



# **Community Redevelopment Authority (CRA)**

**Wednesday, September 12, 2018  
Regular Meeting**

## **Item I2**

**Redevelopment Plan Amendment CRA Area 1 411 W. 3rd Street  
the second floor of the old Sears Building -- Paramount  
Development LLC**

**Staff Contact:**

**Redevelopment Plan Amendment  
Grand Island CRA Area 1  
September 2018**

**The Community Redevelopment Authority (CRA) of the City of Grand Island intends to amend the Redevelopment Plan for Area 1 within the city, pursuant to the Nebraska Community Development Law (the “Act”) and provide for the financing of a specific infrastructure related project in Area 1.**

**Executive Summary:**

**Project Description**

THE REDEVELOPMENT OF A PORTION OF THE OLD SEARS BUILDING LOCATED AT 411 W. 3RD STREET FOR RESIDENTIAL USES, INCLUDING ACQUISITION, FIRE/LIFE SAFETY IMPROVEMENTS AND BUILDING REHABILITATION AND REMODELING.

The use of Tax Increment Financing to aid in rehabilitation expenses associated with redevelopment of the second floor and necessary first floor entrances and exits to support the development of four 2-bedroom apartments on the second floor of the west side of Old Sears located at 411 W. 3<sup>rd</sup> street. It is anticipated that additional TIF applications will be proposed for commercial uses within the remainder of the building. The use of Tax Increment Financing is an integral part of the development plan and necessary to make this project affordable. The project will result in renovating a portion of this building into market rate residential units. The addition of the residential units is consistent with the downtown redevelopment plan and priorities to add 50 residential units downtown by 2019. This project would not be feasible without the use of TIF.

Paramount Development LLC is purchasing the rights to this section of the building through a condominium arrangement. They are purchasing the property for \$77,000. The purchase price is included as an eligible TIF activity. The building is currently vacant and this upper floor space has been vacant for numerous years. The developer is responsible for and has provided evidence that they can secure adequate debt financing to cover the costs associated with the remodeling and rehabilitation of this building. The Grand Island Community Redevelopment Authority (CRA) intends to pledge the ad valorem taxes generated over the 15 year period beginning January 1, 2020 towards the allowable costs and associated financing for rehabilitation.

**TAX INCREMENT FINANCING TO PAY FOR THE REHABILITATION OF THE PROPERTY WILL COME FROM THE FOLLOWING REAL PROPERTY:**

**Property Description (the “Redevelopment Project Area”)**

The second floor and necessary first floor exits and entrances at 411 W. 3<sup>rd</sup> Street in Grand Island Nebraska. The actual legal will be provided with the master deed for the condominium.



**Legal Descriptions:** The second floor of the building on the easterly 44 feet of Lot Three (3) in Block Sixty-Three (63) in the Original Town, now City of Grand Island, Hall County, Nebraska.



**Existing Land Use and Subject Property**

**The tax increment will be captured for the tax years the payments for which become delinquent in years 2020 through 2034 inclusive.**

**The real property ad valorem taxes on the current valuation will continue to be paid to the normal taxing entities. The increase will come from rehabilitation of this portion of the building for residential uses as permitted in the B3 Heavy Business Zoning District.**

**Statutory Pledge of Taxes.**

In accordance with Section 18-2147 of the Act and the terms of the Resolution providing for the issuance of the TIF Note, the Authority hereby provides that any ad valorem tax on the Redevelopment Project Area for the benefit of any public body be divided for a period of fifteen years after the effective date of this provision as set forth in the Redevelopment Contract, consistent with this Redevelopment Plan. Said taxes shall be divided as follows:

a. That portion of the ad valorem tax which is produced by levy at the rate fixed each year by or for each public body upon the redevelopment project valuation shall be paid into the funds, of each such public body in the same proportion as all other taxes collected by or for the bodies; and

b. That portion of the ad valorem tax on real property in the redevelopment project in excess of such amount, if any, shall be allocated to and, when collected, paid into a special fund of the Authority to pay the principal of; the interest on, and any premiums due in connection with the bonds, loans, notes, or advances on money to, or indebtedness incurred by, whether funded, refunded, assumed, or otherwise, such Authority for financing or refinancing, in whole or in part, a redevelopment project. When such bonds, loans, notes, advances of money, or indebtedness including interest and premium due have been paid, the Authority shall so notify the County Assessor and County Treasurer and all ad valorem taxes upon real property in such redevelopment project shall be paid into the funds of the respective public bodies.

Pursuant to Section 18-2150 of the Act, the ad valorem tax so divided is hereby pledged to the repayment of loans or advances of money, or the incurring of any indebtedness, whether funded, refunded, assumed, or otherwise, by the CRA to finance or refinance, in whole or in part, the redevelopment project, including the payment of the principal of, premium, if any, and interest on such bonds, loans, notes, advances, or indebtedness.

Redevelopment Plan Amendment Complies with the Act:

The Community Development Law requires that a Redevelopment Plan and Project consider and comply with a number of requirements. This Plan Amendment meets the statutory qualifications as set forth below.

**1. The Redevelopment Project Area has been declared blighted and substandard by action of the Grand Island City Council on December 19, 2000.[§18-2109] Such**

**declaration was made after a public hearing with full compliance with the public notice requirements of §18-2115 of the Act.**

**2. Conformation to the General Plan for the Municipality as a whole. [§18-2103 (13) (a) and §18-2110]**

Grand Island adopted a Comprehensive Plan on July 13, 2004. This redevelopment plan amendment and project are consistent with the Comprehensive Plan, in that no changes in the Comprehensive Plan elements are intended. This plan merely provides funding for the developer to rehabilitate the building for permitted uses on this property as defined by the current and effective zoning regulations. **The Hall County Regional Planning Commission held a public hearing at their meeting on October 3, 2018 and passed Resolution 2019-011 confirming that this project is consistent with the Comprehensive Plan for the City of Grand Island.** The Grand Island Public School District has submitted a formal request to the Grand Island CRA to notify the District any time a TIF project involving a housing subdivision and/or apartment complex is proposed within the District. The school district was notified of this plan amendment at the time it was submitted to the CRA for initial consideration.

**3. The Redevelopment Plan must be sufficiently complete to address the following items: [§18-2103(13) (b)]**

***a. Land Acquisition:***

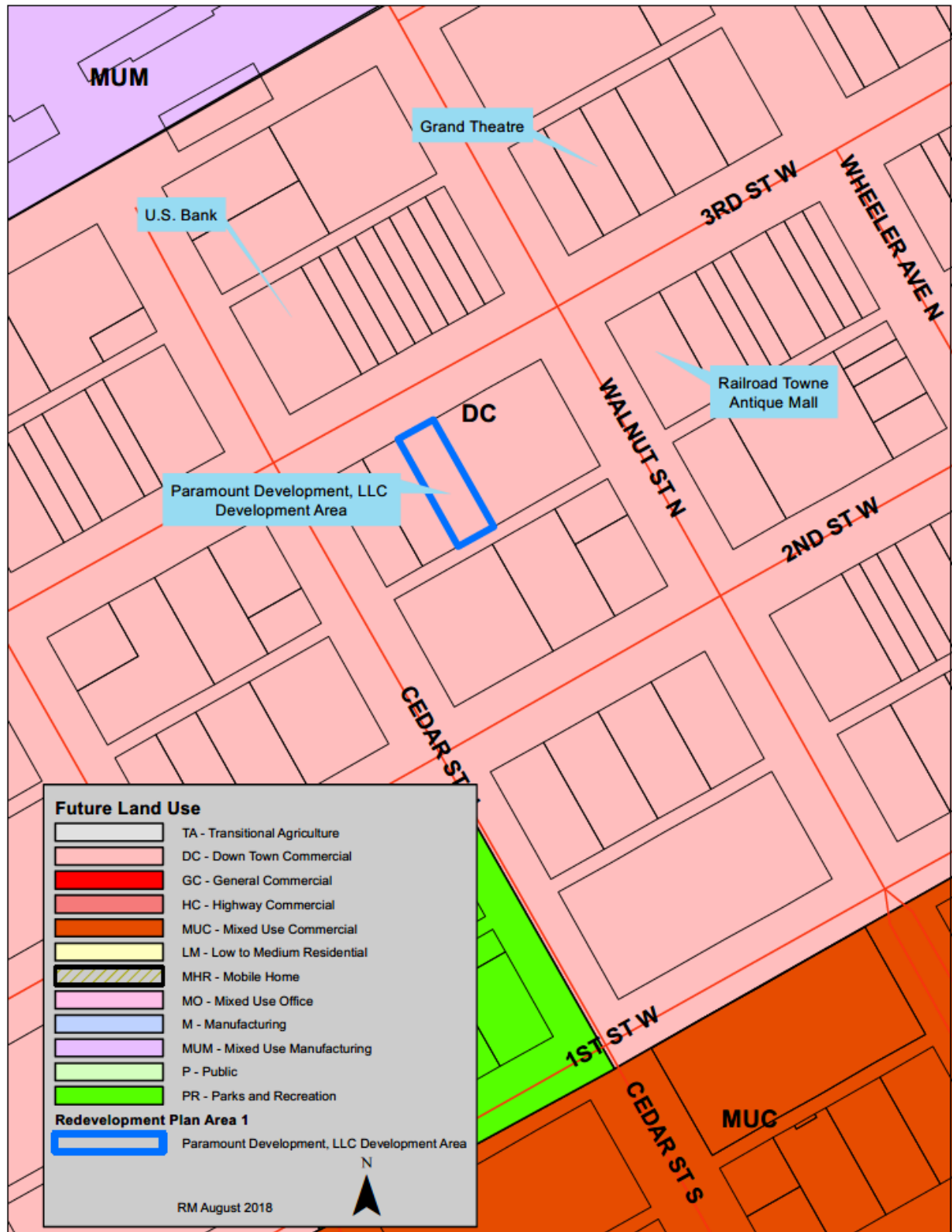
The Redevelopment Plan for Area 1 provides for real property acquisition and this plan amendment does not prohibit such acquisition. There is no proposed acquisition by the authority.

***b. Demolition and Removal of Structures:***

The project to be implemented with this plan does not provide for the demolition and removal any structures on this property. Demotion of internal structures to accommodate the redevelopment is anticipated and permitted.

***c. Future Land Use Plan***

See the attached map from the 2004 Grand Island Comprehensive Plan. All of the area around the site in private ownership is planned for Downtown Commercial development; this includes housing and commercial uses within the same structure. This property is in private ownership. [§18-2103(b) and §18-2111] The attached map also is an accurate site plan of the area after redevelopment. [§18-2111(5)]



City of Grand Island Future Land Use Map

***d. Changes to zoning, street layouts and grades or building codes or ordinances or other Planning changes.***

The area is zoned B3-Heavy Business zone. No zoning changes are anticipated with this project. No changes are anticipated in street layouts or grades. No changes are anticipated in building codes or ordinances. Nor are any other planning changes contemplated. [§18-2103(b) and §18-2111]

***e. Site Coverage and Intensity of Use***

The developer is rehabilitating the existing building. The developer is not proposing to increase the size of the building and current building meets the applicable regulations regarding site coverage and intensity of use. [§18-2103(b) and §18-2111]

***f. Additional Public Facilities or Utilities***

Sewer and water are available to support this development. .

Electric utilities are sufficient for the proposed use of this building.

No other utilities would be impacted by the development.

The developer will be responsible for replacing any sidewalks damaged during construction of the project.

No other utilities would be impacted by the development. [§18-2103(b) and §18-2111]

**4. The Act requires a Redevelopment Plan provide for relocation of individuals and families displaced as a result of plan implementation. This property is vacant and has been vacant for more than 1 year; no relocation is contemplated or necessary. [§18-2103.02]**

**5. No member of the Authority, nor any employee thereof holds any interest in any property in this Redevelopment Project Area. [§18-2106]** No members of the authority or staff of the CRA have any interest in this property. Tom Gdowski, is President of Equitable bank and most likely will be part of the bank approval of a loan for this project.

**6. Section 18-2114 of the Act requires that the Authority consider:**

***a. Method and cost of acquisition and preparation for redevelopment and estimated proceeds from disposal to redevelopers.***

The developer is purchasing the rights to just this portion of the property through a condominium arrangement for \$77,000. The estimated costs of rehabilitation of this

property is \$500,000, planning related expenses for Architectural and Engineering services of \$8,000 and are included as a TIF eligible expense. Legal, Developer and Audit Fees of \$8,000 including a reimbursement to the City and the CRA of \$6,100 are included as TIF eligible expense. The total of eligible expenses for this project exceeds \$640,000. The CRA has been asked to grant \$80,000 to this project to offset the cost of life safety improvements as part of the upper story life/safety grant program. The total eligible expenses for this project less other grant funds by the CRA is \$550,000.

No property will be transferred to redevelopers by the Authority. The developer will provide and secure all necessary financing.

***b. Statement of proposed method of financing the redevelopment project.***

The developer will provide all necessary financing for the project. The Authority will assist the project by granting the sum of \$159,800 from the proceeds of the TIF. This indebtedness will be repaid from the Tax Increment Revenues generated from the project. TIF revenues shall be made available to repay the original debt and associated interest after January 1, 2021 through December 2034.

***c. Statement of feasible method of relocating displaced families.***

No families will be displaced as a result of this plan.

**7. Section 18-2113 of the Act requires:**

Prior to recommending a redevelopment plan to the governing body for approval, an authority shall consider whether the proposed land uses and building requirements in the redevelopment project area are designed with the general purpose of accomplishing, in conformance with the general plan, a coordinated, adjusted, and harmonious development of the city and its environs which will, in accordance with present and future needs, promote health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, including, among other things, adequate provision for traffic, vehicular parking, the promotion of safety from fire, panic, and other dangers, adequate provision for light and air, the promotion of the healthful and convenient distribution of population, the provision of adequate transportation, water, sewerage, and other public utilities, schools, parks, recreational and community facilities, and other public requirements, the promotion of sound design and arrangement, the wise and efficient expenditure of public funds, and the prevention of the recurrence of insanitary or unsafe dwelling accommodations or conditions of blight.

The Authority has considered these elements in proposing this Plan Amendment. This amendment, in and of itself will promote consistency with the Comprehensive Plan. This will have the intended result of preventing recurring elements of unsafe buildings and blighting conditions. This will accomplish the goal of both the Downtown Business Improvement District and the Grand Island City Council of increasing the number of residential units available in the Downtown area.

## **8. Time Frame for Development**

Development of this project is anticipated to be completed between October 2018 and March of 2019. Excess valuation should be available for this project for 15 years beginning with the 2020 tax year.

## **9. Justification of Project**

This is an historic building in downtown Grand Island that will be preserved with this project. The addition of a new upper story residential unit is consistent with goals to build 50 new residential units in downtown Grand Island by 2019 and with the goals of the 2014 Grand Island housing study and Grow Grand Island. The main floor and basement of the building are likely to be used for commercial and office space but are not included within this application.

**10. Cost Benefit Analysis** Section 18-2113 of the Act, further requires the Authority conduct a cost benefit analysis of the plan amendment in the event that Tax Increment Financing will be used. This analysis must address specific statutory issues.

As authorized in the Nebraska Community Development Law, §18-2147, *Neb. Rev. Stat.* (2012), the City of Grand Island has analyzed the costs and benefits of the proposed Redevelopment Project, including:

**Project Sources and Uses.** Approximately \$159,800 in public funds from tax increment financing provided by the Grand Island Community Redevelopment Authority will be required to complete the project. This property has requested a life/safety grant of \$80,000. This investment by the Authority will leverage \$403,200 in private sector financing; a private investment of \$1.69 for every TIF and grant dollar investment.

<b>Use of Funds</b>	<b>Source of Funds.</b>			
<b>Description</b>	<b>TIF Funds</b>	<b>Other Grants</b>	<b>Private Funds</b>	<b>Total</b>
Site Acquisition	77000	—	\$0	\$77,000
Legal and Plan*	8000		\$0	\$8,000
Engineering/Arch	8000		\$0	\$8,000
Renovation	\$66,800	\$80,000	\$348,000	\$500,000
Contingency			\$50,000	\$50,000
<b>TOTALS</b>	<b>\$159,800</b>	<b>\$80,000</b>	<b>\$398,000</b>	<b>\$643,000</b>

**Tax Revenue.** The property to be redeveloped is anticipated to have a January 1, 2019, valuation of approximately \$77,000. Based on the 2017 levy this would result in a real property tax of approximately \$1,734. It is anticipated that the assessed value will increase by \$473,000 upon full completion, as a result of the site redevelopment. This

development will result in an estimated tax increase of over \$10,654 annually. The tax increment gained from this Redevelopment Project Area would not be available for use as city general tax revenues, for a period of 15 years, or such shorter time as may be required to amortize the TIF bond, but would be used for eligible private redevelopment costs to enable this project to be realized.

Estimated 2019 assessed value:	\$ 77,000
Estimated value after completion	\$ 550,000
Increment value	\$ 473,000
Annual TIF generated (estimated)	\$ 10,654
TIF bond issue	\$ 159,814

***(a) Tax shifts resulting from the approval of the use of Tax Increment Financing;***

The redevelopment project area currently has an estimated valuation of \$77,000. The proposed redevelopment will create additional valuation of \$550,000. No tax shifts are anticipated from the project. The project creates additional valuation that will support taxing entities long after the project is paid off.

***(b) Public infrastructure and community public service needs impacts and local tax impacts arising from the approval of the redevelopment project;***

No additional public service needs have been identified. Existing water and waste water facilities will not be impacted by this development. The electric utility has sufficient capacity to support the development. It is not anticipated that this will impact schools in any significant way. Fire and police protection are available and should not be negatively impacted by this development. The addition of life safety elements to this building including fire sprinklers and a second exit actually reduce the chances of negative impacts to the fire department.

***(c) Impacts on employers and employees of firms locating or expanding within the boundaries of the area of the redevelopment project;***

This will provide additional housing options in the downtown area consistent with the planned development in Downtown Grand Island.

***(d) Impacts on other employers and employees within the city or village and the immediate area that are located outside of the boundaries of the area of the redevelopment project; and***

This project will not have a negative impact on other employers in any manner different from any other expanding business within the Grand Island area. This will provide housing options for employees of Downtown businesses that wish to live Downtown.



***(e) Impacts on student populations of school districts within the City or Village:***

**This development will have a minimal impact on the Grand Island School system as it will likely not result in any increased attendance.** The units to be developed with this project are unlikely to be family units, especially for families with school age children. These are two bedroom second story units located in the historic downtown.

The average number of persons per household in Grand Island for 2012 to 2016 according the American Community Survey is 2.65. Four additional household would house 11 people. According to the 2010 census 19.2% of the population of Grand Island was between the ages of 5 and 18. If the averages hold it would be expected that there would be an additional 2 school age children generated by this development. According to the National Center for Educational Statistics<sup>1</sup> the 2015-16 enrollment for GIPS was 9,698 students and the cost per student in 2013-14 was \$12,343 of that \$5,546 is generated locally. It is likely that the school system would be able to absorb any students from this additional development without adding to school facilities or staffing.

***(f) Any other impacts determined by the authority to be relevant to the consideration of costs and benefits arising from the redevelopment project.***

This project is consistent the goals of the Council, the Downtown BID, the CRA, and Grow Grand Island to create additional housing units in downtown Grand Island.

**Time Frame for Development**

Development of this project is anticipated to be completed during between December of 2018 and December of 2019. The base tax year should be calculated on the value of the property as of January 1, 2019. Excess valuation should be available for this project for 15 years beginning in 2020 with taxes due in 2021. Excess valuation will be used to pay the TIF Indebtedness issued by the CRA per the contract between the CRA and the developer for a period not to exceed 15 years or an amount not to exceed \$159,800 the projected amount of increment based upon the anticipated value of the project and current tax rate. Based on the estimates of the expenses of the rehabilitation the developer will spend at least \$643,000 on TIF eligible activities in excess of other grants given.

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<sup>1</sup> [https://nces.ed.gov/ccd/districtsearch/district\\_detail.asp?ID2=3100016](https://nces.ed.gov/ccd/districtsearch/district_detail.asp?ID2=3100016)



## **BACKGROUND INFORMATION RELATIVE TO TAX INCREMENT FINANCING REQUEST**

### **Project Redeveloper Information**

Business Name:

Paramount Development, LLC

Address:

PO Box 290 Alda, NE 68810

Telephone No.: 308-384-1690

Fax No.: 308-381-1697

Contact:

Pat O'Neill - pat@oneillwr.com

### **Brief Description of Applicant's**

**Business:** Applicant is a newly formed real estate development business focused on multi family residential.

Gary and Sonja Weinrich are currently developing small multi family residential housing and own several residential rental units. Pat O'Neill is demolition and earthwork contractor with commercial and agricultural land.

Present Ownership Proposed Project Site: Grand Island Entrepreneurial, Inc - C/O Ray O'Connor

Proposed Project: Building square footage, size of property, description of buildings – materials, etc. Please attach site plan, if available.

The building will be spilt off via condo agreement and Paramount Development will purchase the second floor from the current owner. The project will consist of approximately 7,500 square feet of residential space, common spaces and an exercise room. A roof top patio may be added depending on code approval. Residential units will have hardwood floors, stone counter tops, large windows, and walk in showers.

If Property is to be Subdivided, Show Division Planned:

VI. Estimated Project Costs:

Acquisition Costs:

A. Land \$

B. Building \$ 77,000

Construction Costs:

A. Renovation or Building Costs: \$ 500,000

B. On-Site Improvements: \$ 0

Soft Costs:

A. Architectural & Engineering Fees: \$ 8,000

B. Financing Fees:	\$ 5,000
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C. Legal/Developer/Audit Fees: \$ 4,000

D. Contingency Reserves:	\$ 50,000
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E. Other (Please Specify)	\$
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TOTAL           \$ 644,000.

Total Estimated Market Value at Completion: \$ 550,000

## Source of Financing:

A. Developer Equity: \$ 66,000

B. Commercial Bank Loan: \$ 350,000

**Tax Credits:**

1. N.I.F.A. \$ 0

2. Historic Tax Credits \$ 0

D. Industrial Revenue Bonds:	\$ 0
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E. Tax Increment Assistance: \$ 148,000

F. Other \$80,000

Life Safety Grant

Name, Address, Phone & Fax Numbers of Architect, Engineer and General Contractor:

Architect is Tobias Scott Gay 1470 31st Avenue Columbus, NE 68601 402-562-6074

Engineer is Michael Spelenik 201 East Second Street Grand Island, NE 68801 308-384-8750

General Contractor is Paramount Development PO Box 290 Alda, NE 68810 308-384-1690

Estimated Real Estate Taxes on Project Site Upon Completion of Project:  
(Please Show Calculations)

Based on conversation with the county we believe the building will be worth an average of \$125,000

per unit and common spaces of \$50,000 for a total valuation of \$550,000. This should generate approximate annual taxes of \$11,000 for a 15 year total of \$165,000.

Project Construction Schedule:

Construction Start Date:

October 1, 2018

Construction Completion Date:

March 1 2019

If Phased Project:

NA Year NA %

Complete

NA Year NA %

Complete

XII. Please Attach Construction Pro Forma

XIII. Please Attach Annual Income & Expense Pro Forma  
(With Appropriate Schedules)

**TAX INCREMENT FINANCING REQUEST INFORMATION**

Describe Amount and Purpose for Which Tax Increment Financing is Requested:

\_\_\_\_\_  
\_\_\_\_\_  
We are requesting the maximum amount of TIF as permitted based upon the assumed tax  
value after construction. We are requesting approximately \$165,000 in TIF to be allocated to  
allowable expenses as defined by statute including new utilities, acquisition, and renovation costs.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Statement Identifying Financial Gap and Necessity for use of Tax Increment Financing  
for Proposed Project: \_\_\_\_\_

The developer will be borrowing a large amount of money and putting in cash equity into the project.  
As the rental pro forma shows the project is not feasible from either a cash flow or lending  
perspective without TIF. The TIF will allow us to meet lending criteria and make the project  
moderately profitable on a 20 year amortization.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Municipal and Corporate References (if applicable). Please identify all other  
Municipalities, and other Corporations the Applicant has been involved with, or

has completed developments in, within the last five (5) years, providing contact person, telephone and fax numbers for each:

NA

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- IV. Please Attach Applicant's Corporate/Business Annual Financial Statements for the Last Three Years.     Applicant is a new company currently in the LLC process.

Post Office Box 1968  
Grand Island, Nebraska 68802-1968  
Phone: 308 385-5240  
Fax: 308 385-5423  
Email: [cnabity@grand-island.com](mailto:cnabity@grand-island.com)

# Easy Street Apartments Preliminary Budget

## Site Acquisition

Purchase Site from Ray O'Connor	\$77,000	
		<b>\$77,000</b>

## Professional Fees

Design and architectural stamp	\$6,000	
Condo Agreement	\$5,000	
Survey	\$1,000	
		<b>\$12,000</b>

## Site Utilities

New Electrical Service to Building	\$15,000	
Water Service Modifications	\$5,000	
Sewer Service Modifications	\$5,000	
Concrete removal and replacement by Owner for Utilities	\$5,000	
		<b>\$30,000</b>

## Fire Sprinklers

Sub contract fire sprinklers for units and common spaces	\$26,000	
		<b>\$26,000</b>

## Common Spaces

New Fire Exit on south side of building	\$16,000	
Fire walls north side first floor materials and labor	\$8,000	
New exit door	\$3,000	
Common space improvements on main entrance	\$4,000	
Electrical and HVAC for common spaces and resident hall	\$5,000	
		<b>\$36,000</b>

## Building Exterior Upgrades

New roof provided by Seller	\$0	
Paint insulated metal panels on exersize room and hall	\$6,000	
Paint brick walls	\$6,000	
New windows on south side (demo, frame, supply and install) 3 windows	\$3,000	
New windows on east and west walls 15 units, supply and install	\$7,500	
New floor to ceiling windows on north wall (units 1 and 2)	\$6,000	
New attic insulation	\$8,000	
		<b>\$36,500</b>

## Exersize Room and Deck

Interior improvements	\$8,000	
HVAC, elecrtical and plumbing	\$4,000	
New garage doors and windows	\$7,000	
New Stair	\$6,000	
Safety Railings	\$6,000	



Decking on roof top	\$4,000
	<b>\$35,000</b>

<b>Total costs for building, utilities and common spaces</b>	<b>\$252,500</b>
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#### Unit build out Cost summary

Unit 1	1024 square feet	\$70 per square foot	\$71,680
Unit 2	1143 square feet	\$70 per square foot	\$80,010
Unit 3	1276 square feet	\$70 per square foot	\$89,320
Unit 4	1490 square feet	\$70 per square foot	\$104,300
	4933		
			<b>\$345,310</b>

<b>Total Project Cost</b>	<b>\$597,810</b>
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Contingency	\$50,000
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## Operating

Project Name **Easy Street Apartments**Address: **411 West Third Street**

### Income:

Rent:	# Units	Monthly Rent	Annual Rent
Unit 1	1	\$ 1,200	\$ 14,400
Unit 2	1	\$ 1,200	\$ 14,400
Unit 3	1	\$ 1,100	\$ 13,200
Unit 4	1	\$ 1,400	\$ 16,800
Total Units	4		
<b>Gross Rent</b>			<b>\$ 58,800</b>
Less:			
Vacancy	5.0%		\$ (2,940)
Bad Debt	1.0%		\$ (588)
<b>Gross Effective Income:</b>			<b>\$ 55,272</b>

### Expenses:

Administrative	Annual	Average Per Unit
Advertising & Marketing	\$ 50	\$ 13
Mgmt Fee (% of collections)	5.0% \$ 2,764	\$ 691
Administrative	\$ -	\$ -
Legal	\$ 150	\$ 38
Accounting	\$ 300	\$ 75
Office Supplies	\$ 20	\$ 5
Credit Checks	\$ 20	\$ 5
Leasing Fees	\$ 100	\$ 25
Other	\$ 30	\$ 8
<b>Total Administrative:</b>	<b>\$ 3,434</b>	<b>\$ 859</b>
<b>Payroll</b>		
Administrative Payroll	\$ -	\$ -
Maintenance Payroll	\$ -	\$ -
Fringe	0.0% \$ -	\$ -
Payroll Taxes	0.00% \$ -	\$ -
<b>Total Payroll:</b>	<b>\$ -</b>	<b>\$ -</b>
<b>Maintenance</b>		
Decorating (unit make ready)	\$ 100	\$ 25
Repairs	\$ 500	\$ 125
Security	\$ -	\$ -
Grounds (landscaping, snow removal)	\$ -	\$ -
Building supplies	\$ 100	\$ 25
Service contracts (HVAC)	\$ 150	\$ 38
Other	\$ -	\$ -
<b>Total Maintenance:</b>	<b>\$ 850</b>	<b>\$ 213</b>
<b>Operating:</b>		
Common Space utilities	\$ -	\$ -
Electric	\$ 1,000	\$ 250
Water/Sewer	\$ 600	\$ 150

Sample Pro Forma Single Family Rentals

Trash removal	\$ 500	\$	125
Janitorial	\$ -	\$	-
Exterminating	\$ -	\$	-
Telephone	\$ -	\$	-
Other	\$ -	\$	-
<b>Total Operating Costs:</b>	<b>\$ 2,100</b>	\$	525
<b>Taxes &amp; Insurance:</b>			
Real Estate Taxes	\$ 11,000	\$	2,750
Insurance	\$ 1,500	\$	375
Other Taxes, Licenses, Fees	\$ -	\$	-
<b>Total Taxes:</b>	<b>\$ 12,500</b>	\$	3,125
<b>Total Annual Operating Expenses:</b>	<b>\$ 18,884</b>	\$	4,721
		\$	-
		\$	-
<b>NOI Before Reserves &amp; Debt Svc:</b>	<b>\$ 36,388</b>	\$	9,097
		\$	-
		\$	-
		\$	-
<b>Reserves:</b>			
	Per Unit	Annual	
Replacement Reserve	\$ 100	\$ -	\$ -
Operating Reserve	\$ 80	\$ -	\$ -
Cashflow Before Debt Service:		\$ 36,388	\$ 9,097
Debt Service (See Terms Below)		\$28,308.00	\$ 7,077
<b>Cashflow After Debt Service</b>		<b>\$8,080.00</b>	<b>\$ 2,020</b>

# INTERIOR RENOVATIONS TO 411 W. 3RD STREET GRAND ISLAND, NEBRASKA

## GENERAL ABBREVIATIONS

<b>A</b>	
AB	ANCHOR BOLT
A/C	AIR CONDITIONER
ACC	ACCESS(IBLE) (ORIES)
ACCOUS	ACOUSTICAL
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADJC	ADJACENT
A/E	ARCHITECT/ENGINEER
AFF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
ANC	ANCHOR(AGE)
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT
AUTO	AUTOMATIC
AVG	AVERAGE
<b>B</b>	
BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLE	BRICK LEDGE ELEVATION
BLK	BLOCK(ING)
BM	BEAM
ROT	BOTTOM
BRDG	BRIDGING
BRG	BEARING
BRKT	BRACKET
BTW	BETWEEN
BW	BOTH WAYS
<b>C</b>	
C	CHANNEL
C/C	CENTER TO CENTER
CAB	CABINET
CB	CHALKBOARD
CEN	CENT(ER) (TRAL)
CG	CORNER GUARDS
CHAM	CHAMFER
CI	CAST IRON
CNTR	COUNTER
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CONF	CONFERENCE
COND	CONDITION
CONN	CONNECTION
CONT	CONTINU(E) (OUS) (ATION)

<b>C</b>	
CONTR	CONTRACT(OR)
CORR	CORRIDOR
CTSK	COUNTER(SINK) (SUNK)
CTR	CENTER
CUH	CABINET UNIT HEATER
CLO	CLOSET
CLR	CLEAR(ANCE)
CJ	CONTROL/CONSTRUCTION JOINT
CLG	CEILING
<b>D</b>	
D	DEEP, DEPTH, DATA OUTLET
D AND E	DRILL, AND EPOXY GROUT
DBE	DECK BEARING ELEVATION
DBL	DOUBLE
DEG	DEGREE(S)
DEMO	DEMO(LISH) (LITION)
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIF	DIFFEREN(CE) (TIAL)
DIFR	DIFFUSER
DIM	DIMENSION
DN	DOWN
DO	DOOR OPENING
DOC	DOCUMENT(S)
DOOR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG(S)	DRAWING(S)
DWL	DOWEL (REBAR)
DWR	DRAWER
<b>E</b>	
E	EAST, EASTING
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EW	ELECTRIC WATER COOLER
EX	EXAMPLE

<b>E</b>	
EXC	EXCAVAT(E) (ED) (ION)
EXCL	EXCLUD(E) (ED) (ING)
EXCP	EXCEPT
EXH	EXHAUST
EXST	EXISTING
EXPO	EXPOSED
EXP	EXPAN(D) (SION)
EXT	EXTERIOR
<b>F</b>	
F/F	FACE TO FACE
FAB	FABRICAT(E) (ED) (OR)
FAS	FASTEN(ED) (ER)
FC(S)	FACE(S)
FD	FLOOR DRAIN
FND	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FL	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLG	FLANGE
FLR	FLOOR(ING)
FOW	FACE OF WALL
FR	FRAME
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURR(ED) (ING)
FUT	FUTURE
<b>G</b>	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR OR GYPSUM BOARD
GC	GENERAL CONTRACTOR
GENL	GENERAL
GFI	GROUND FAULT CIRCUIT INTERRUPTER
GL	GLASS
GLB	GLUE LAMINATED BEAM
GND	GROUND
GR	GRADE
GRL	GRILLE
GRV	GRAVITY ROOF VENTILATOR
GYP	GYPSUM

<b>H</b>	
H	HIGH, HEIGHT
HB	HOSE BIB
HC	HOLLOW CORE
HCP	HANDICAP
HD	HEAVY DUTY
HDR	HEADER
HDWD	HARDWOOD
HDWE	HARDWARE
HM	HOLLOW METAL
HO	HOLD OPEN
HORIZ	HORIZONTAL
HR	HOUR
HTR	HEATER
HVAC	HEATING/ VENTILATING/ AIR CONDITIONING
<b>I</b>	
ID	INSIDE DIAMETER/DIMENSION/ IDENTIFICATION
IF	INSIDE FACE
IN	INCH(ES)
INCL	INCLU(DE) (DED) (DING) (SIVE)
INFO	INFORMATION
INSUL	INSULAT(E) (ED) (ION)
INT	INTERIOR
<b>J</b>	
JAN	JANITOR
JBE	JOIST BEARING ELEVATION
JC	JANITOR CLOSET
JST	JOIST
JT	JOINT
<b>K</b>	
K	KIP (1000 POUNDS)
KIT	KITCHEN
KO	KNOCK OUT
<b>L</b>	
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
LT	LIGHT

<b>M</b>	
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
<b>N</b>	
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
<b>O</b>	
OBS	OBSOLETE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OPNG	OPENING
OPT	OPTIONAL
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
OS	OVERFLOW SCUPPER
<b>P</b>	
PL	PLATE
PLAM	PLASTIC LAMINATE
PLWD	PLYWOOD
PR	PAIR
PREFIN	PREFINISHED
PTN	PARTITION
<b>R</b>	
R	RISER
RAD	RADIUS
REINF	REINFORCE (D) (ING)
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING

<b>S</b>	
S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATIONS
<b>T</b>	
TEMP	TEMPORARY
TC	TOP OF CURB
T & G	TONGUE AND GROOVE
THK	THICK
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
TR	TREAD
TV	TELEVISION
<b>U</b>	
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
UTIL	UTILITY
<b>V</b>	
VB	VAPOR BARRIER
VERT	VERTICAL
VEST	VESTIBULE
<b>W</b>	
W	WIDE, WIDTH, WEST
WP	WITH WATERPROOF
WT	WEIGHT
<b>SPECIAL SYMBOLS</b>	
—	AND
&	ANGLE
∠	AT
⊙	CENTERLINE
⊕	PLATE LINE
⊖	POUND / NUMBER
⊗	DIAMETER / ROUND

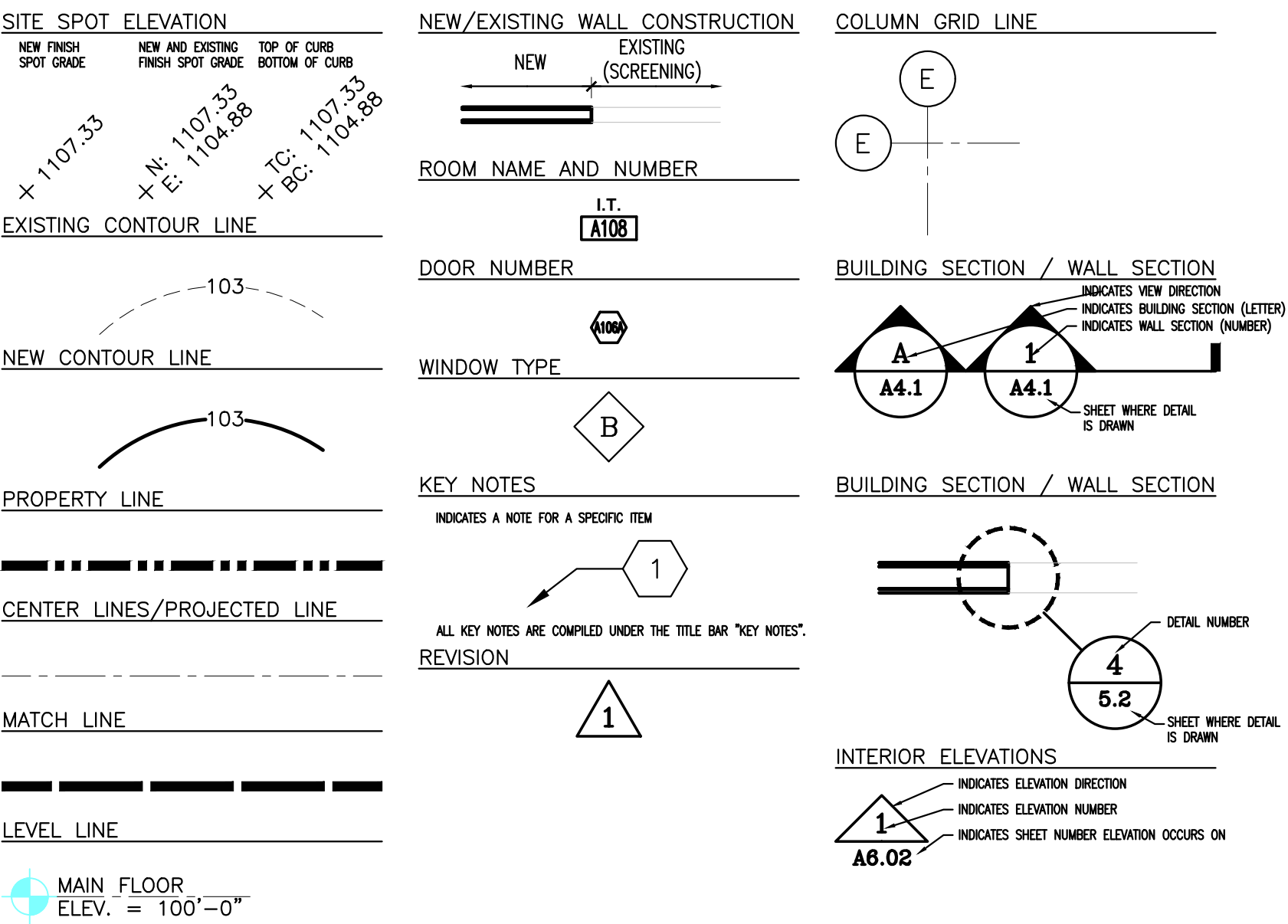
## SHEET INDEX

T0.01	TITLE SHEET
ADA	ADA INFORMATION
D.01	SECOND FLOOR DEMOLITION PLAN
AC1.01	SECOND FLOOR CODE PLAN
A1.01	SECOND FLOOR COMPOSITE PLAN
A1.02	SECOND FLOOR PLAN AREA 'A' & DOOR SCHEDULE
A1.03	SECOND FLOOR PLAN AREA 'B', WINDOW SCHEDULE, & STAIR SECTION

## PROFESSIONAL SEAL

PROGRESS PRINT  
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CONSTRUCTION  
07-09-2018

## GRAPHIC SYMBOLS



## MATERIAL INDICATIONS

CONCRETE	PLYWOOD	BATT INSUL.	STONE	BRICK
WOOD STUDS	WOOD BLOCKING	RIGID INSUL.	EARTH	PLASTER
METAL STUDS	CERAMIC TILE	CMU (STD. WT.)	GRAVEL/SAND FILL	GYPSUM BOARD
FINISH WOOD	ACOUSTICAL PANEL	CMU (LT. WT)	METAL SECTION	METAL (LARGE SCALE)

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OWNER:  
ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE 68810

SHEET TITLE: TITLE SHEET

DRAWN BY:  
SPOTANSKI

PLAN DATE:  
07-09-2018

PLOT DATE:  
07-09-2018

SHEET:

T0.01

Spotanski Creative Building Design & Drafting, LLC  
724 W. 3rd St. #4, Grand Island, NE 68801  
(508) 850-8186 info@spotanski-dd.com  
STACY J. SPOTANSKI

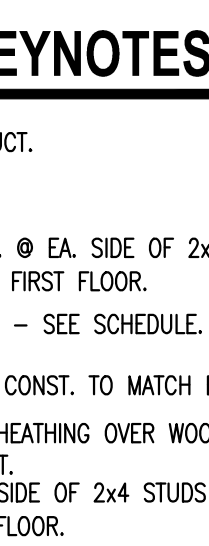
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SPOTANSKI CREATIVE BUILDING DESIGN & DRAFTING, LLC  
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DATE:

REVISION:





### FLOOR PLAN GENERAL NOTES

1. CONTR. TO INSTALL NEW 5/8" TYPE 'X' GYP. BD. CEILING IN ALL NEW APARTMENT/CORRIDOR/STAIR AREAS.

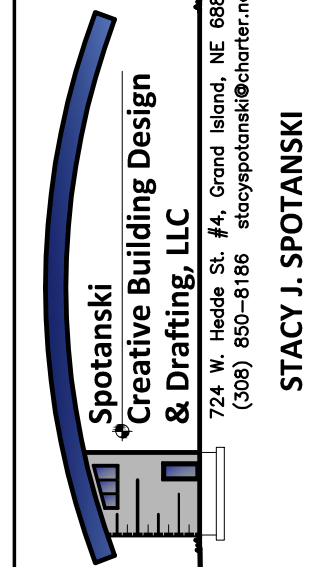
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REVISION:	DATE:

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OWNER: ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE. 68810

SHEET TITLE: ENLARGED FLOOR PLAN AREA "B",  
WINDOW SCHEDULE, & STAIR SECTION

DRAWN BY: SPOTANSKI
PLAN DATE: 07-09-2018
PLOT DATE: 07-09-2018
SHEET:

A1.03

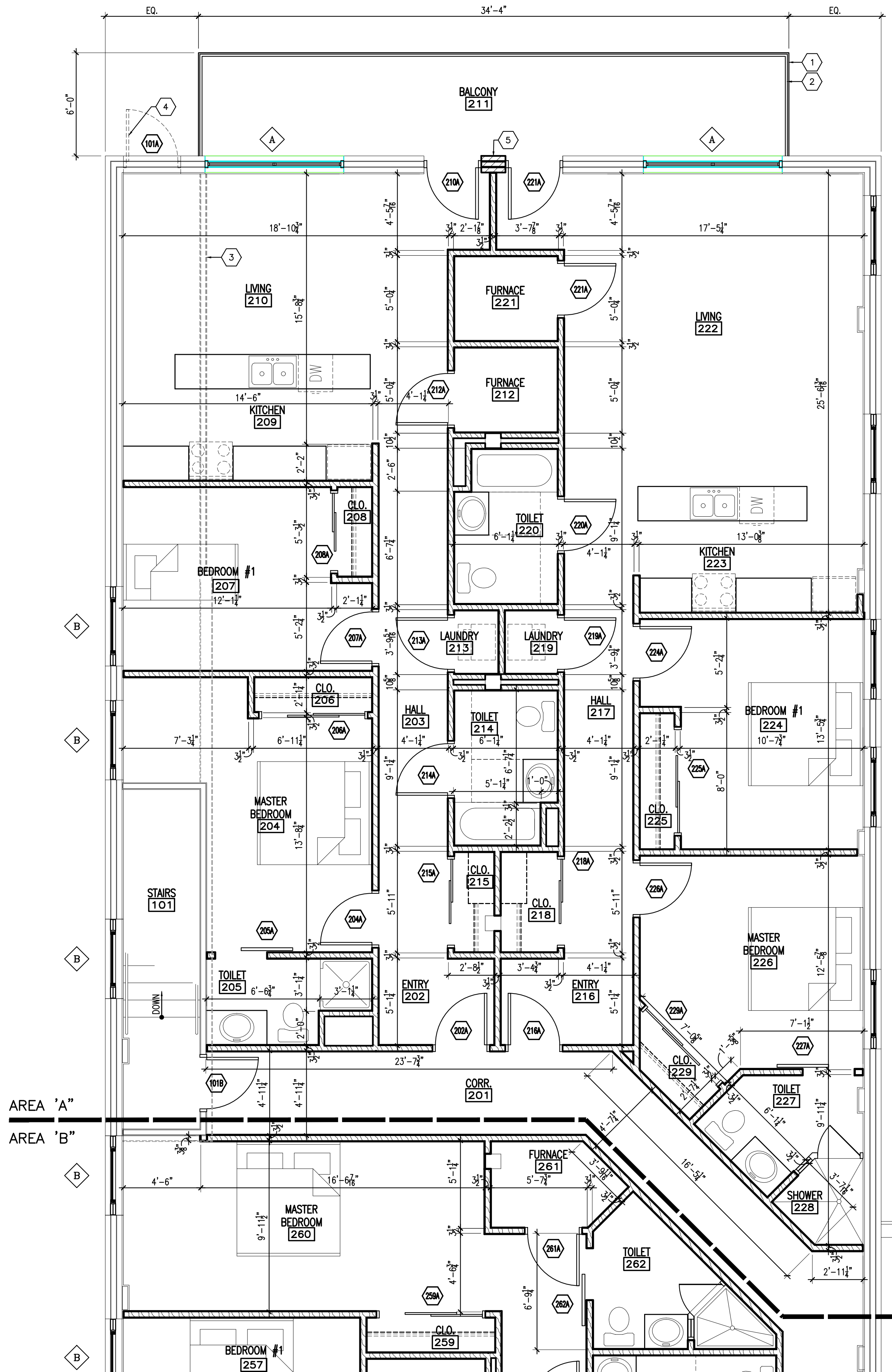


FLOOR PLAN GENERAL NOTES

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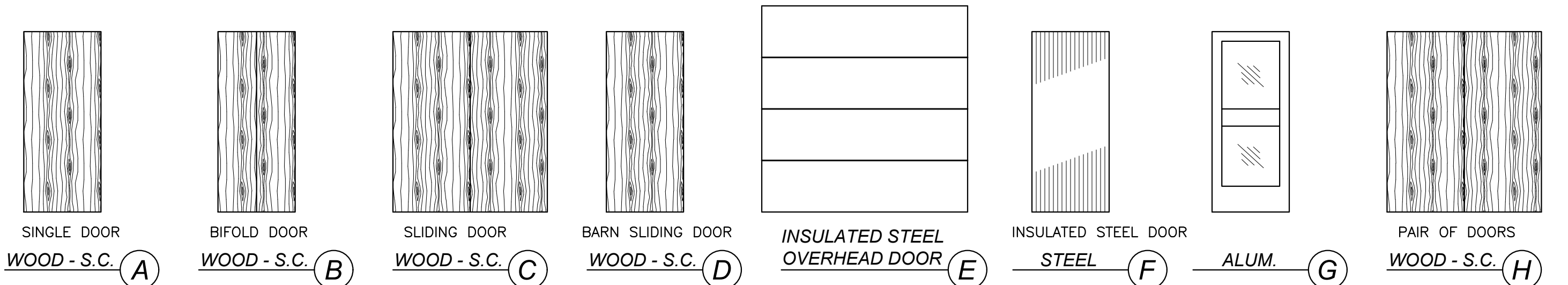
FLOOR PLAN KEYNOTES

- 1 NEW STEEL DECK, SEE STRUCT.  
2 NEW STEEL GUARDRAIL.  
3 5/8" F.C. GYP. BD. @ EA. SIDE OF 2x4 STUDS @ 16" O.C. @ FIRST FLOOR.  
4 NEW STEEL DOOR & FRAME, - SEE SCHEDULE.  
5 NEW MASONRY WALL INFILL, CONST. TO MATCH EXIST.

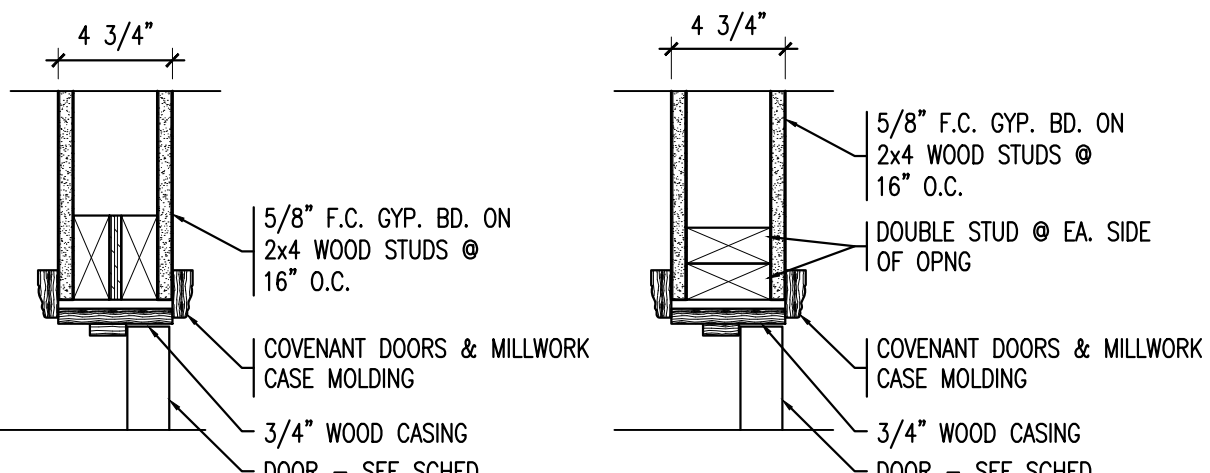


A SECOND FLOOR PLAN - AREA 'A'  
1/4" = 1'-0"

DOOR SCHEDULE																		
DOOR NO.	DOOR					FRAME					FIRE LABEL	GLAZING	REMARKS	HARDWARE GROUP				
	SIZE			MAT'L	TYPE	MAT'L	TYPE	DETAIL										
	WIDTH	HEIGHT	THICKNESS					HEAD	JAMB	SILL								
101A	3'-0"	6'-8"	1 3/4"	STEEL	F	STEEL	1	—	—	—								
101B	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		60 MIN.							
202A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		20 MIN.							
204A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
205A	3'-0"	6'-8"	1 3/4"	WOOD	D	WOOD	—	—	—									
206A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
207A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
208A	4'-6"	6'-8"	1 3/4"	WOOD	A	WOOD	4	1	2									
210A	3'-0"	6'-8"	1 3/4"	ALUM.	G	ALUM.	7	—	—	—		1" INSUL. TEMP.						
212A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
213A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
214A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
215A	5'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	5	1	2									
216A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		20 MIN.							
218A	5'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	5	1	2									
219A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
220A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
221A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
221A	3'-0"	6'-8"	1 3/4"	ALUM.	G	ALUM.	7	—	—	—		1" INSUL. TEMP.						
224A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
225A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
226A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
227A	3'-0"	6'-8"	1 3/4"	WOOD	D	WOOD	—	1	2									
229A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
230A	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	—	—	—								
232A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		60 MIN.							
233A	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	—								
233B	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	—								
233C	5'-4"±	8'-4"±	—	STEEL	E	—	—	—	—	—								
233D	10'-9"±	8'-4"±	—	STEEL	E	—	—	—	—	—								
235A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		60 MIN.							
236A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2		20 MIN.							
237A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
239A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
240A	4'-6"	6'-8"	1 3/4"	WOOD	H	WOOD	4	1	2									
241A	4'-8"	6'-8"	1 3/4"	WOOD	D	WOOD	—	1	2									
242A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
243A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
244A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
248A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
249A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
250A	1'-6"	6'-8"	1 3/4"	WOOD	A	WOOD	6	1	2									
251A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
252A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
253A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2		20 MIN.							
257A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
258A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
259A	6'-0"	6'-8"	1 3/4"	WOOD	C	WOOD	3	1	2									
260A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
261A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
262A	3'-0"	6'-8"	1 3/4"	WOOD	D	WOOD	—	1	2									
263A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
264A	3'-0"	6'-8"	1 3/4"	WOOD	A	WOOD	2	1	2									
265A	4'-6"	6'-8"	1 3/4"	WOOD	C	WOOD	4	1	2									
—	—	—	1 3/4"	WOOD	—	—	—	—	1	2								



FRAME TYPES



1 HEAD DETAIL  
1 1/2" = 1'-0"

2 JAMB DETAIL  
1 1/2" = 1'-0"

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REVISION:	

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724 W. HEDGE ST. #4, GRAND ISLAND, NE 68801  
(505) 850-8186 info@spotanski.com spotanski.net  
STACY J. SPOTANSKI

OWNER: ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE. 68810

SHEET TITLE: ENLARGED FLOOR PLAN AREA 'A' & DOOR SCHEDULE  
PROJECT DESCRIPTION:  
411 W. 3RD STREET  
GRAND ISLAND, NE.

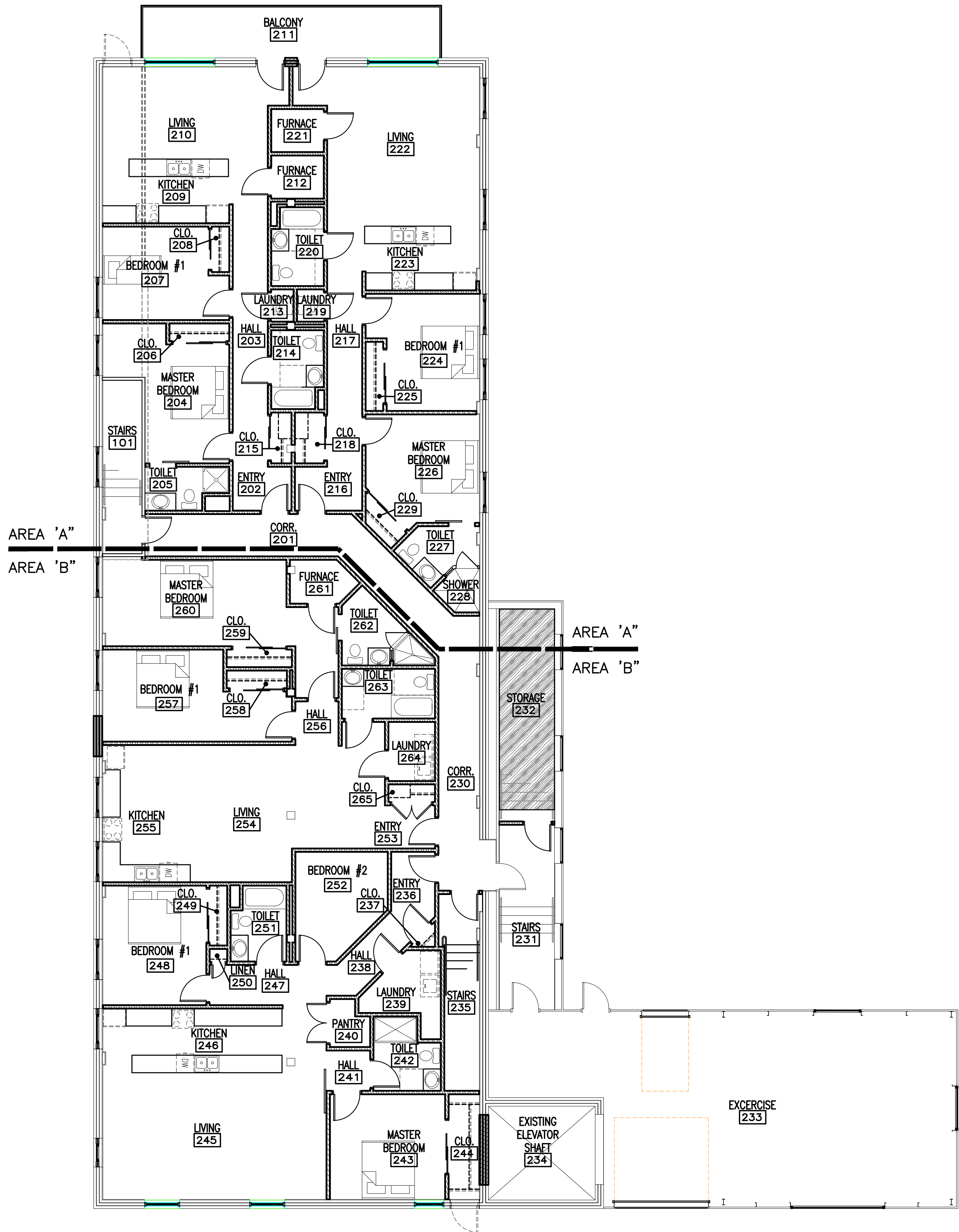
DRAWN BY: SPOTANSKI  
PLAN DATE: 07-09-2018  
PLOT DATE: 07-09-2018  
SHEET:

A1.02

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CONSTRUCTION  
07-09-2018





↑ SECOND FLOOR COMPOSITE PLAN  
1/8" = 1'-0"

GENERAL NOTES

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PROFESSIONAL SEAL

PROGRESS PRINT  
NOT FOR  
CONSTRUCTION  
07-09-2018

DATE:	
REVISION:	

Spotanski Creative Building Design & Drafting, LLC

724 W. Hedge St., 4th, Grand Island, NE 68801  
(508) 850-8186 [info@spotanski.com](mailto:info@spotanski.com)

STACY J. SPOTANSKI

PROGRESS PRINT  
NOT FOR CONSTRUCTION  
07-09-2018

OWNER: ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE 68810

SHEET TITLE: SECOND FLOOR COMPOSITE PLAN

PROJECT DESCRIPTION:  
411 W. 3RD STREET  
GRAND ISLAND, NE.

DRAWN BY: SPOTANSKI

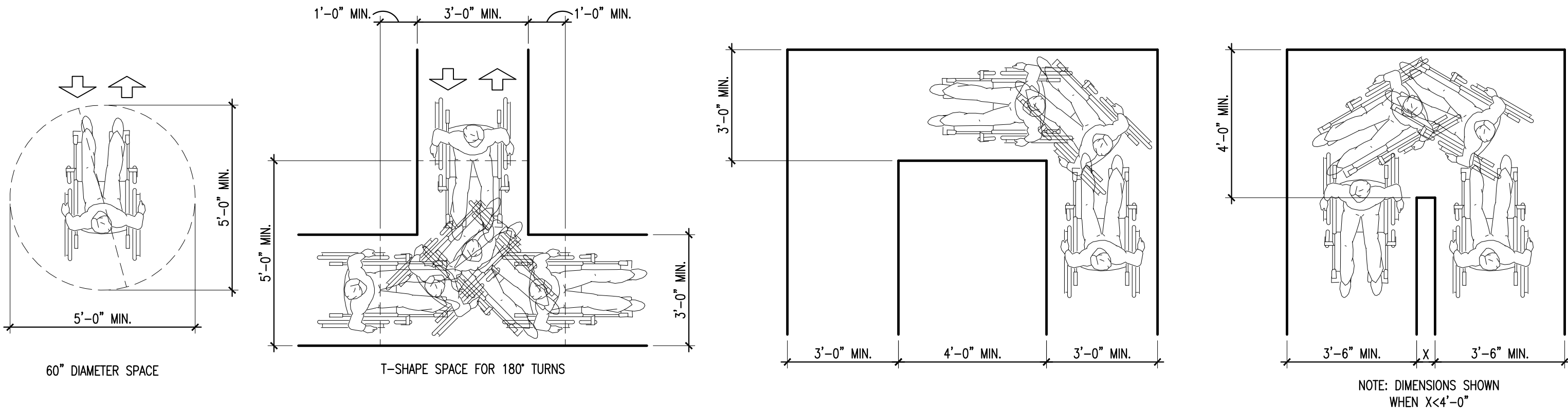
PLAN DATE: 07-09-2018

PLOT DATE: 07-09-2018

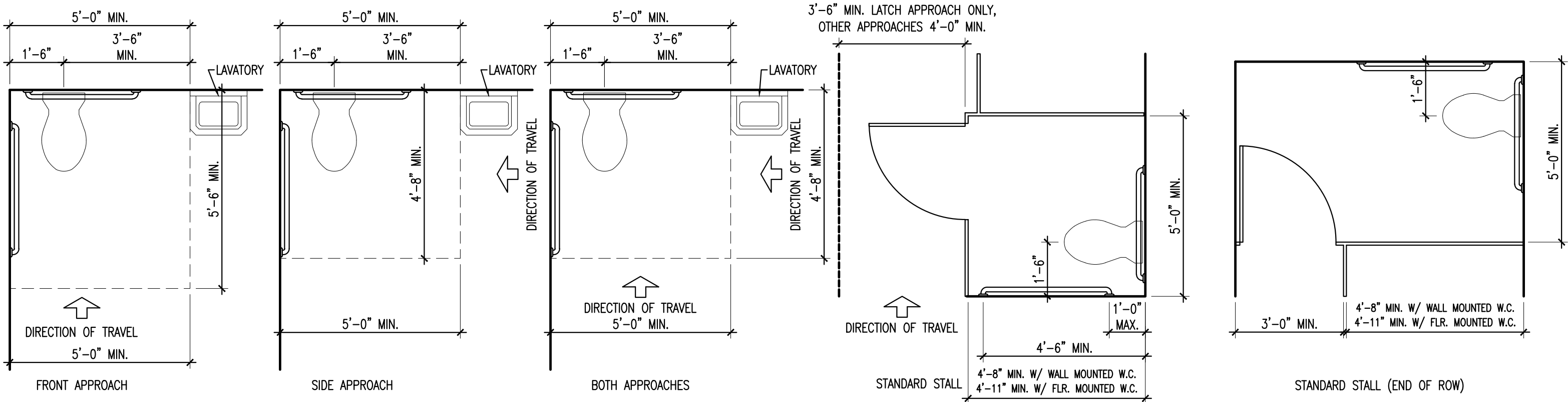
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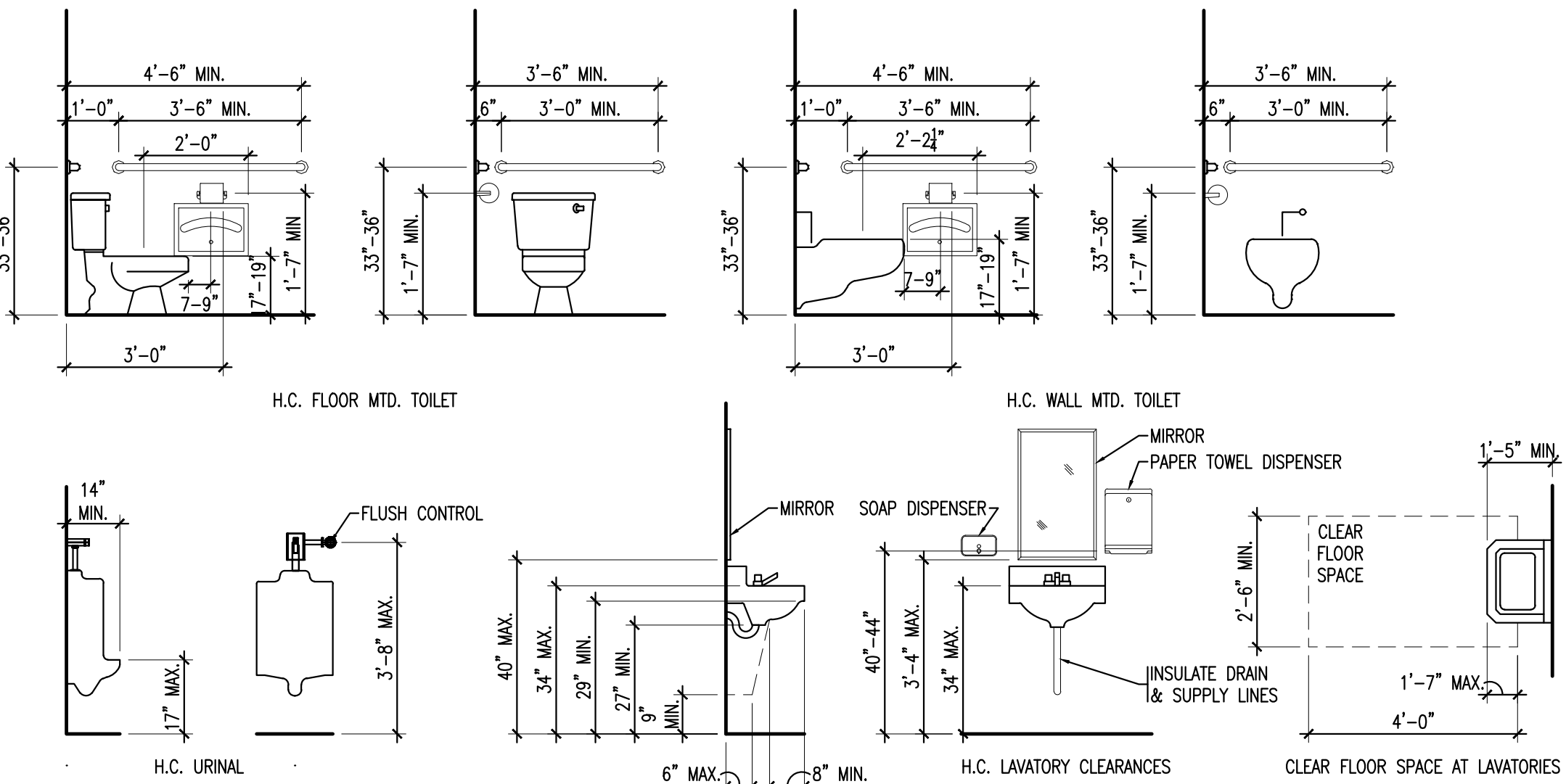


ACCESSIBLE ROUTE

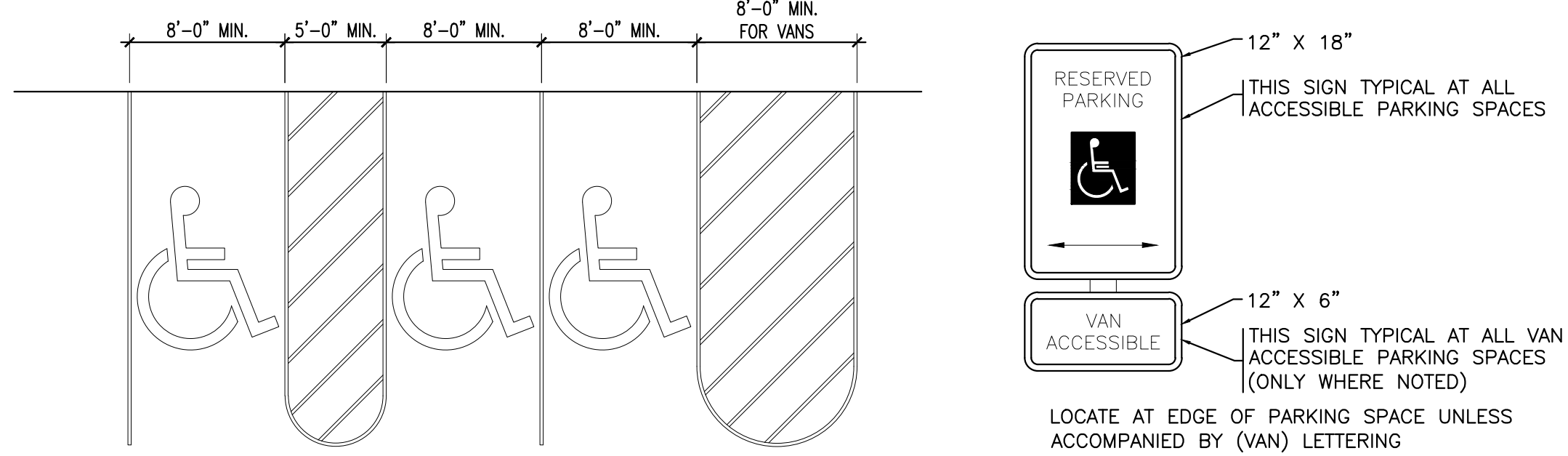


SINGLE TOILET REQUIREMENTS

TOILET STALL REQUIREMENTS

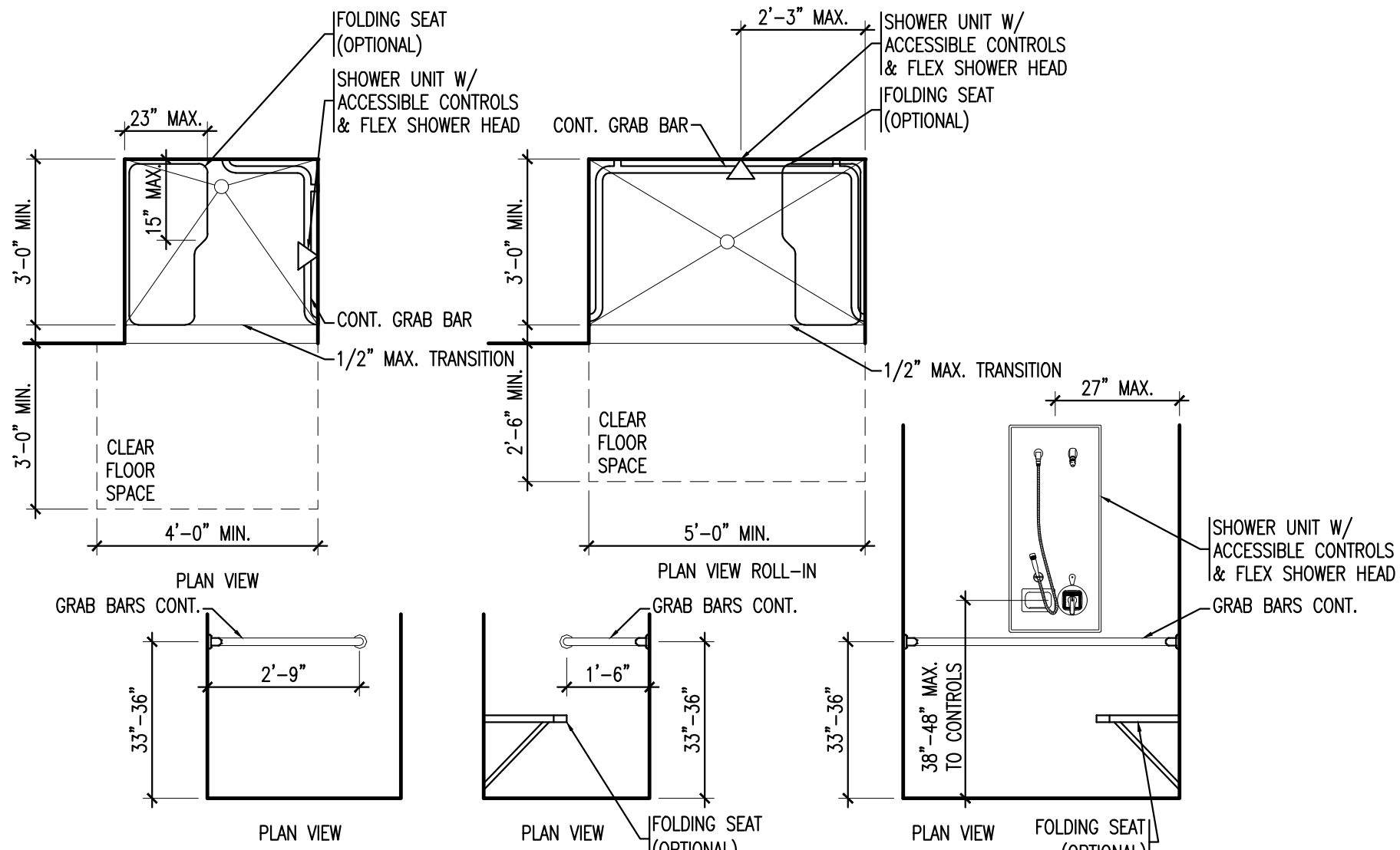


BATHROOM FIXTURES & ACCESSORIES



PARKING SPACES

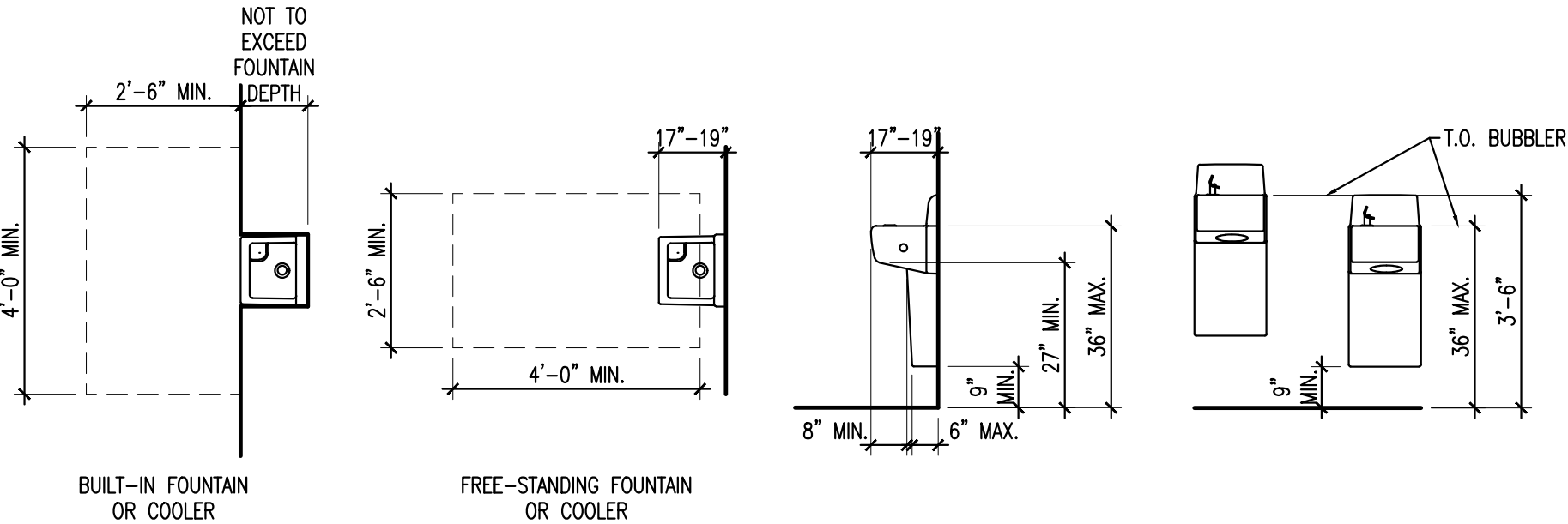
OUTDOOR SIGNAGE



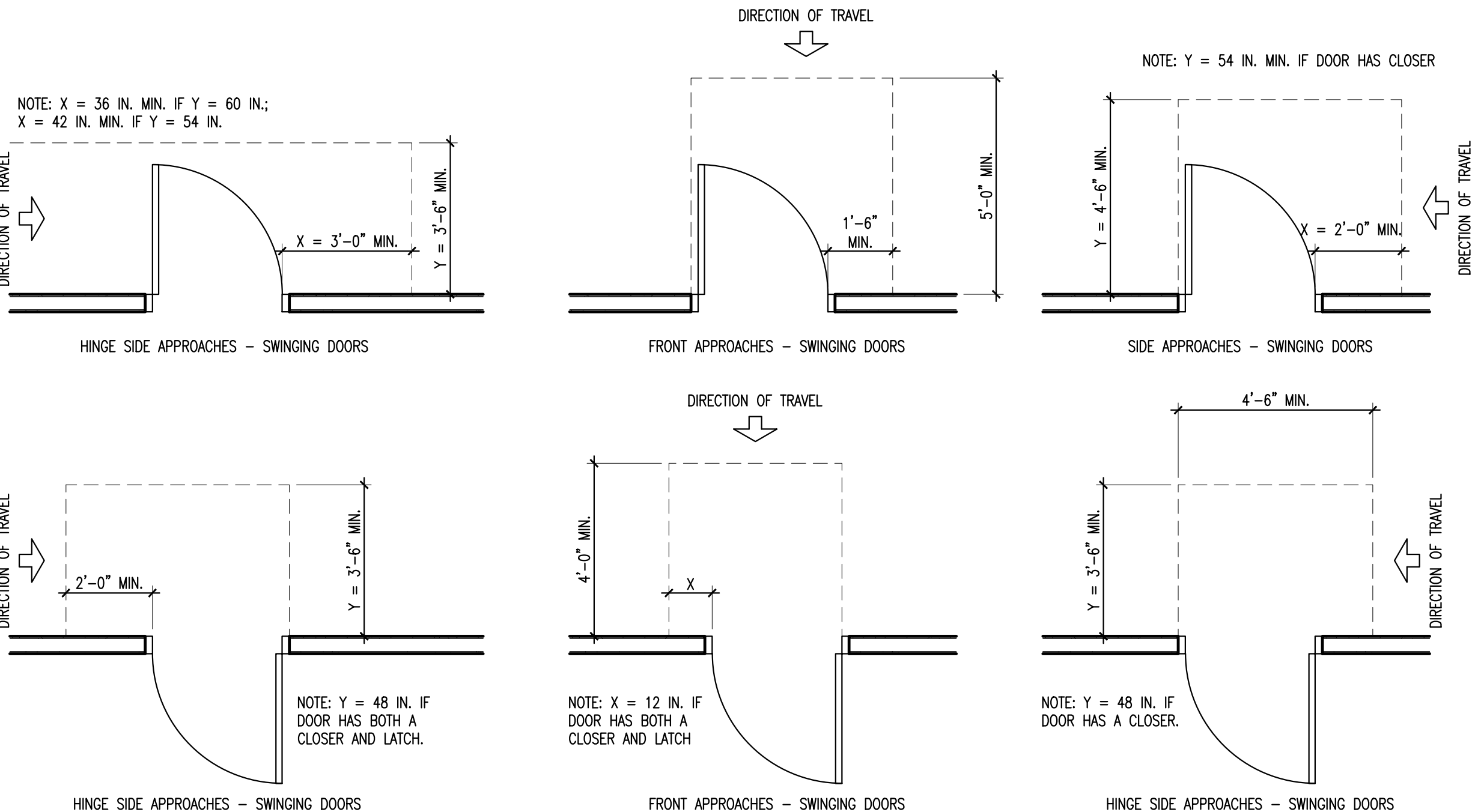
ACCESSIBLE SHOWER



HANDRAIL CLEARANCE



DRINKING FOUNTAINS



MANEUVERING CLEARANCES AT DOORS

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PROFESSIONAL SEAL

PROGRESS PRINT  
NOT FOR  
CONSTRUCTION  
07-09-2018

DATE:	
REVISION:	

Spotanski Creative Building Design & Drafting, LLC  
724 W. Hedge St., #4, Grand Island, NE 68801  
(531) 850-8186 e@spotanski.com

PROVIDING AFFORDABLE, CREATIVE DESIGNING & CONSTRUCTION MANAGEMENT SERVICES TO THE COMMUNITY. WE ARE COMMITTED TO EXCELLENCE IN EVERYTHING WE DO. OUR DESIGNERS ARE LICENSED ARCHITECTS AND DRAFTSMEN. OUR CONSTRUCTION MANAGERS ARE LICENSED PROFESSIONALS. WE ARE COMMITTED TO EXCELLENCE IN EVERYTHING WE DO.

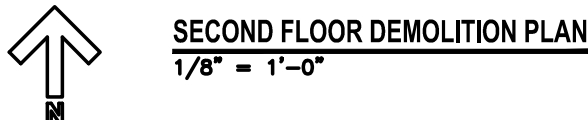
OWNER: ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE 68810

SHEET TITLE: ADA INFORMATION  
PROJECT DESCRIPTION:  
411 W. 3RD STREET  
GRAND ISLAND, NE.

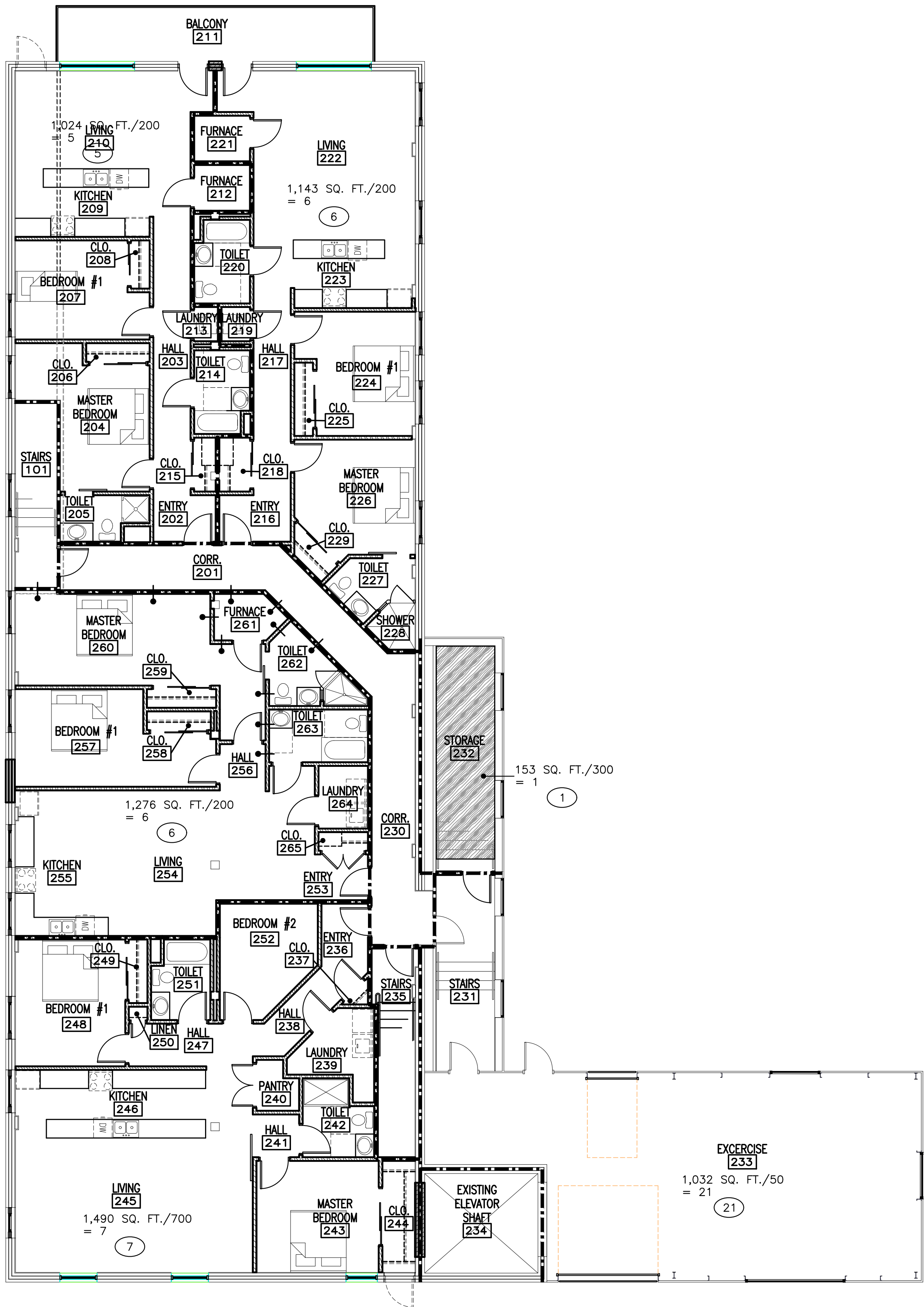
DRAWN BY: SPOTANSKI  
PLAN DATE: 07-09-2018  
PLOT DATE: 07-09-2018  
SHEET:

ADA









SECOND FLOOR CODE PLAN  
1/8" = 1'-0"

## PROJECT INFORMATION

INTERNATIONAL BUILDING CODE (IBC) 2012  
EXISTING BUILDING:  
BASEMENT FLOOR USE: GROUP S (STORAGE)  
FIRST FLOOR USE: GROUP B (BUSINESS)  
GROUP M (MERCANTILE)

SECOND FLOOR USE: GROUP R-2 (RESIDENTIAL)

LIFE SAFETY CODE (NFPA 101)  
OCCUPANCY:  
BASEMENT FLOOR USE: EXISTING STORAGE  
FIRST FLOOR USE: EXISTING MERCANTILE  
EXISTING BUSINESS  
SECOND FLOOR USE: NEW APARTMENT

2010 AMERICANS WITH DISABILITIES ACT

CONSTRUCTION TYPE:  
EXISTING BUILDING: V-B  
BUILDING HEIGHTS & AREAS:  
(SEE CODE REVIEW FLOOR PLAN FOR HEIGHT & AREA CALCULATIONS)

SMOKE COMPARTMENTS:  
REQUIREMENTS OF NFPA 14.3.7.1 DO NOT APPLY PER EXCEPTION (2);  
BUILDING SHALL BE PROTECTED THROUGHOUT BY A SUPERVISED  
AUTOMATIC SPRINKLER SYSTEM (NFPA 14.3.7.2)  
PER NFPA 13.

RATING REQUIREMENTS:  
PRIMARY STRUCTURAL FRAME: 0 HR  
BEARING WALLS: 0 HR  
NON BEARING WALLS: 0 HR  
FLOOR CONSTRUCTION: 0 HR  
ROOF CONSTRUCTION: 0 HR

HAZARDOUS AREA SEPARATION/ PROTECTED BY 1hr. FIRE BARRIER  
(NFPA 14.3.2.1):  
1. LAUNDRIES  
2. FURNACE ROOM

CORRIDOR WALL FIRE RESISTANCE (NFPA 14.3.6):  
FIRE-RATING NOT REQUIRED AS BUILDING IS SPRINKLERED PER NFPA  
13. CORRIDOR WALLS TO BE SMOKE PARTITIONS.

INTERIOR FINISH REQUIREMENTS:  
(IBC - TABLE 803.5)

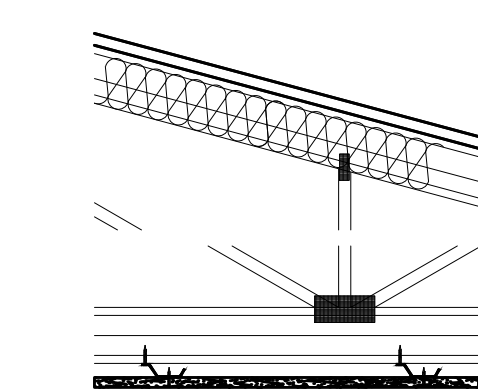
BUSINESS:  
INTERIOR EXIT STAIRWAYS: CLASS B  
EXIT ACCESS STAIRWAYS AND EXIT ACCESS  
RAMPS: B  
ROOMS AND ENCLOSED SPACES: C

MERCANTILE:  
INTERIOR EXIT STAIRWAYS: CLASS B  
EXIT ACCESS STAIRWAYS AND EXIT ACCESS  
RAMPS: B  
ROOMS AND ENCLOSED SPACES: C

RESIDENTIAL:  
INTERIOR EXIT STAIRWAYS: CLASS B  
EXIT ACCESS STAIRWAYS AND EXIT ACCESS  
RAMPS: B  
ROOMS AND ENCLOSED SPACES: C

FIRE PROTECTION SYSTEMS:  
(IBC - CHAPTER 9)  
1. THE BUILDING WILL BE PROTECTED THROUGHOUT BY AN APPROVED,  
SUPERVISED AUTOMATIC SPRINKLER SYSTEM.  
2. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED PER THE IBC &  
NFPA.  
3. A MANUAL FIRE ALARM SYSTEM WILL BE PROVIDED.

OCCUPANT LOAD:  
(SEE CODE REVIEW FLOOR PLAN FOR OCCUPANT LOADS)



SYSTEM DESCRIPTION

ROOF CEILING ASSEMBLY UL P531  
-EXISTING ROOF SYSTEM: EXISTING PLYWOOD SHEATHING  
-GLASS FIBER INSULATION BATTIS AND BLANKETS OR LOOSE  
FILL MATERIALS  
-EXISTING CHORD WOOD TRUSSES TO REMAIN  
-USG DGL DRYWALL SUSPENSION SYSTEM  
-5/8" TYPE "X" GYP. BD.

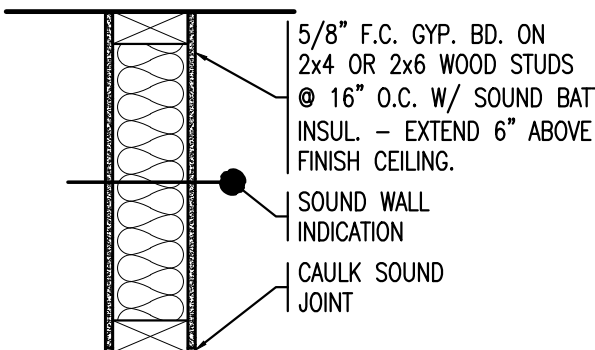
C CEILING DETAIL  
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## GENERAL NOTES

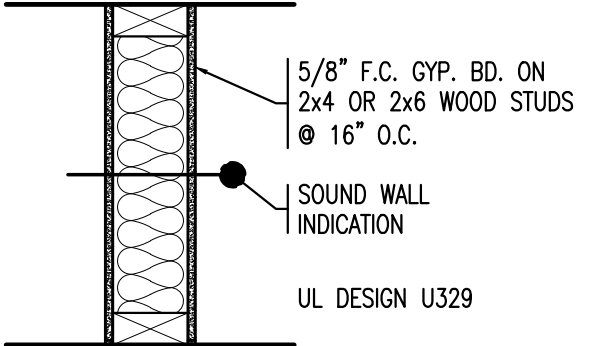
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## GENERAL LEGEND

- INDICATES SOUND WALL CONSTRUCTION
- SMOKE PARTITIONS
- 1-HOUR RATED CONSTRUCTION
- 3-HOUR RATED CONSTRUCTION



A SOUND WALL DETAIL  
1 1/2" = 1'-0"



B 1-HR. FIRE WALL DETAIL  
1 1/2" = 1'-0"

## PROFESSIONAL SEAL

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PROFESSIONAL SEAL  
STACY J. SPOTANSKI

OWNER: ONEILL TRANSPORTATION  
P.O. BOX 290  
ALDA, NE: 68810

SHEET TITLE: SECOND FLOOR CODE PLAN  
PROJECT DESCRIPTION:  
4111 W. 3RD STREET  
GRAND ISLAND, NE.

DRAWN BY: SPOTANSKI  
PLAN DATE: 07-09-2018  
PLOT DATE: 07-09-2018  
SHEET:

AC1.01



August 13, 2018

Virgil D. Harden, RSBA, SFO  
Chief Financial Officer  
Grand Island Public Schools  
123 S. Webb Road  
P.O. Box 4904  
Grand Island, NE 68802-4904

Dear Virgil,

This letter is to inform you that the Community Redevelopment Authority (CRA) of the City of Grand Island has received an application requesting Tax Increment Financing (TIF) for apartments in downtown Grand Island.

The application seeks \$165,000 in TIF assistance for the development of the four two bedroom apartments on the second floor of the west end of the old Sears building in Downtown Grand Island. The property is located at 411 W. Third Street.

At present, the proposed timeline for approval would be as follows:

- CRA receives initial application, 4 p.m., September 12.
- Regional Planning Commission holds public hearing 6 p.m., October 3.
- CRA reviews Planning Commission recommendation, 4 p.m. October 10.
- Grand Island City Council holds public hearing and takes action, 7 p.m., October 23.
- CRA considers redevelopment contract, 4 p.m. November 14.

Additional notification will be provided to the school board via certified mail prior to the public hearings before both planning commission and council. Should you have any questions or comments, please call me at (308) 385-5240.

Sincerely,

Chad Nabity, AICP  
Director

**COMMUNITY REDEVELOPMENT AUTHORITY  
OF THE CITY OF GRAND ISLAND, NEBRASKA**

**RESOLUTION NO. 281**

RESOLUTION OF THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY  
OF GRAND ISLAND, NEBRASKA, SUBMITTING A PROPOSED  
REDEVELOPMENT CONTRACT TO THE HALL COUNTY REGIONAL PLANNING  
COMMISSION FOR ITS RECOMMENDATION

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), pursuant to the Nebraska Community Development Law (the "Act"), prepared a proposed redevelopment plan (the "Plan") a copy of which is attached hereto as Exhibit 1, for redevelopment of an area within the city limits of the City of Grand Island, Hall County, Nebraska; and

WHEREAS, the Authority is required by Section 18-2112 of the Act to submit said to the planning board having jurisdiction of the area proposed for redevelopment for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

The Authority submits to the Hall County Regional Planning Commission the proposed Plan attached to this Resolution, for review and recommendation as to its conformity with the general plan for the development of the City of Grand Island, Hall County, Nebraska.

Passed and approved this 12<sup>th</sup> day of September, 2018

COMMUNITY REDEVELOPMENT  
AUTHORITY OF THE CITY OF  
GRAND ISLAND, NEBRASKA.

By \_\_\_\_\_  
Chairperson

ATTEST:

\_\_\_\_\_  
Secretary

Paramount Development LLC

**COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND,  
NEBRASKA**

**RESOLUTION NO. 278**

RESOLUTION OF THE COMMUNITY REDEVELOPMENT AUTHORITY OF THE CITY OF GRAND ISLAND, NEBRASKA, PROVIDING NOTICE OF INTENT TO ENTER INTO A REDEVELOPMENT CONTRACT AFTER THE PASSAGE OF 30 DAYS AND OTHER MATTERS

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), has received an Application for Tax Increment Financing under the Nebraska Community Development Law (the "Act") on a project within Redevelopment Area 1, from Paramount Development LLC., (The "Developer") for redevelopment of property located at 411 W. 3<sup>rd</sup> Street the upper floor of the west side of the old Sears building, an area within the city limits of the City of Grand Island, as set forth in Exhibit 1 attached hereto area; and

WHEREAS, this Community Redevelopment Authority of the City of Grand Island, Nebraska ("Authority"), is proposing to use Tax Increment Financing on a project within Redevelopment Area 2;

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

**Section 1.** In compliance with section 18-2114 of the Act, the Authority hereby gives the governing body of the City notice that it intends to enter into the Redevelopment Contract, attached as Exhibit 1, with such changes as are deemed appropriate by the Authority, after approval of the redevelopment plan amendment related to the redevelopment project described in the Redevelopment Contract, and after the passage of 30 days from the date hereof.

**Section 2.** The Secretary of the Authority is directed to file a copy of this resolution with the City Clerk of the City of Grand Island, forthwith.

Passed and approved this 12<sup>th</sup> day of September, 2018.

COMMUNITY REDEVELOPMENT  
AUTHORITY OF THE CITY OF GRAND  
ISLAND, NEBRASKA.

By \_\_\_\_\_  
Chairperson

ATTEST:

\_\_\_\_\_  
Secretary

Paramount Development LLC