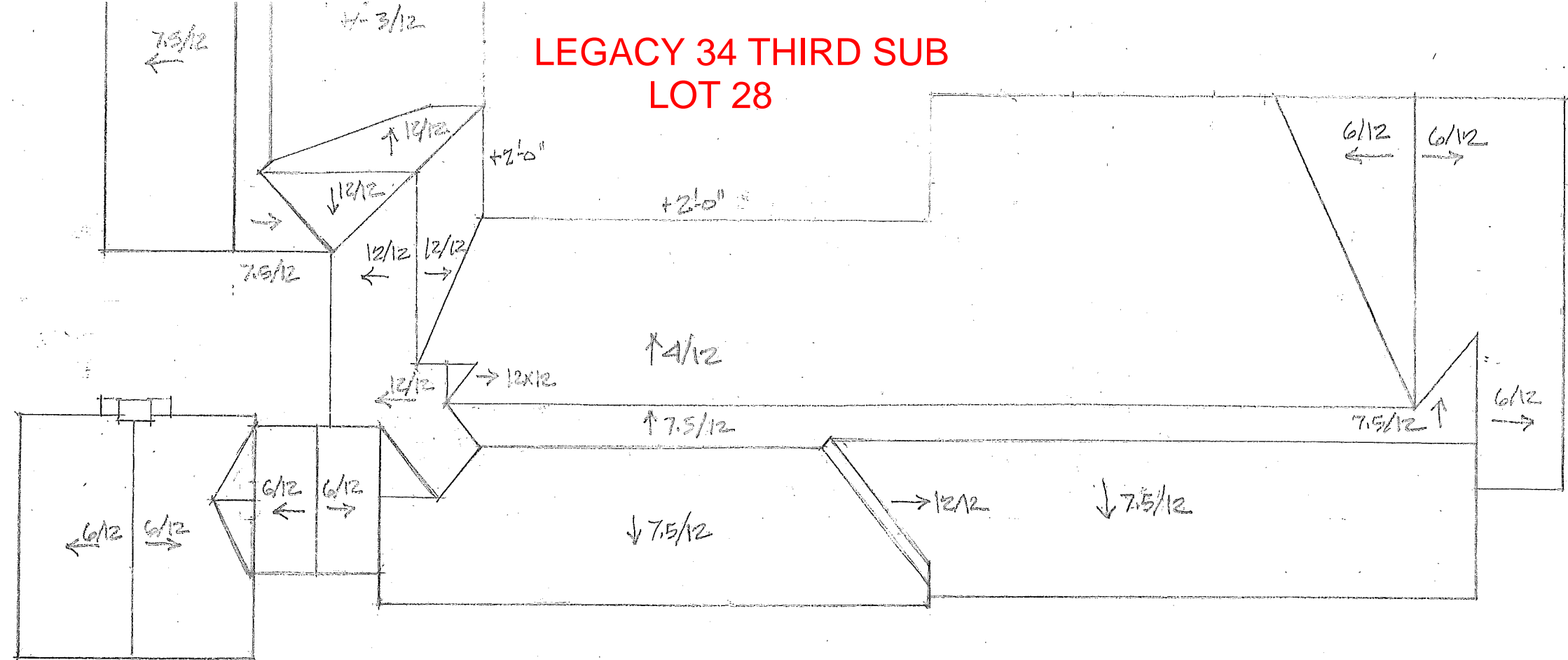
DATE: 03/25/22

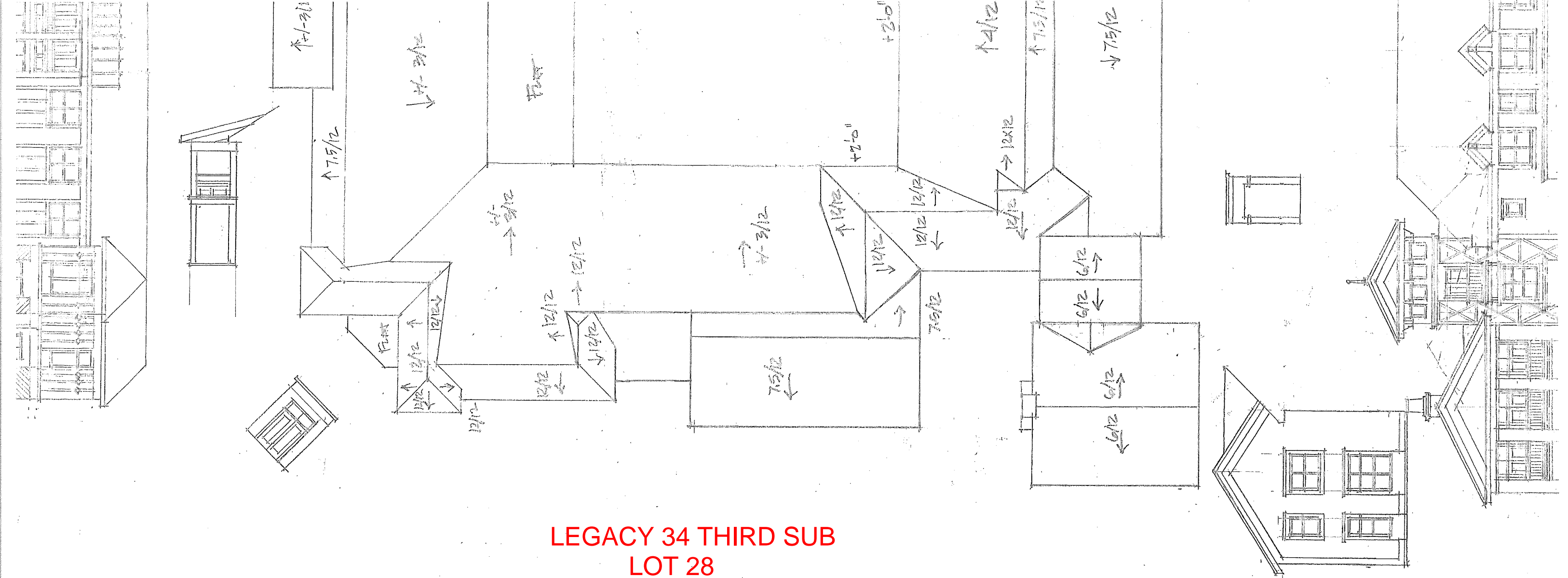
SHEET NO.

A301



LEGACY 34 THIRD SUB  
LOT 28





LEGACY 34 THIRD SUB  
LOT 28



LEGACY 34 THIRD SUB  
LOT 28

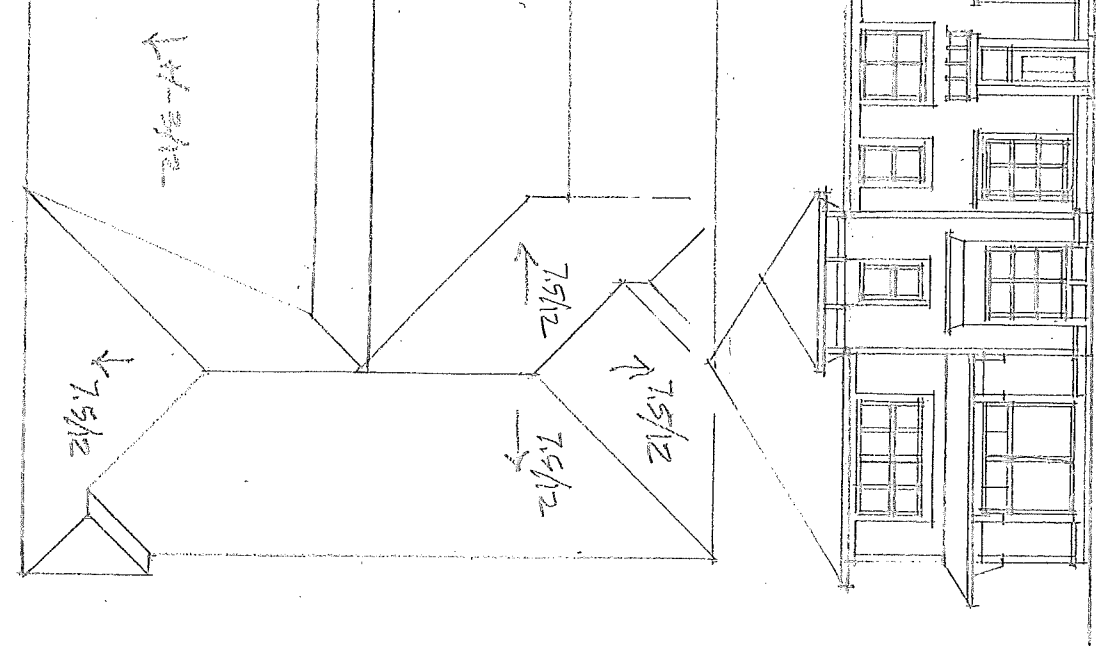
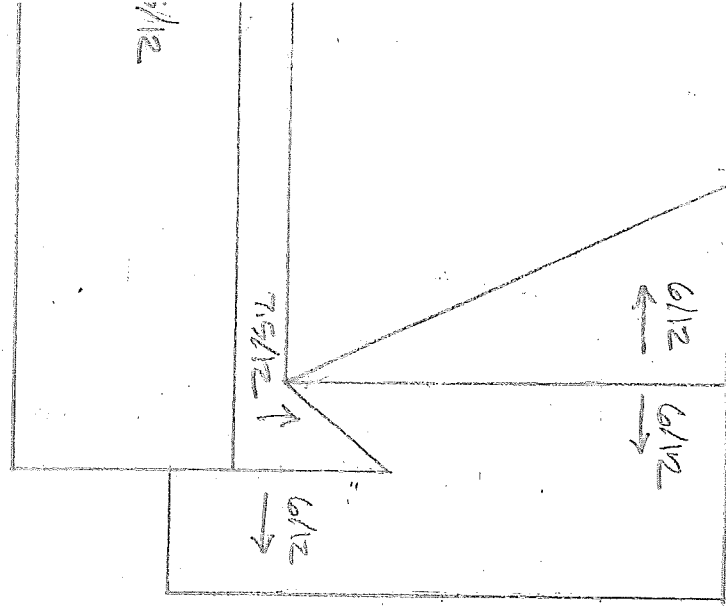
The site plan shows a large rectangular lot with a central horizontal strip and a vertical strip on the right. Dimensions and bearings are noted throughout. A building footprint is shown on the right, and a detailed elevation of the building is at the bottom.

Key features and dimensions:

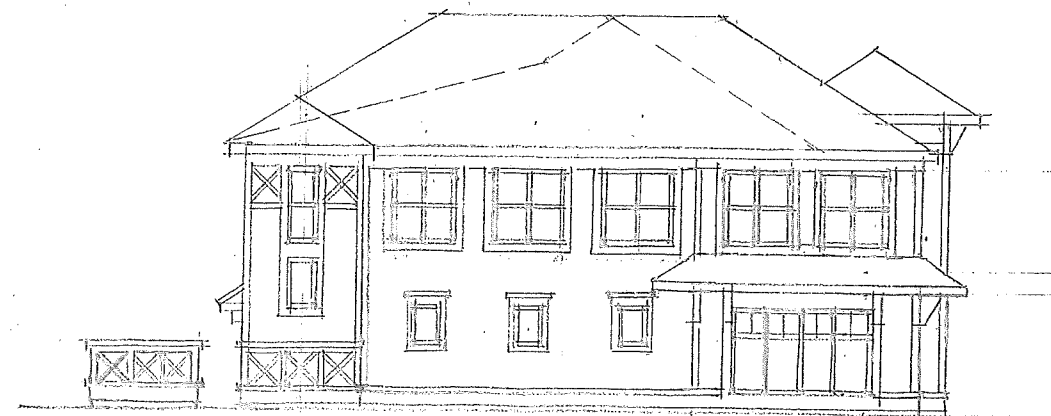
- Top left corner:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Top center:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Top right:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Center horizontal strip:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Center vertical strip:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Right side:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Bottom left:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Bottom center:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).
- Bottom right:  $2\frac{1}{2}/12$  (bearing),  $7\frac{5}{12}$  (dimension).

The building elevation shows a two-story structure with a central entrance, multiple windows, and a gabled roof. The building is oriented horizontally, matching the orientation of the lot.

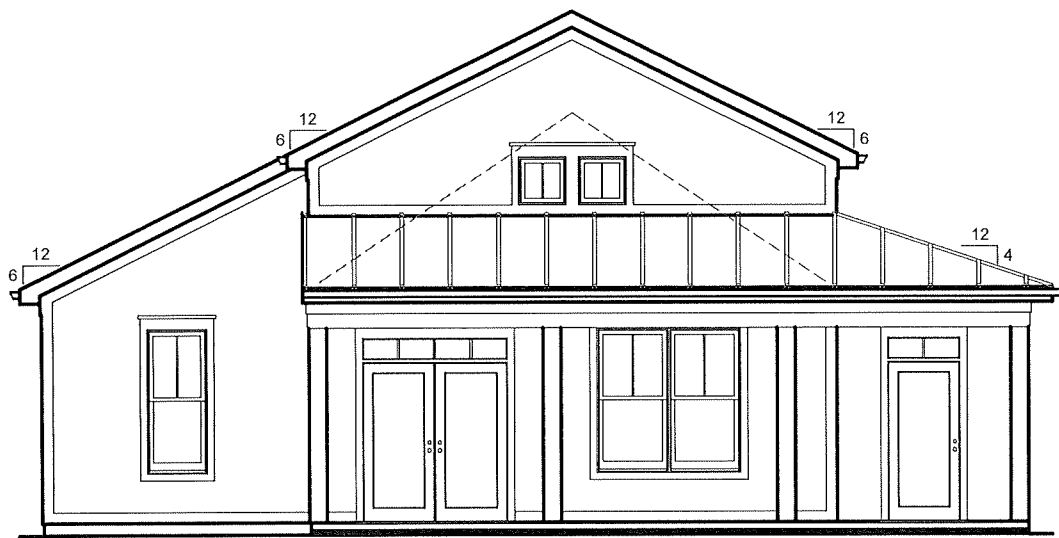




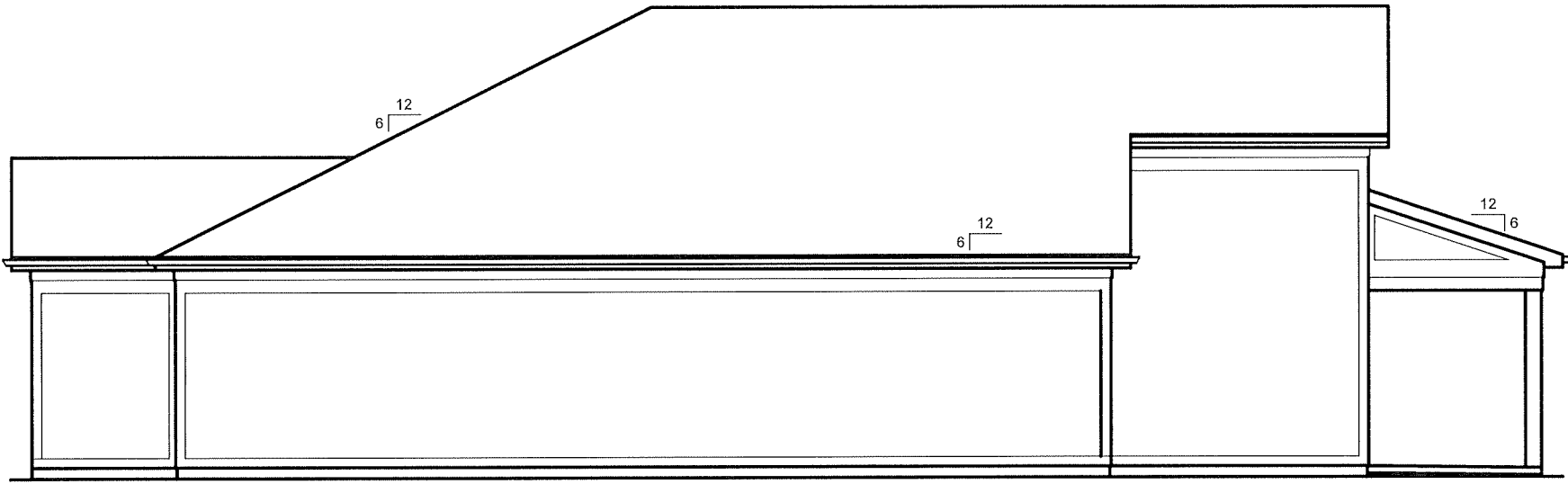
# LEGACY 34 THIRD SUB LOT 28



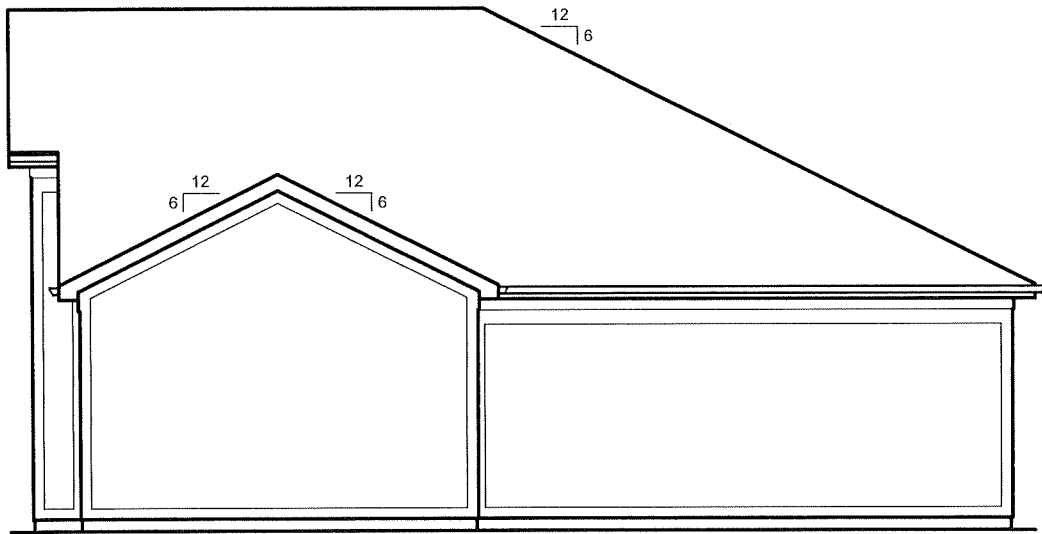
LEGACY 34 THIRD SUB  
LOT 24, 27



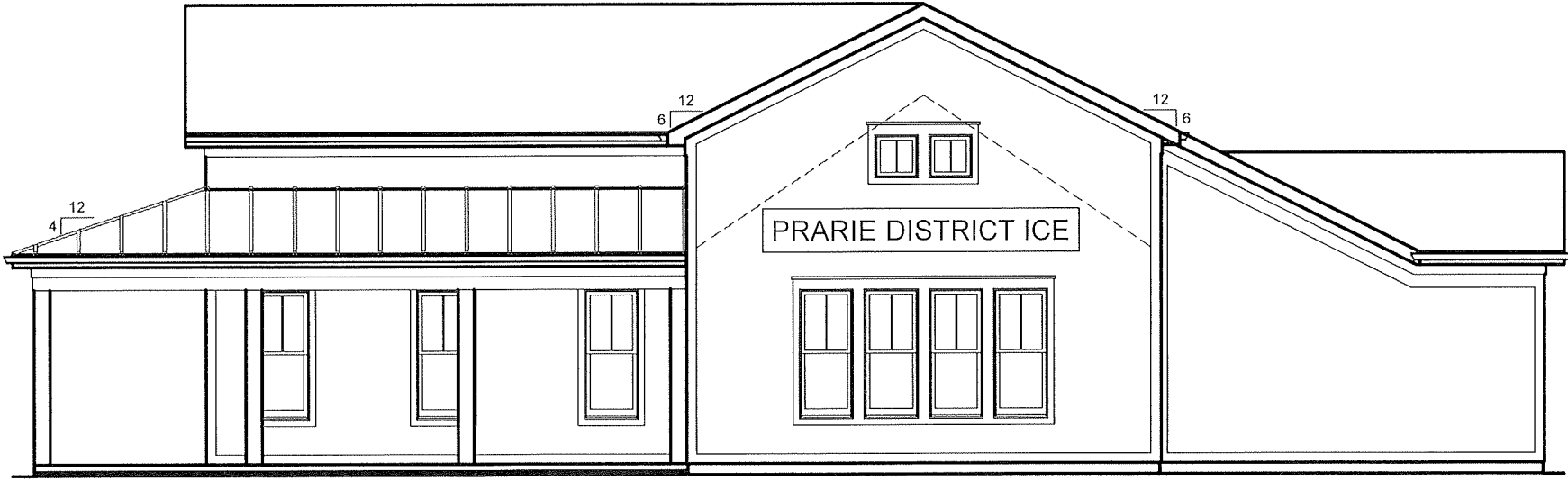
4 LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



3 REAR ELEVATION  
SCALE: 1/8"=1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/8"=1'-0"

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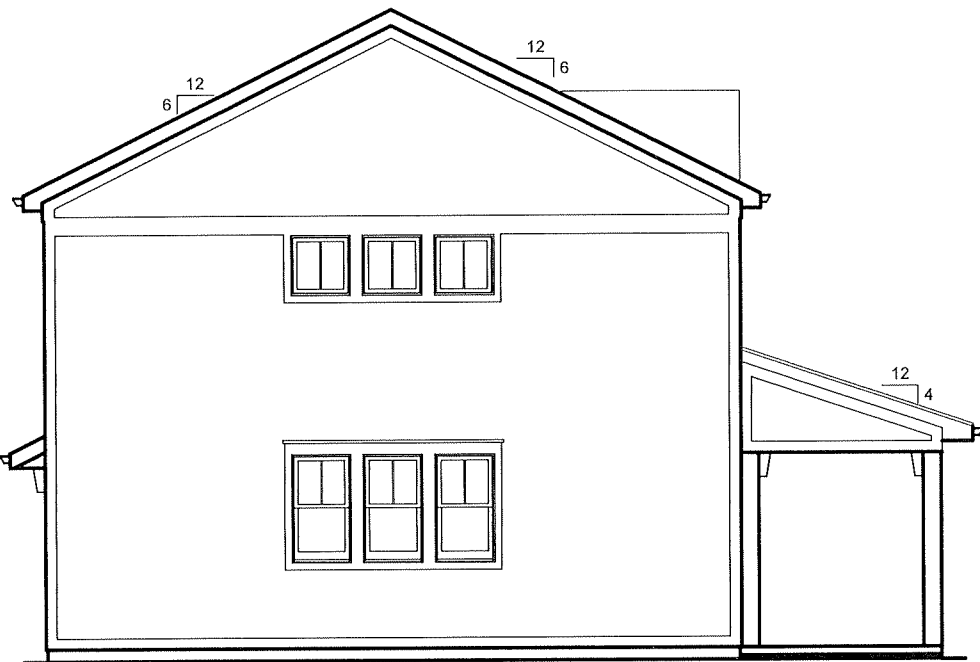
REVISIONS

PRARIE DISTRICT  
BUILDING 'A'  
BUILDING ELEVATIONS

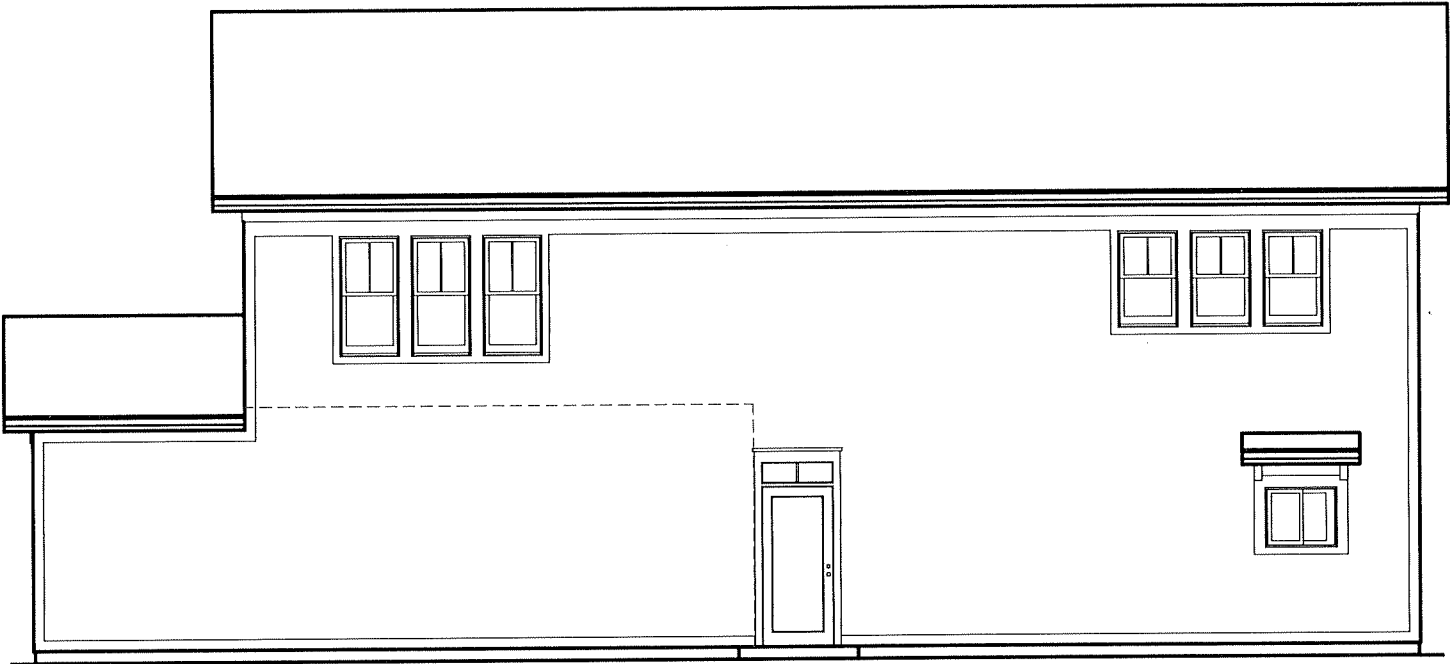
DATE: 09/19/22

SHEET NO.  
A301

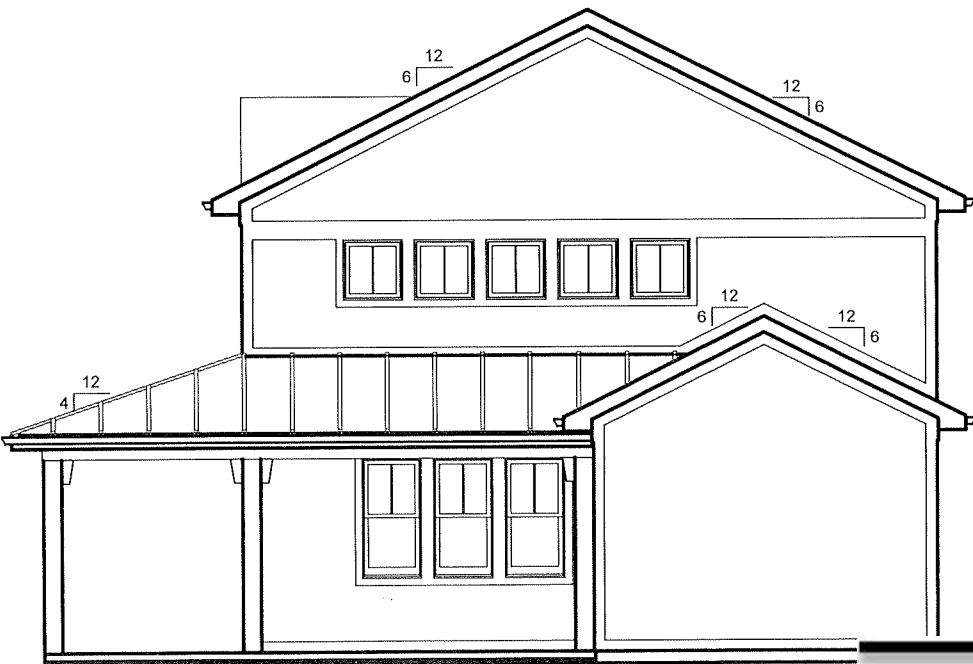
LEGACY 34 THIRD SUB  
LOT 23, 25



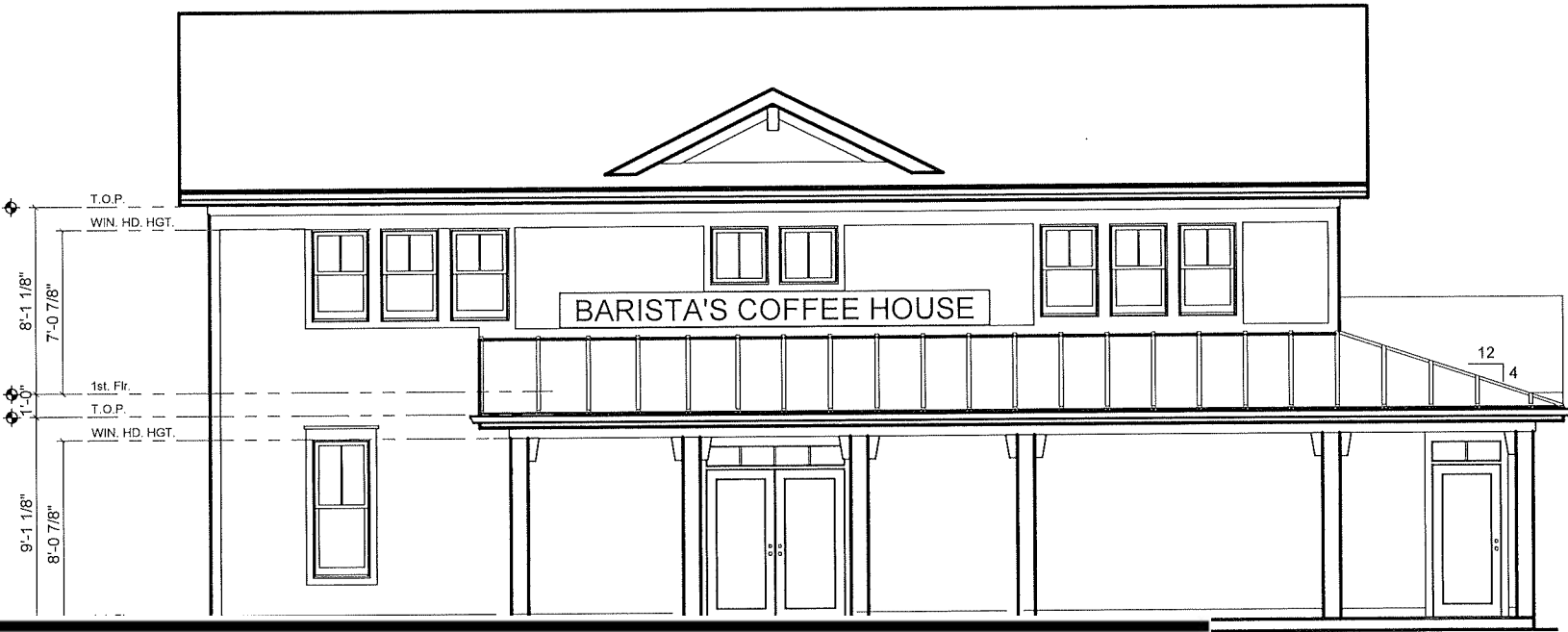
4 LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



3 REAR ELEVATION  
SCALE: 1/8"=1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



1 FRONT ELEVATION  
SCALE: 1/8"=1'-0"

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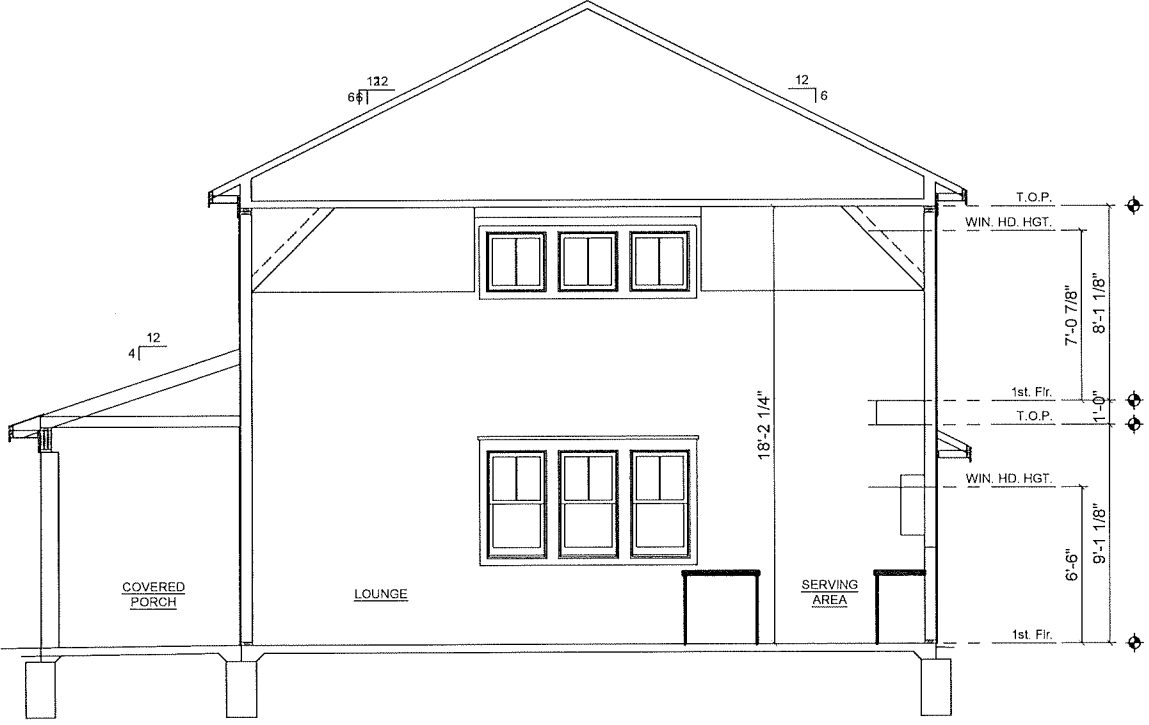
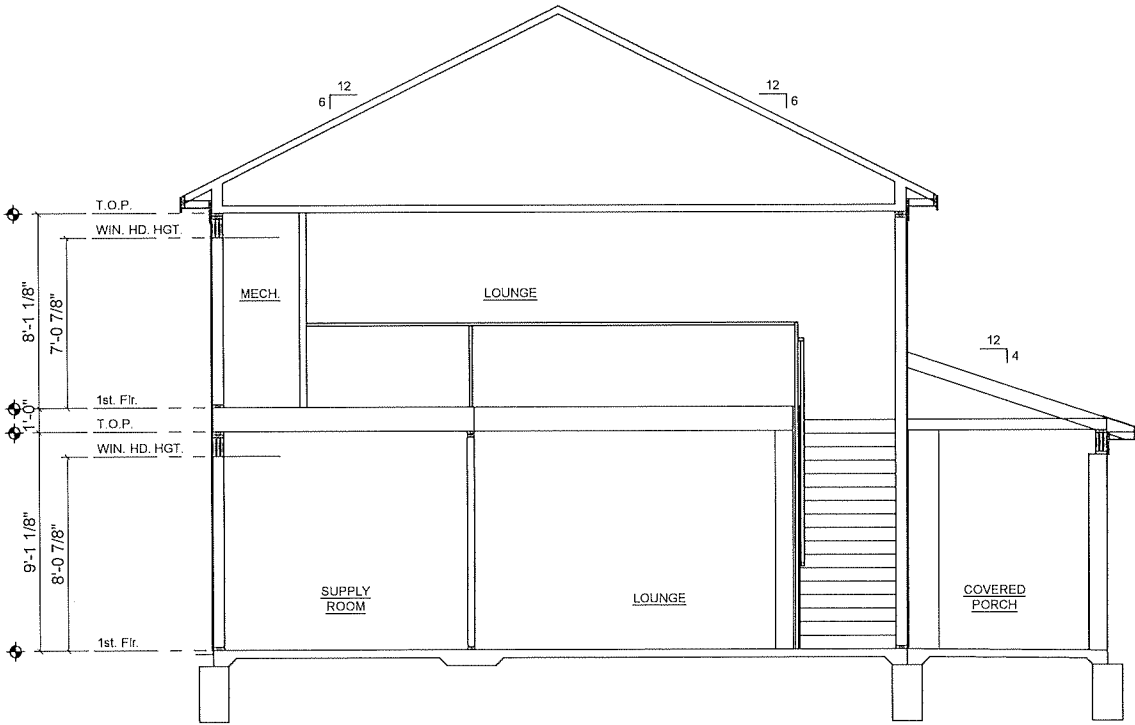
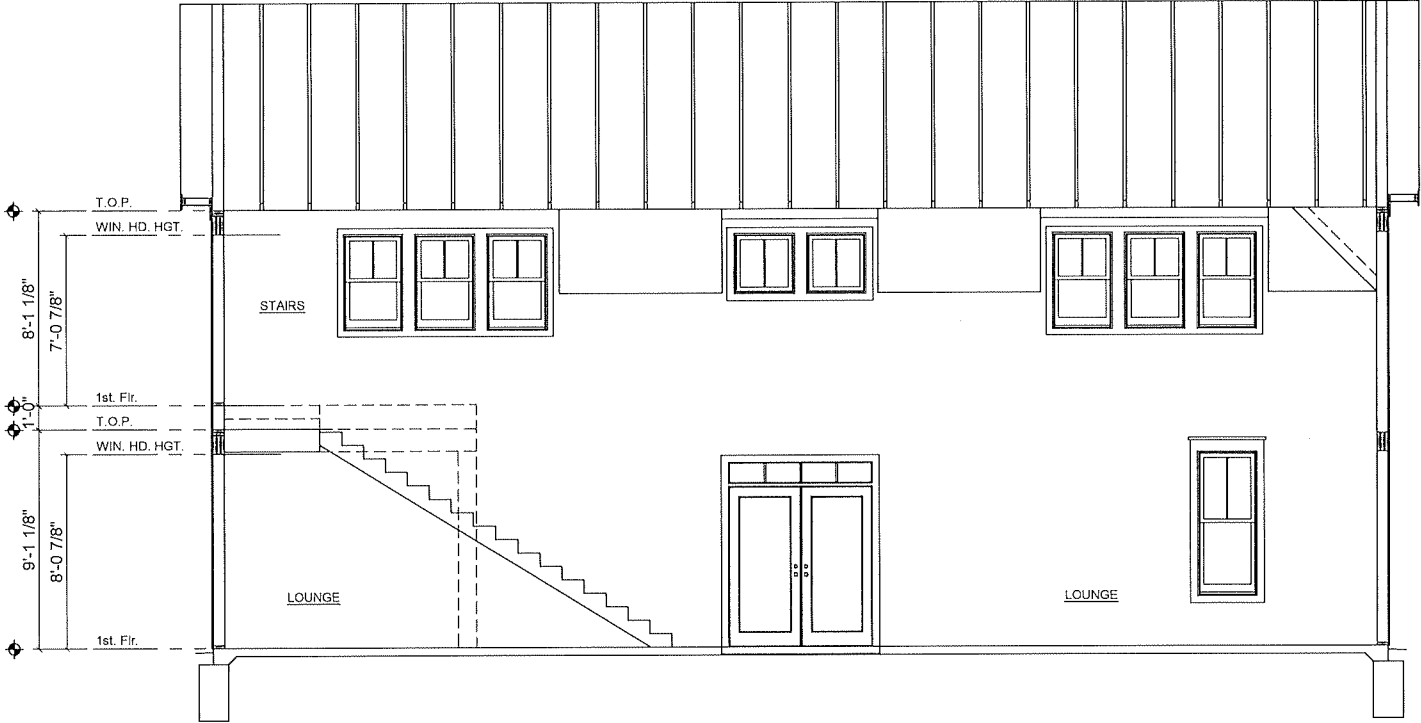
REVISIONS

BARISTA'S COFFEE HOUSE  
BUILDING 'A'  
BUILDING ELEVATIONS

DATE: 09/19/22

SHEET NO.  
A301

LEGACY 34 THIRD SUB  
LOT 23, 25



2 BUILDING SECTION  
SCALE: 1/4"=1'-0" (24X36 SHT)

1 BUILDING SECTION

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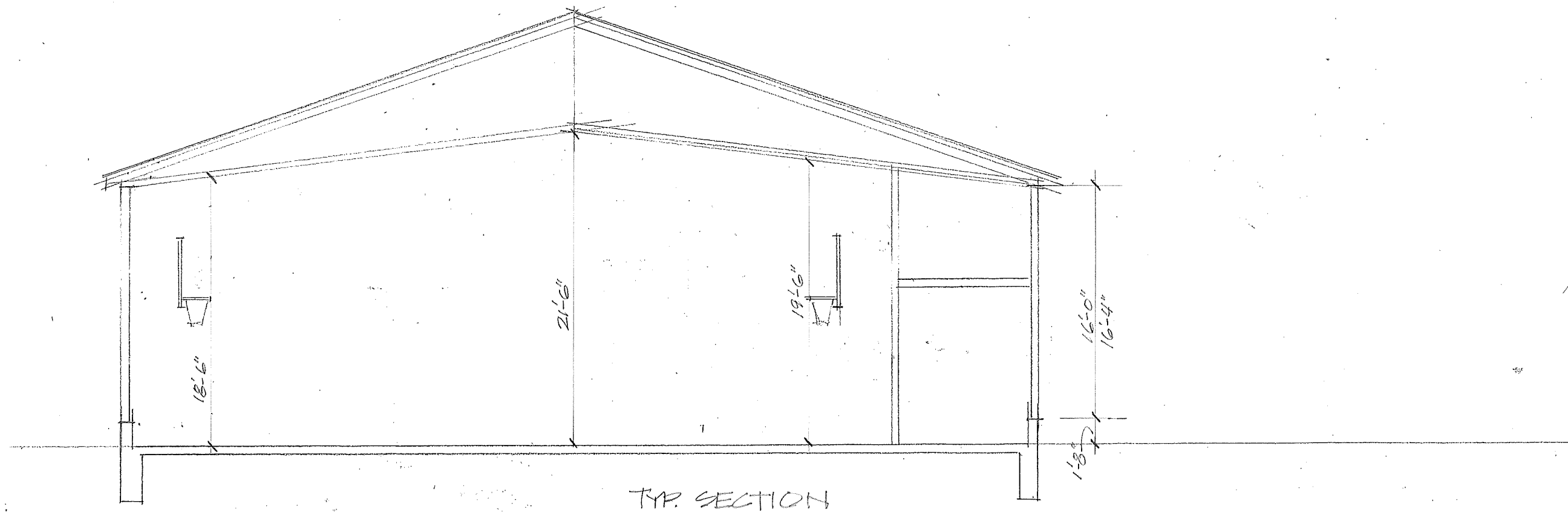
BARISTA'S COFFEE HOUSE

BUILDING SECTIONS

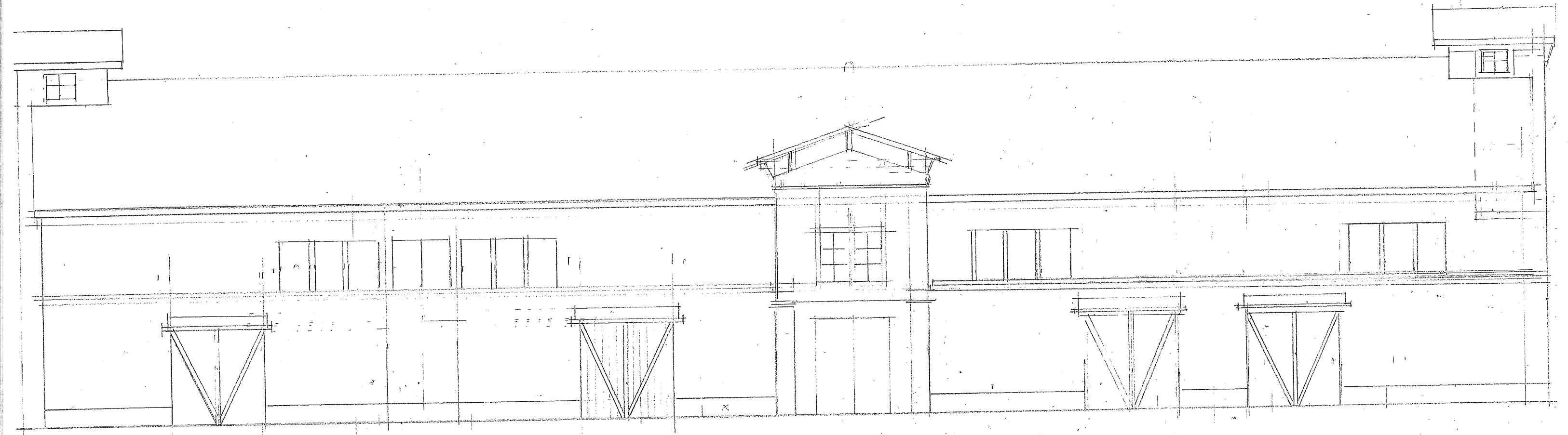
DATE: 09/19/22

SHEET NO.  
A501

LEGACY 34 THIRD SUB  
LOT 26



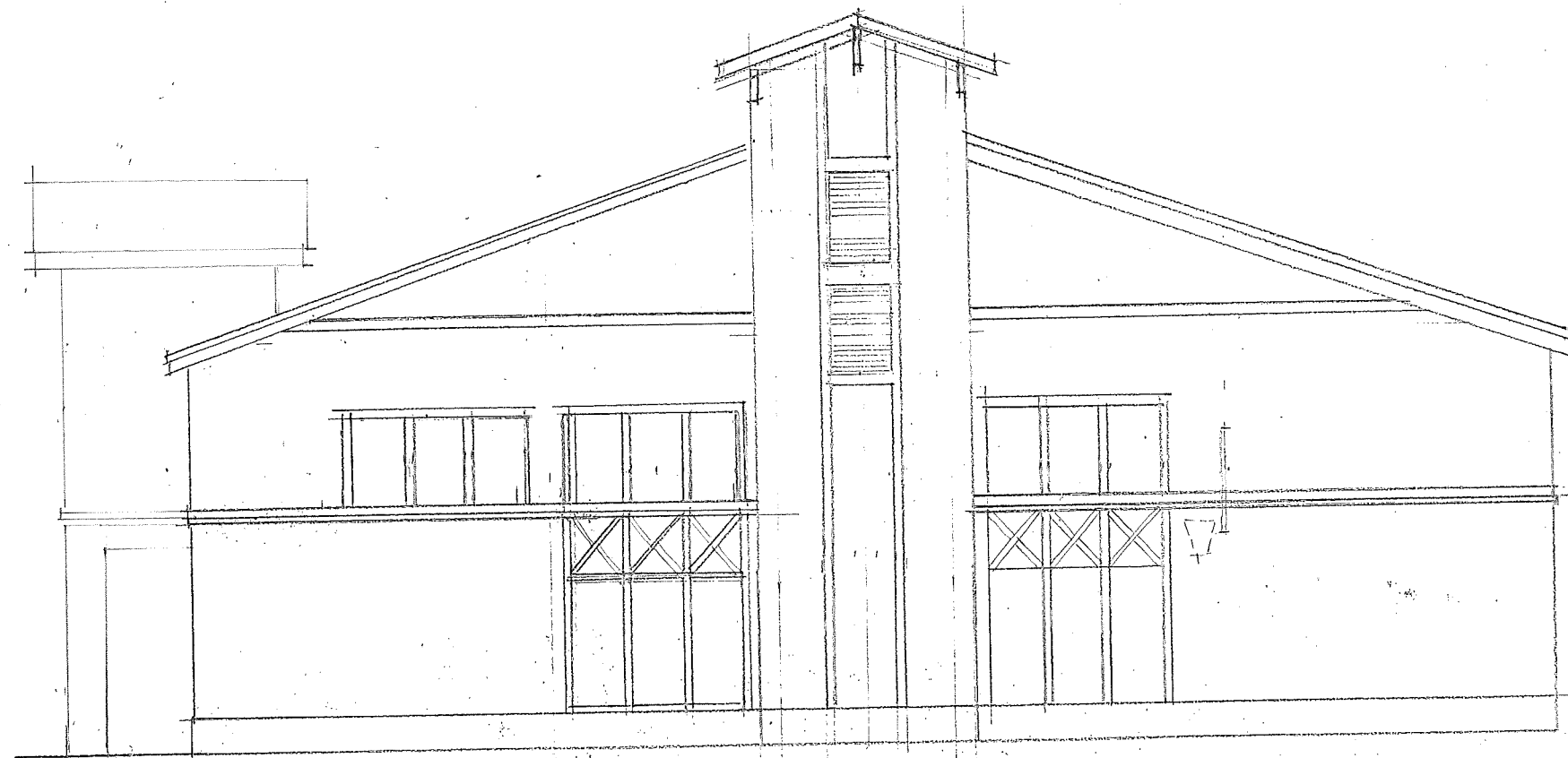
LEGACY 34 THIRD SUB  
LOT 26



PLAN A - EAST ELEVATION.

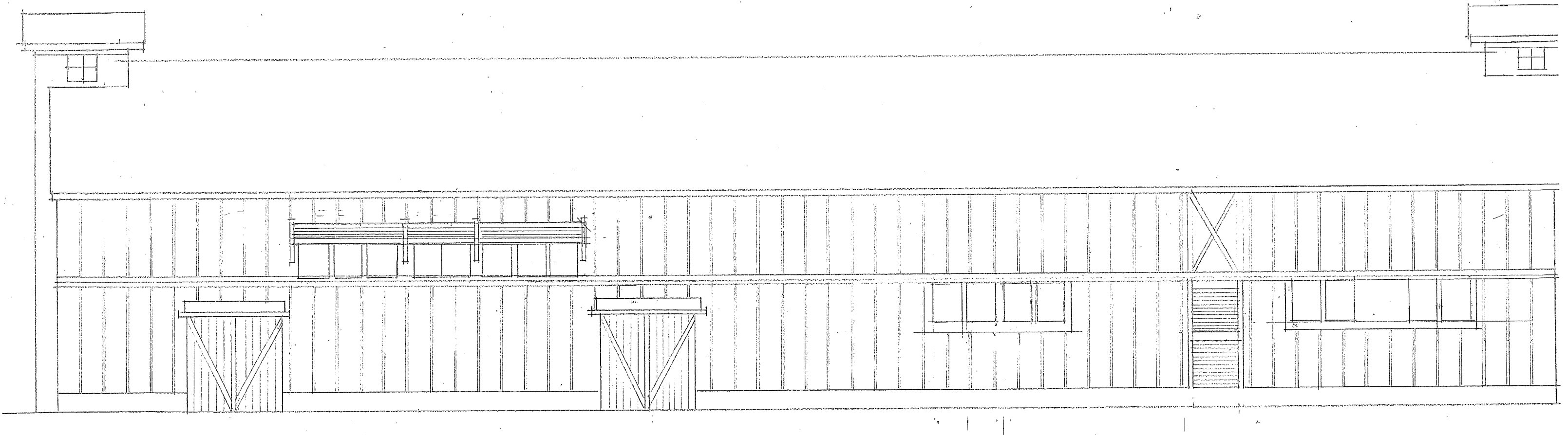


LEGACY 34 THIRD SUB  
LOT 26



PLAN A - NORTH ELEVATION

LEGACY 34 THIRD SUB  
LOT 26



PLAN A - WEST ELEVATION